

20180678.2/2707A/R3/HC

5/05/2021

Ces Koutsos

Attn: Maryam Sheedy

96 North Steyne, Manly - Section 4.55 - Condenser Unit Noise Review

1 INTRODUCTION

The purpose of preparing this letter is to provide a Section 4.55 acoustic review for the proposed condenser units to be located on levels 1, 2, 3, and roof top of the residential development at 96 North Steyne, Manly.

This assessment has been conducted based on the following documents:

- Document of '*Notice of Determination*', Development Application No.272/2017, Date of Determination: 04 April 2018.
- Revised architectural drawings (mark-up) based on the architectural drawings, provided by Squillace, job number KOU1610, Issue B, dated 11th August 2021.

2 NOISE EMISSION ASSESSMENT

The noise emissions from the project site shall comply with the requirements of the following;

- Document of '*Notice of Determination*', Development Application No.272/2017, Date of Determination: 04 April 2018; and
- NSW EPA Industrial Noise Policy for Industry 2017.

2.1 NOISE CRITERIA

2.1.1 Document of '*Notice of Determination*', Development Application No.272/2017, Date of Determination: 04 April 2018

It is noted that the document of '*Notice of Determination*', Development Application No.272/2017, Date of Determination: 04 April 2018 does not contain any applicable acoustic criteria with respect for mechanical noise emission from the proposed development. Therefore, the following guidelines are adopted.

2.1.2 NSW EPA Industrial Noise Policy for Industry 2017

The NSW EPA Noise Policy for Industry 2017 has two criteria which need to be satisfied; namely the Intrusiveness noise level criteria and the Project amenity noise level criteria. The project noise trigger level is then established based on the lower of the intrusiveness and project amenity levels.

2.1.2.1 Intrusiveness Noise Level Criteria

The guideline is intended to limit the audibility of noise emissions at residential receivers and requires that noise emissions measured using the L_{eq} descriptor do not exceed the background noise level by more than 5dB(A). Where applicable, the intrusive noise level should be penalised (increased) to account for any annoying characteristics such as tonality.

Table 2.1 in the NSW EPA Noise Policy for Industry 2017 summarised the minimum background noise levels and minimum project intrusiveness noise levels as presented in table below. Noise emissions from the site should comply with the noise levels presented below when measured at nearby property boundary.

Table 1– Minimum assumed RBLs and project intrusiveness noise levels

Time of day	Minimum assumed rating background noise level (dB(A))	Minimum project intrusiveness noise levels $L_{eq(15min)}$ dB(A)
Day	35	40
Evening	30	35
Night	30	35

2.1.2.2 Project Amenity Noise Level Criteria

The guideline is intended to limit the absolute noise level from all noise sources to a level that is consistent with the general environment.

The NSW EPA Industrial noise policy sets out acceptable noise levels for various localities. Table 2.2 on page 11 of the policy indicates 3 categories to distinguish different residential areas. They are rural, suburban, urban. This site is categorised by suburban receivers.

For the purposes of this condition:

- Day is defined as the period from 7am to 6pm Monday to Saturday and 8am to 6pm Sundays and Public Holidays;
- Evening is defined as the period from 6pm to 10pm.
- Night is defined as the period from 10pm to 7am Monday to Saturday and 10pm to 8am Sunday and public holidays.

The project amenity noise level is calculated by taking the recommended amenity noise level (as presented in table 2.2 of the policy), subtracting 5dB(A) and then adding 3dB(A) to convert from $L_{Aeq, period}$ to a $L_{Aeq, 15 \text{ minute}}$ descriptor. The project amenity noise level criteria are presented in the table below.

Table 2– Project Amenity Noise Level Criteria

Location	Period/Time	Project Amenity Noise Level Criteria dB(A) $L_{eq(15min)}$
Nearby Residences – suburban Receiver	Day (7am-6pm)	53
	Evening(6pm-10pm)	43
	Night(10pm-7am)	38
Commercial	When in use	63

2.1.3 Resultant Project Noise Emission Criteria

Based on the requirements stated in the sections above, table below provides a summary of the assessment criteria applicable to the future residential development at the project site. The assessment criteria are also based on the background noise monitoring data conducted at the proposed development location.

Table 3– Environmental Noise Emission Criteria

Location	Time Period	Assessment Background Noise Level dB(A) L_{90}	Project Amenity Criteria dB(A) L_{eq}	Intrusiveness Criteria Background + 5 dB(A) $L_{eq(15min)}$	Resultant criteria
Nearby Residences	Day	35	53	40	40
	Evening	30	43	35	35
	Night	30	38	35	35
Commercial	When in use	-	63	-	63

2.2 CONDENSER UNIT NOISE

Noise emission analysis has been carried out by this office based on the indicative locations of the condenser units (refer to Appendix 1), the revised architectural drawings (mark-up) based on the approved architectural drawings, provided by Squillace, job number KOU1610, Issue B, dated 11th August 2021.

Mechanical plant items are not typically selected at selected at DA stage. This office has been advised that equipment noise data and other specific details are currently unavailable.

Summary for noise emission criteria associated with the development has been summarised in table 3 of this report. All plant can be satisfactorily attenuated to levels complying with noise emission criteria through appropriate location and (if necessary) standard acoustic treatments such as noise screens to roof top plant, enclosures, in-duct treatments (silencers/lined ducting) or similar.

Indicative maximum sound power levels that may be emitted from the condenser units located at rooftop while achieving compliance with all noise criteria have been determined. The maximum indicative sound power levels are indicated in the following table.

Table 4 - Indicative Complying Condenser Units at Rooftop Emitted Sound Power Level

Time of Day	Indicative Sound Power Level dB(A)
Day	73
Evening	68
Night	68

Indicative maximum sound power levels that may be emitted from the condenser units located at levels 1,2, and 3 while achieving compliance with all noise criteria have been determined. The maximum indicative sound power levels are indicated in the following table.

Table 5 - Indicative Complying Condenser Units at Levels 1,2, and 3 Emitted Sound Power Level

Time of Day	Indicative Sound Power Level dB(A)
Day	68
Evening	63
Night	63

The levels indicated in the above table are achievable through the following treatments:

- Selection of quiet plant;
- Adoption of fan speed capacity control (as the evening and night-time capacity requirements are typically significantly lower than the design day requirement);
- Installing acoustic louver (if necessary);
- In-duct treatments (silencers/lined ducting) (if necessary);
- Any skylight shall be minimum 6.38mm laminated glazing (fixed) with minimum R_w 31.
- If enclosures/ barriers are required, enclosures/ barriers shall be minimum 9mm FC sheet (gap free) or equivalent.

- Vibration isolated the proposed condenser units from the building structure by NRD mounts or equivalent;
- Acoustic louvers to be installed at levels 1,2, and 3 plant area.
- All other major plant will be located within the building and any sources of external emissions will be treated accordingly, as indicated above to ensure the combined level of noise from all sources complies with the criteria.

A detailed plant design and selection has not been undertaken at this stage. Therefore, a detailed acoustic review should be undertaken at CC stage to determine acoustic treatments to control noise emissions to levels complying with the noise emission criteria in Section 2.1.

3 CONCLUSION

A preliminary assessment of noise emission from the proposed condenser units has been conducted at the proposed residential development located at 96 North Steyne, Manly, based on information provided to this office, as well as the following documents:

- Document of '*Notice of Determination*', Development Application No.272/2017, Date of Determination: 04 April 2018.
- Revised architectural drawings (mark-up) based on the architectural drawings, provided by Squillace, job number KOU1610, Issue B, dated 11th August 2021.

Criteria limiting noise emissions from condenser units have been developed based on NSW EPA Industrial Noise Policy for Industry 2017. Indicative maximum sound power levels that may be emitted from the condenser units while achieving compliance with all noise criteria have been determined. Detailed acoustic controls for the condenser units servicing the proposed development should be determined prior to issue of the building construction certificate.

We trust this information is satisfactory. Please contact us should you have any further queries.

Yours faithfully,

A handwritten signature in black ink, appearing to be 'H Cao', written over a light blue circular stamp.

Acoustic Logic Consultancy Pty Ltd
Hugh Cao

APPENDIX 1: REVISED ARCHITECTURAL DRAWINGS

BELLA VISTA APARTMENTS

96 North Steyne, Manly

DRAWING LIST

DA0001 TITLE SHEET, PHOTOMONTAGE & LOCATION PLAN

DA0010 SITE PLAN & SITE ANALYSIS

DA1003 DEMOLITION / PROPOSED GROUND FLOOR PLAN

DA1004 DEMOLITION / PROPOSED LEVELS 1 & 2 FLOOR PLAN

DA1005 DEMOLITION / PROPOSED LEVEL 3 FLOOR PLAN

DA1006 DEMOLITION / PROPOSED LEVEL 4 FLOOR PLAN

DA1007 DEMOLITION / PROPOSED ROOF PLAN

DA2000 PROPOSED WEST & NORTH ELEVATIONS

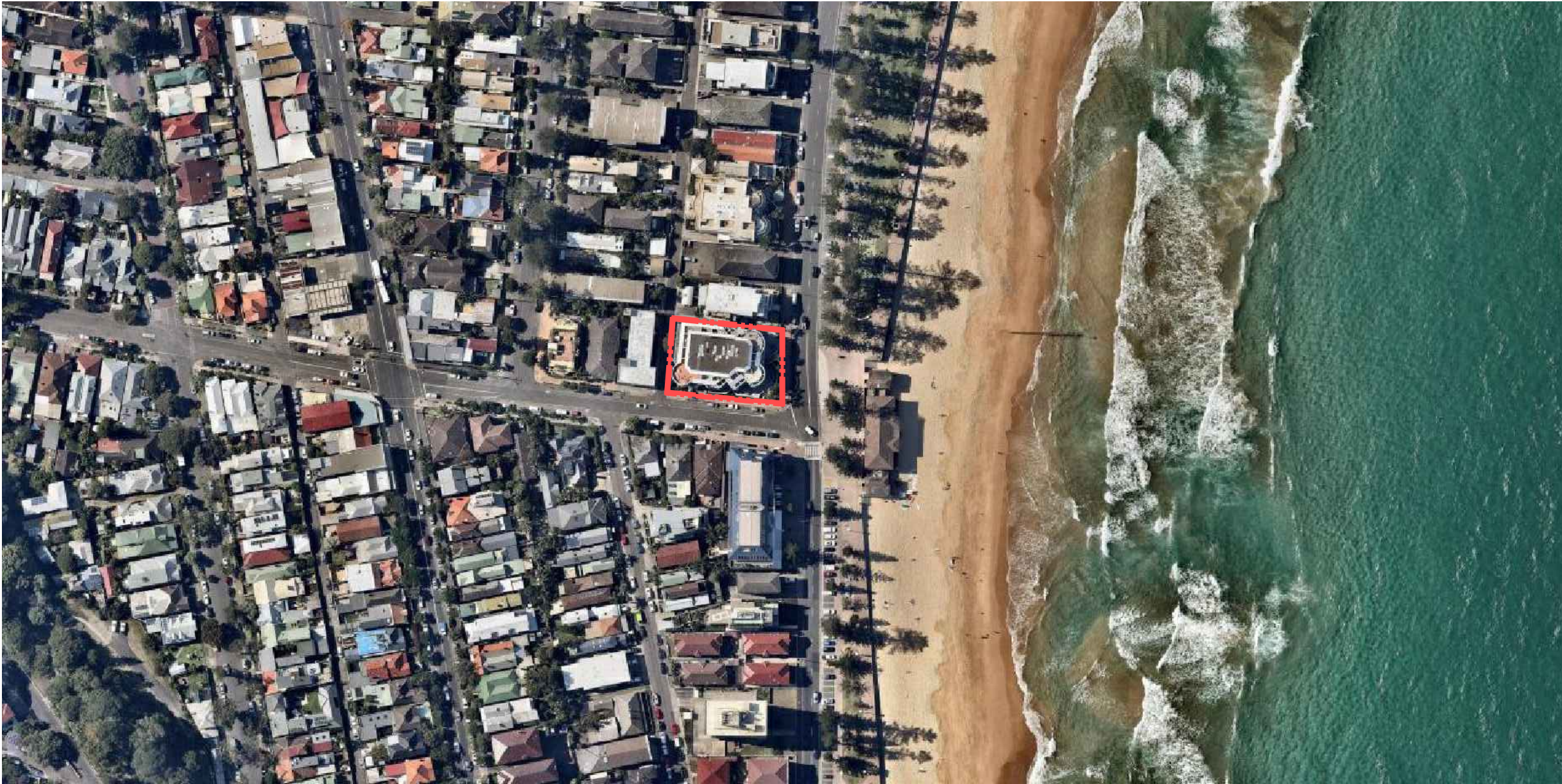
DA2001 PROPOSED EAST & WEST ELEVATIONS

DA3000 BUILDING SECTION AA

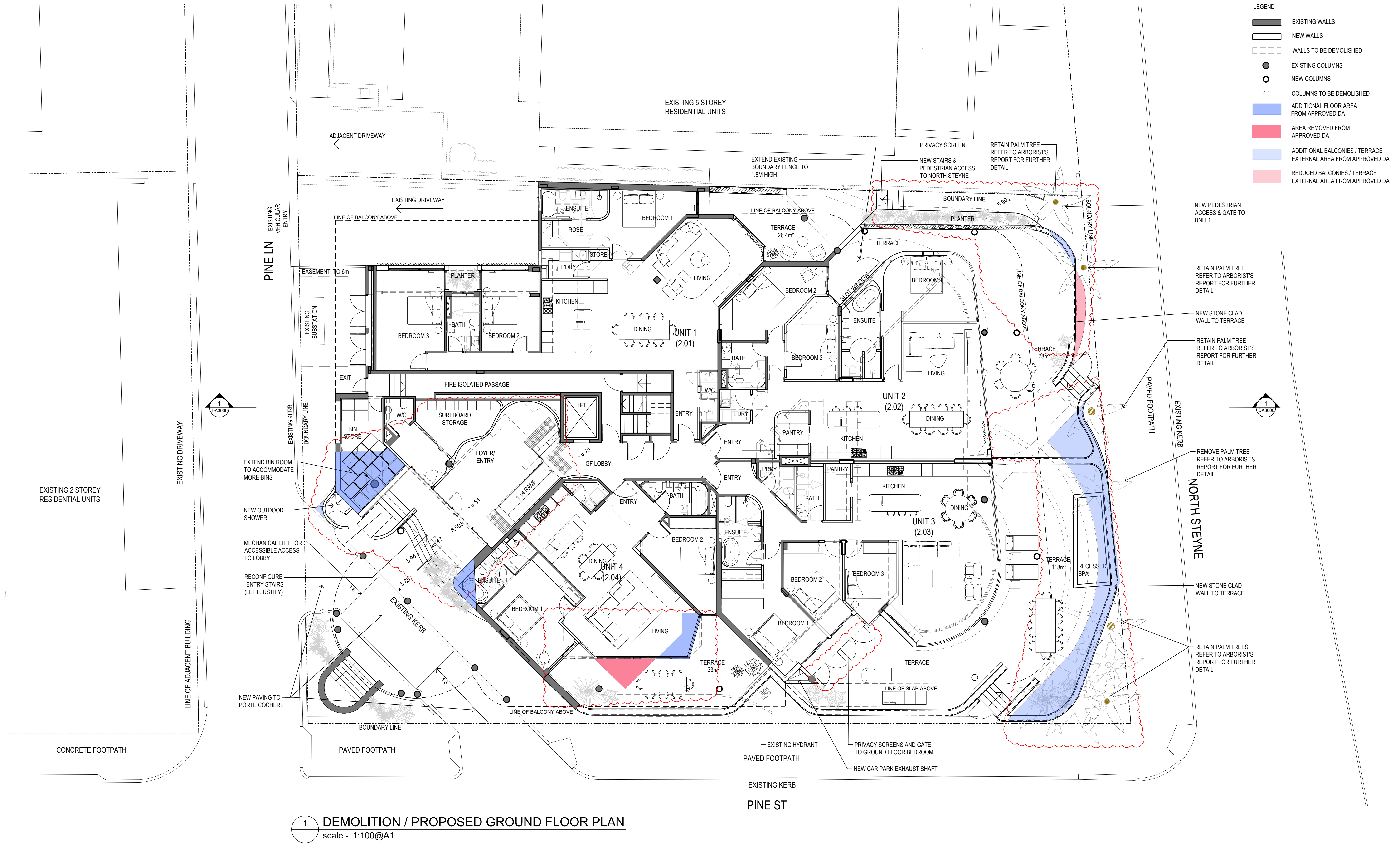
DA5000 EXTERNAL COLOUR SCHEDULE



1 PHOTOMONTAGE
scale - NTS @ A1



2 PHOTOMONTAGE
scale - NTS @ A1



STATUS
SECTION 96

Do not scale drawing. Verify all dimensions on site.
Report any discrepancies in documentation to architect.
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ISS	DATE	PURPOSE OF ISSUE
A	21.11.17	DEVELOPMENT APPLICATION
B	11.08.21	SECTION 4.55

- NOTES
- REV :
- LARGER WASTE ROOM TO ACCOMMODATE WALL FOR CHAIR LIFT
- RECONFIGURATION OF ENTRY STAIRS
- ADDITIONAL NEW CHAIR CLIMBER
- ADDITIONAL OUTDOOR SHOWER AT THE ENTRY
- ADDITIONAL PRIVACY SCREENS AND GATE TO BEDROOM 1 AND 2 AT UNIT 3
- DEMOLISHING EXISTING TERRACE WALL & REPLACE WITH NEW WALL & STONE CLADDING
- REMOVAL / RELOCATION OF PALM TREES AS PER ARBORIST'S ADVICE
- ADDITION OF NEW POOL/SPA

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BELLA VISTA APARTMENTS

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DRAWING NO.
DA1003

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SQA

DRAWING TITLE
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GROUND FLOOR PLAN**

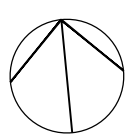
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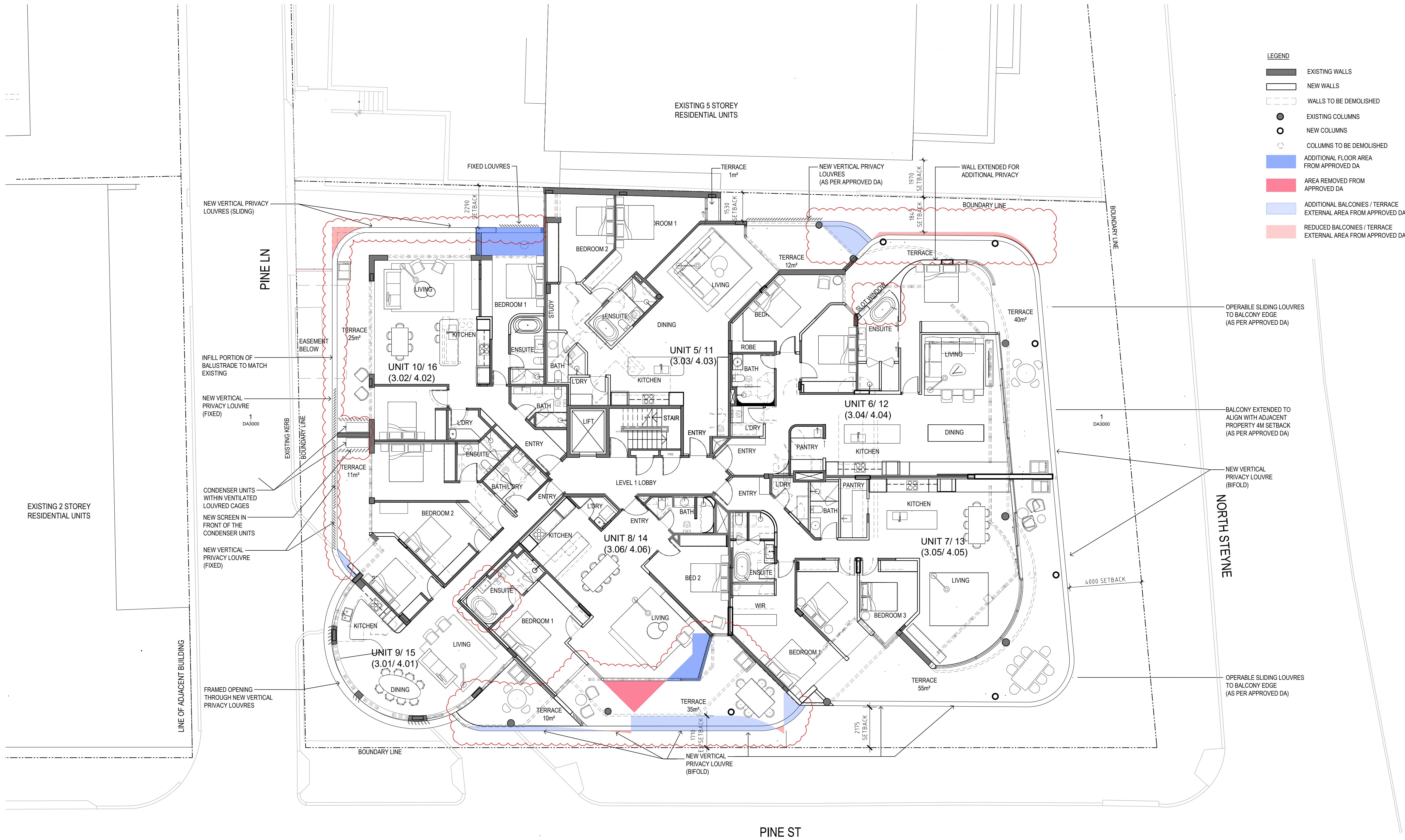
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21.11.17

JOB NO.
KOU1610

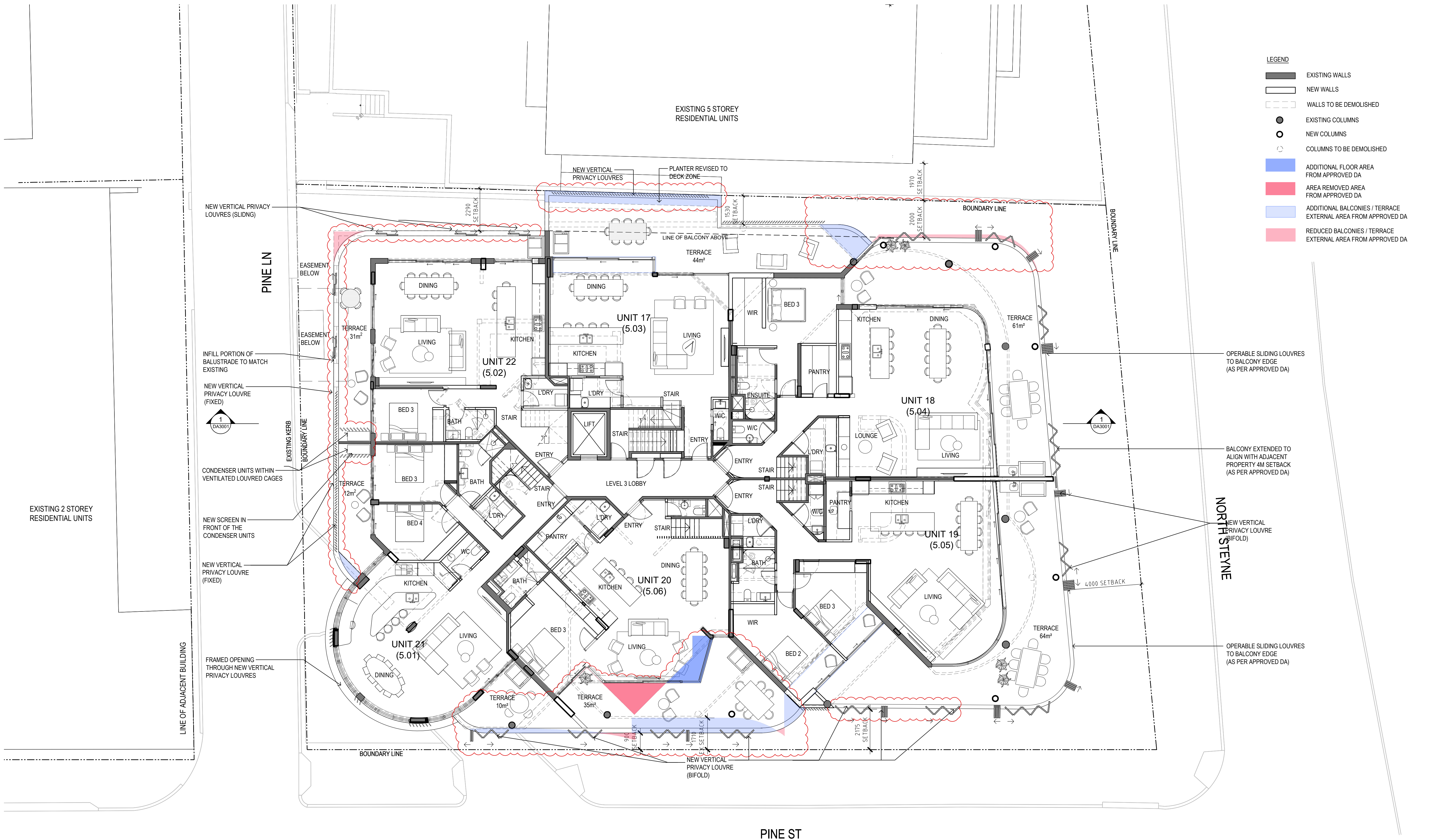


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1 DEMOLITION / PROPOSED LEVELS 1 & 2 FLOOR PLANS
scale - 1:100@A1



1 DEMOLITION / PROPOSED LEVEL 3 FLOOR PLAN
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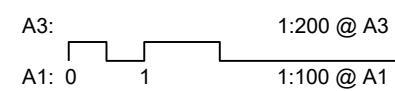
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SECTION 96

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ISS	DATE	PURPOSE OF ISSUE
A	21.11.17	DEVELOPMENT APPLICATION
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NOTES

REV :



- RE CONFIGURATION OF NEW VERTICAL PRIVACY SCREENS ALONG THE BALCONIES
- RESHAPED / CURVED THE CORNERS OF THE BALCONIES TO MATCH THE BUILDING SHAPE
- RECONFIGURATION OF SOUTHERN BALCONY AND PRIVACY LOUVRES
- RECONFIGURATION OF THE EXTERNAL SOUTHERN WALL IN UNIT 20
- ADDITIONAL NEW CONDENSER UNITS AND NEW SCREENS IN WESTERN BALCONY FOR UNIT 21 & 22

PROJECT
BELLA VISTA APARTMENTS

96 North Steyne
Manly

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DA1005

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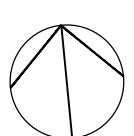
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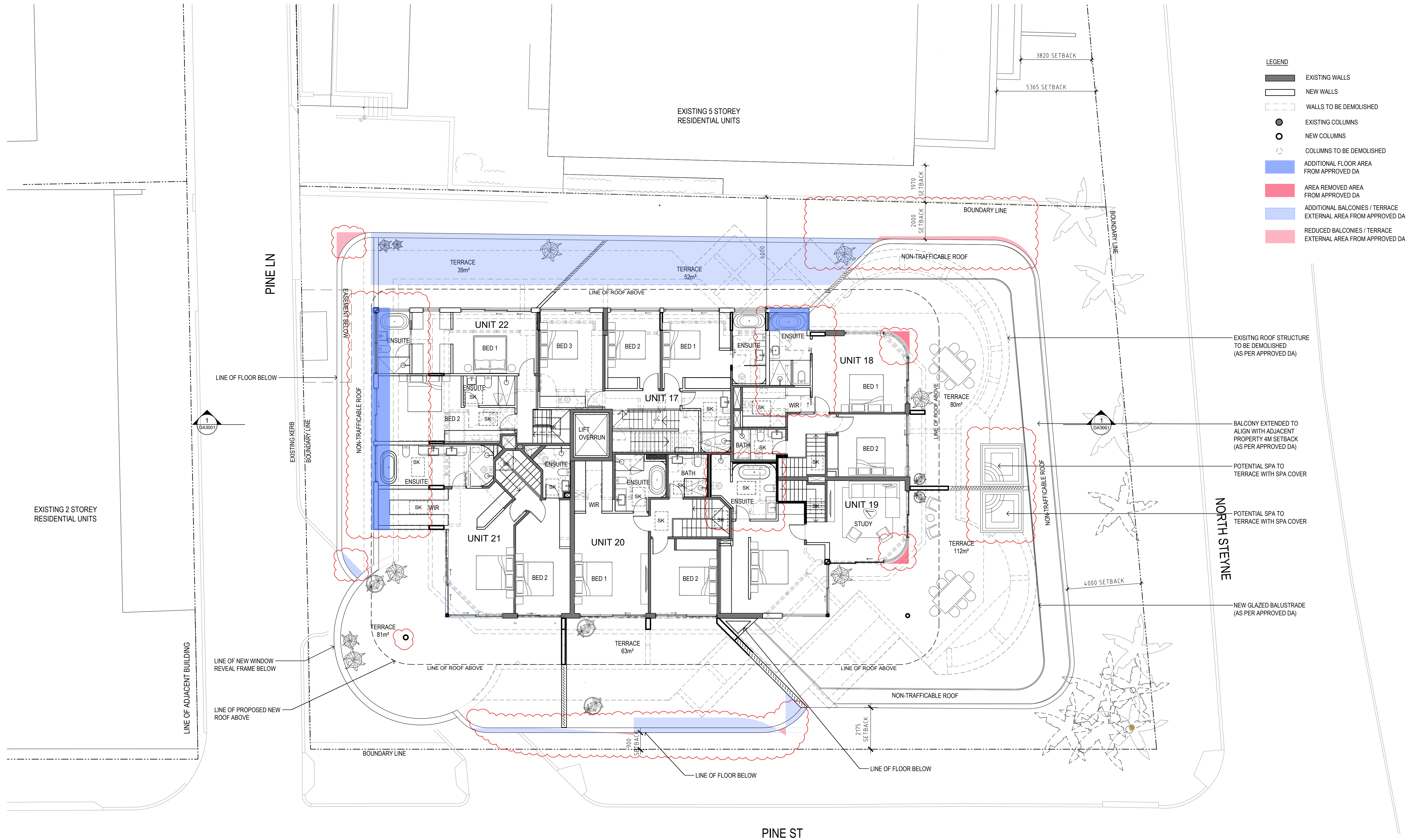
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DATE
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1 DEMOLITION / PROPOSED LEVEL 4 FLOOR PLAN
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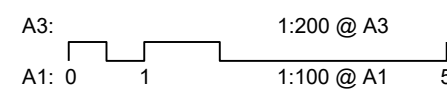
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NOTES



- REV :
- REVISED STAIRS IN UNIT 17 TO ACCOMMODATE ACCESS STAIR UP TO ROOF LEVEL
 - EXTENSION OF UNIT 22 TO LANE
 - ADDITIONAL AND RELOCATION OF SKYLIGHTS
 - RECONFIGURATION OF SOUTHERN TERRACE
 - ADDITIONAL PRIVACY WALLS IN SOUTHERN TERRACE
 - ADDITIONAL NEW SPA FOR UNIT 18, 19, 20, AND 21

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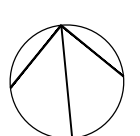
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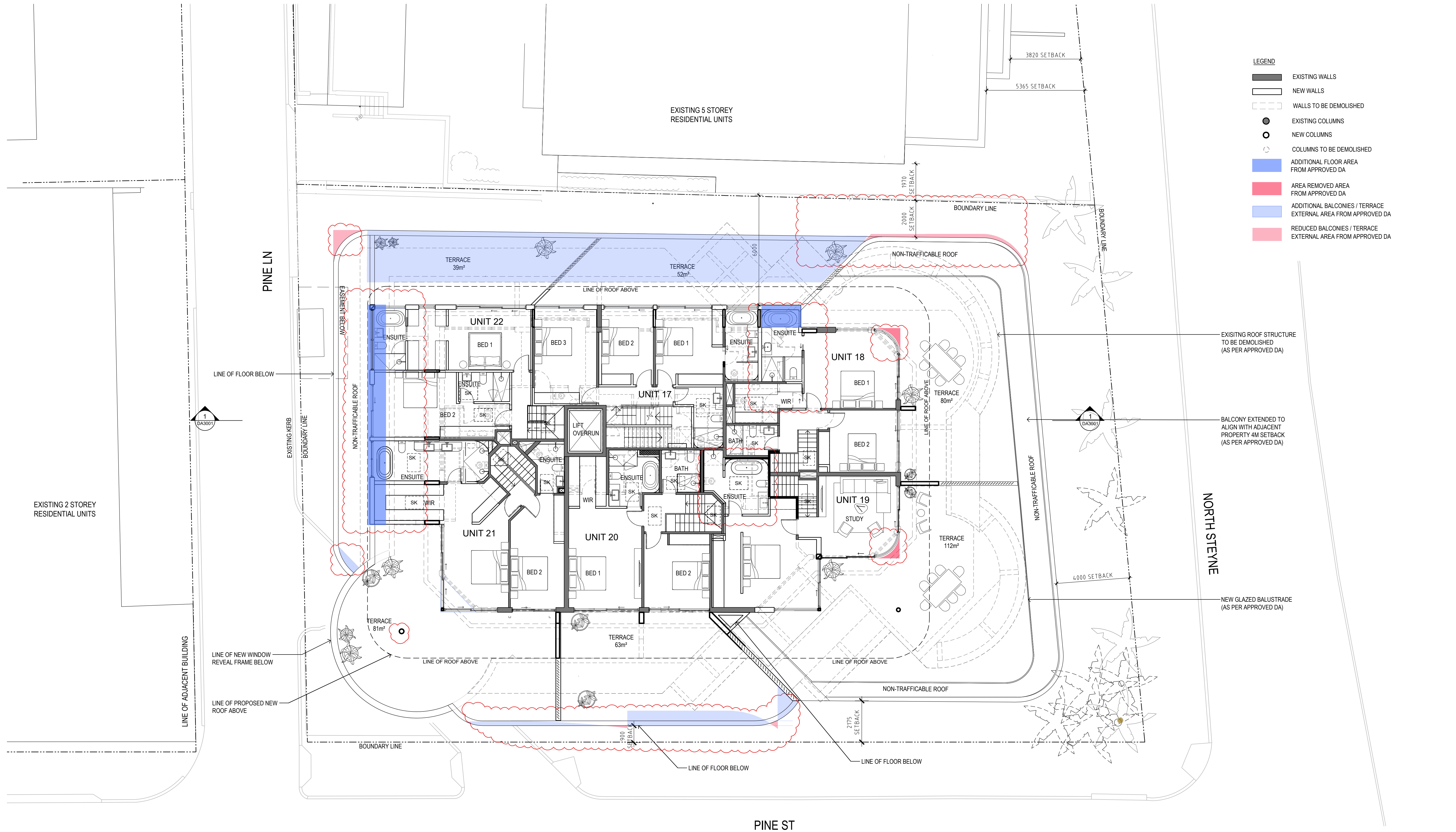
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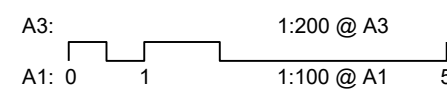


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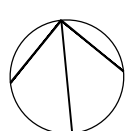
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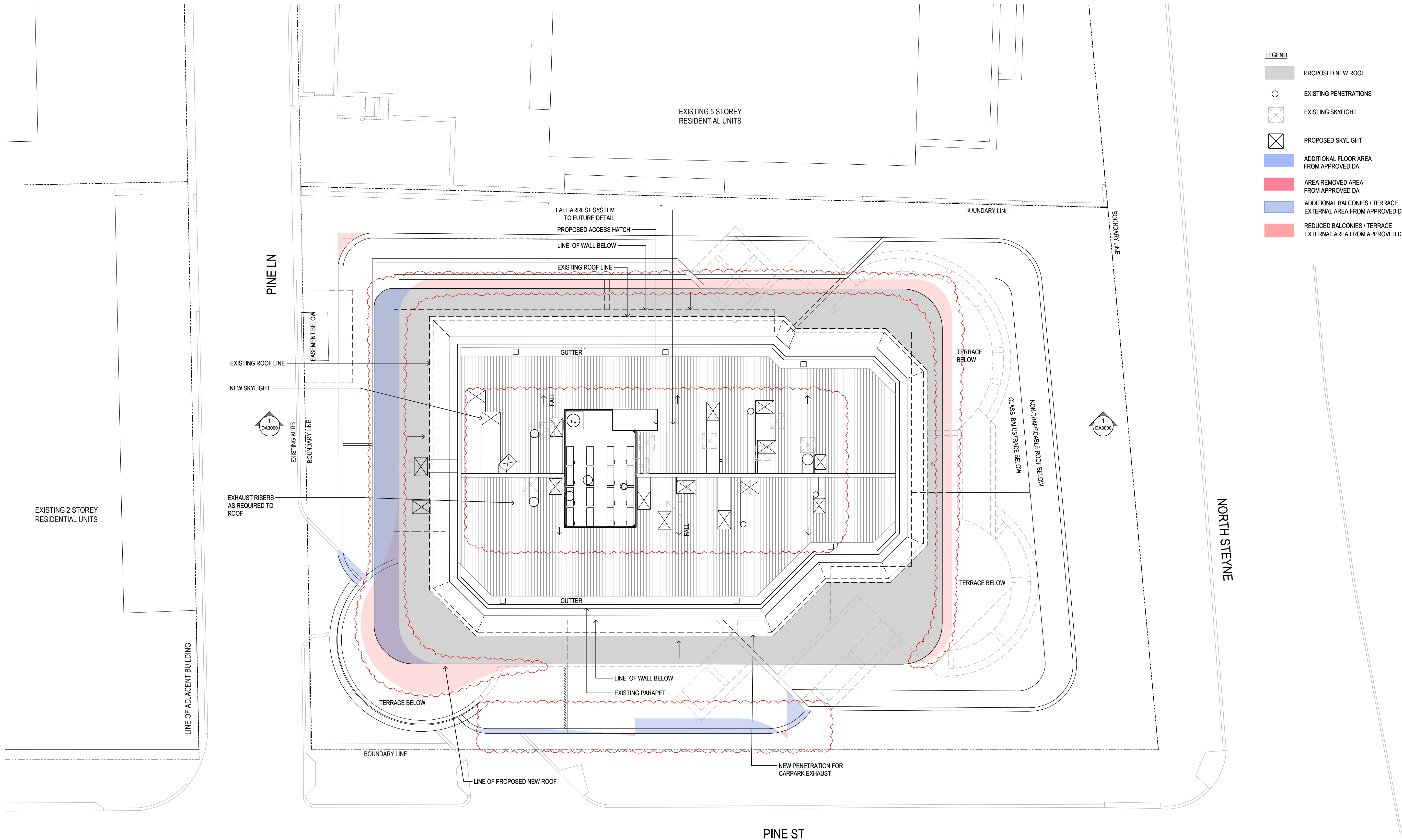
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- LEGEND
- PROPOSED NEW ROOF
 - EXISTING PENETRATIONS
 - EXISTING SKYLIGHT
 - PROPOSED SKYLIGHT
 - ADDITIONAL FLOOR AREA FROM APPROVED DA
 - AREA REMOVED AREA FROM APPROVED DA
 - ADDITIONAL BALCONIES / TERRACE EXTERNAL AREA FROM APPROVED DA
 - REDUCED BALCONIES / TERRACE EXTERNAL AREA FROM APPROVED DA

1 DEMOLITION / PROPOSED ROOF PLAN
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NOTES

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A1: 0 1 1:100 @ A1 5

- REV B:
- RESHAPING / REDUCING OF NEW ROOF BOUNDARY
 - RELOCATING NEW SKYLIGHTS
 - RECONFIGURATION OF NEW CONDENSER UNITS
 - ADDITIONAL NEW ACCESS HATCH

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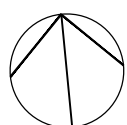
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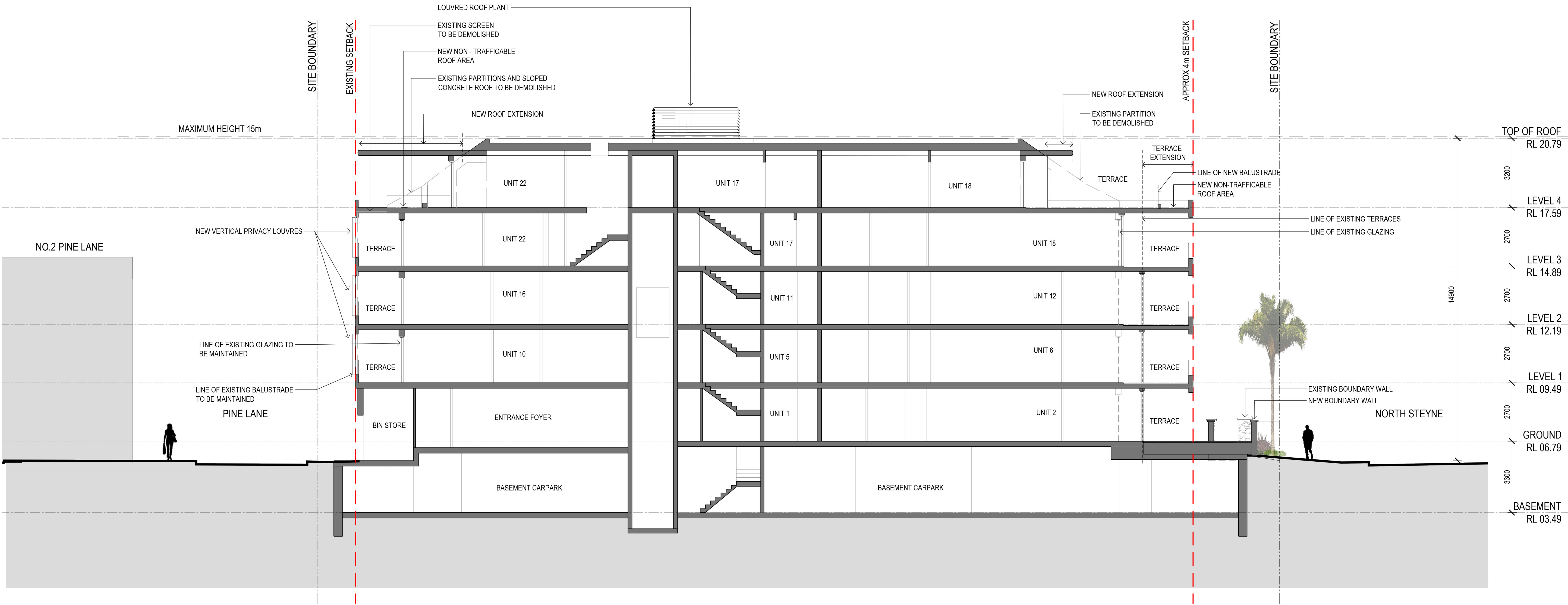
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A3: 1:200 @ A3
A1: 0 1 1:100 @ A1 5

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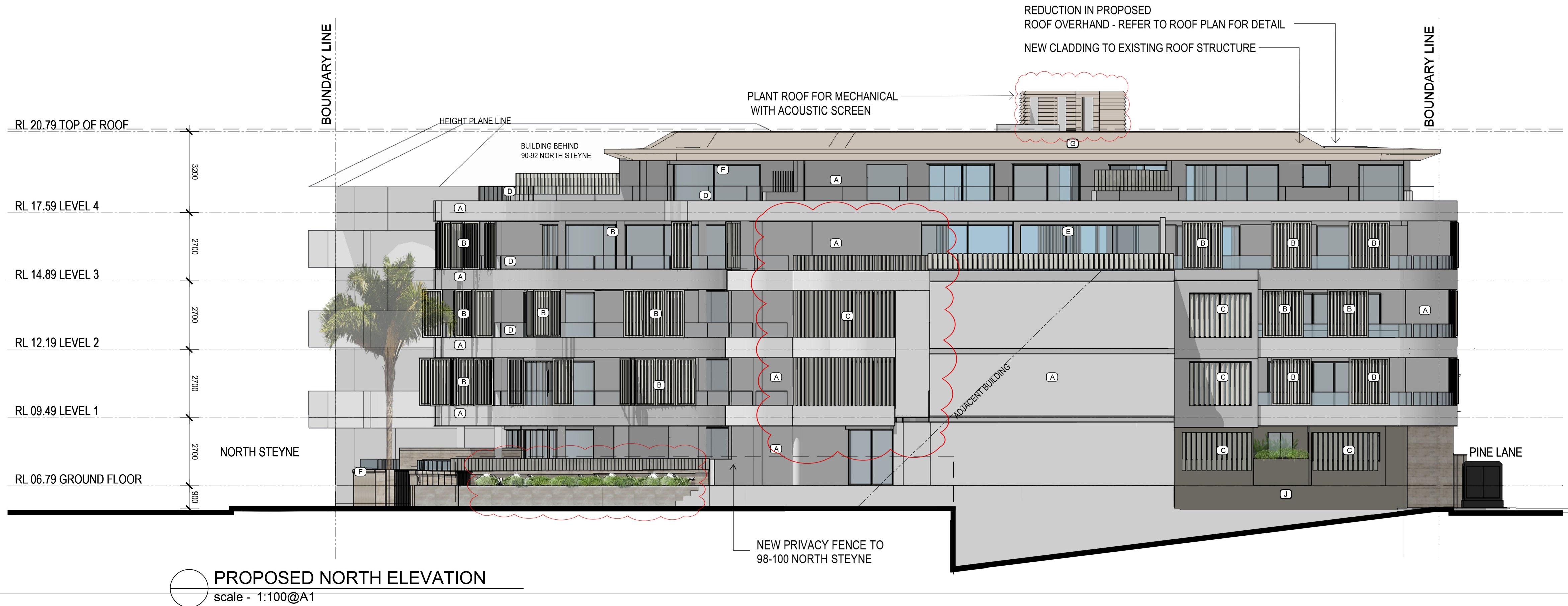
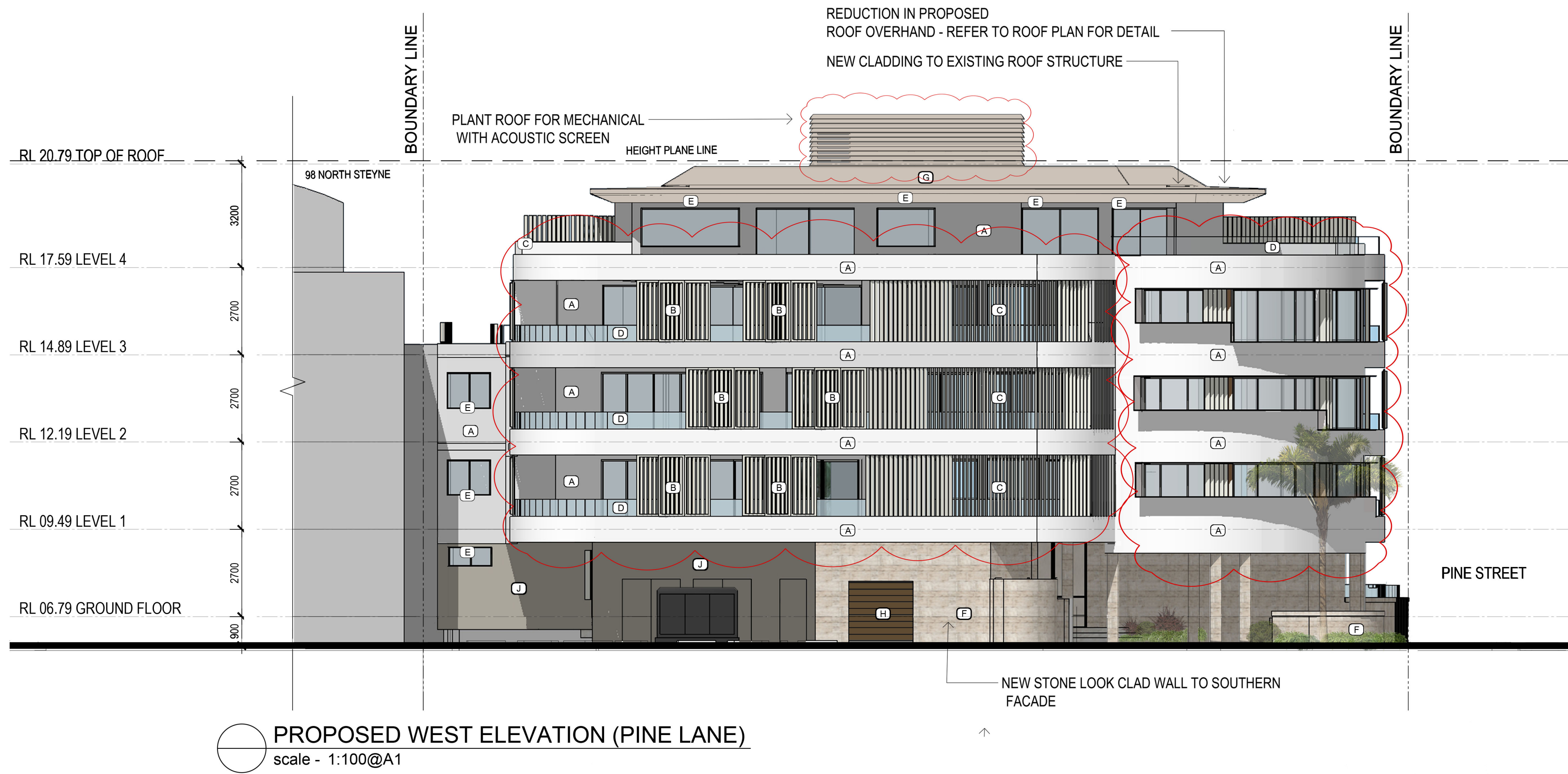
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DATE
21.11.17

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GROUND FLOOR PLAN**



A RENDERED CONCRETE
WHITE PAINT FINISH



B OPERABLE VERTICAL LOUVRE



C FIXED VERTICAL LOUVRE



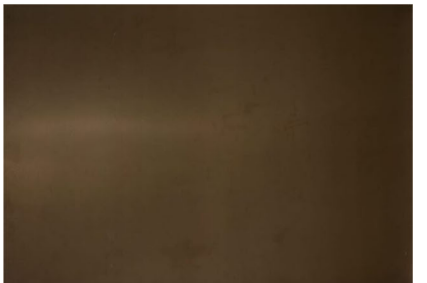
D GLASS BALUSTRADE



E ALUMINIUM WINDOW FRAME
WHITE POWDER COAT FINISH



F NEW STONE LOOK WALL



H BRONZE LOOK



G ROOF FINISH



Q LIGHT GREY PAINT FINISH

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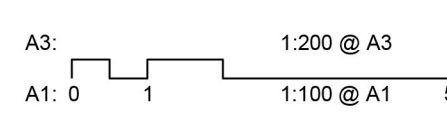
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- ADDITIONAL OUTDOOR SHOWER AT THE ENTRY
- ADDITIONAL PRIVACY SCREENS AND GATE TO BEDROOM 1 AND 2 AT UNIT 3
- DEMOLISHING EXISTING TERRACE WALL & REPLACE WITH NEW WALL & STONE CLADDING
- REMOVAL / RELOCATION OF PALM TREES AS PER ARBORIST'S ADVICE
- ADDITION OF NEW POOL/SPA



PROJECT

BELLA VISTA APARTMENTS

96 North Steyne
Manly

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CECIL KOUTSOS

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA2000

DRAWN BY
SQA

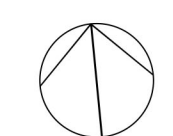
CHECKED BY
VS

ISSUE

B

SCALE
**1:100@A1
1:200@A3**

DATE
21.11.17

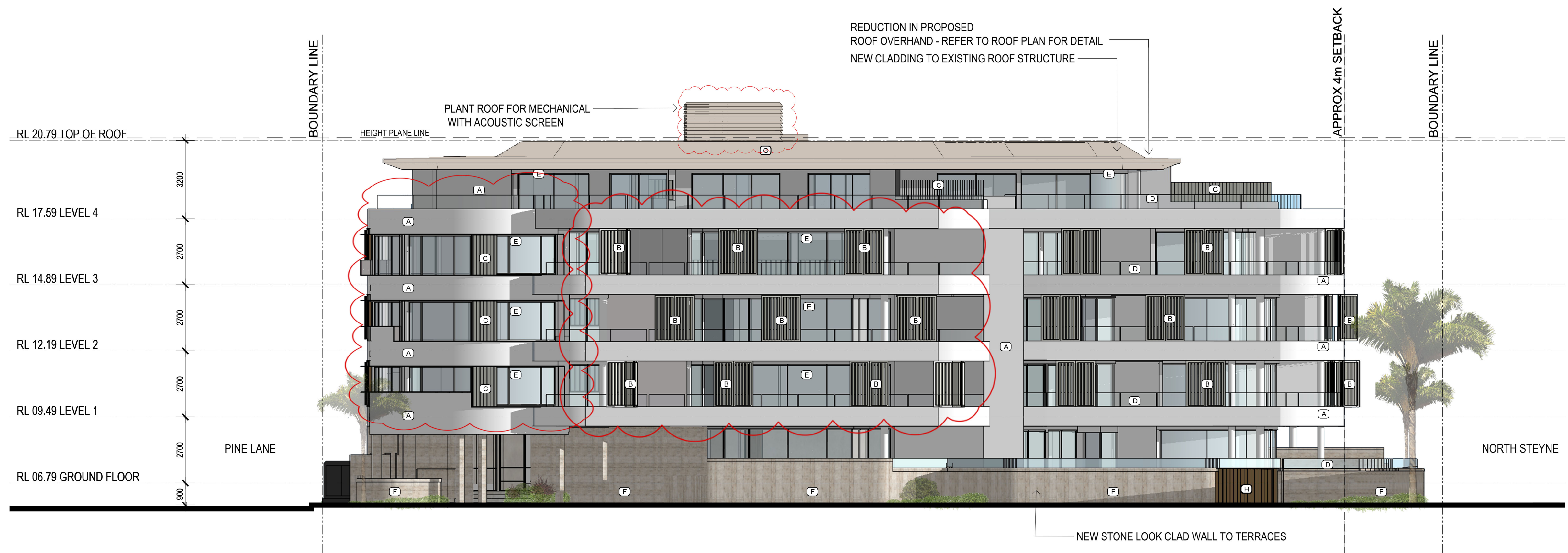


JOB NO.
KOU1610

DRAWING TITLE
**DEMOLITION / PROPOSED
GROUND FLOOR PLAN**



PROPOSED EAST ELEVATION (NORTH STEYNE)
scale - 1:100@A1



PROPOSED SOUTH ELEVATION (PINE STREET)
scale - 1:100@A1



(A) RENDERED CONCRETE
WHITE PAINT FINISH



(B) OPERABLE VERTICAL LOUVRE



(C) FIXED VERTICAL LOUVRE



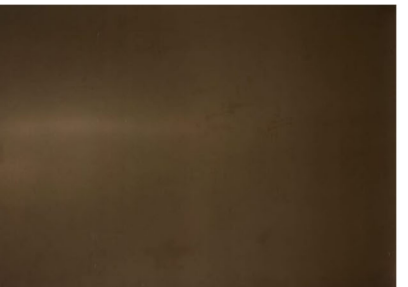
(D) GLASS BALUSTRADE



(E) ALUMINIUM WINDOW FRAME
WHITE POWDER COAT FINISH



(F) NEW STONE LOOK WALL



(H) BRONZE LOOK



(G) ROOF FINISH



(I) LIGHT GREY PAINT FINISH

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SECTION 96

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.



ISS	DATE	PURPOSE OF ISSUE
A	21.11.17	DEVELOPMENT APPLICATION
B	11.08.21	SECTION 4.55

NOTES

- REV :
- LARGER WASTE ROOM TO ACCOMMODATE WALL FOR CHAIR LIFT
 - RECONFIGURATION OF ENTRY STAIRS
 - ADDITIONAL NEW CHAIR CLIMBER
 - ADDITIONAL OUTDOOR SHOWER AT THE ENTRY
 - ADDITIONAL PRIVACY SCREENS AND GATE TO BEDROOM 1 AND 2 AT UNIT 3
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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD)

DRAWING NO.
DA2001

DRAWN BY
SQA

CHECKED BY
VS

DRAWING TITLE
DEMOLITION / PROPOSED
GROUND FLOOR PLAN

ISSUE
B

SCALE
1:100@A1
1:200@A3

DATE
21.11.17

JOB NO.
KOU1610

