

ENCUMBRANCES NOTED ON TITLE FOLIO 2/E/2044  
1. RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS

LEGEND

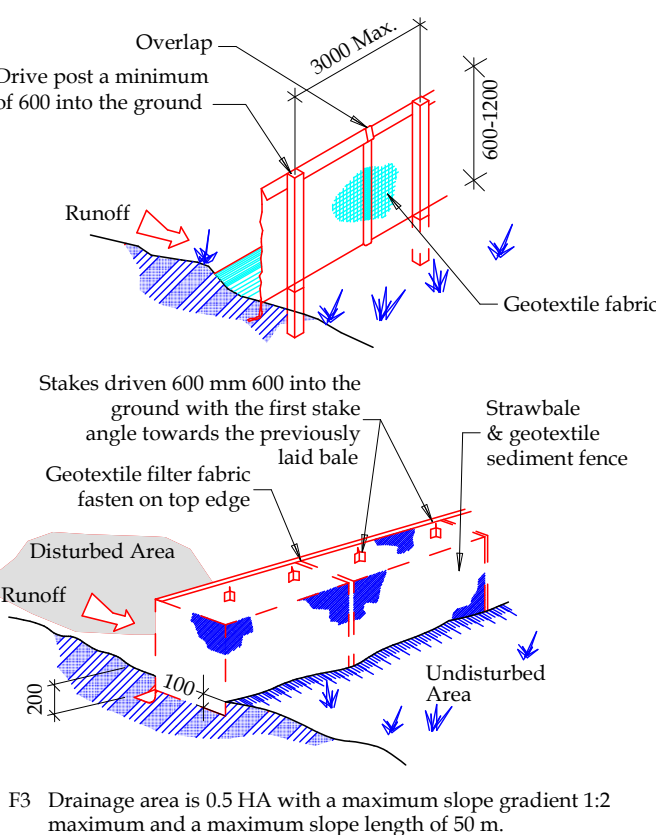
- +26.23 Denotes spot height.
- +25.37 TK Denotes height on top of kerb.
- T-0.2/5/4 Denotes tree-diameter/spread/height.
- Denotes overhead power wires.
- Denotes Sydney Water Sewer.
- (Plotted approx vide DBYD Sequence No.81888931)
- Denotes flow direction of roof waters.
- Denotes ridge and levels.
- Denotes gutter and levels.
- Denotes level on top of wall. All walls Rendered, unless noted otherwise.
- Denotes window and levels.
- Denotes door and levels.

Sediment and Erosion control fences:

The Builder shall supply and fix all sediment and erosion control fences, as required by Council prior to any excavation works

SEDIMENT FENCE

- F1 Provide sediment fence on down slope boundary as shown on plan.
- F2 Geotextile fabric to be buried 200 mm below ground at the lower edge.



SITE RATIOS - EXISTING:

SITE AREA	619.7m <sup>2</sup>	
FOOTPRINT OF RESIDENCE	179m <sup>2</sup>	
AREAS LESS THAN 3m WIDE or 12m <sup>2</sup>	48m <sup>2</sup>	
DRIVEWAY	59m <sup>2</sup>	
SUM TOTAL	286m <sup>2</sup>	
OPEN SPACE AREA	333.7m <sup>2</sup>	53.8%
(Minimum required)	340.8m <sup>2</sup>	55%
SWIMMING POOL & SURROUNDS	84m <sup>2</sup>	
PAVED AREAS & PATHWAYS	28m <sup>2</sup>	
HARD OPEN SPACE	112m <sup>2</sup>	65%
SOFT OPEN SPACE AREA	221.7m <sup>2</sup>	
(Minimum required 35% of 340.8m)	119.3m <sup>2</sup>	

SITE RATIOS - PROPOSED:

SITE AREA	619.7m <sup>2</sup>	
FOOTPRINT OF RESIDENCE	192.5m <sup>2</sup>	
AREAS LESS THAN 3m WIDE or 12m <sup>2</sup>	49m <sup>2</sup>	
DRIVEWAY	59m <sup>2</sup>	
SUM TOTAL	300.5m <sup>2</sup>	
OPEN SPACE AREA	319.2m <sup>2</sup>	51.5%
(Minimum required)	340.8m <sup>2</sup>	55%
SWIMMING POOL & SURROUNDS	84m <sup>2</sup>	
PAVED AREAS & PATHWAYS	20m <sup>2</sup>	
HARD OPEN SPACE	104m <sup>2</sup>	63.1%
SOFT OPEN SPACE AREA	215.2m <sup>2</sup>	
(Minimum required 35% of 340.8m)	119.3m <sup>2</sup>	

NOTES:

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BASIX INFORMATION REQUIREMENTS:

LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

HOT WATER SYSTEM:

The existing Hot water system shall remain.

INSULATION REQUIREMENTS:

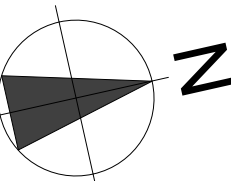
Suspended Floor with enclosed sub floor: The suspended floor shall meet minimum R 1.30 (including construction)  
Floor above existing dwelling or building: Nil  
External walls: The external walls shall meet minimum R 1.70 (including construction)  
Ceilings: The new ceilings shall meet minimum R 0.70 (up)  
Roof: The roof shall have a foil backed blanket (75mm) and be of light colour (solar absorption < 0.475)

WINDOWS & GLAZED DOORS:

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Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basix certificate  
Shading devices: Shading devices shall be installed in accordance with the Basix certificate  
Frames and glazing: Frame and glazing types shall meet the requirements of the Basix certificate

SKYLIGHTS:

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All new skylights shall meet the requirements of the Basix certificate



Project North



LEVEL 1, 10/14 NARABANG WAY - BELROSE  
PH. (02)9986 1311 FAX (02)9986 1322

Client

MR & MRS DOWNEY

Project Name

ALTERATIONS & ADDITIONS

1 KAREEMA STREET

LOT 2, SEC. E, D.P. 2044

BALGOWLAH N.S.W. 2093

Drawing Title:

SITE PLAN

Scale: 1:100 (A1)

Date: DECEMBER 2019

COUNCIL: NORTHERN BEACHES

Checked By: J. ADAMS

Project No:

1815

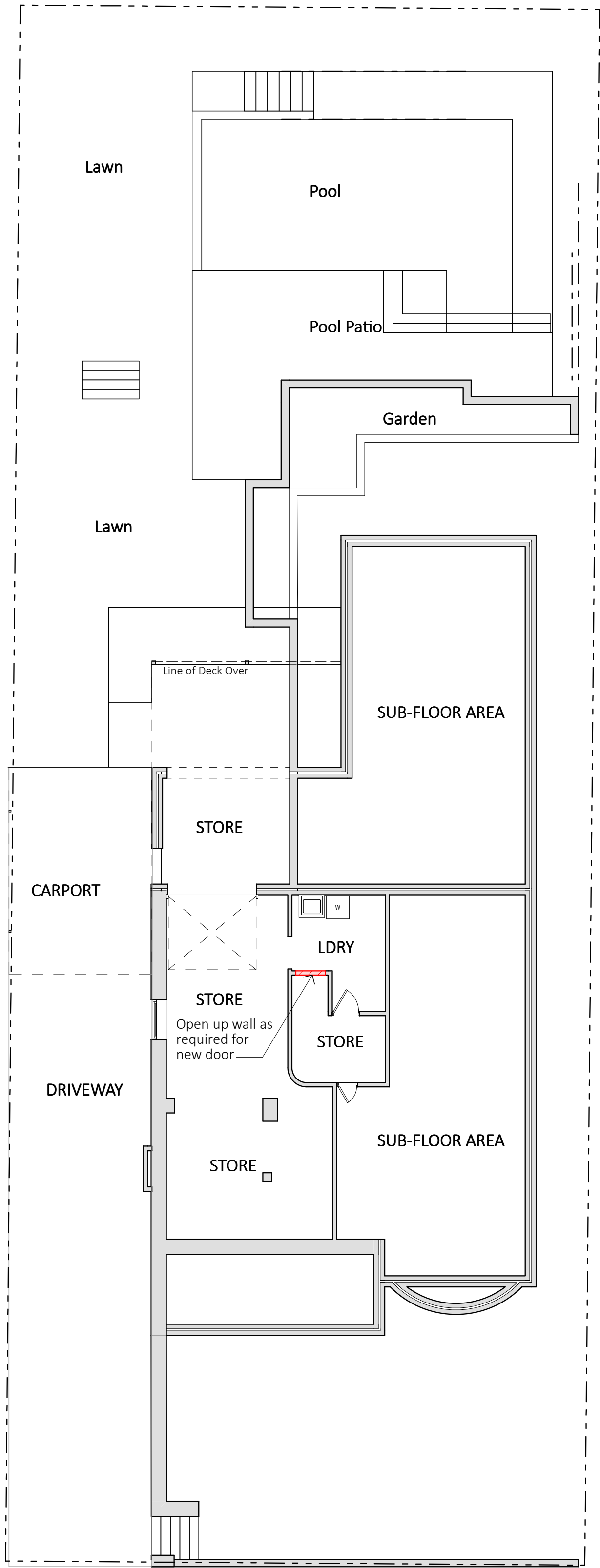
Drawing No.:

DA 01

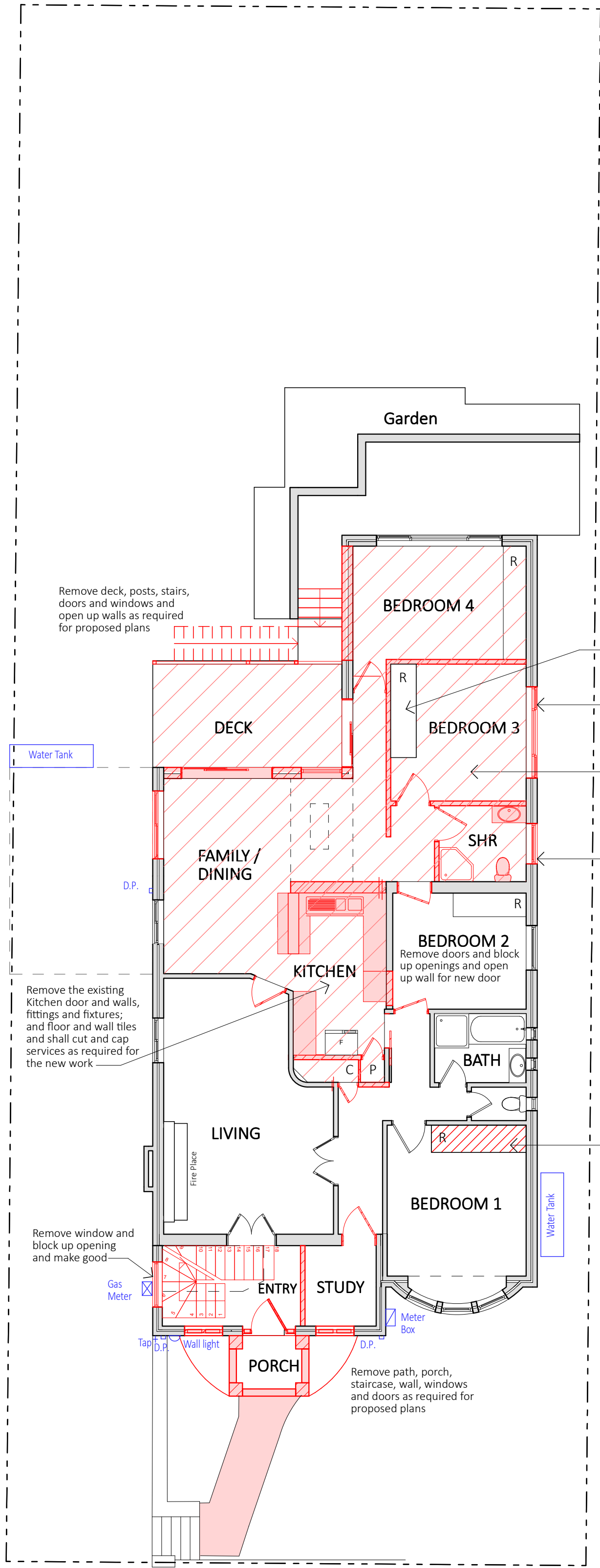
ANNEXURE "A"

Plot Date: 18/12/2019

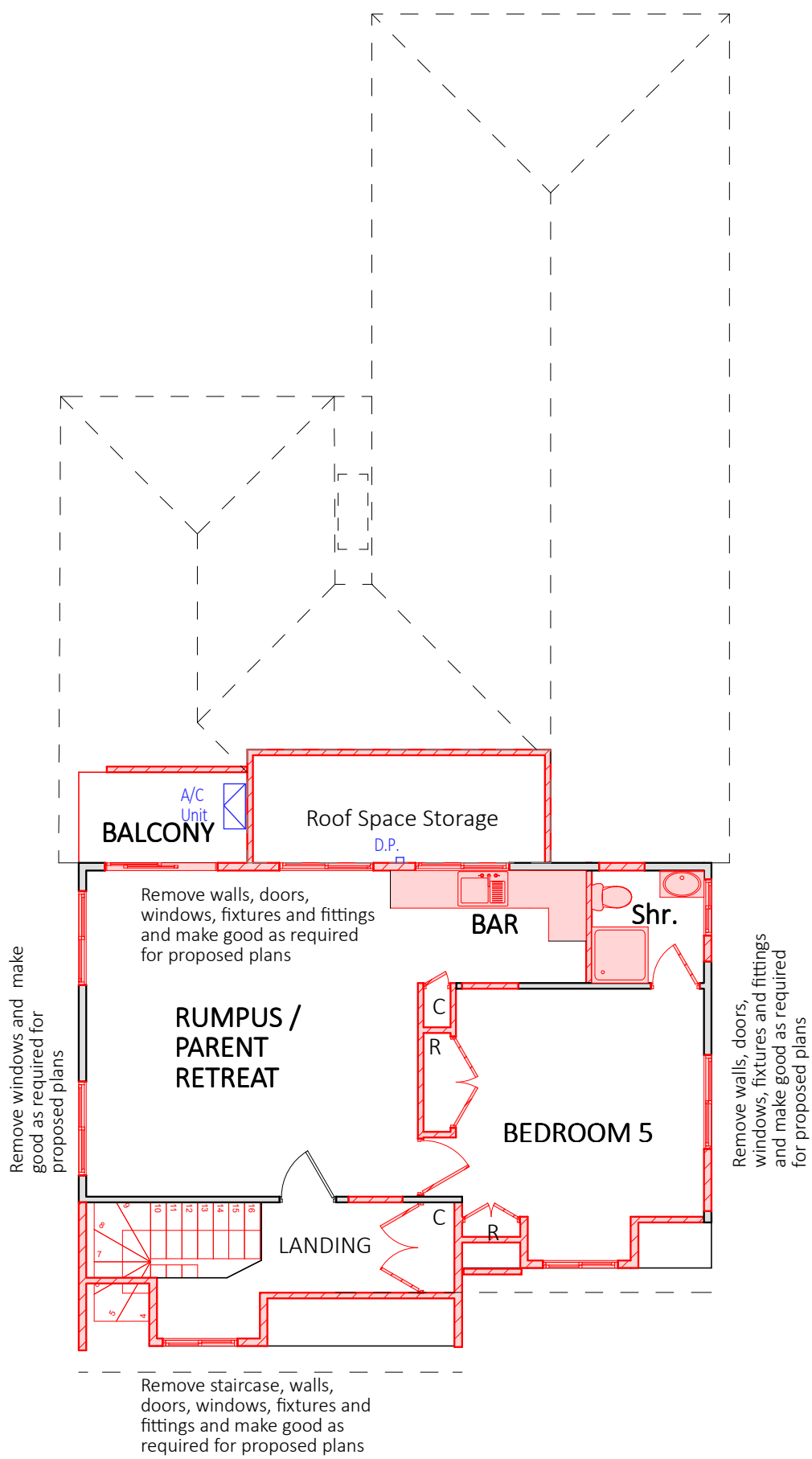




1 EXISTING BASEMENT FLOOR 1:100



2 EXISTING GROUND FLOOR 1:100



3 EXISTING FIRST FLOOR 1:100

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**BASIX INFORMATION REQUIREMENTS:**  
**LIGHTING:**  
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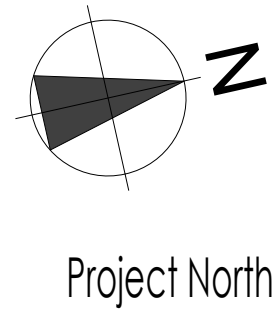
**WATER COMMITMENTS:**  
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

**HOT WATER SYSTEM:**  
The existing Hot water system shall remain.

**INSULATION REQUIREMENTS:**  
Suspended Floor with enclosed sub floor: The suspended floor shall meet minimum R 1.30 (including construction)  
Floor above existing dwelling or building: Nil  
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All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate.  
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Client  
**MR & MRS DOWNEY**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**1 KAREEMA STREET**  
**LOT 2, SEC. E, D.P. 2044**  
**BALGOWLAH N.S.W. 2093**

Drawing Title:  
**EXISTING FLOOR PLANS**

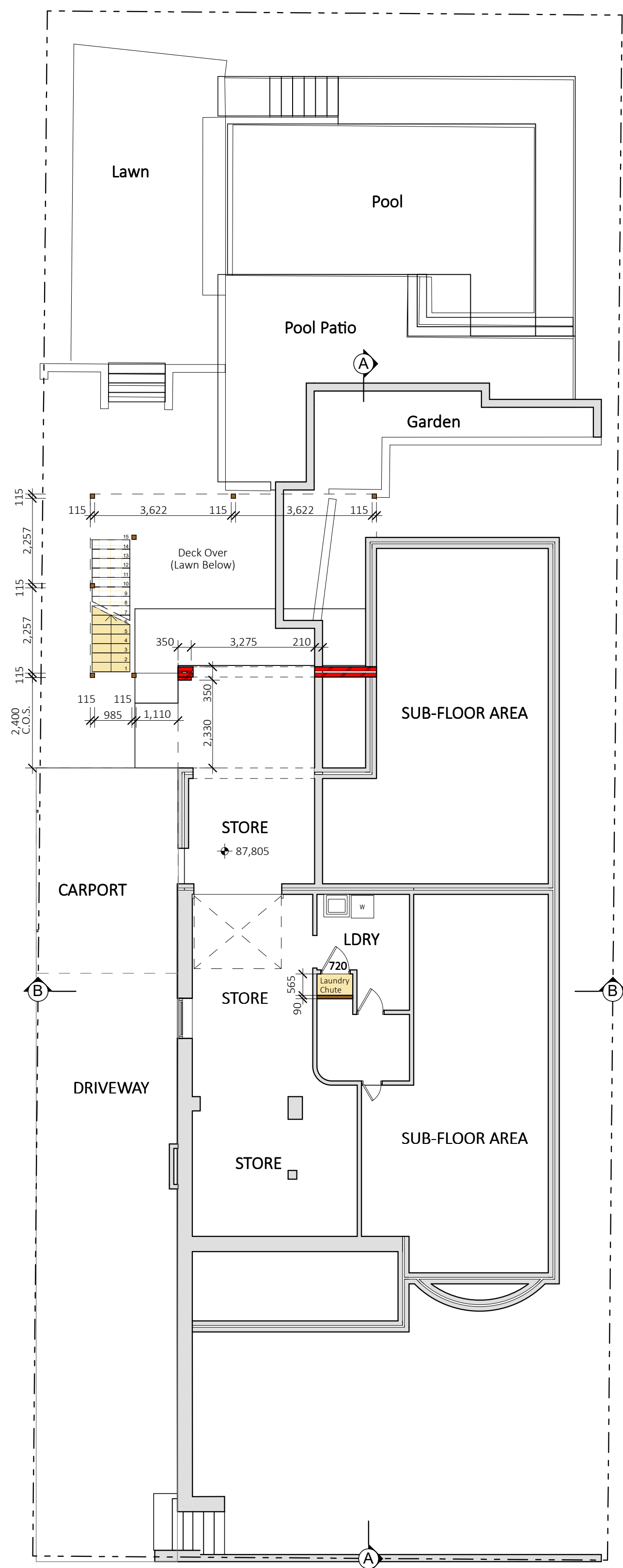
Scale: Date: DECEMBER 2019  
COUNCIL: NORTHERN BEACHES Checked By: J. ADAMS

Project No.: **1815**  
Drawing No.: **DA 02**

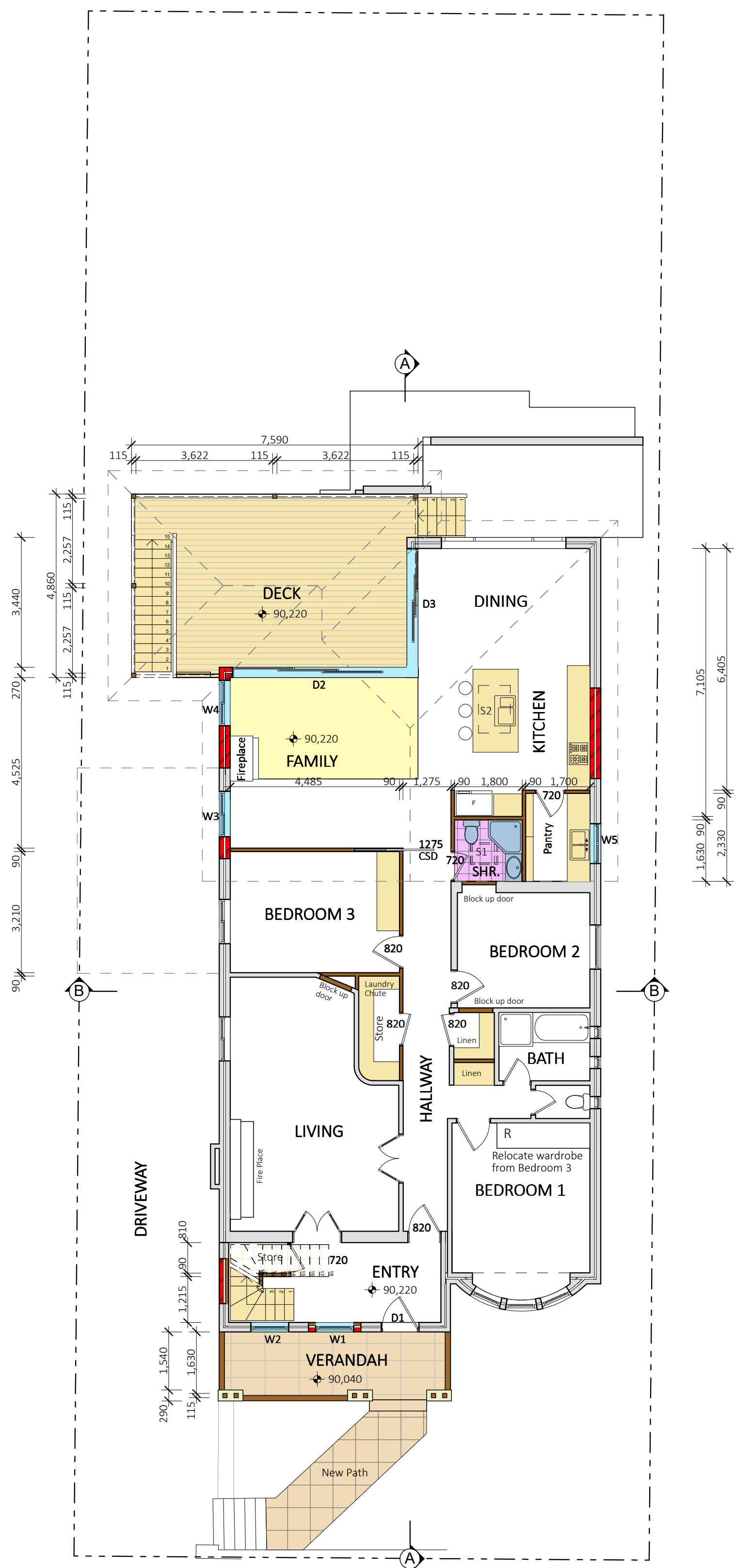
**ANNEXURE "A"** Plot Date: 18/12/2019



 **THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2020/0062**



1 BASEMENT FLOOR 1:100



2 PROPOSED GROUND FLOOR 1:100

FLOOR AREA CALCULATIONS- EXISTING	
SITE AREA	619.7m <sup>2</sup>
EXISTING LAUNDRY FLOOR AREA	6.5m <sup>2</sup>
EXISTING GROUND FLOOR AREA	158m <sup>2</sup>
EXISTING FIRST FLOOR AREA	60.5m <sup>2</sup>
SUM TOTAL FLOOR SPACE RATIO	225m <sup>2</sup> 0.36:1
	(max. permissible 0.45:1)

FLOOR AREA CALCULATIONS- PROPOSED	
SITE AREA	619.7m <sup>2</sup>
PROPOSED LAUNDRY FLOOR AREA	6.5m <sup>2</sup>
PROPOSED GROUND FLOOR AREA	170m <sup>2</sup>
PROPOSED FIRST FLOOR AREA	88m <sup>2</sup>
SUM TOTAL FLOOR SPACE RATIO	264.5m <sup>2</sup> 0.43:1
	(max. permissible 0.45:1)

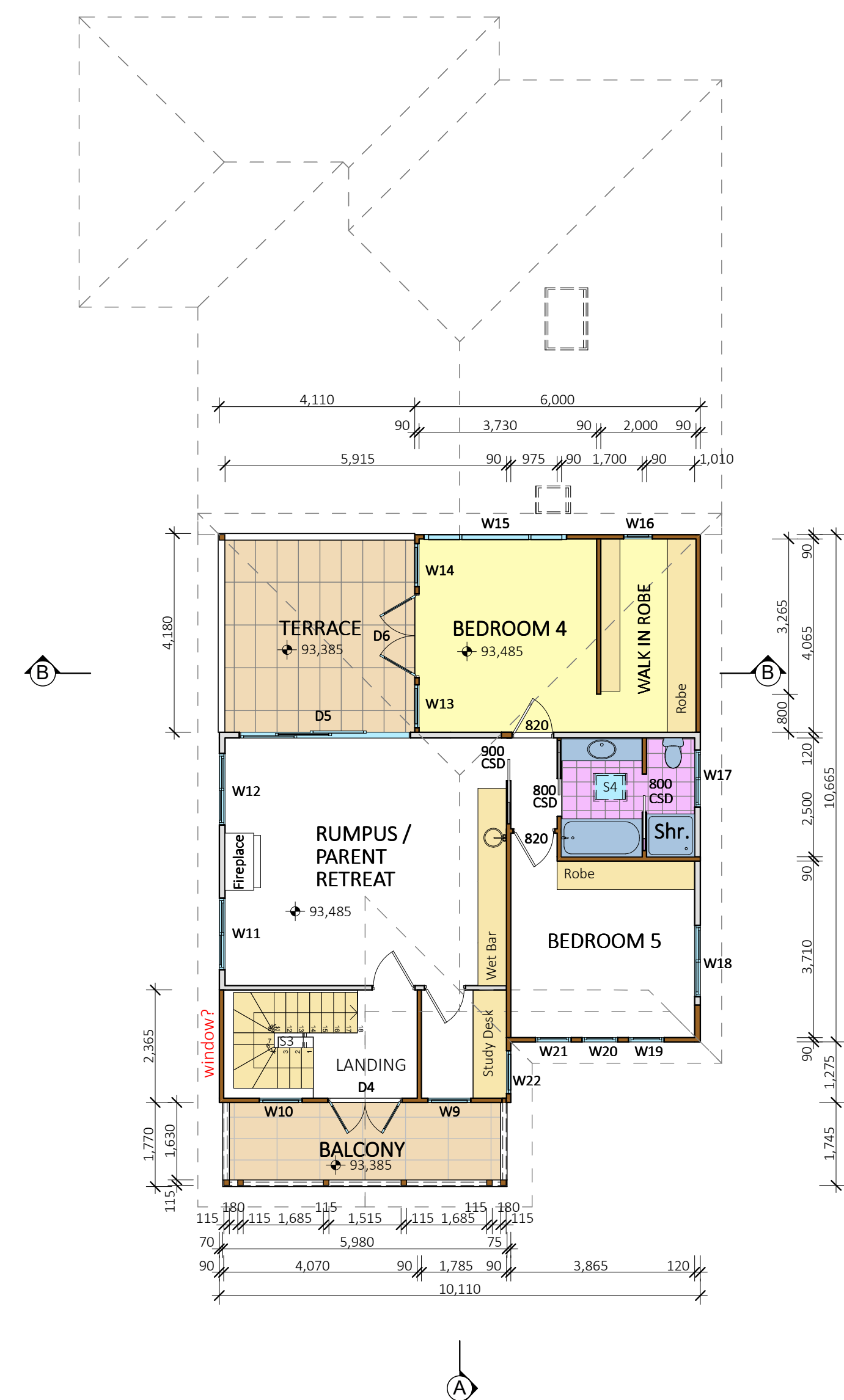
## WINDOW / DOOR SCHEDULE

**NOTE:** The Builder shall source all windows and doors from "Vantage" Aluminium

**NOTE:** All new windows and new external doors are to comply with the Basix Certificate

**NOTE:** The Builder shall check measure all windows and doors on site prior to order

W 1	1500h x 1000w 'Magnum' Aluminium Framed Double Hung Window
W 2	1500h x approx. 1000w to fit existing opening 'Magnum' Aluminium Framed Double Hung Window
W 3	1500h x 1200w Aluminium Framed Sliding Window
W 4	1500h x 1200w Aluminium Framed Sliding Window
W 5	600h x approx. 1060w to fit existing opening Aluminium Framed Casement Window
W 6	Removed
W 7	Removed
W 8	Removed
W 9	1800h x 900w Aluminium Framed Louvre Window
W 10	1800h x 900w Aluminium Framed Louvre Window
W 11	1200h x 1500w Aluminium Framed Sliding Window
W 12	1200h x 1500w Aluminium Framed Sliding Window
W 13	1800h x 900w Aluminium Framed Louvre Window
W 14	1800h x 900w Aluminium Framed Louvre Window
W 15	1200h x 3000w Aluminium Framed Sliding Window
W 16	1200h x 600w Aluminium Framed Louvre Window
W 17	600h x 1200w Aluminium Framed Sliding Window with Obscure Glass
W 18	600h x 1500w Aluminium Framed Sliding Window
W 19	1200h x 750w 'Magnum' Aluminium Framed Double Hung Window
W 20	1200h x 750w 'Magnum' Aluminium Framed Double Hung Window
W 21	1200h x 750w 'Magnum' Aluminium Framed Double Hung Window
W 22	1200h x 900w Aluminium Framed Louvre Window
D 1	Select Entry Door Approx. 2400h x 1000w
D 2	2100h x 4900w Aluminium Framed Glass Panel Corner Stacker Doors (Corner with D3)
D 3	2100h x 3400w Aluminium Framed Glass Panel Corner Stacker Doors (Corner with D2)
D 4	2100h x 1560w Aluminium Framed Glass Panel French Doors
D 5	2100h x 3600w Aluminium Framed Glass Panel Stacker Doors
D 6	2100h x 1760w Aluminium Framed Glass Panel French Doors
S 1	665 x 665mm "Velux" Flat Roof Skylight
S 2	870 x 1275mm "Velux" Flat Roof Skylight
S 3	Select 1140 x 1180mm "Velux" Skylight
S 4	Select 550 x 700mm "Velux" Skylight



3 PROPOSED FIRST FLOOR 1:100

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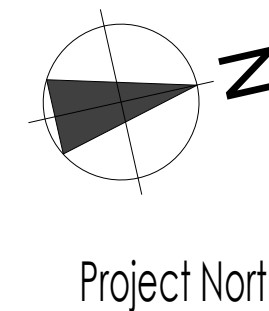
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Client

**MR & MRS DOWNEY**

Project Name

**ALTERATIONS & ADDITIONS**

**1 KAREEMA STREET**

**LOT 2, SEC. E, D.P. 2044**

**BALGOWLAH N.S.W. 2093**

Drawing Title:

## PROPOSED FLOOR PLANS

Scale: 1:100

Date: DECEMBER 2019

COUNCIL: NORTHERN BEACHES

Checked By: J. ADAMS

Project No:

**1815**

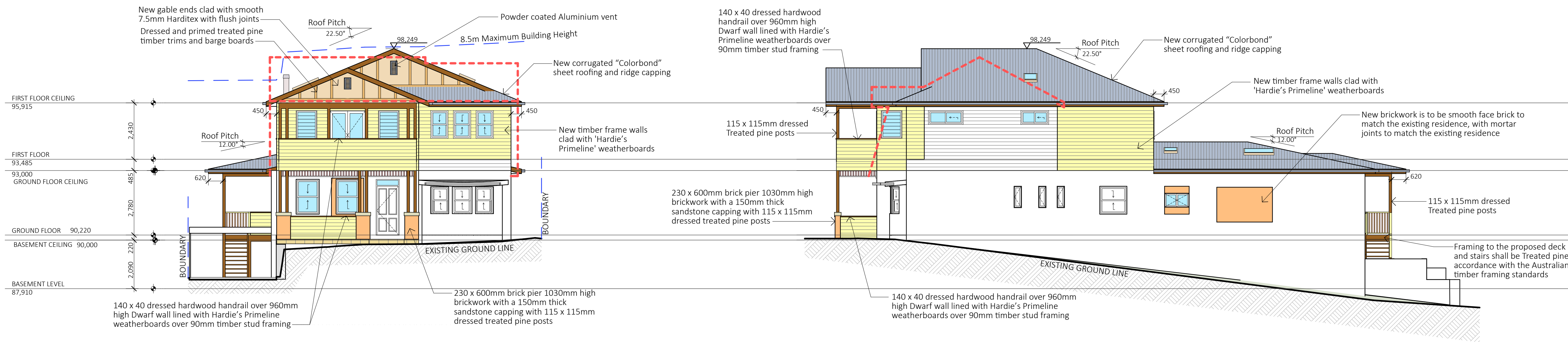
Drawing No.:

**DA 03**

**ANNEXURE "A"**

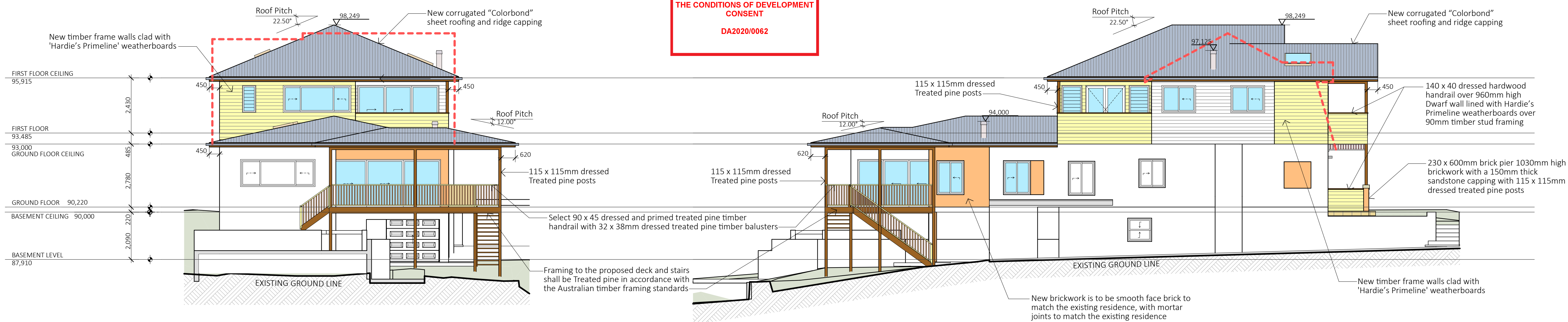
Plot Date: 18/12/2019





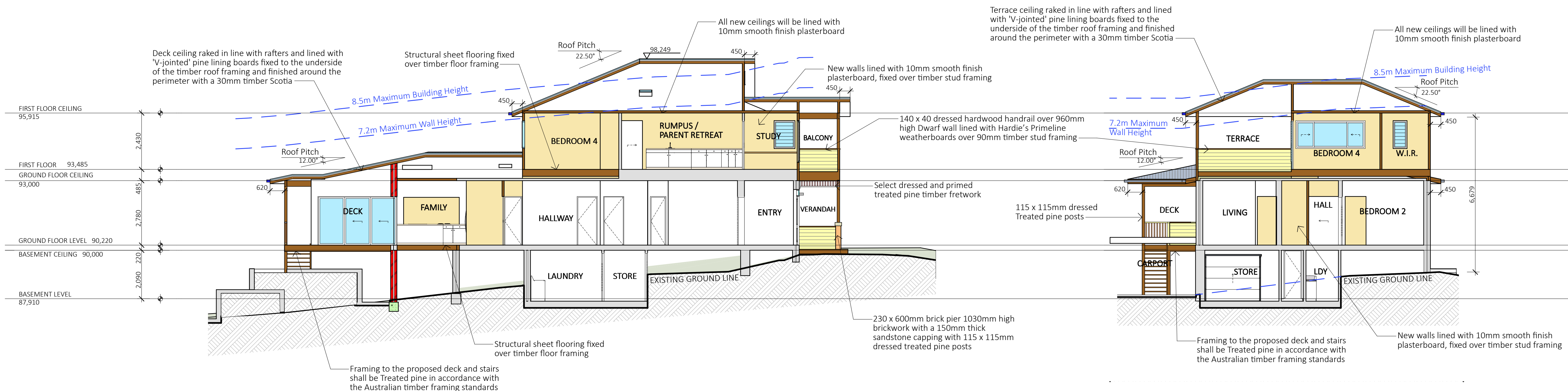
1 EAST ELEVATION 1:100

2 NORTH ELEVATION 1:100



3 WEST ELEVATION 1:100

4 SOUTH ELEVATION 1:100



5 SECTION A - A 1:100

6 SECTION B - B 1:100

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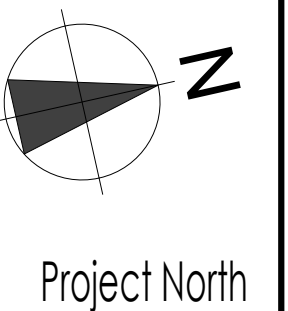
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Project Name  
**ALTERATIONS & ADDITIONS**  
**1 KAREEMA STREET**  
**LOT 2, SEC. E, D.P. 2044**  
**BALGOWLAH N.S.W. 2093**

Drawing Title:  
**ELEVATIONS & SECTIONS**  
Scale: 1:100 Date: DECEMBER 2019  
COUNCIL: NORTHERN BEACHES Checked By: J. ADAMS  
Project No: 1815 Drawing No.: DA 04  
ANNEXURE "A" Plot Date: 18/12/2019