

Sediment fence detail
N.T.S

Sediment & erosion control notes

- During earthworks the following procedures shall be followed:
1. Install silt barriers where shown on plan prior to commencement of works.
 2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
 3. Repair any damages to fence immediately.
 4. Clean up spillages outside silt fence immediately.
 5. Sediment control measures to be left in place until works completed.
 6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
 7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

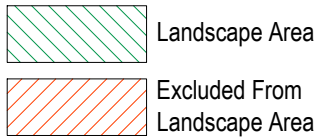
Note:
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Landscape Area Calculations Legend



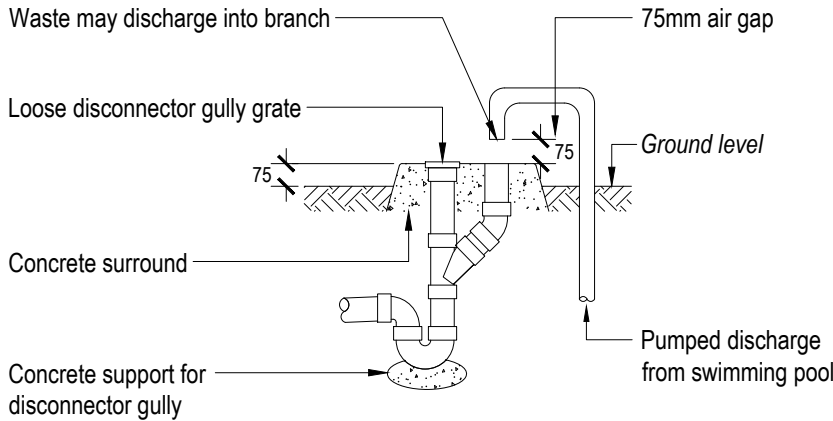
Landscape area calculations

Site area: 839.80m²
Required landscape area: 503.88m² (60%)
Existing landscape area: 494.05m² (58.83%)

Proposed landscape area: 474.44m² (56.55%)
Impervious area allowance: 50.39m² (6%)
Total landscape area: 524.83m² (62.49%)

Site Analysis Legend

	Site vehicle entry		Prevailing wind
	Waste storage area during construction phase		Materials storage area during construction phase
	Sediment control device during construction phase		Proposed 'hard' works shown blue
	Existing tree to be retained		



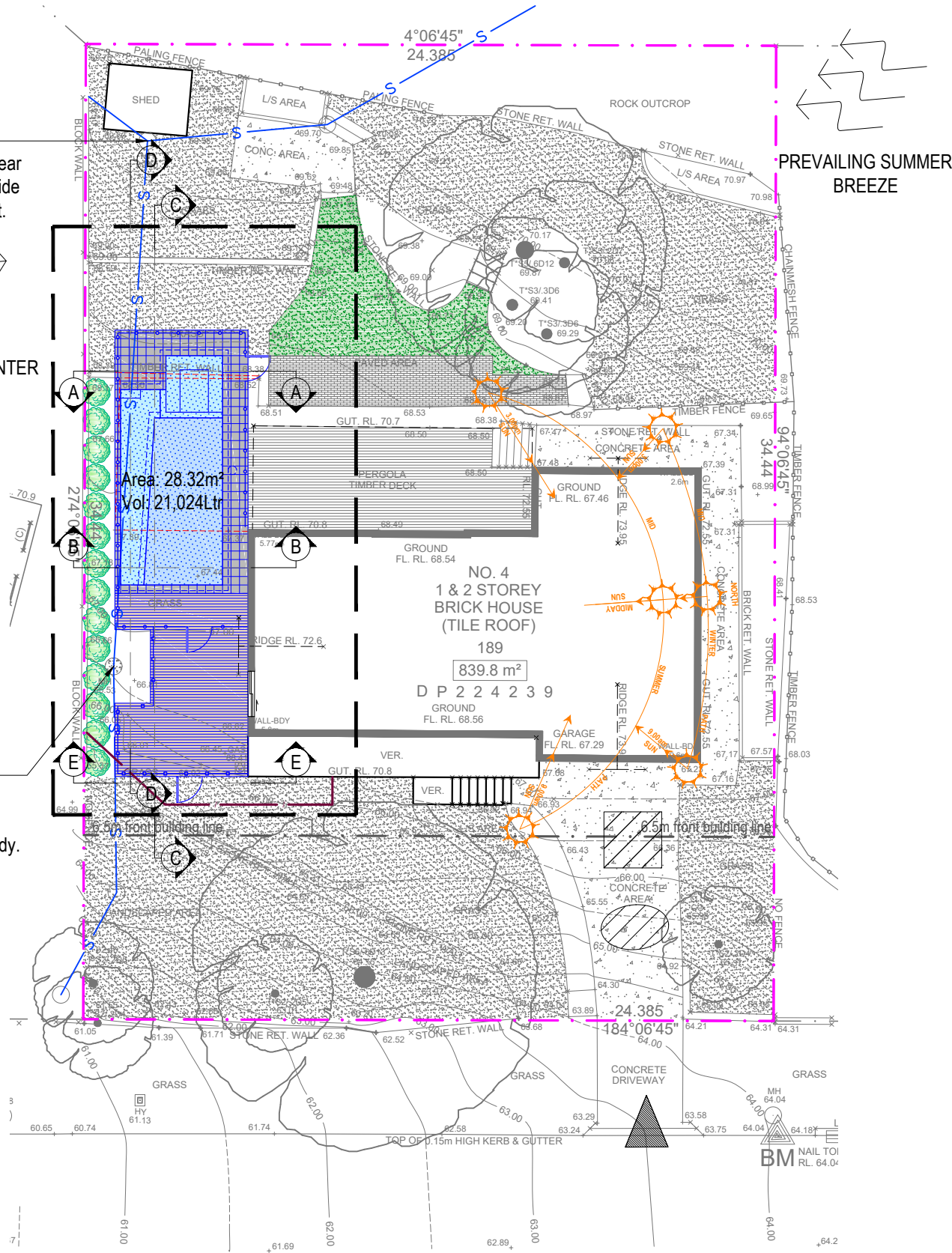
Note: Overflow relief gully (ORG)
to be constructed to AS/NZS 3500.

Overflow relief gully
N.T.S

Access chamber
2.75m S.O. from rear
bdy, 2.15m S.O. side
bdy. 1.1m to invert.

PREVAILING WINTER
BREEZE

Access chamber
18.8m from rear
access chamber,
0.92m S.O. side bdy.
1.05m to invert.



WAKOOKA AVENUE

Client:
Shane Spittles & Kate Best

Site Address: **4 Wakooka Avenue
Elanora Heights**

Drawing Title: **Site Plan / Site Analysis /
Sedimentation Control Plan**

Drawn by: **Ben Danks**
Project Number: **21843**
Scale: **1:400 @ A3**
Sheet Number: **L-01 of 7**

Rev:	Date:	Issue:	Checked:
A	17/01/2022	Preliminary Issue	BF
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Extent of concrete encasement shown dashed.

1200mm (h) frameless glass fence returns to 1800mm (h) 'pool safe' boundary fence as per AS1926.1-2012.

Existing retaining wall and deck to be demolished shown dashed.

Pool entry steps & seating ledge to ensure encasement clearance is achieved.

Sewer main as per SPR. Outside edge of pipe shown dashed.

Screen planting to be maintained clear of the NCZ as per AS1926.1-2012. AS (14)

Outside edge of main body of pool shown dashed. Min. 600mm clearance from outside edge of sewer main.

Existing block wall on boundary to be upgraded if required to ensure 'pool safe' compliance as per AS1926.1-2012.

1200mm (h) frameless glass pool fence with top rail over as per AS1926.1-2012.

Access chamber as per SPR.

Access offset shown dashed.

Structural offset shown dashed.

1200mm (h) balustrade to match existing verandah detail.

Sewer mains as per Dial Before You Dig.

Beyond scope of works. Refer to L-01 for details.

Remove existing pavers and replace with Soft Leaf Buffalo turf.

Self closing, self locking pool gate as per AS1926.1-2012.

Spa.

Weir wall to spa.

Skimmer box under tile infill lid.

Vertical face of pool shell shown dashed.

Existing hot water system to be relocated.

Self closing, self locking pool gate as per AS1926.1-2012.

1200mm (h) frameless glass pool fence as per AS1926.1-2012.

Proposed door.


Pool equipment located within soundproof enclosure.

Existing gas meter to be relocated.

ZONE A PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HEIGHT	POT SIZE
AS*	SHRUBS ACMENA SMITHII 'SUBLIME'	SUBLIME LILLY PILLY	14	4m	200mm

- * Denotes cultivar of species selected from 'Native plants for your garden' publication.



Note:  Denotes difference between coping & existing ground level

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Client:
Shane Spittles & Kate Best

Site Address: **4 Wakooka Avenue
Elanora Heights**

Drawing Title:
Detail Plan

Drawn by: **Ben Danks**
TLA Member

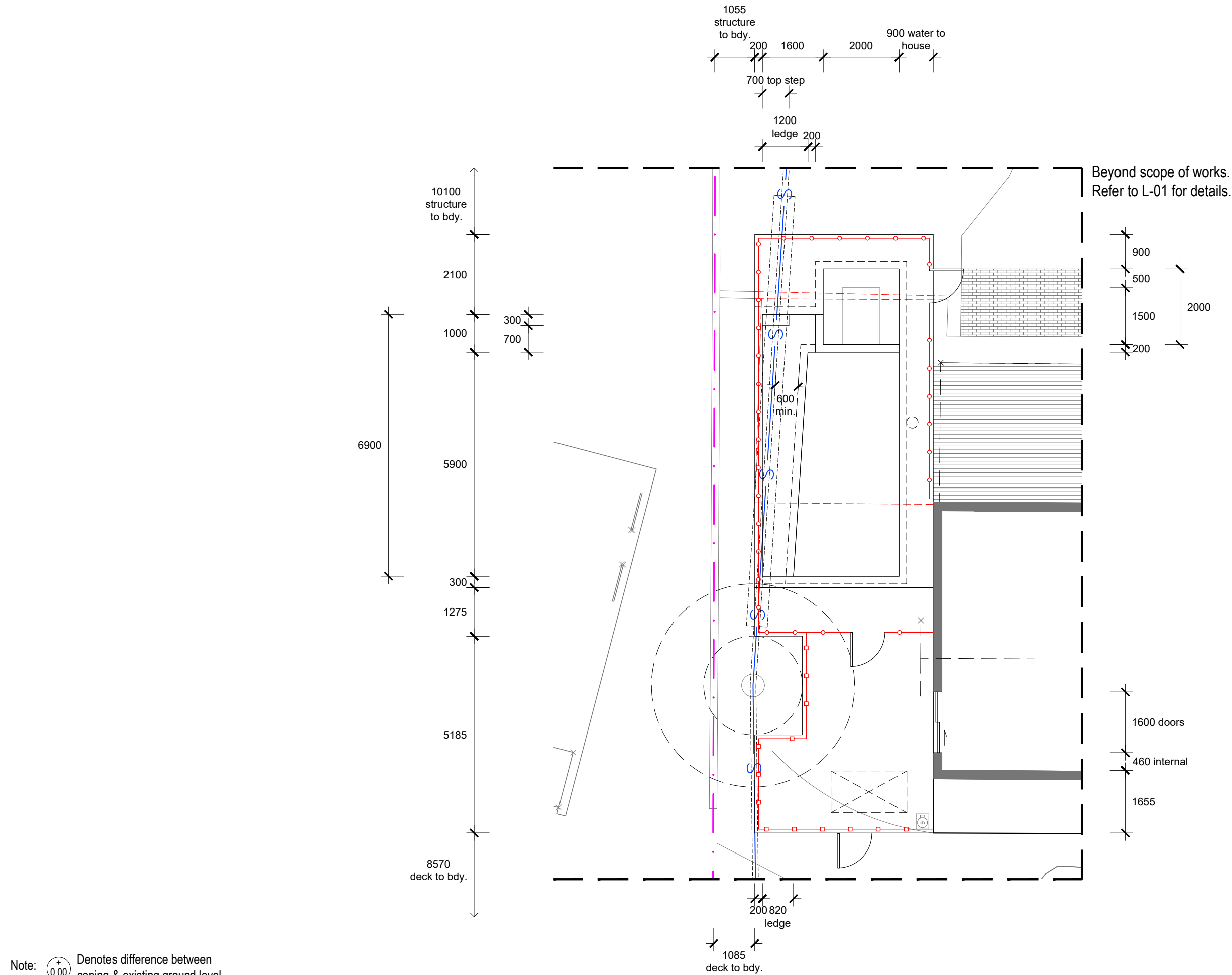
Project Number: **21843**

Scale: **1:100 @ A3**

Sheet Number: **L-02 of 7**

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Note: $\oplus_{0.00}$ Denotes difference between coping & existing ground level

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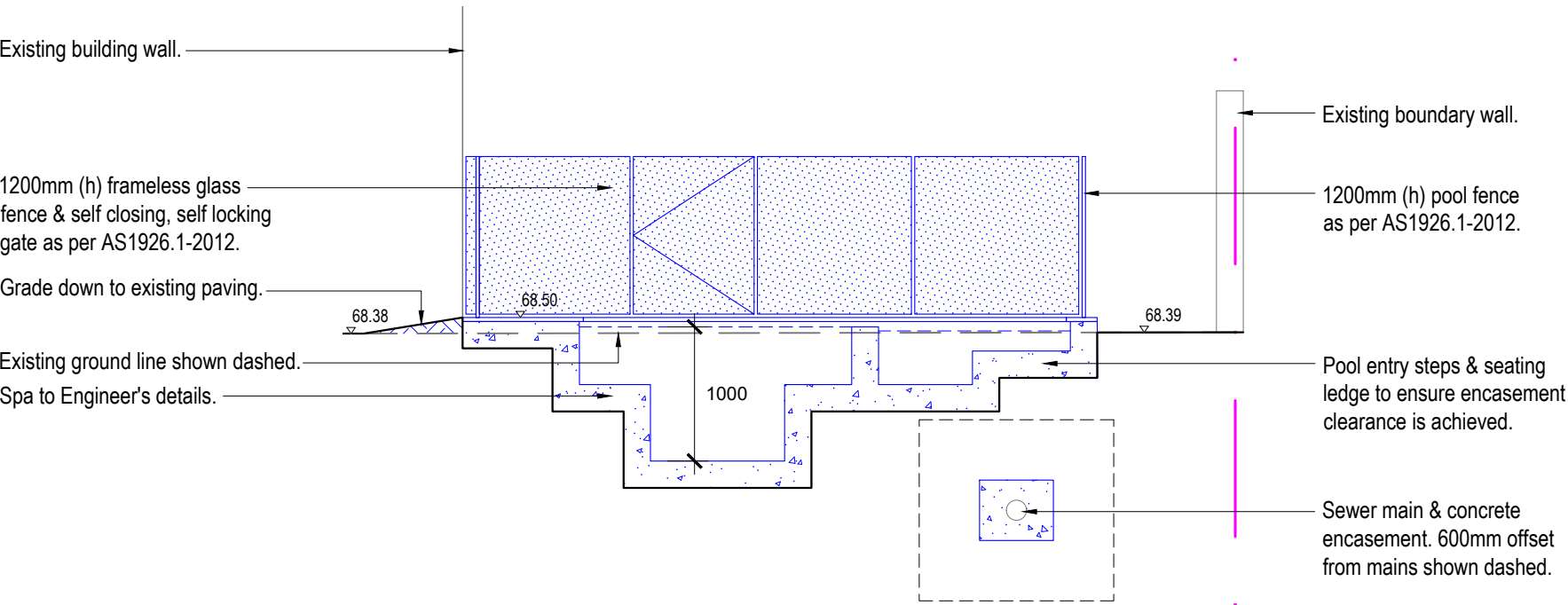
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Client: **Shane Spittles & Kate Best**
Site Address: **4 Wakooka Avenue
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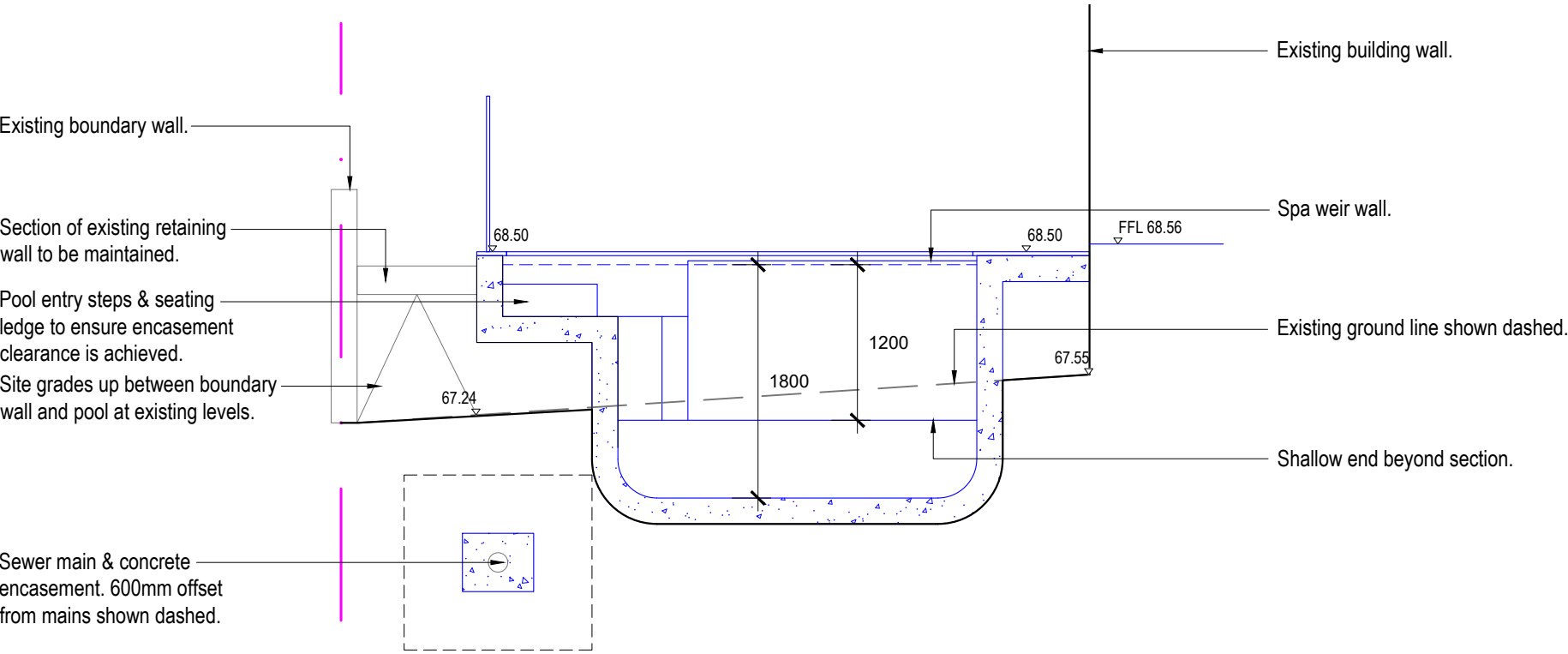
Drawing Title: **Setout Plan**
Drawn by: **Ben Danks**
Project Number: **21843**
Scale: **1:100 @ A3**
Sheet Number: **L-03 of 7**
TLA Member

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Sectional Elevation AA
Scale 1:50



Sectional Elevation BB
Scale 1:50

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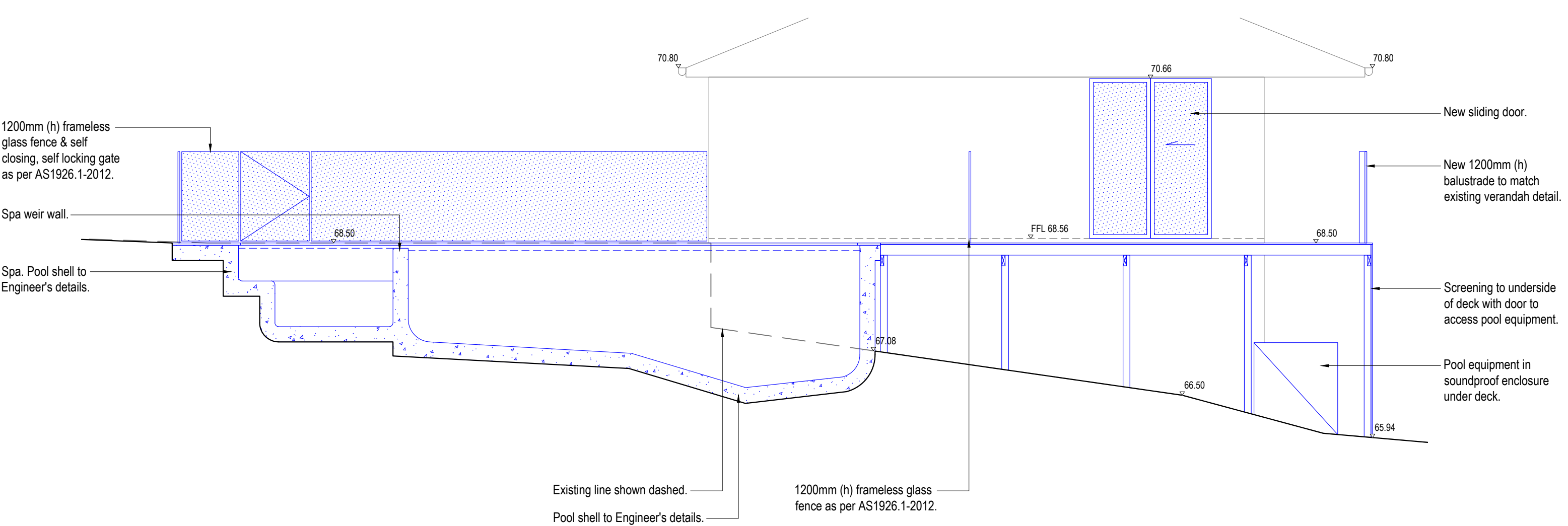
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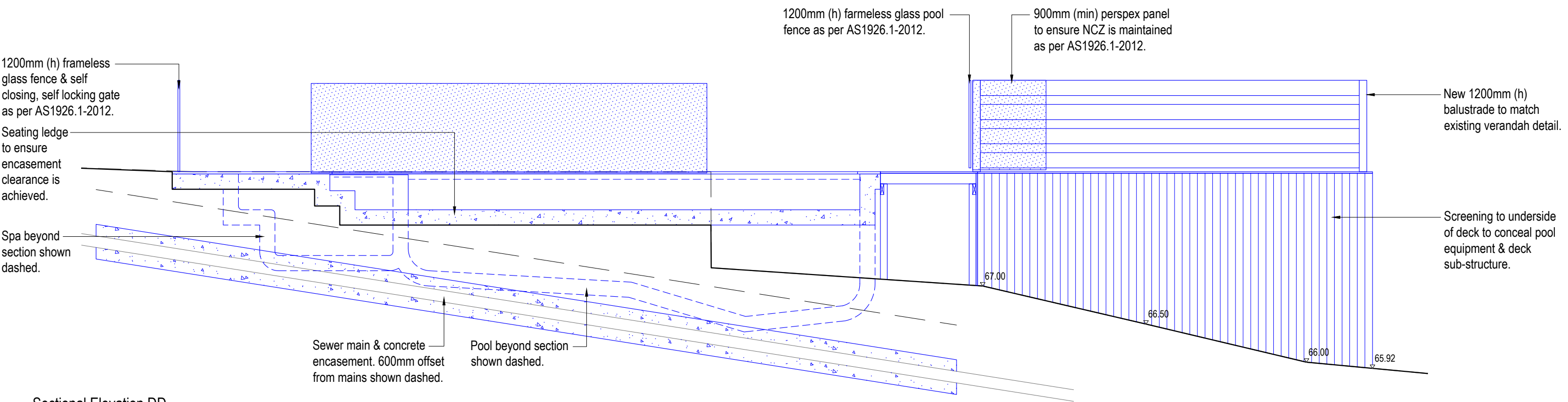
Client: **Shane Spittles & Kate Best**
Site Address: **4 Wakooka Avenue
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Drawing Title: **Sectional Elevations**
Drawn by: **Ben Danks**
Project Number: **21843**
Scale: **1:50 @ A3**
Sheet Number: **L-04 of 7**

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Sectional Elevation CC
Scale 1:50



Sectional Elevation DD
Scale 1:50

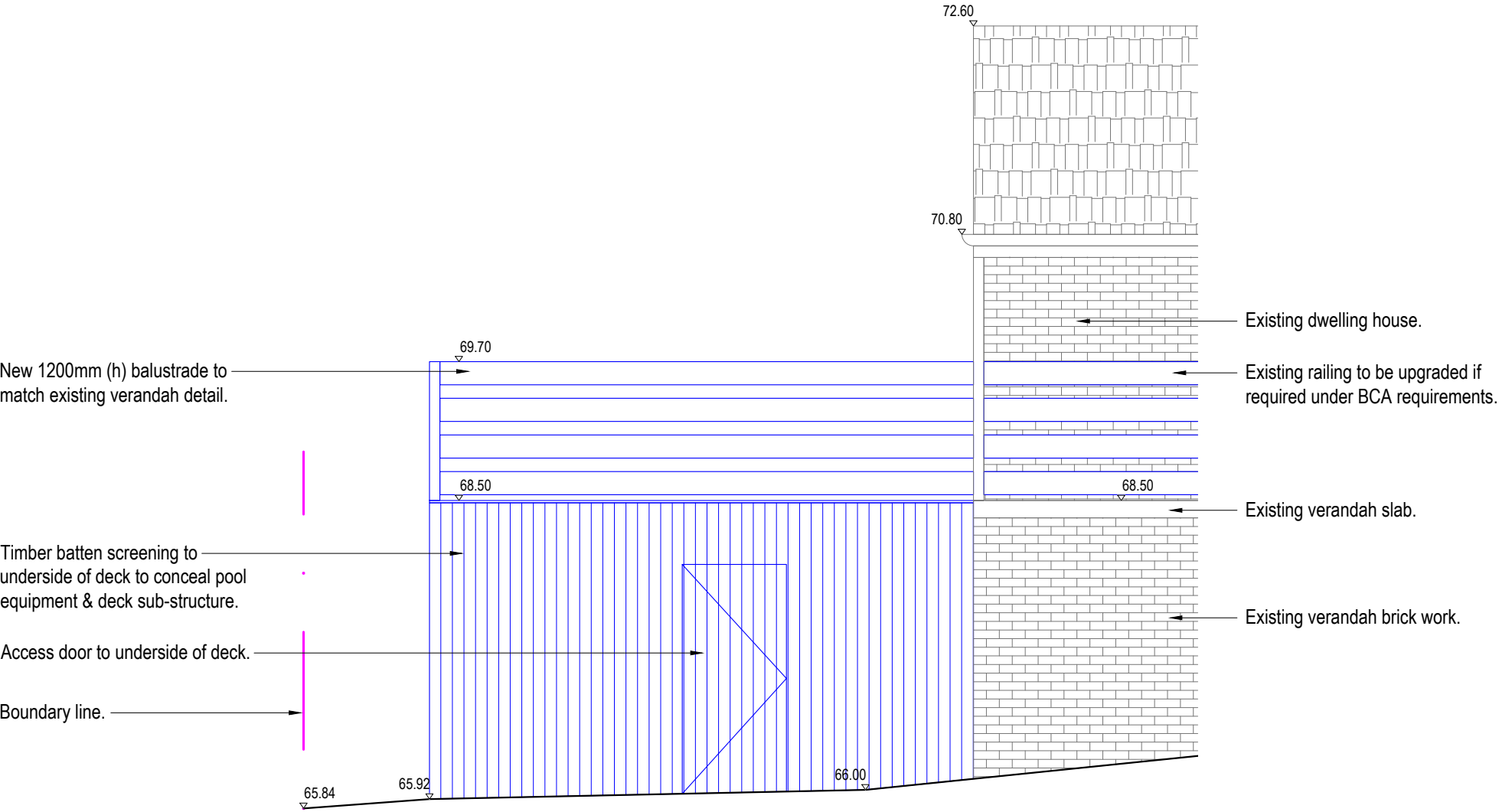
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Client: Shane Spittles & Kate Best		Drawing Title: Sectional Elevation				Rev:	Date:	Issue:	Checked:		
Site Address: 4 Wakooka Avenue Elanora Heights		Drawn by: Ben Danks TLA Member	Project Number: 21843	Scale: 1:50 @ A3	Sheet Number: L-05 of 7	A	17/01/2022	Preliminary Issue	BF		
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Sectional Elevation EE
Scale 1:50

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LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

All tree protection is to be undertaken in accordance with the guidelines provided in AS4970-2009

Protection of trees on development sites.

Prior to construction, the builder shall erect tree protection fencing for each protected tree. Tree protection

fencing setbacks are to be determined by multiplying the diameter at breast height by twelve (12).

Fencing is to consist of Chain wire mesh panels at least 1.8m in height, anchored with concrete feet.

Signage stating “Tree Protection Zone – No Access” is to be displayed on the fencing.

According to AS 4970-2009, activities excluded from the TPZ include but are not limited to;

- machine excavation including trenching
- excavation for silt fencing
- cultivation
- storage
- preparation of chemicals, including preparation of cement products
- parking of vehicles and plant and/or refuelling
- dumping of waste and/or wash down and cleaning of equipment
- soil level changes and/or placement of fill
- lighting of fires
- temporary or permanent installation of utilities and signs
- physical damage to the tree.

REMOVAL OF EXISTING TREES

All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION

Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE

Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL

Quality System: AS 4419 or as specified below.

Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.

Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

PLANTING

Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Crowns must contain no epicormic shoots or dieback.

Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%

All plants supplied should be consistent with the guidelines provided in AS2303-2015 Tree stock for landscape use.

TIMBER DECK, STAIRS & BENCH SEATS

Supply and install timber deck, stairs and bench seats to BCA requirements and to Australian Standards.

All timbers used to be suitable within BAL 29 areas. Decking to be fixed using stainless steel countersink nails or screws. Decking boards up to 86mm space with 3mm gaps, boards over 86mm space with 5mm gaps. Stagger joints and ensure all joins in decking boards sit over a joist. Pre drill nail holes into decking boards to avoid splitting. Nail to be 12mm from edges and ends of boards. Nails driven flush with surface (not punched). Each decking board should be nailed to each joist with two nails as per AS1684 or in accordance with manufacturers instructions.

Supply and install 2 coats of oil. Ensure minimum 300mm clearance between bearer & ground level to provide adequate airflow around structure.The proposed deck shall comply with Australian Standard AS3959 - 2018 "Construction of buildings in bush fire-prone areas" Section 6 (BAL 29) & Section 7.5 of PBP 19.

MULCHING

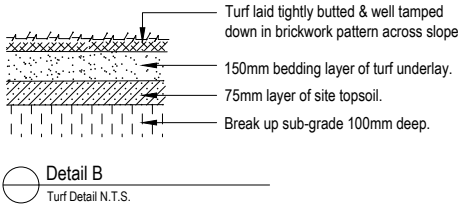
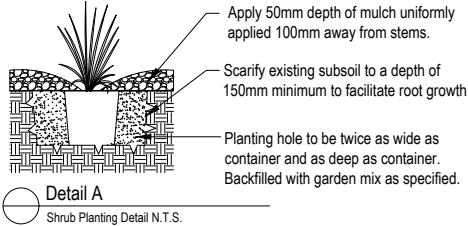
Quality system: AS 4454

All planting area impacted by building works to receive 50-75mm of garden Mulch, Hort-Bark, ANL p: 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

TURFING

New turf- Sir Walter Soft Leafed Buffalo.

Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the sub-grade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.



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