

9 GLADE STREET | BALGOWLAH HEIGHTS

JACQUI + CHRIS LEVINGS

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LEGEND

ACU	air conditioning unit	KP	kickplate	SS	stainless steel
AD	aluminium door	LAM#	lamineate #	TDK	timber decking boards
AW	aluminium window	LB	letter box	TFB	timber floor boards
BAL#	balustade type #	LC #	light weight cladding #	TP#	tap type #
BSN#	basin type #	M	mirror	TR	towel rail
CB	concrete blockwork	MDR	metal deck roof	TRH	toilet roll holder
CK	cooktop	MS #	manufactured stone type	W	window
CONC	concrete	MW#	microwave type #	WC#	toilet type #
COS	confirm on site	MX	mixer tap	WLT#	wall type #
CPD	cupboards	NOM	nominal	WT #	wall tile type #
CPT	carpet	OV	oven		
DP	downpipe	P	pavers		
DW	dishwasher	PB	plaster board		
DRW	drawers	PBW	plaster board water resistant		
EG	eaves gutter	PLY	plywood		
EV	eves vent	PU #	polyurethane finish type		
EXT	existing	PP	powerpoint		
FB	face brick	PS#	privacy screen		
FC	fibre cement	RB	rendered blockwork		
FCL	finished ceiling level	REF	refridgerator		
FFL	finished floor level	RH	rangehood		
FT #	floor tile type #	RL	reduced level		
FW#	floor waste type #	RV	roof ventilator		
GD	garage door	SC	steel column		
HR#	handrail type #	SNK#	sink type #		
HTR	hand towel rail	SP	solar panels		
HWS	hot water system	SR	shower rose/ set		

DRAWINGS BY OTHERS

DRAWING NUMBER	TITLE	REV	DATE
1074detail 1	SURVEY   DETAILS AND LEVELS OVER 9 GLADE STREET BALGOWLAH	B	21.02.20

FOR DEVELOPMENT APPLICATION



BASIX®Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A407522

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 23, March 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.

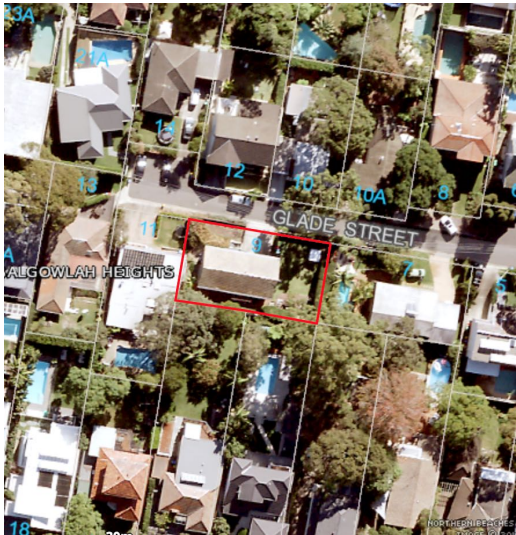


Project address	
Project name	9 Glade Street
Street address	9 Glade Street Balgowlah Heights 2093
Local Government Area	Manly Council
Plan type and number	Deposited Plan 15B
Lot number	31138
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Your Beautiful Home

ABN (if applicable): 70613352319



**AERIAL PHOTO**  
courtesy of Northern Beaches Council



**ZONING MAP**  
R2 - Low Density Residential  
courtesy of Northern Beaches Council



**9 GLADE STREET, BALGOWLAH HEIGHTS**

LOT 15B DP 31138

Site Area	557.4 sqm
Council	Northern Beaches (Manly)
Zone	R2 - Low Density Residential

**MANLY LEP 2013 CONTROLS**

Building Height	8.5m
Zoning	Low Density Residential
Min Lot size	500 sq.m
FSR	0.45:1
Open Space Areas	OS3

**MANLY DCP 2013 CONTROLS**

Number of Storeys	2
Pitched Roof	no higher than 2m about wall height
Maximum wall height	6.5m
Front setback	relate to neighbouring properties projections include unenclosed balconies, eaves, sun-hoods, chimneys, meter boxes
Side boundary envelope	not < 1/3 height adjacent external wall all new windows from habitalbe dwellings to side boundary set back at least 3m
Rear setback	8m - must relate to prevailing pattern to minimise overshadowing, visual privacy and view loss
Density	Area D5 1 unit/ 500m2 of site area
Total Open Space	at least 55% of the site
Landscaped Area	at least 35% of total open space soil depth of at least 1m min horizontal dimension 0.5m (measured from inner side of planter box)
Above ground open space	no more than 25% of total open space
Min dimensions of Total Open Space	horizontal dim of at least 3m a minimum unbroken aea of 12sqm lesser dimensions allowed for above ground open space where it can be demonstrated will serve better amenity to neighbours
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Min tree plantings	1 tree
Landscape Driveways	0.5m between the driveway and side boundary
Private Open Space	18sqm
Parking	2 spaces Max 50% of street frontage up to a max of 6.2m
First Floor and Roof Additions	
Swimming Pool	Must not be in Front Setback Consideration of exception must demonstrate it does not detract from the amenity and character of the neighbourhood. Min distance from the front boundary equivalent to at least twice the height of the swimming pool or spa and their curtilage at any point about ground level The setbackof the outer edgeof the pool/ spa concourse from the side and rear boundaries must be at least 1m with the water line being at least 1.5m from the boundary Swimming pools and associated concourse areas must not comprise more than 30% of the total open space

# CONTROL SUMMARY

## FOR DEVELOPMENT APPLICATION



Notes  
All levels, contours,survey and cadastral information provided by Land Surveyors  
YBH was provided with all site information including measured drawing. All dimensions will need to be confirmed on site.  
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**Drawing Key**

- New work
- New Walls
- Existing walls
- Demolish
- Fill

**Project Name**

9 Glade Street, Balgowlah Heights  
Lot 15B DP31138  
Site Area 557.4sqm

**Client**

Jacqui + Chris Levings

**Revision**

A 23/3/21 For submission

**DA 01**

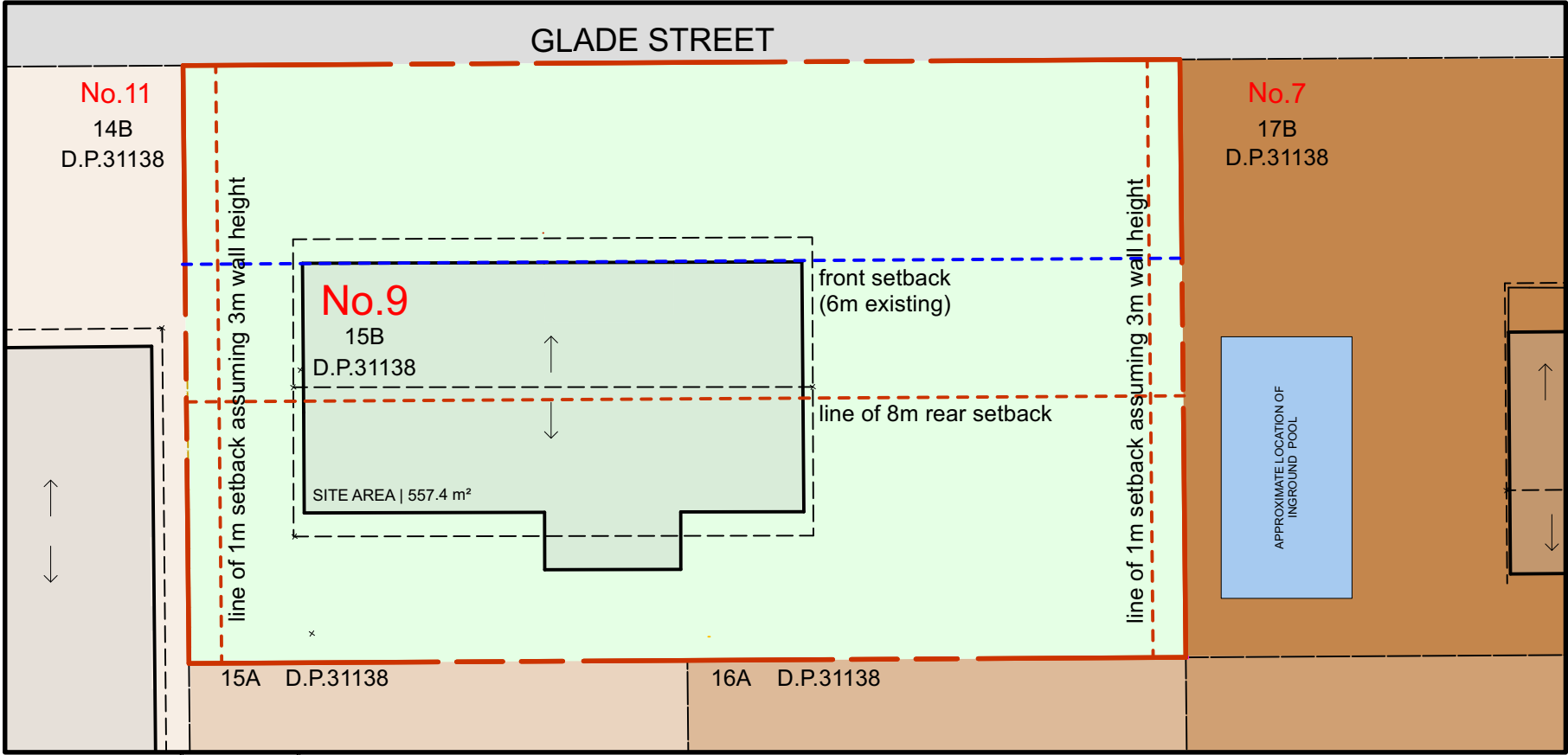
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DJ

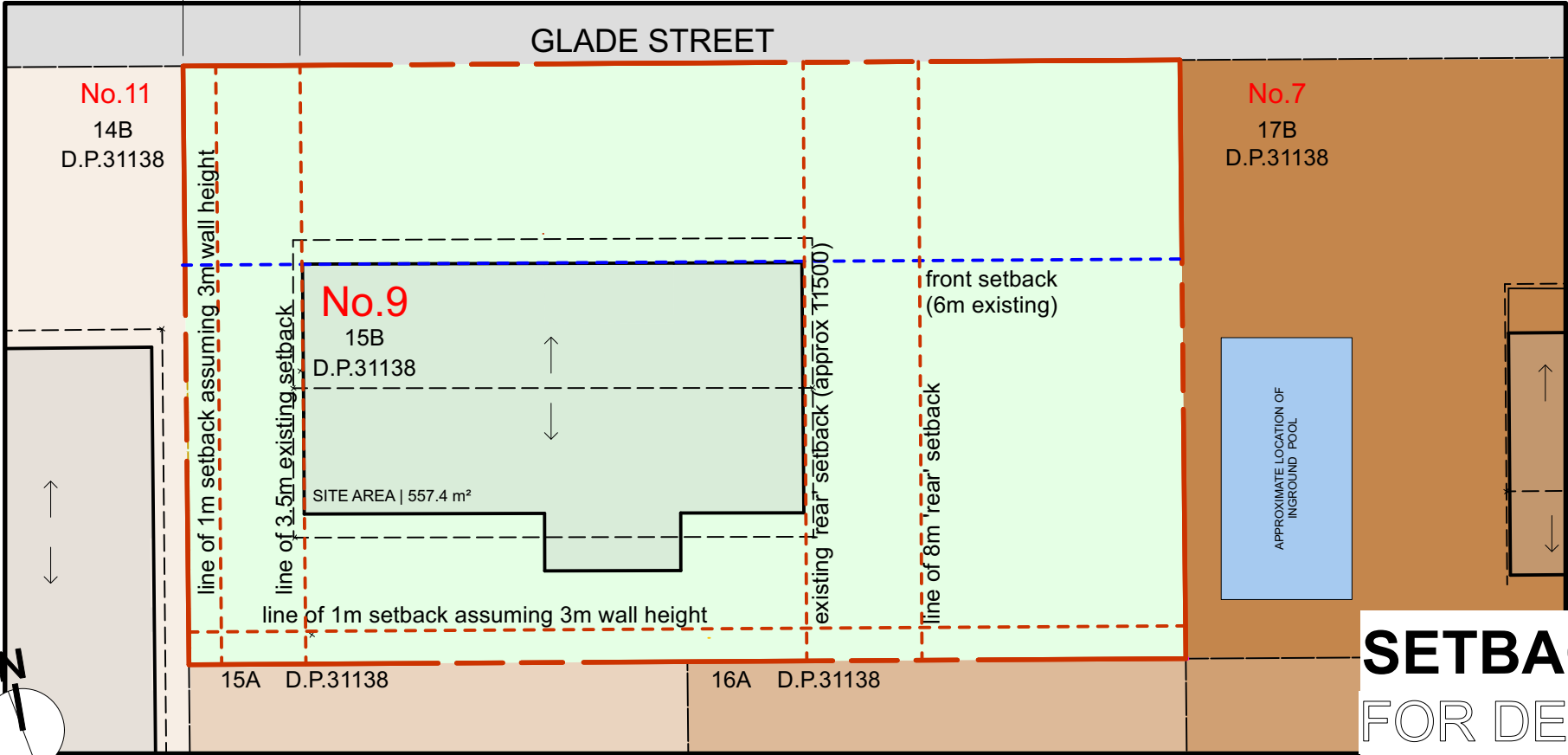
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**SETBACK INTERPRETATION | OPTION 1**  
REAR SETBACK TO SOUTH



**SETBACK INTERPRETATION | OPTION 2**  
REAR SETBACK TO EAST








 Subject Site  
 Adjoining properties

# SETBACK STUDIES

## FOR DEVELOPMENT APPLICATION

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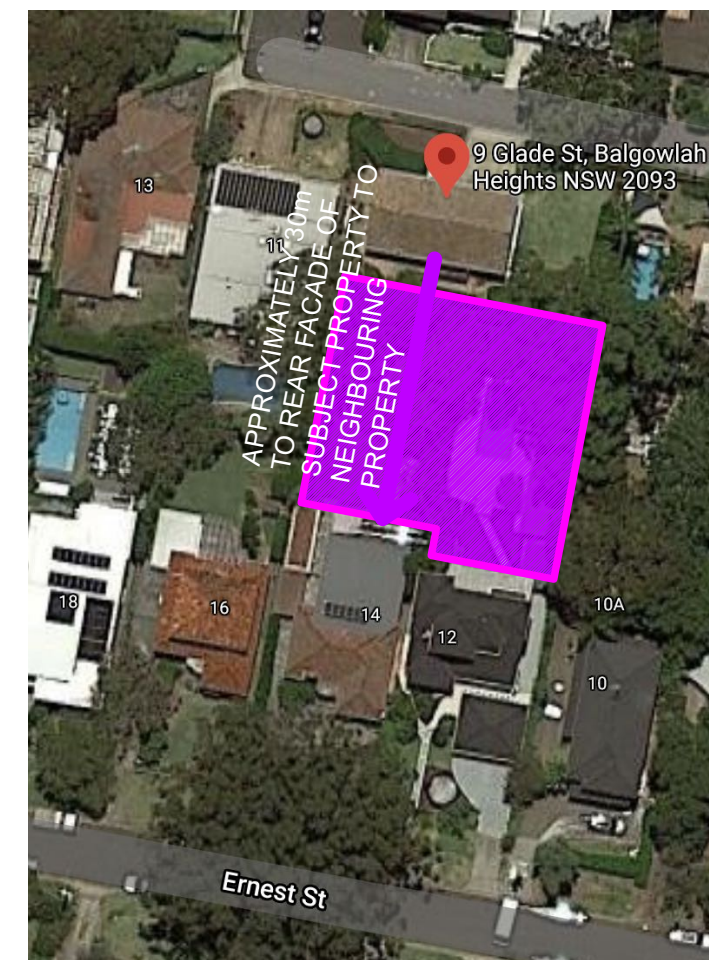
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Jacqui + Chris Levings

**Revision**  
A 23/3/21 For submission

**DA 02**  
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DJ  
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Notes

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FLOOR SPACE RATIO (FSR)

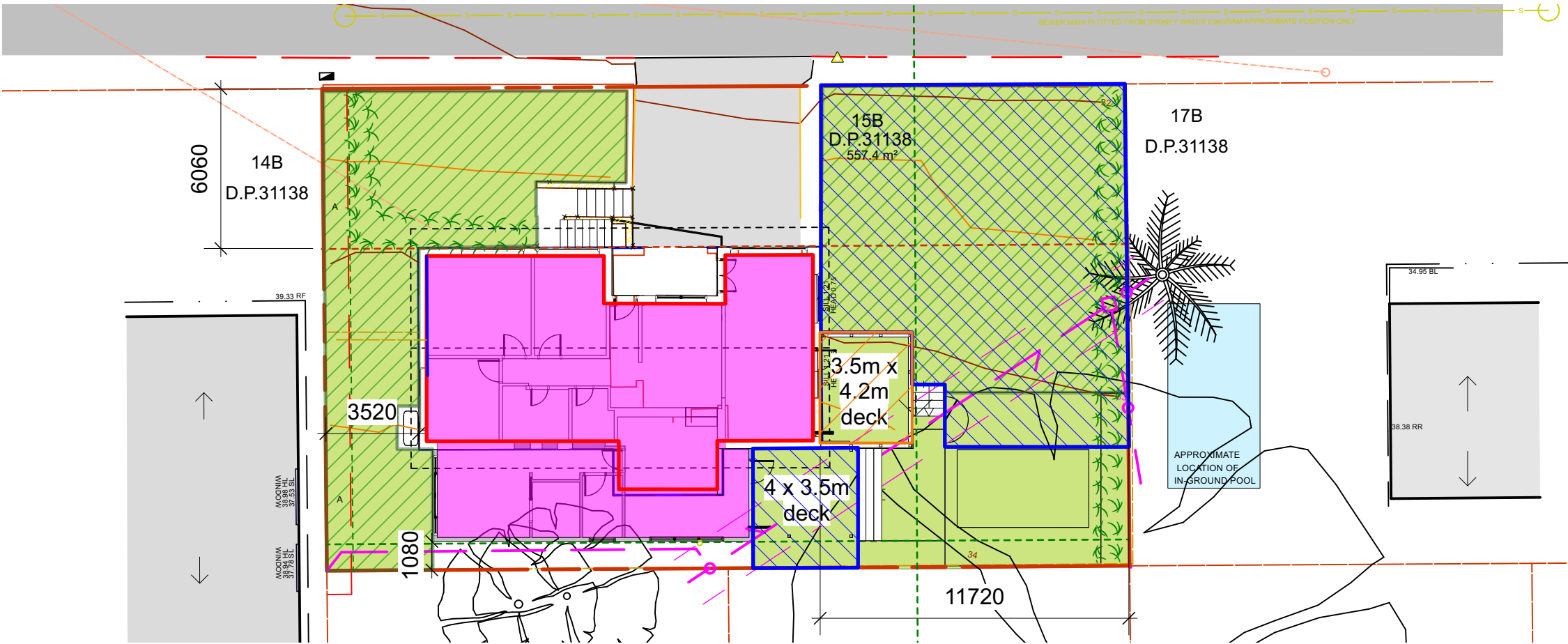
Control  
0.45:1 (250.83sqm)

Proposed  
0.24:1 (137.8sqm)

OPEN SPACE + LANDSCAPING (OS3)

Control  
Total Open Space | 55% (306.57sqm)  
Landcaped area | 35% of total open space (107.29sqm)  
Above ground open space | no more than 25% of total open space (76.6sqm)  
Principal private Open Space | 18sqm

Proposed  
Total Open Space | 58.9% (328.3sqm)  
Landcaped area | 70% of total open space (230.9sqm)  
Above ground open space | 14.7sqm  
Private Open Space | 159.9sqm



AREA CALCULATIONS  
FOR DEVELOPMENT APPLICATION

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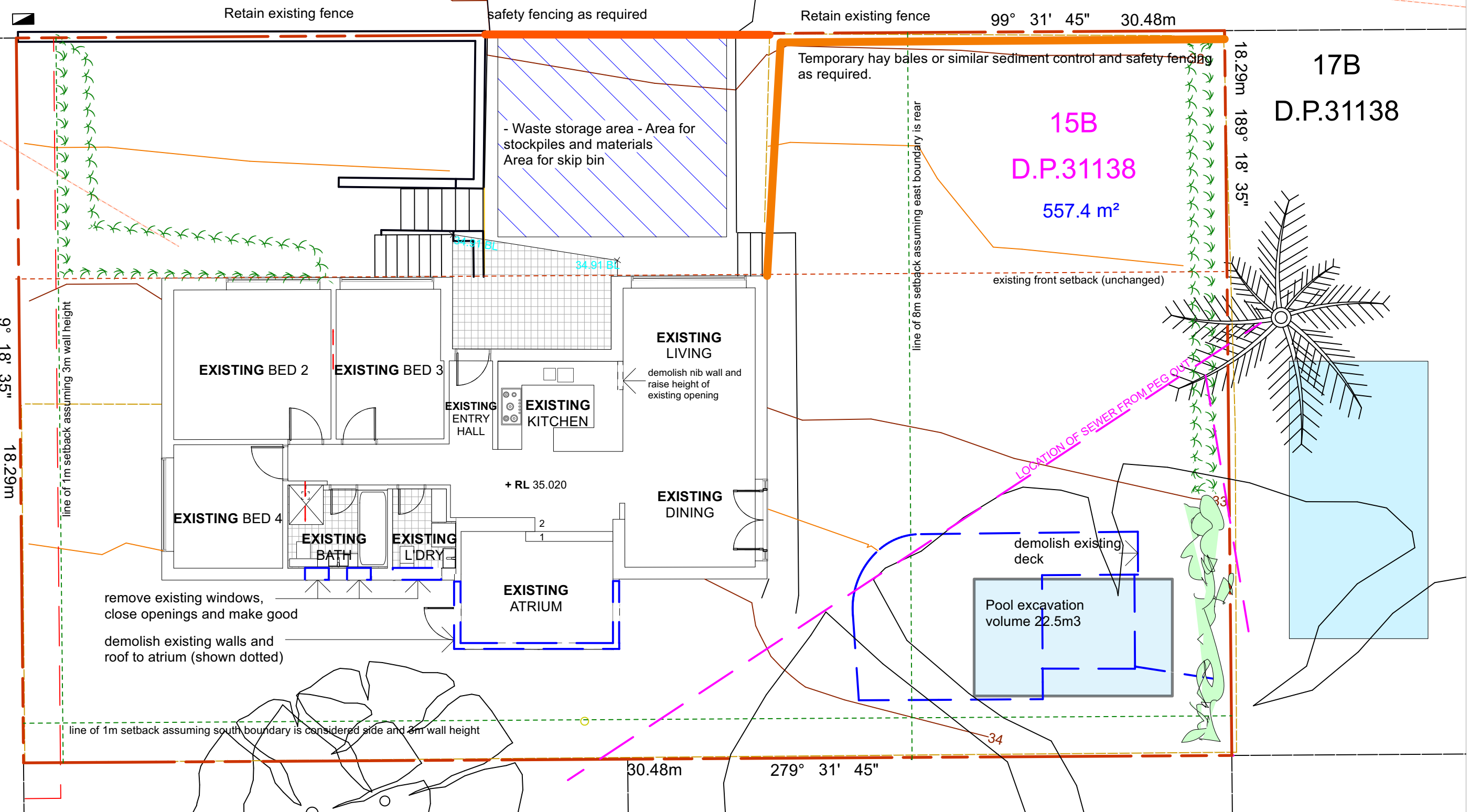
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Revision  
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DA 04

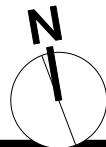
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GLADE STREET



# DEMOLITION, EXCAVATION + WASTE

## FOR DEVELOPMENT APPLICATION



## Notes






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## Client

Jacqui + Chris Levings

## Revision

A 23/3/21 For submission

# DA 05

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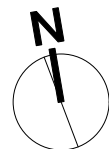
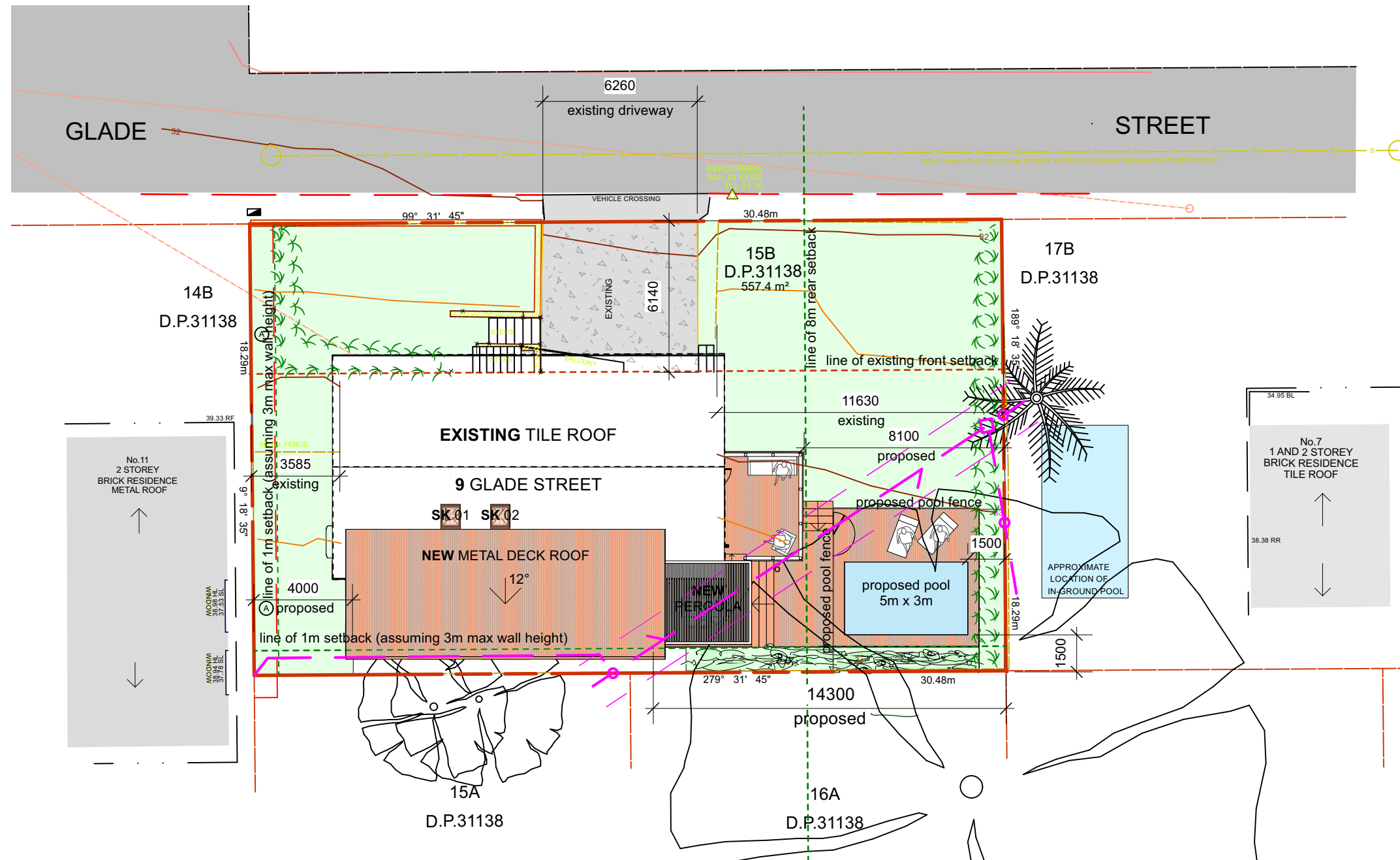
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## SITE + ROOF PLAN

### FOR DEVELOPMENT APPLICATION

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GLADE STREET

NAIL IN KERB  
R.L 31.76

VEHICLE CROSSING

EXISTING DRIVEWAY

EXISTING BALCONY OVER

EXISTING GARAGE

GROUND FLOOR PLAN  
FOR DEVELOPMENT APPLICATION

9° 18' 35"

99° 31' 45" 30.48m

18.29m 189° 18' 35"

existing front setback (unchanged)

line of 8m setback assuming east boundary is rear

line of balcony over

LOCATION OF SEWER FROM PEG OUT

METAFENCE

line of 1m setback assuming 3m wall height

line of first floor over

line of 1m setback assuming south boundary is considered side and 3m wall height

30.48m

279° 31' 45"

34

32

33

39.33 RF

WINDOW  
38.98 HL  
37.53 SL

WINDOW  
38.94 HL  
37.78 SL

A

B

A



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Lot 15B DP31138  
Site Area 557.4sqm  
Client  
Jacqui + Chris Levings

Revision  
A 23/3/21 For submission

DA 07

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GLADE STREET

99° 31' 45" 30.48m

17B  
D.P.31138

15B  
D.P.31138  
557.4 m<sup>2</sup>

39.33 RF

9° 18' 35" 18.29m

RETAIN EXISTING  
CLOTHES DRYING ARE

line of 1m setback assuming 3m wall height

line of existing first floor shown dotted in blue

line of roof over

existing front setback (unchanged)

line of 8m setback assuming east boundary is rear

11630

8140

3580

EXISTING BED 4

NEW SK 01  
OVER  
EXISTING  
BATH

NEW SK 02  
OVER  
EXISTING  
L'DRY

NEW STORE

NEW STORE

KITCHEN  
3000 x 3950

DINING  
3300 x 3800

UPPER DECK  
3500 x 3900  
+ RL 34.920

POOL DECK  
5900 x 2200

POOL  
3000 x 5000

4000

A

+ RL 34.660  
W6  
MASTER BED  
3500 x 3350

WIR  
1800 x 2100

W5  
ENSUITE  
1500 x 2480

LIVING 2  
4700 x 4200

LOWER DECK  
4000 x 3500

W4

30.48m

279° 31' 45"

1.8m high boundary fence

1.8m high boundary fence

1500

1500

1000

1000

1000

1000

1000

1000

1000

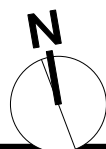
1000

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## FIRST FLOOR PLAN

FOR DEVELOPMENT APPLICATION

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### Client

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### Revision

A 23/3/21 For submission

DA 08

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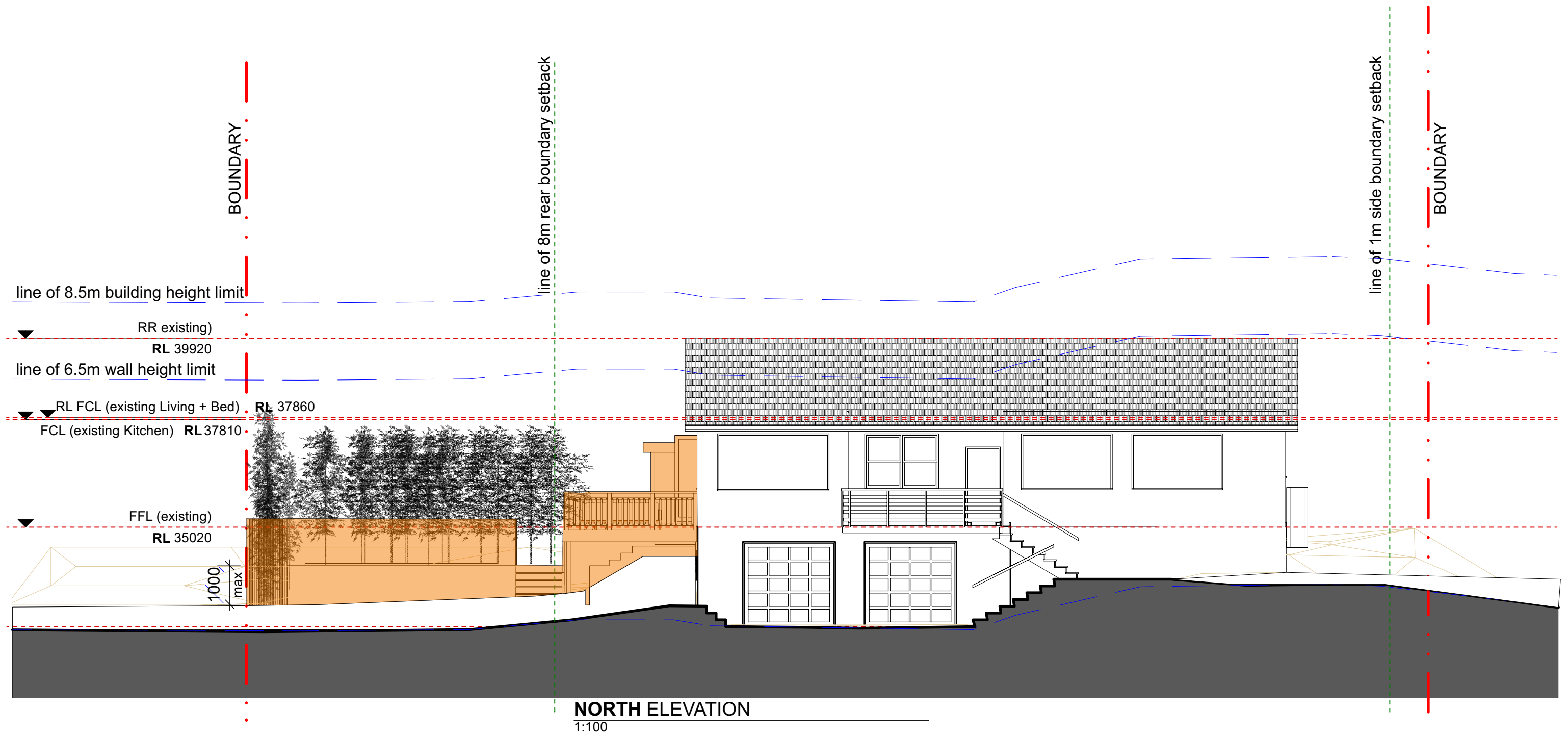
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# NORTH ELEVATION

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### Revision

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# DA 09

### Drawn by

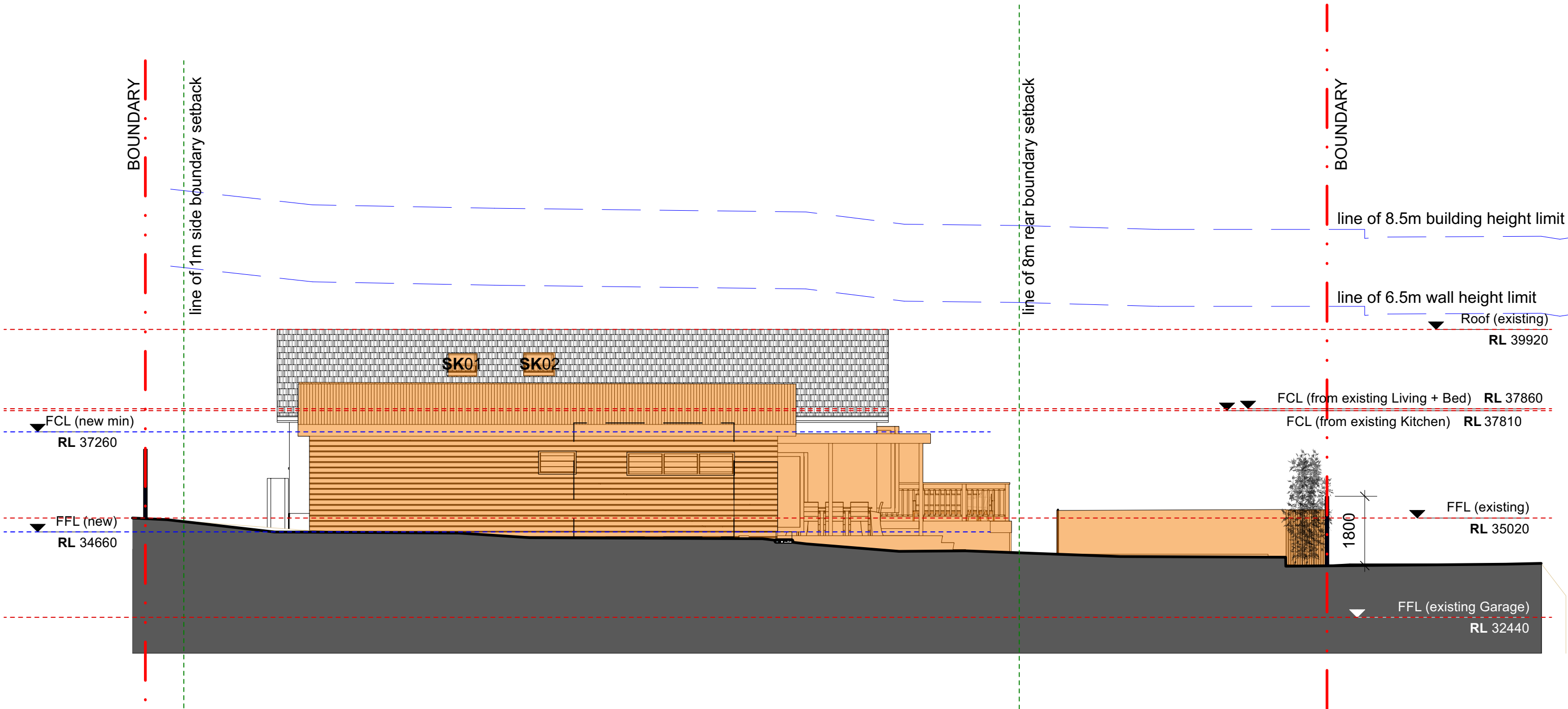
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**SOUTH ELEVATION**  
1:100

# SOUTH ELEVATION

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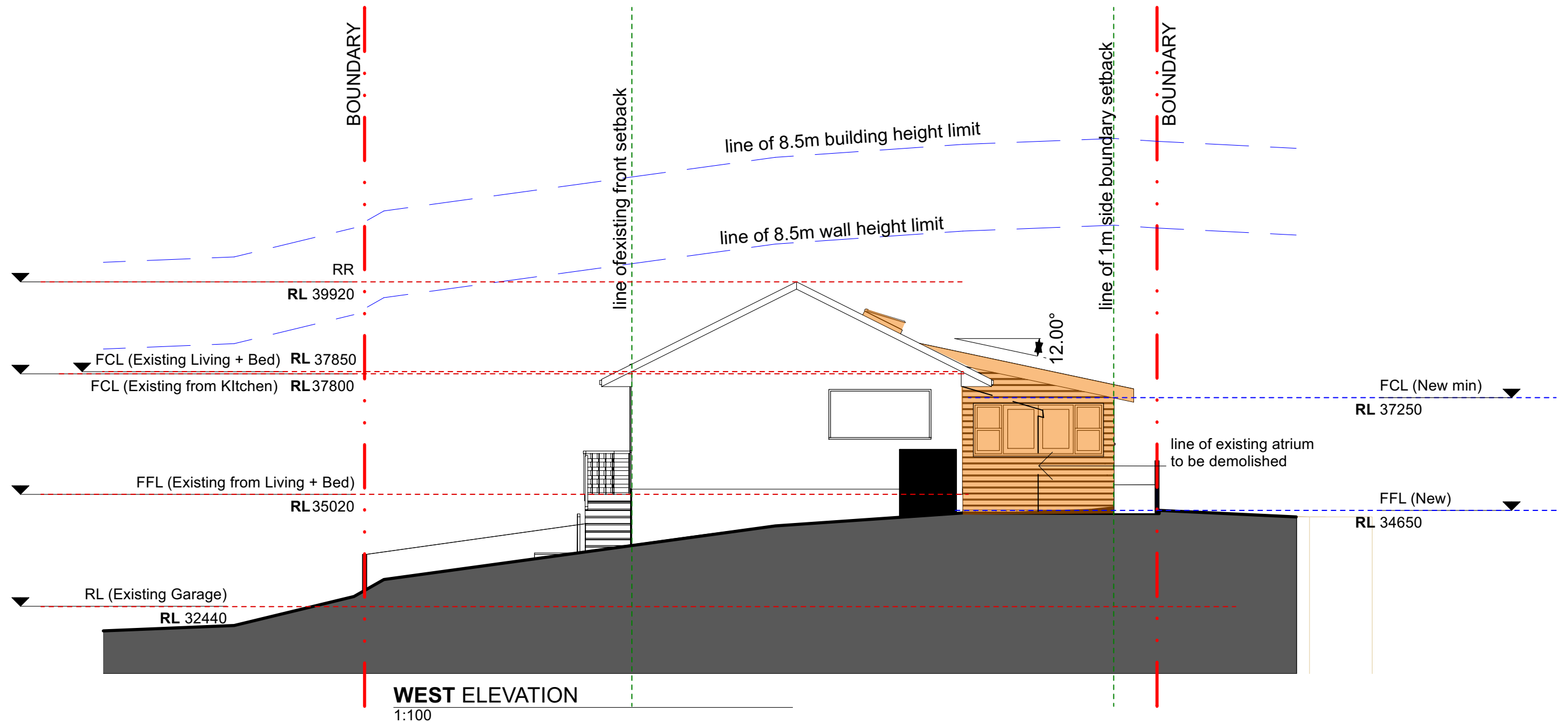
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**Revision**  
A 23/3/21 For submission

**DA 10**

**Drawn by**  
DJ  
**Scale**  
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## WEST ELEVATION

### FOR DEVELOPMENT APPLICATION

#### Notes






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#### Revision

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# DA 11

Drawn by

DJ

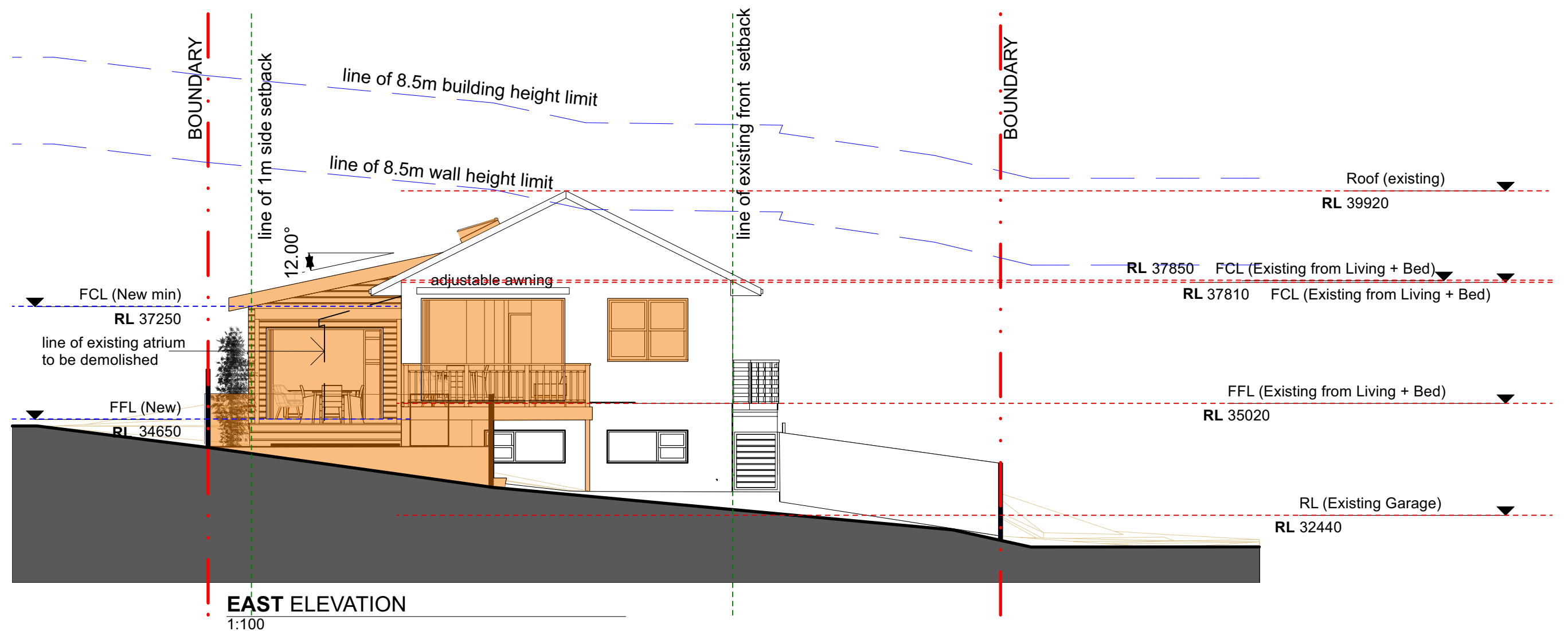
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## EAST ELEVATION

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# DA 12

Drawn by

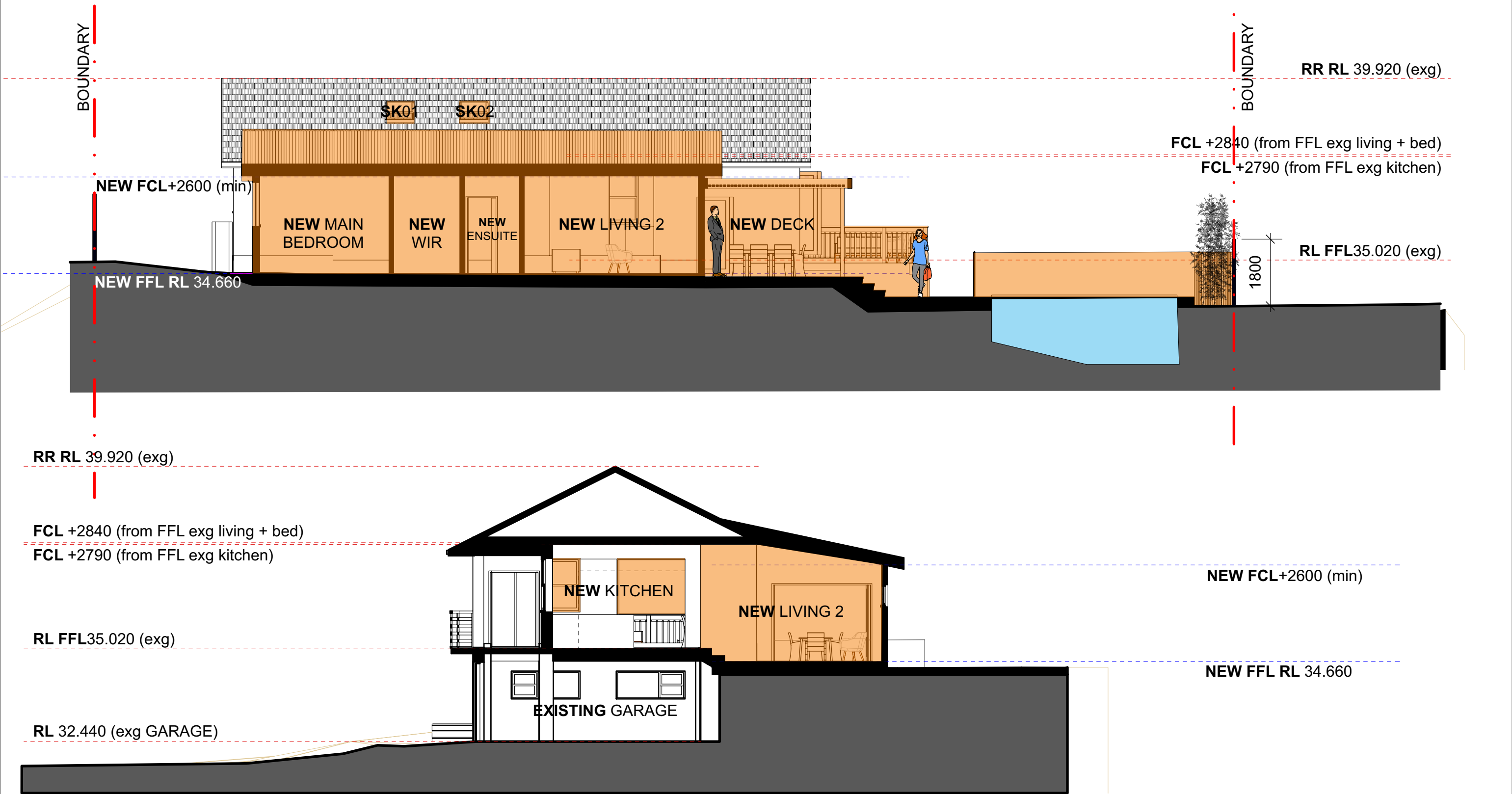
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Scale

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SECTIONS A-A + B-B  
FOR DEVELOPMENT APPLICATION

**your beautiful Home.**

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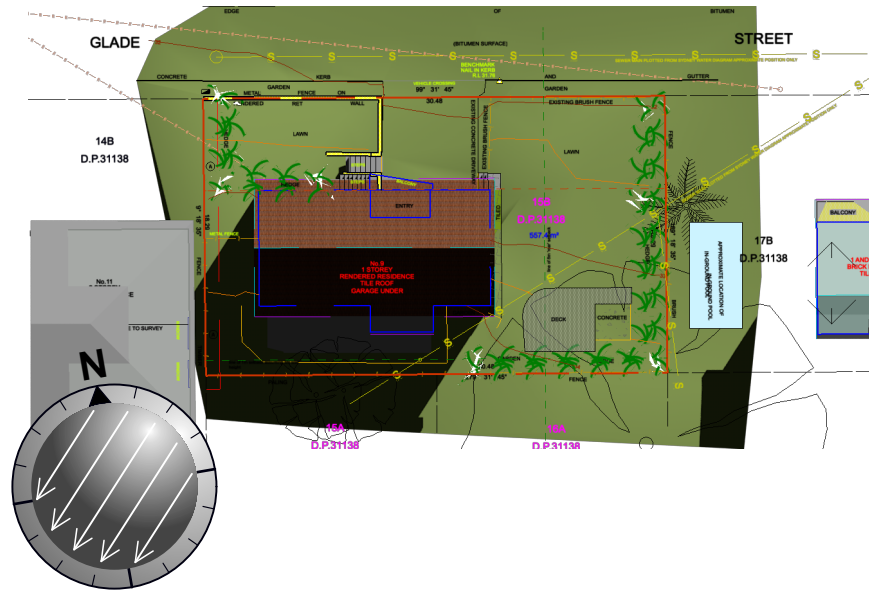
**Project Name**  
9 Glade Street, Balgowlah Heights  
Lot 15B DP31138  
Site Area 557.4sqm  
**Client**  
Jacqui + Chris Levings

**Revision**  
A 23/3/21 For submission

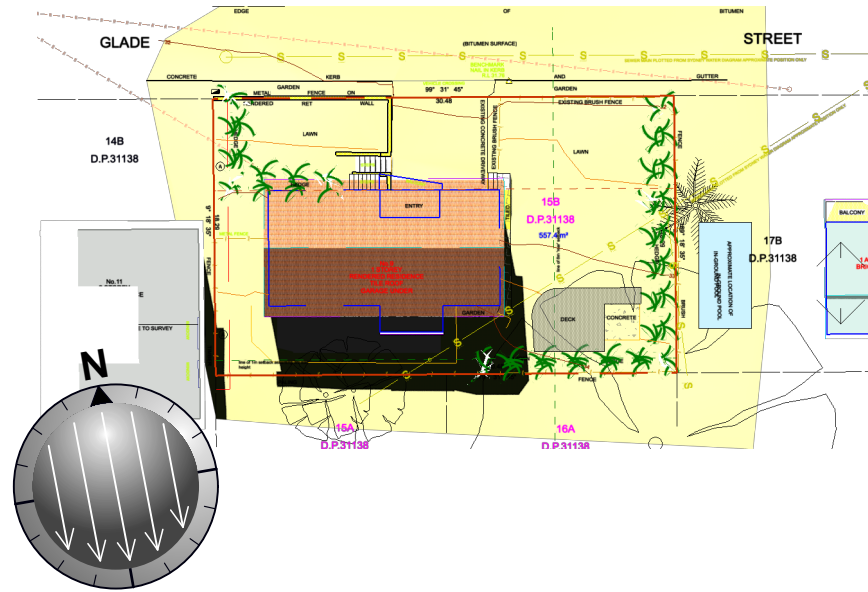
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**Drawn by**  
DJ  
**Scale**  
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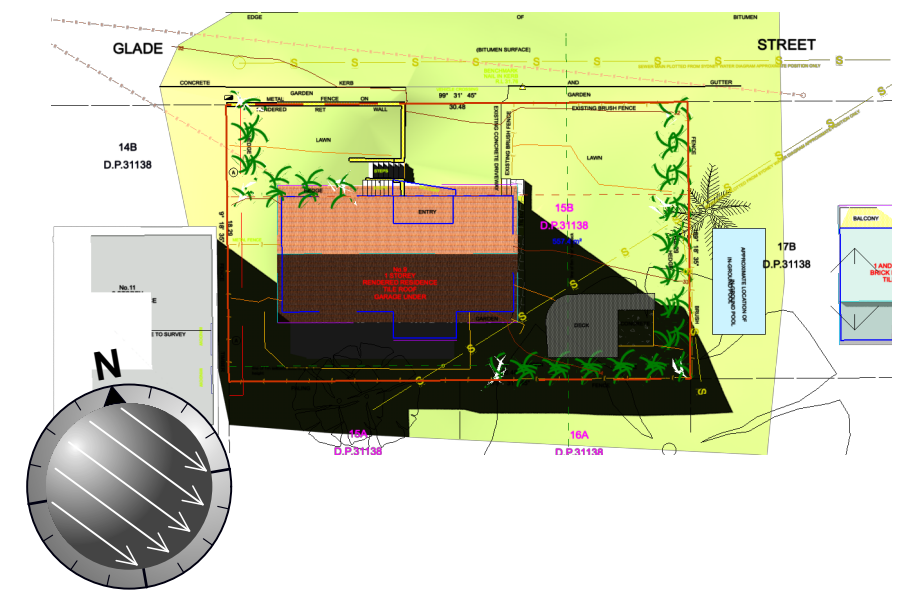




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Sydney  
June 21

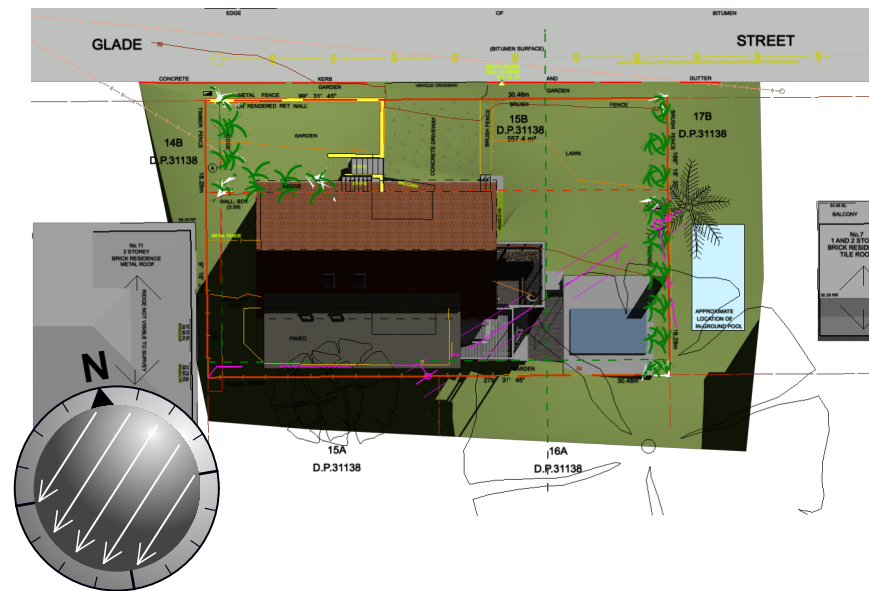


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June 21

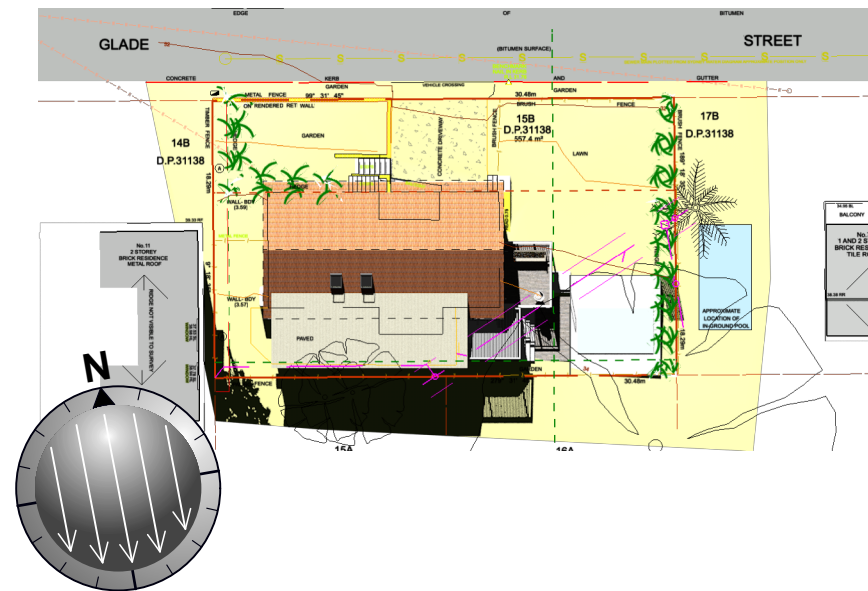


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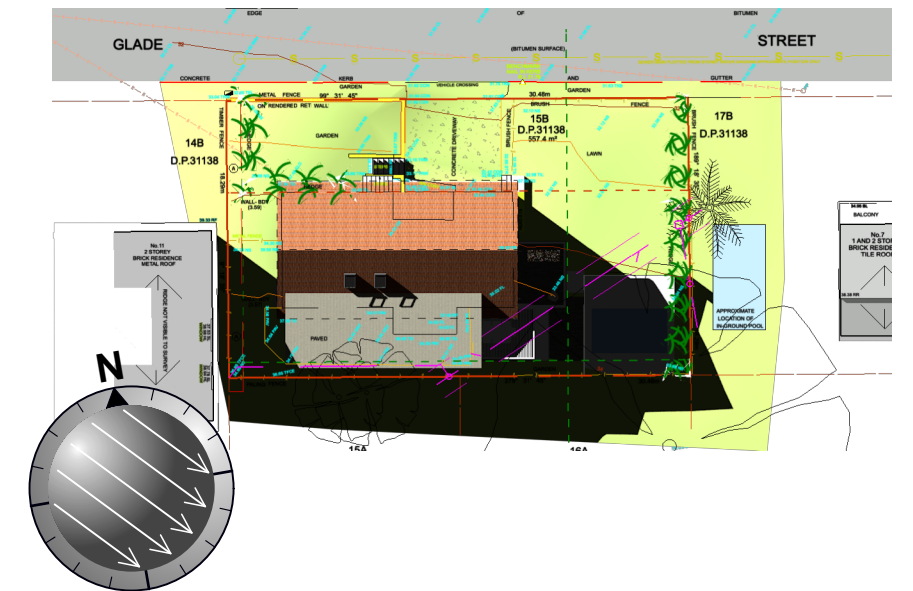
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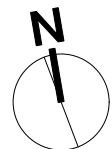


**12:00 PM**  
Sydney  
June 21



**3:00 PM**  
Sydney  
June 21

**PROPOSED**



## SHADOW DIAGRAMS FOR DEVELOPMENT APPLICATION

### Notes

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### Drawing Key

- New work
- New Walls
- Existing walls
- Demolish
- Fill

### Project Name

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Site Area 557.4sqm

### Client

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### Revision

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**DA 14**

Drawn by

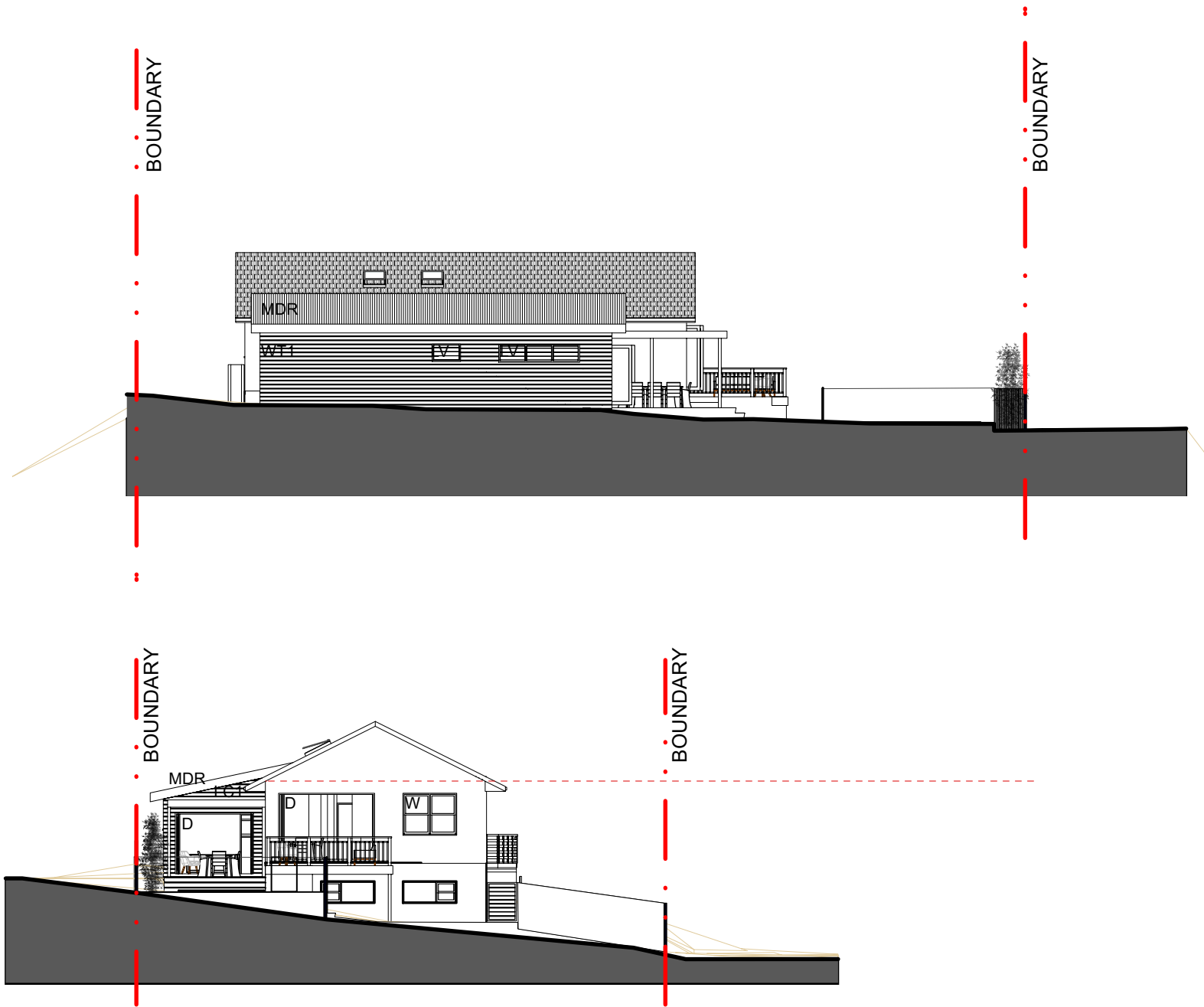
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Scale

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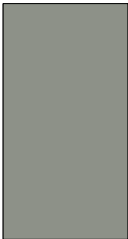
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**MDR | Metal Deck Roof**

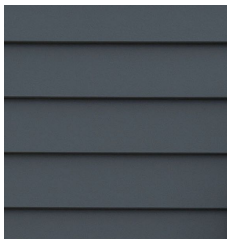


**roof type |** Colorbond  
Custom Orb profile

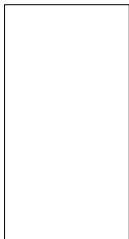


**roof colour |**  
Windspray or similar

**WT1 | Exterior Wall Cladding**



**cladding type |**  
James Hardie 180mm  
Scyon Linea or similar



**wall colour |**  
White TBC

**W + D | Exterior Windows and Doors**

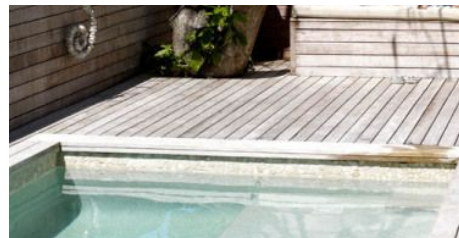


**window + door types |**  
painted  
timber



**colour |**  
White

**Timber**



Fade to grey timber decking

# MATERIALS

## FOR DEVELOPMENT APPLICATION

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**DA 15**

### Drawn by

DJ

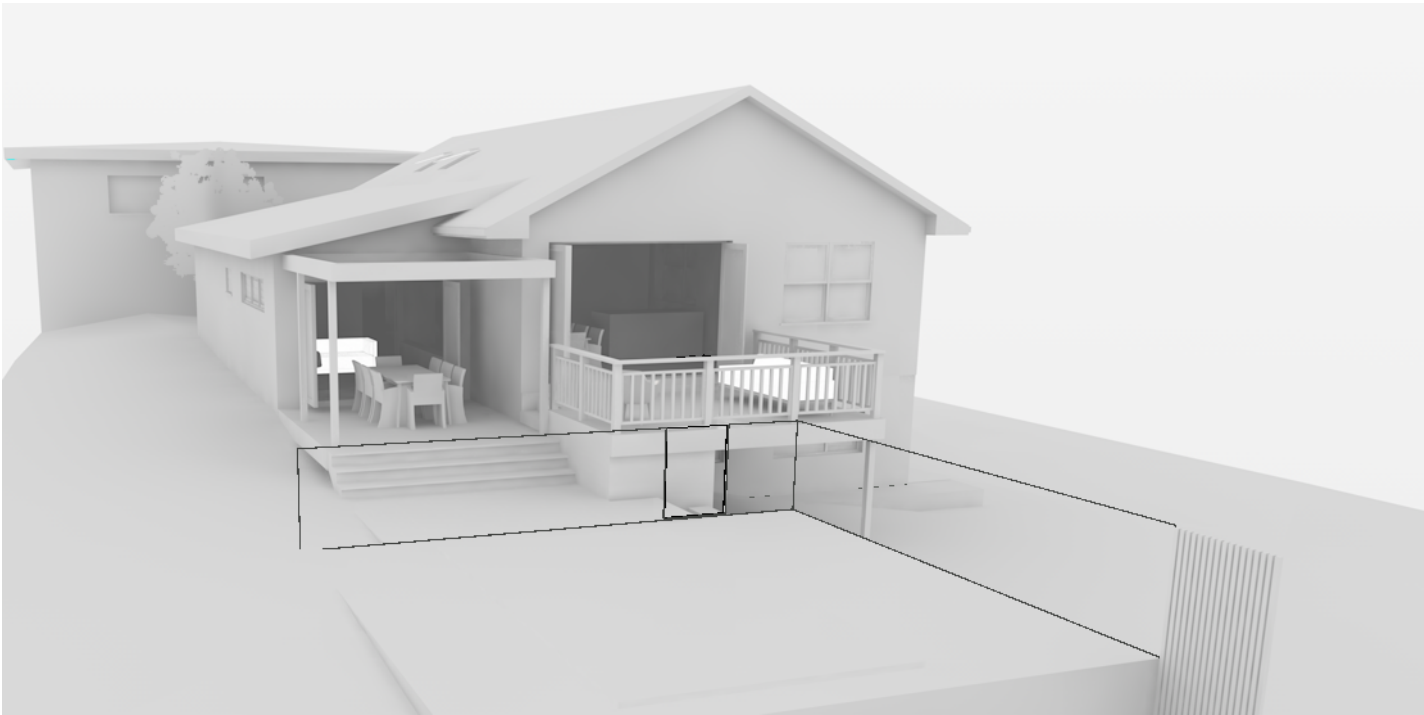
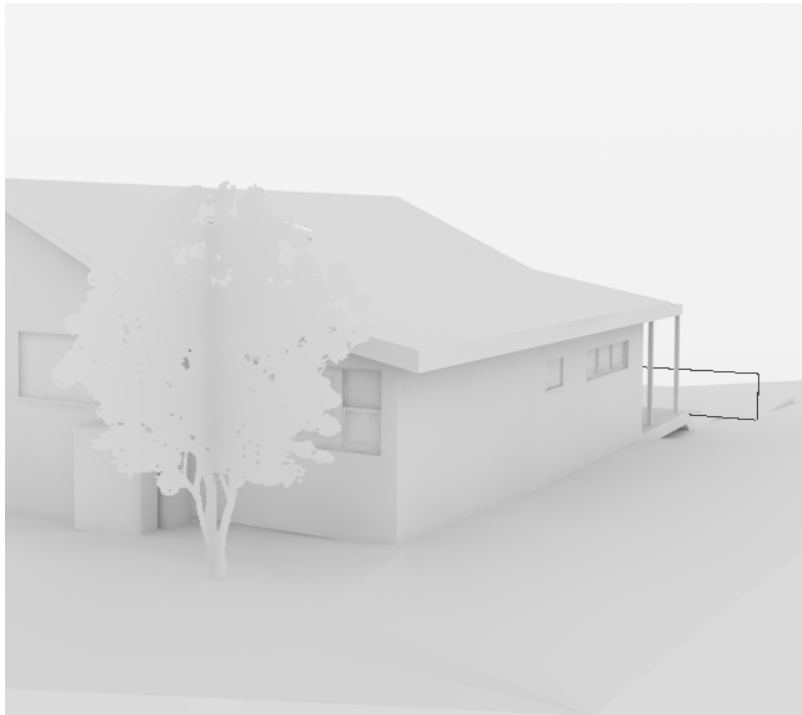
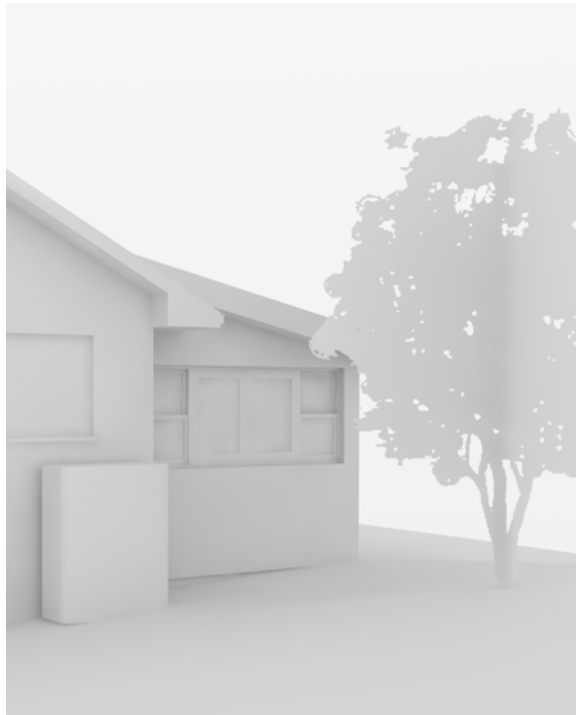
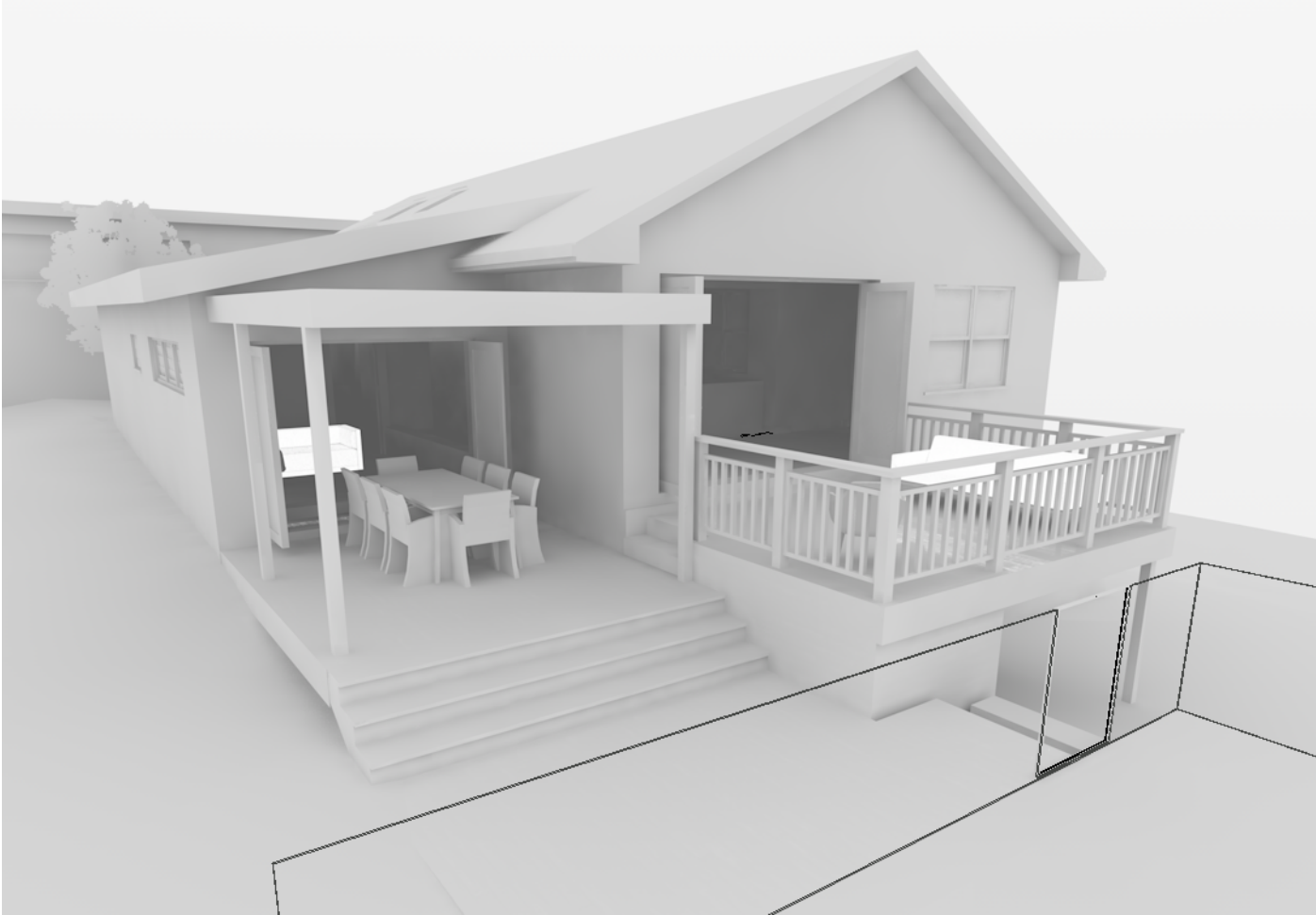
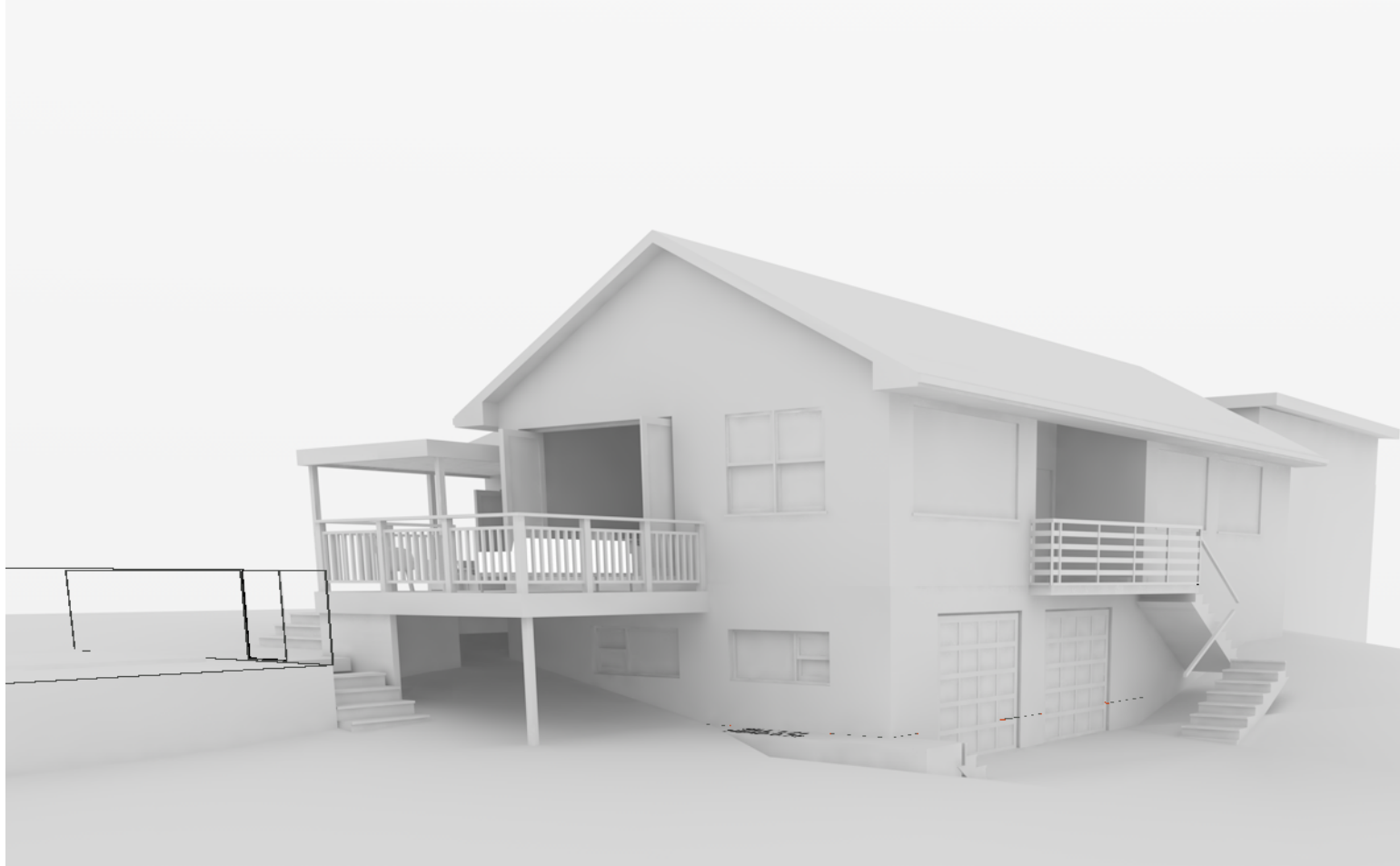
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


# 3D VIEWS

## FOR DEVELOPMENT APPLICATION



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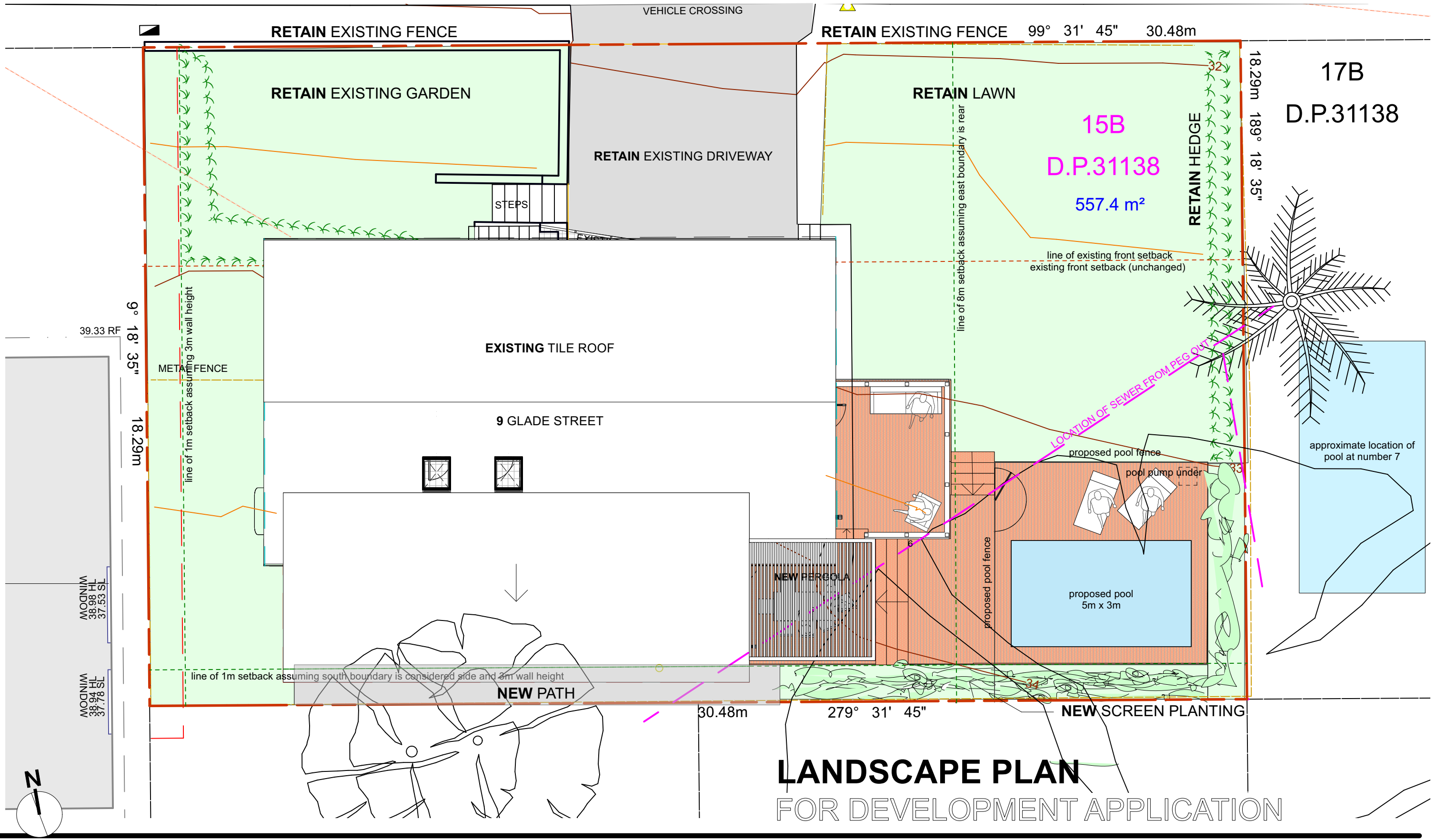
**Revision**  
A 23/3/21 For submission

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DJ  
**Scale**  
1:100

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# LANDSCAPE PLAN

## FOR DEVELOPMENT APPLICATION

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- Drawing Key**
- New work
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  - Existing walls
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  - Fill

**Project Name**  
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Lot 15B DP31138  
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**Client**  
Jacqui + Chris Levings

**Revision**  
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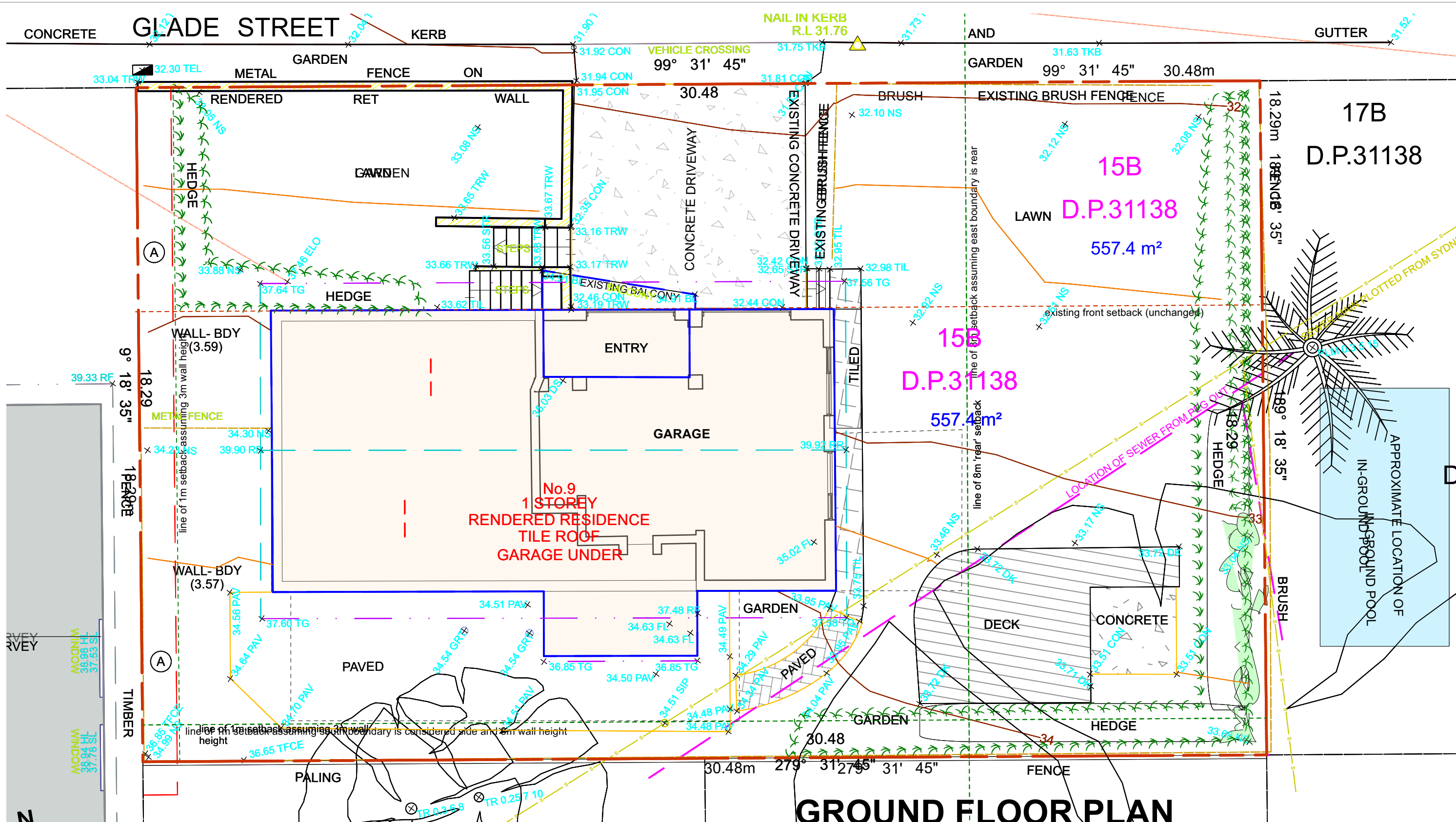
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**Drawn by**  
DJ

**Scale**  
1:100



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# GROUND FLOOR PLAN

## FOR DEVELOPMENT APPLICATION

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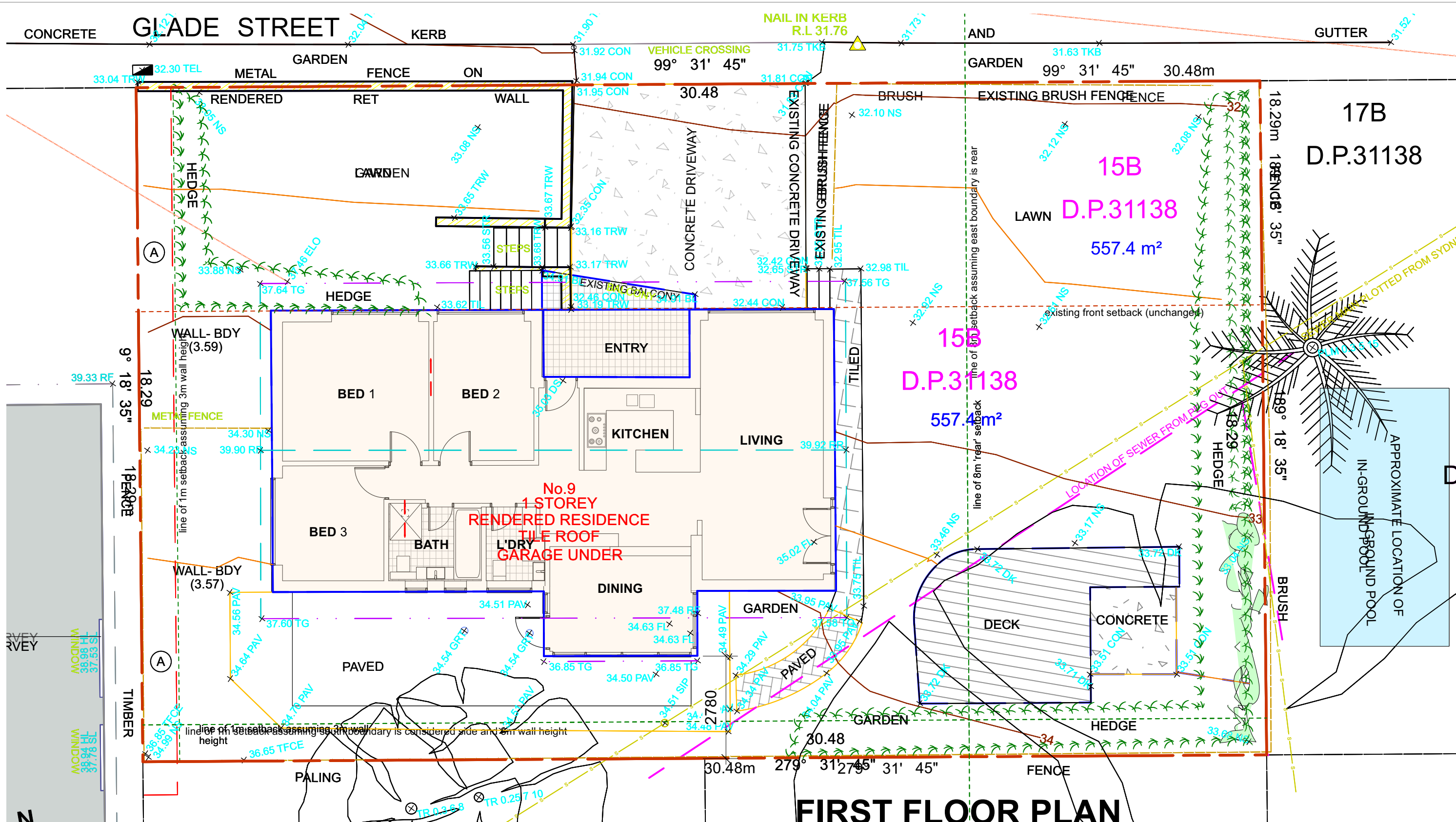
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**Drawn by**  
DJ

**Scale**  
1:100







# FIRST FLOOR PLAN

## FOR DEVELOPMENT APPLICATION

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### Client

Jacqui + Chris Levings

### Revision

A 23/3/21 For submission

# MD01

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DJ

Scale

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