

ACTION PLANS

STATEMENT OF ENVIRONMENTAL EFFECTS

**DEVELOPMENT APPLICATION FOR ALTERATIONS AND ADDITIONS
AT 41 POWDERWORKS ROAD, NORTH NARRABEEN NSW 2101**



View of the existing rear elevation of
No. 41 Powderworks Road, North Narrabeen NSW 2101

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March 2019

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01 PROPERTY DESCRIPTION

The subject property legally identified as Lot 39 section 6 within DP 6462 and is known as 41 Powderworks Road, North Narrabeen 2101. The site is zoned E4 – Environmental living pursuant to Pittwater Local Environmental Plan 2014.

The subject site has class 5 Acid sulfate soils and also has been identified as being within H1 of the geotechnical hazard map and as such has a geotechnical report which supporting this application. The site is not identified as containing any items of environmental heritage. The site is not affected by any other identified hazard than those stated above.

02 SITE DESCRIPTION

The site is legally identified as Lot 39 section 6 within DP 6462 and is known as 41 Powderworks Road, North Narrabeen 2101. The site has an area of 584.8m² and a frontage of 15.24 metres to Powderworks Road (south west boundary). The North west side boundary has a length of 37.965 metres. The southern boundary has a length of 15.265 metres. The western side boundary has a length of 38.775 metres.

The site slopes from the street frontage to the rear boundary.

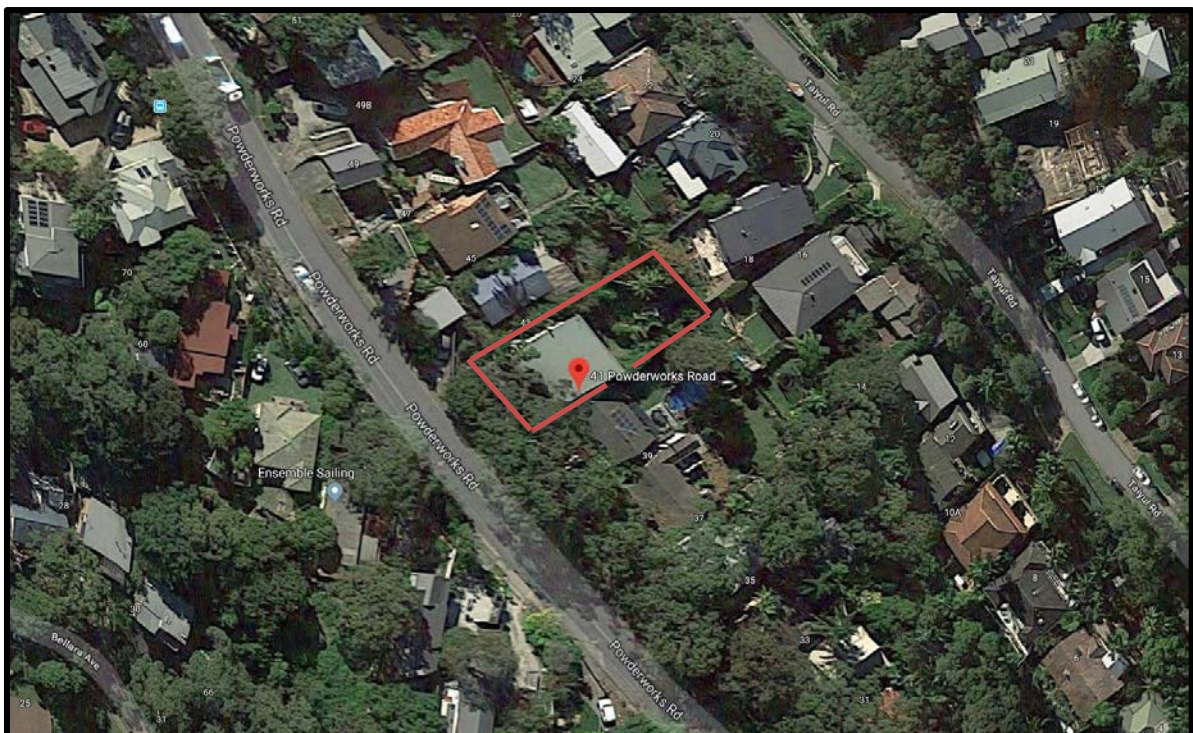


Fig 1: Subject site outlined in red (Google maps 2019).

The property currently accommodates a two storey timber framed residence constructed with a metal roof. The dwelling has a timber deck located at the rear (North East). The existing dwelling consists of three bedrooms, a bathroom, a kitchen and dining area, a small office, a laundry and a detached hardstand area with a studio located beneath it.

Other site works include an exterior timber staircase leading to the residence's front door, timber retaining walls located at the rear of the property along with an inground pool. Refer to Site Analysis - DA01.



Fig 2: Front of the existing residence (*Action Plans 2018*).



Fig 3: Rear of the existing residence (*Action Plans 2018*).



Fig 4: Existing raised hardstand space (*Action Plans 2018*).



Fig 5: Existing pool and deck located at the rear of the property (*Action Plans 2018*).



Fig 6: Existing timber retaining walls (*Action Plans 2018*).

03 ADJOINING PROPERTY

The surrounding area predominantly consists of single or two storeys residential dwellings.

The adjoining property to the south east, 39 Powderworks road, is a two-storey brick residence with a tiled roof and vehicular access from Powderworks road. To the west, 43 Powderworks road, is a double storey brick residence with a metal roof and vehicular access from Powderworks road.



Fig 6: No. 39 Powderworks Road seen to the left (*Action Plans 2018*)



Fig 7: No. 43 Powderworks Road. (*Action Plans 2018*)

04 DESCRIPTION OF PROPOSED WORKS

The proposal seeks consent for alterations and additions to the existing dwelling at No. 21 Rowan Street, Mona Vale.

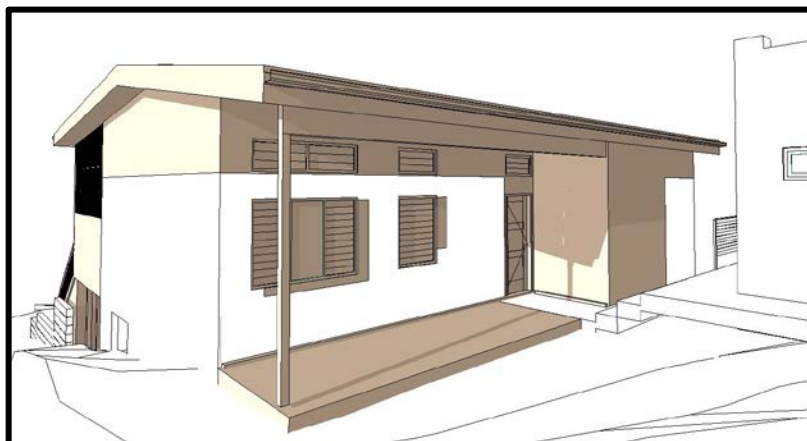
The proposed works include:

Ground floor:

- Minor extension of the southern corner towards powder works road encompassing an existing externally accessed storage area and a portion of the existing deck.
- Extension to the north east allowing the space for a new bedroom, reconfigured kitchen and living space.
- New ensuite to be accessed from existing bedroom 3
- New metal roof covering the entire residence.
- New deck off the north eastern elevation with a staircase to access the rear yard and a privacy screen located on the north western end of the deck.

Lower Ground floor:

- Extension of the existing lower ground floor to the north & south east allowing for the reconfiguration of the existing office and allow for the creation of a new bathroom and family room.



05 AREA AND COMPLIANCE SUMMARY

Site Information and Building Controls	Control	Existing	Proposed
Zoning	Zone E4	Zone E4	unchanged
Site area	Minimum 550m ²	584.8m ²	unchanged
Number of storeys	Two Storey	Two storey	unchanged
Maximum building height	8.50 metres	6.2m	7.1m
Front Building Line	10m	0.07m	7.8m
Rear Building Line	6.5m	19.43m	15.60m
Min. side building line (South East)	2.5m	0.97m	unchanged
Min. side building line (North West)	1.0m	1.49m	unchanged
Landscaped area	The total landscaped area on land zoned E4 environmental living shall be 60% of site area.	54.02% (315.87m ²)	52.19% (305.14m ²)
Private Open Space	80m ²	125.33m ²	95.8m ²

06 PLANNING ASSESSMENT

STATUTORY PROVISIONS

Pittwater Local Environmental Plan 2014 (LEP)

Permissibility

The site is zoned E4 – Environmental living pursuant to the land use table of The Pittwater Local Environmental Plan 2014. The proposed works being alterations and additions to the existing dwelling is permissible with development consent.

The proposal satisfies the objectives of E4 – Environmental living as the proposal for alterations and additions to a single dwelling which maintains the low-density residential environment and does not adversely affect adjoining properties, the landscape setting of the existing dwelling or the streetscape.

6.1 Principal Development Standards

6.1.1. Height of Buildings (LEP Clause 4.3)

Pursuant to Clause 4.3 the maximum height requirement is 8.5 metres. The proposal does not alter the height of the existing building, which is compliant with the development standard.

Response to the objectives of this clause:

The proposal is an appropriate form of development, which is compatible with the height and scale of the surrounding development. The proposal maintains the height limit below the tree canopy, it does not result in any significant visual impacts upon adjoining neighbouring properties and does not adversely affect visual privacy of adjoining properties. The proposal is consistent with the objectives of Clause 4.3 of the Pittwater LEP 2014.

6.1.2. Floor Space Ratio (LEP Clause 4.4)

There is no maximum Floor Space Ratio requirement for the subject site.

6.2. Additional Local Provisions**6.2.1 Acid Sulphate Soils (LEP Clause 7.1)**

The site is mapped as being class 5 on the Acid Sulphate Soils map. The proposal does not involve works that would lower the water table. The proposal is consistent with the control objective as it does not disturb, expose or drain acid sulphate soils and does not cause environmental damage.

6.2.2. Earthworks (LEP Clause 7.2)

The proposal does not require extensive earthworks. Minimum excavation is required to accommodate the footings for the new piers for the verandah at the front of the house.

6.2.3. Flood Planning (LEP Clause 7.3)

The proposal will not significantly adversely affect the environment or cause avoidable erosion or siltation.

6.2.4. Coastal Risk Planning (LEP Clause 7.5)

The site is not identified as an area of "Coastal Risk" on the Coastal Risk Planning map.

6.2.5. Biodiversity (LEP Clause 7.6)

The site is not identified as "Biodiversity" on the Biodiversity map. The development is designed, sited and will be managed to avoid any significant adverse environmental impact. The proposed development will not have any adverse impact on the fauna, flora or significant trees on the site.

6.2.6. Geotechnical hazards (LEP Clause 7.7)

The site is not identified as geotechnical hazard H1 or H2 on the geotechnical hazard map Sheet.

6.2.7. Limited Development on foreshore area (LEP Clause 7.8)

The site is not identified on the Foreshore Building Line map Sheet.

07 RESPONSE TO THE PITTWATER 21 DCP 2014

7.1 Compliance table

Existing Site Area = 584.8m ²		
DCP COMPLIANCE TABLE		
Development control	Proposed	Complies
PITTWATER 21 DCP PART A		
A4.11 North Narrabeen Locality		
<p>The North Narrabeen locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape.</p> <p>Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.</p>	<p>The proposed alterations and additions to the existing dwelling are compatible with these objectives.</p> <p>The building remains as a two-storey dwelling, integrated with the landscape.</p> <p>The proposed work will maintain the character of the area and remain consistent with the surrounding dwellings.</p>	Yes
PITTWATER 21 DCP PARTS B & C		
Section B – General Controls		
B1 – Heritage Controls	Not identified on map.	Not Applicable
B2 – Density Controls	Unchanged	Not Applicable
B3 – Hazard Controls The objectives of this clause are the protection of people, the protection of the natural environment and the protection of private and public infrastructure and assets.	The proposed site has been identified as having a H1 classification on council's geotechnical hazard map. A geotechnical report has been prepared and should be read in conjunction with the submitted plans.	Yes
B4 – Controls Relating to the Natural Environment	The proposed development will not have any adverse impact on the fauna, flora or significant trees on the site.	Yes
B5 – Water Management	The proposal maintains the existing water management on site.	Yes

B6 – Access and Parking	The proposal is retaining the existing driveway.	Yes
B8 – Site Works Management		
B8.1. Construction and Demolition – Excavation and Landfill	The proposal does not require extensive earthworks. Minimum excavation is required to accommodate the footings for the new piers for the north eastern extension of the lower ground floor and proposed deck supports. Proposed excavation will not have any adverse impact on any structures and existing vegetation on the site. Proposed excavation will not have any adverse impact on any private land adjoining the site. Proposed excavation will not redirect or concentrate stormwater or surface water runoff onto adjoining properties.	Yes
B8.2 Construction and Demolition Erosion and Sediment Management	Appropriate and complying sediment prevention measures to be in place throughout earthworks and construction.	Yes
B8.3 Construction and Demolition Waste Minimisation	Waste minimisation plan to be prepared and adopted by Builder.	Yes
B8.4 Construction and Demolition Site Fencing and Security	The site will be protected by site fencing for the duration of the works.	Yes
B8.5 Construction and Demolition - Works in the Public Domain	Not Applicable	Not applicable.
B8.6 Construction and Demolition - Traffic Management Plan	Excavation and fill will not be greater than 100m ³ .	Not applicable.

SECTION C – DEVELOPMENT TYPE CONTROLS		
C1. DESIGN CRITERIA FOR RESIDENTIAL DEVELOPMENT		
C1.1 Landscaping	The proposed development retains and protects existing significant trees, especially near property boundaries.	Yes
C1.2 Safety and Security Four Crime Prevention principles to observe through Environmental Design: <ul style="list-style-type: none"> • Surveillance • Access Control • Territorial Reinforcement • Space Management 	The proposal allows visitors who approach the front door to be seen without the need to open the door. Building entrance will be clearly visible from the street, easily identifiable and appropriately lit.	Yes
C1.3 View Sharing A reasonable sharing of views amongst dwellings.	The proposed extension is sympathetic to the topography of the site and maintains a reasonable sharing of views available from surrounding and nearby properties. De facto building lines are maintained to preserve view sharing. The proposal does not interfere with the views from adjoining properties.	Yes
C1.4 Solar Access The main private open space of each dwelling and the main private open space of any adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 st .	The proposal maintains reasonable solar access to the subject property and maintains existing solar access to adjoining properties. Refer to the Shadow Diagrams within the Architectural Plans DA11-DA13, included in the Development Application package.	Yes
C1.5 Visual Privacy Habitable rooms and outdoor living areas of dwellings optimize visual privacy through good design. A sense of territory and safety is provided for residents.	The proposal does not result in any significant visual impacts upon adjoining neighbouring properties and does not adversely affect visual privacy of adjoining properties. The proposal includes privacy screen on the north western end of the proposed deck in order to get natural light in, keeping but still keeping in mind the privacy of the adjacent property.	Yes
C1.6 Acoustic Privacy Developments must comply in all respects with the Protection of the Environment Operations Act 1997, and other relevant legislation.	Noise is substantially contained within the dwelling. The proposed alterations and additions will not represent any changes in this regard.	Yes

C1.7 Private Open Space Minimum 80m ² of private open space per dwelling at ground level, with no dimension less than 3 metres.	The proposal maintains 95.8m ² which exceeds Council's requirements.	Yes
C1.12 Waste and Recycling Facilities	Collection of waste will be as per Council Requirements.	Yes
C1.13 Pollution Control Developments must comply in all respects with the Protection of the Environment Operations Act 1997, and other relevant legislation.	The proposal will be constructed in a proper and efficient manner to prevent air, water, noise and/or land pollution.	Yes
C1.17 Swimming Pool Safety	Not Applicable	Not Applicable
C1.19 Incline Passenger Lifts and Stairways	Not Applicable	Not Applicable
C1.23 Eaves Dwellings shall incorporate eaves on all elevations. Eaves must be a minimum of 450mm in width.	The proposal is maintaining the existing roof structure. All new eaves will be 450mm wide.	Yes
C1.24 Public Road Reserve – Landscaping and Infrastructure	Not Applicable	Not Applicable
C1.25 Plant, Equipment Boxes and Lift OverRun	Not Applicable	Not Applicable
PITTWATER 21 DCP PART D		
SECTION D LOCALITY SPECIFIC DEVELOPMENT CONTROLS		
D11 North Narabeen Locality		
D11.1 Character as viewed from a public place	<p>The development incorporates design elements that are compatible with design themes of the locality. There are windows and doors on the front façade.</p> <p>The building façade to a public space incorporates 3 of the design features included in the Pittwater 21 DCP:</p> <ul style="list-style-type: none"> • An entry feature • Recessing architectural elements. • An open deep verandah. <p>The bulk and scale of building is appropriate and consistent with the locality.</p>	Yes
D11.2 Scenic protection - General Bushland landscape is the predominant feature of Pittwater with the built form being the secondary component of the visual catchment.	Appropriate bulk and scale, subdued colours and subtle forms all contribute to the Scenic Protection of the area.	Yes
D11.3 Building colours and materials Achieve the desired future character of the Locality. The development enhances the visual quality and identity of the streetscape.	External colours and materials are sympathetic with the environment. Finishes will be of a low reflectivity.	Yes

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<p>D11.12 Fences General</p> <p>a. Front fences and side fences (within the front building setback) shall:</p> <ul style="list-style-type: none"> • not exceed a maximum height of 1 metre above existing ground level, • be compatible with the streetscape character, • not obstruct views available from the road. <p>b. Rear fences and side fences (to the front building line): Fencing is permitted along the rear and side boundaries (other than within the front building setback) to a maximum of 1.8 metres.</p>	<p>No new fences in the proposal.</p>	<p>Yes</p>
<p>D11.14 Construction, Retaining walls, terracing and undercroft areas</p> <p>In the provision of outdoor entertaining areas, preference is given to timber decks rather than cut/fill, retaining walls and/or terracing.</p>	<p>The proposal does not include retaining walls or undercroft areas. The front verandah will be a timber deck.</p>	<p>Yes</p>

08 CONCLUSION

Following a review of the relevant planning controls, it is concluded that the proposed development is consistent with the objectives, planning strategies and detailed controls of these planning documents with the exception of those discussed in detail previously in this statement. Consideration has been given to the potential environmental and amenity impacts that are relevant to the proposed development and this report addresses these impacts. Having regard to the benefits of the proposal and taking into account the absence of adverse environmental, social, economic, or heritage related impacts, the application is submitted to The Pittwater Council for assessment and granting of development consent.