

CONTENTS

DA1	COVER PAGE - MATERIALS AND FINISHES
DA2	SURVEY
DA3	SITE, SITE ANALYSIS & WASTE MANAGEMENT PLAN
DA4	CABANA FLOOR PLAN
DA5	GROUND FLOOR PLAN
DA6	FIRST FLOOR PLAN
DA7	ROOF PLAN
DA8	ELEVATIONS, N, S
DA9	ELEVATIONS, E
DA10	ELEVATIONS, W
DA11	SECTIONS A-A, C-C
DA12	SECTIONS B-B
DA13	SECTIONS D-D, E-E
DA14	FSR PLAN
DA15	LANDSCAPING PLAN
DA16	SOLAR JUNE 21 - 9AM
DA17	SOLAR JUNE 21 - 12PM
DA18	SOLAR JUNE 21 - 3PM
DA19	BASIX

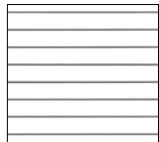
private residence

173a seaforth cres, seaforth

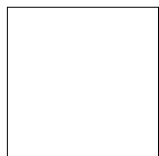
additions and alterations
development application

architectural perspectives

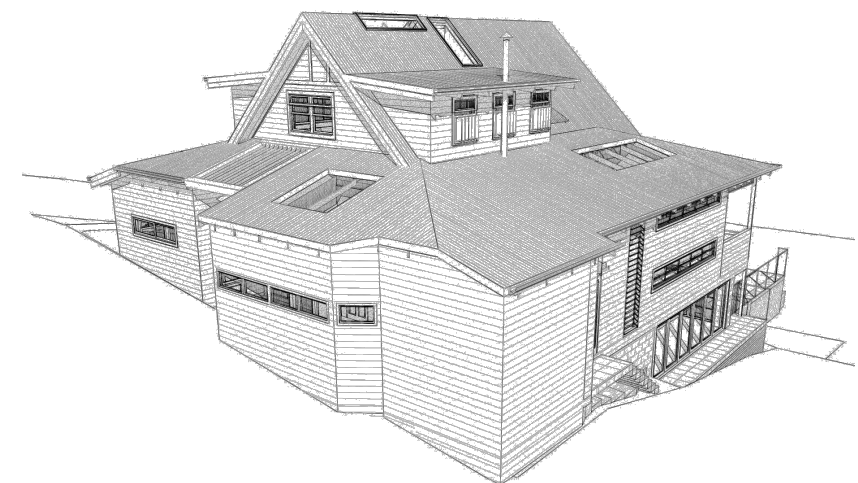
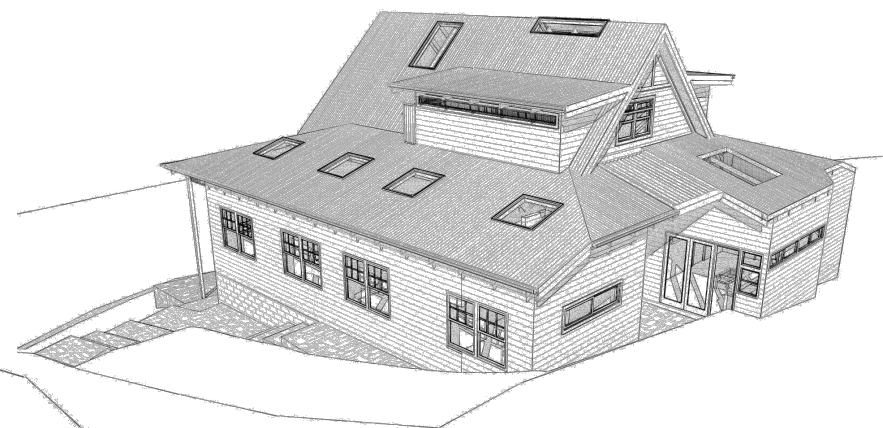
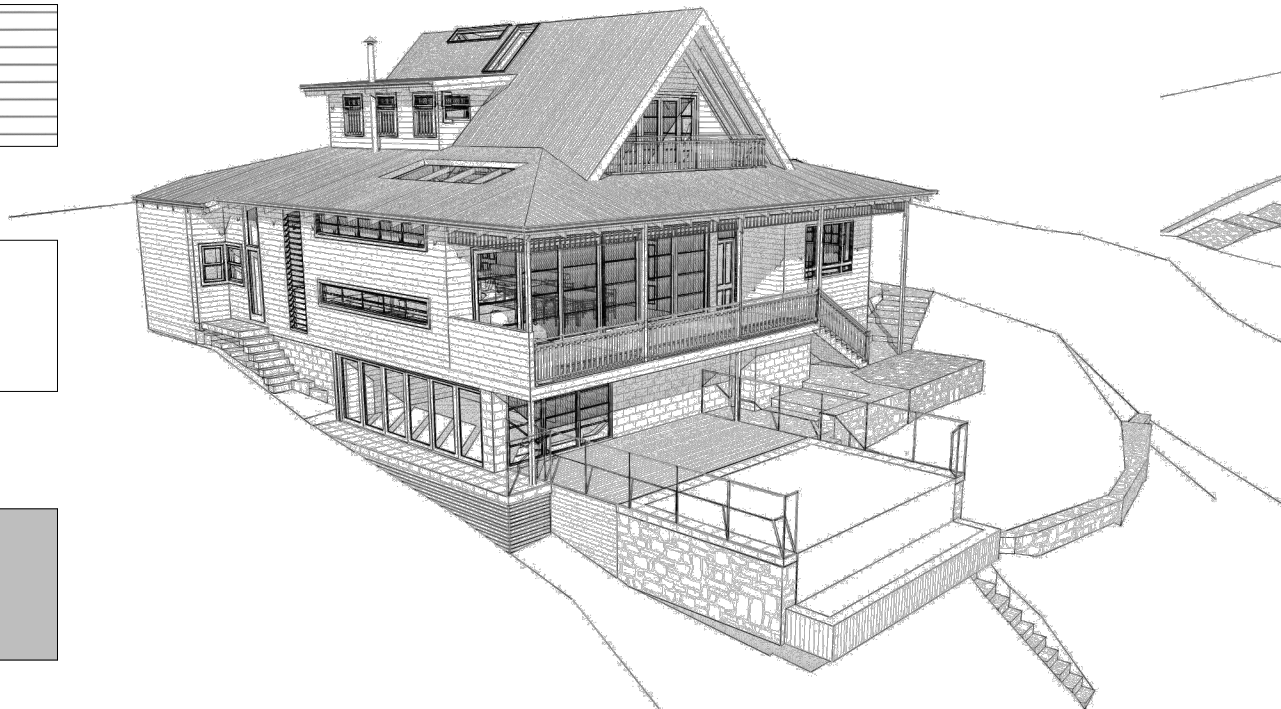
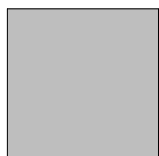
WEATHERBOARD
WEATHERTEX
or similar
to match existing



WINDOWS
WHITE
TIMBER
or similar
to match existing

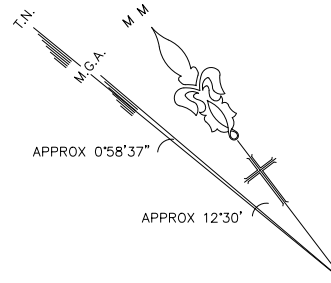
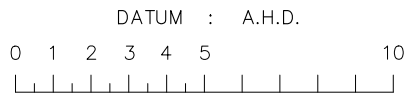


ROOF
COLORBOND
SHALE GREY
or similar



- (A) DENOTES EASEMENT TO DRAIN WATER, SERVICES & RIGHT OF FOOTWAY 1.5 WIDE
(B) DENOTES EASEMENT TO DRAIN SEWAGE & RIGHT OF CARRIAGEWAY VAR. WIDTH
(C) EASEMENT FOR SUPPORT 2 WIDE
(D) EASEMENT FOR SUPPORT
(E) RIGHT OF FOOTWAY 1.22 WIDE
(F) EASEMENT TO DRAIN SEWAGE 1.83 WIDE
(G) EASEMENT TO DRAIN WATER, RIGHT OF FOOTWAY & EASEMENT FOR SERVICES VARIABLE WIDTH
(H) EASEMENT TO DRAIN WATER, RIGHT OF FOOTWAY & EASEMENT FOR SERVICES 2.44 WIDE
(I) RIGHT OF CARRIAGEWAY

DATE	ISSUE	AMENDMENTS
21/04/17	'A'	FIRST ISSUE
10/08/20	'B'	GENERAL UPDATES



LEGEND

	Building	BALC	Balcony Height
	Walls	BOL	Bollard
	Kerb Bottom	BS	Bus Stop
	Concrete edge	BW	Bottom of Window
	Kerb top	CHIM.	Chimney Height
	Barrier	ER	Earth Rod
	Hedge	FH	Fire Hydrant
	Fence	FL	Floor Level
	Overhead Powerline	GU	Gully
	Manholes	GFL	Ground Floor Level
	Survey Station & Name	GM	Gas Meter
	Bench Mark	GV	Gas Valve
	Sapling	HT	Height
	Tree, 12/0.5/10 (Spread/Trunk/Height)	IC	Inspection Cover
	Area Of Undergrowth	LGFL	Lower Floor Level
	Gate	MH	Manhole
	Inspection chamber	PARA	Parapet Height
	Cover level	PP	Power Pole
	Invert level	SFL	Second Floor Level
	Pipe invert (diameter)	SIL	Sill Height
	Gully	SP	Sign Post
	Back Gully	SV	Stop Valve
	Manhole	SVP	Sewer Vent Pipe
		TD	Top of Door
		TOR	Top of Rock
		TDW	Top of Door/Window
		TEL	Telstra
		TG	Top of Gutter
		TL	Traffic Light
		TW	Top of Window
		TOF	Top of Fence
		TOW	Top of Wall
		UND	Underside Height
		WM	Water Meter
		W-B	Wall to Boundary

NOTES:

- ALL DIMENSIONS AND LEVELS SHOULD BE CHECKED ON SITE PRIOR TO DESIGN AND CONSTRUCTION.
- THE INFORMATION ON THIS SURVEY IS TO BE USED FOR DA PURPOSES ONLY.
- IF THERE IS ANY POINT OR FEATURE (e.g. FLOOR LEVEL, WALL POSITION, ROOF OR RIDGE HEIGHT ETC) CRITICAL TO THE PREPARATION OF DESIGN PLANS OR CONSTRUCTION, THAT POINT OR FEATURE SHOULD BE MADE KNOWN TO US SO ITS ACCURACY CAN BE CONFIRMED PRIOR TO THE COMPLETION OF DESIGN PLANS OF COMMENCEMENT OF CONSTRUCTION.
- SOME STRUCTURES AND FEATURES ARE APPROXIMATE ONLY. IF USED FOR DESIGN CONFIRMATION OF ACCURACY SHOULD BE CONFIRMED.
- FENCES ARE APPROXIMATELY DIMENSIONED TO BOUNDARY.
- SURVEY MARKS MUST BE PLACED PRIOR TO CONSTRUCTION OR ERECTION OF FENCES.
- TREE INFORMATION HAS BEEN SURVEYED FROM GROUND LEVEL AND THEREFORE SHOULD BE TREATED AS APPROXIMATE ONLY, THE EXTENT OF THE CANOPY IS APPROXIMATE AND DIAGRAMMATIC ONLY.
- STAIR RISES, STEPS AND LANDINGS HAVE NOT BEEN INDIVIDUALLY LOCATED AND ARE DIAGRAMMATIC ONLY.
- THE RECORDS OF THE SERVICE PROVIDERS HAVE NOT BEEN INVESTIGATED, ONLY THOSE SERVICES THAT ARE VISIBLE AND ACCESSIBLE AT THE DATE OF SURVEY HAVE BEEN SHOWN.
- SERVICES SHOWN ARE INDICATIVE ONLY, OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN. THEREFORE FIELD CONFIRMATION SERVICE LOCATORS SHOULD BE OBTAINED TO CONFIRM EXACT POSITION AND DEPTH.
- SITE AREA SHOWN HAS BEEN CALCULATED BY SURVEY.
- A SITE AND BOUNDARY SURVEY HAS BEEN CARRIED OUT.
- ORIGIN OF LEVELS IS PM 1193, RL38.836 A.H.D.
- BEARINGS ARE ON MAGNETIC MERIDIAN.

COPYRIGHT:

THE INFORMATION SHOWN/CONTAINED IN THIS DRAWING/FILE IS COPYRIGHT. THE INFORMATION MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS PRODUCED. NO PART OF THIS DRAWING/FILE MAY BE USED OR REPRODUCED IN PART OR WHOLE, FOR ANY OTHER CLIENT, PERSON OR COMPANY WITHOUT THE PRIOR WRITTEN PERMISSION OF HILL & BLUME PTY. LTD.



Hill & Blume
CONSULTING SURVEYORS
ACN 000 721 004

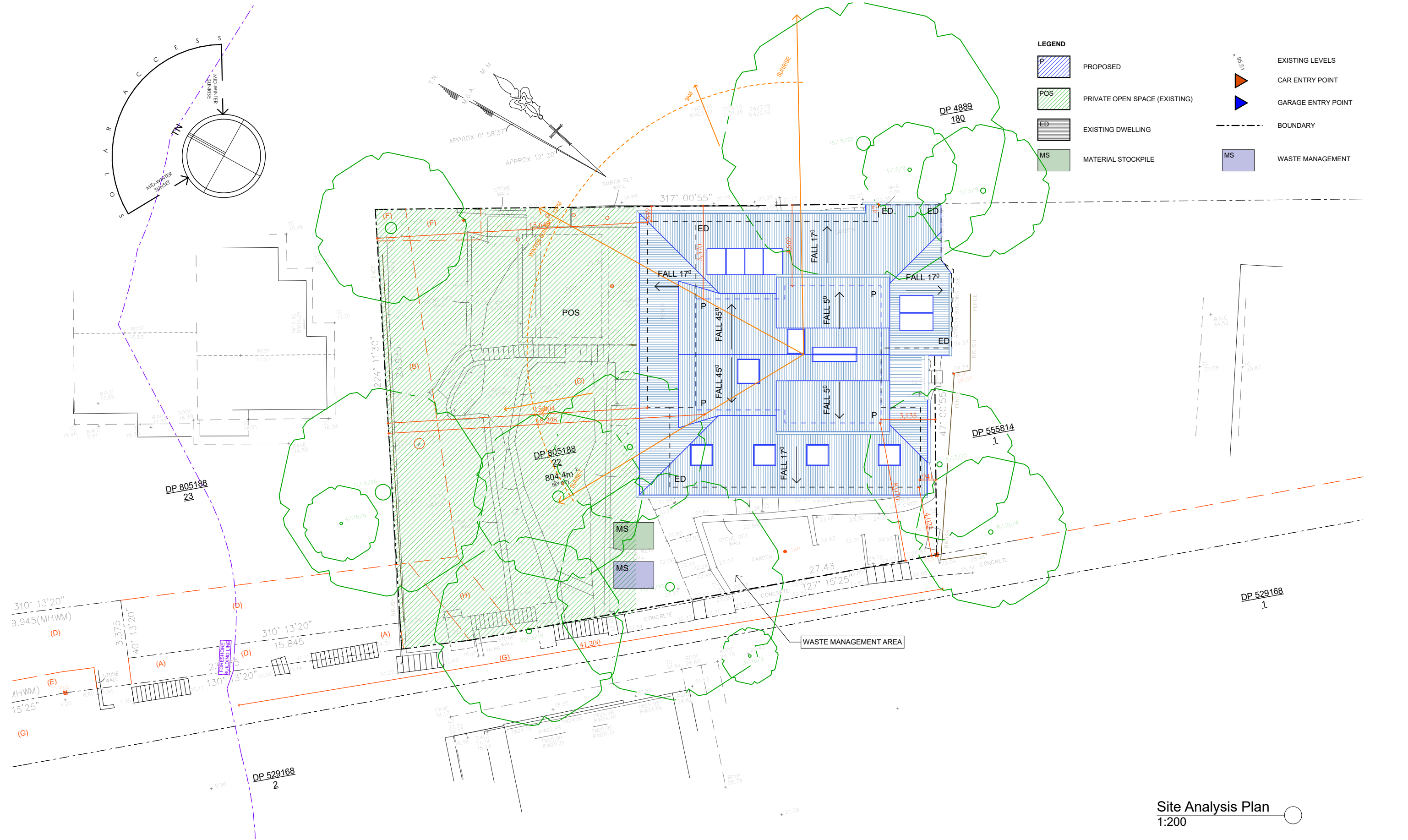
Hill & Blume Pty Ltd
102 Crown Street
Woolloomooloo
NSW 2011
Tel (02) 9332 4888
Fax (02) 9331 6422

surveyors@hillandblume.com.au


PROJECT

SHOWING SELECTED LEVELS & DETAIL
AND BOUNDARY IDENTIFICATION SURVEY
OVER LOT 22 IN DP 805188 BEING
173A SEAFORTH CRESCENT, SEAFORTH

LGA	MANLY	REGISTERED SURVEYOR
SCALE	1:100	DRAWN/PAPER SIZE CH/A1
SURVEY DATE	21/04/17	DRAWING No. 59381001B



Site Analysis Plan
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

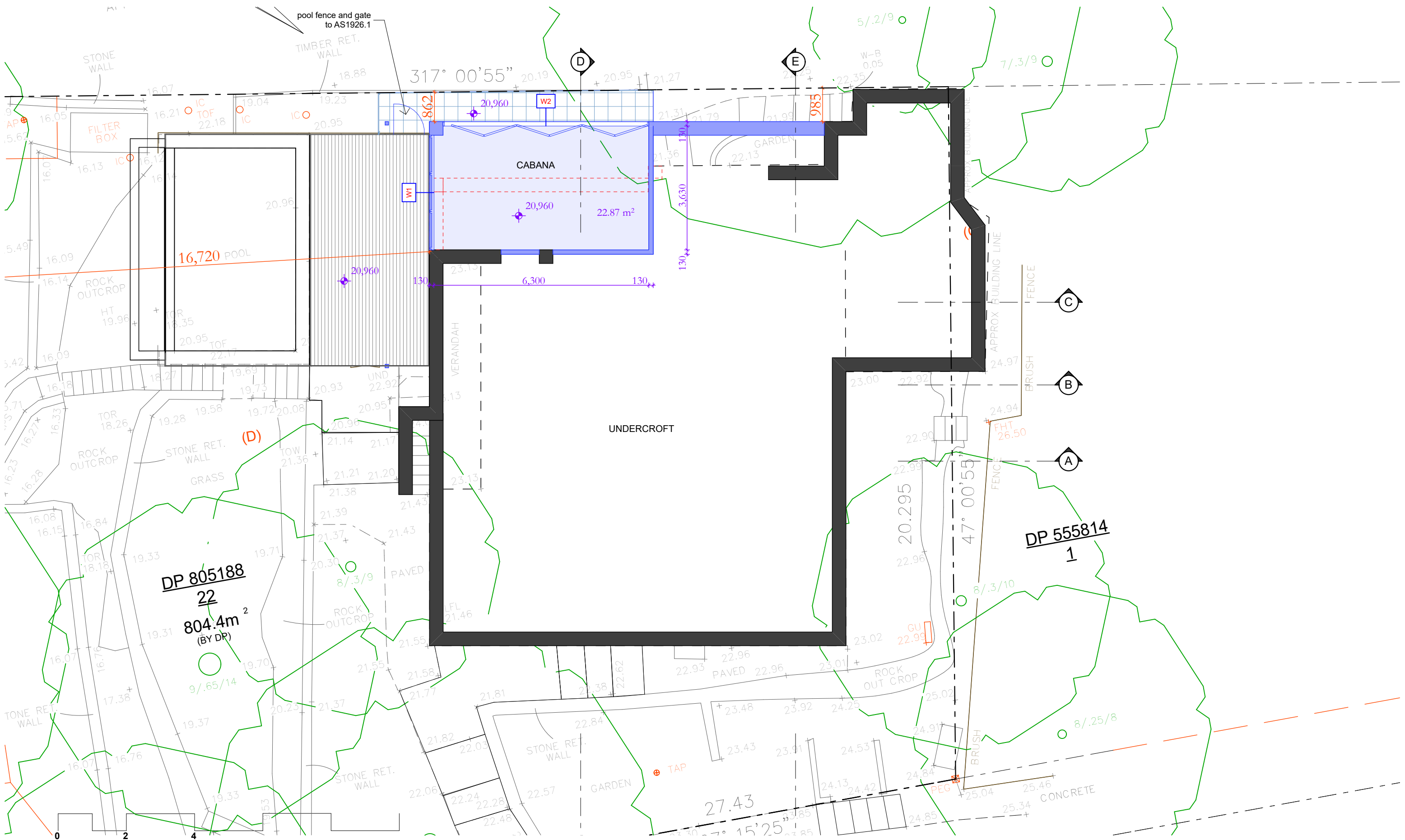
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth, 2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT: Private

 = Proposed Work	 = Demolition	 = Existing

STATUS: DA		
DATE: 130821	SCALE: 1:200@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA3		



Basement Floor Plan
1:100



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

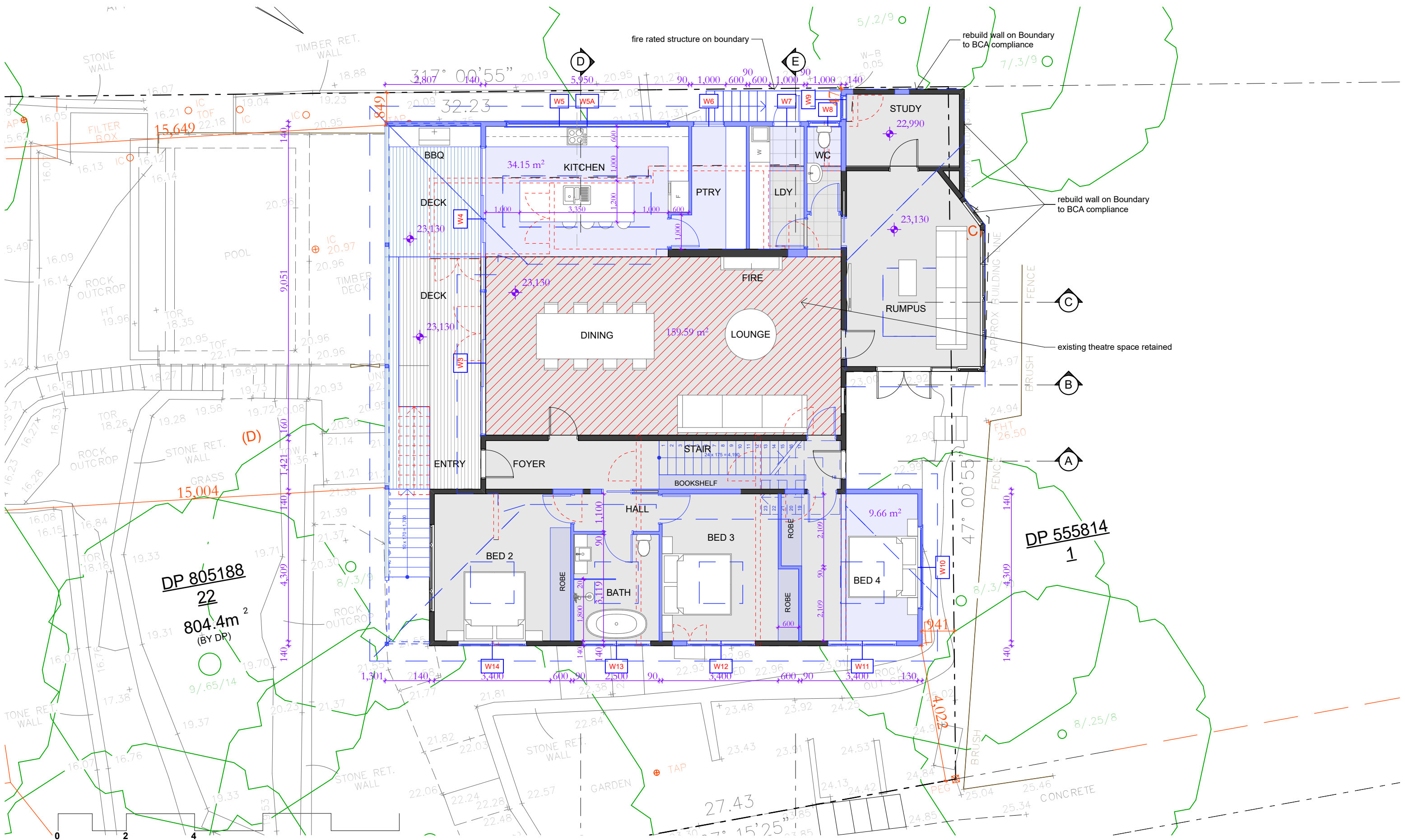
CLIENT: Private

 = Proposed Work
 = Demolition
 = Existing

STATUS: DA
DATE: 130821
STAGE: DA
DRAWING NO: DA4

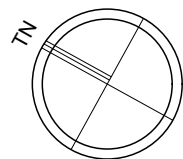
SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 2033
ISSUE: 1



Ground Floor Plan
1:100

SketchArc



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

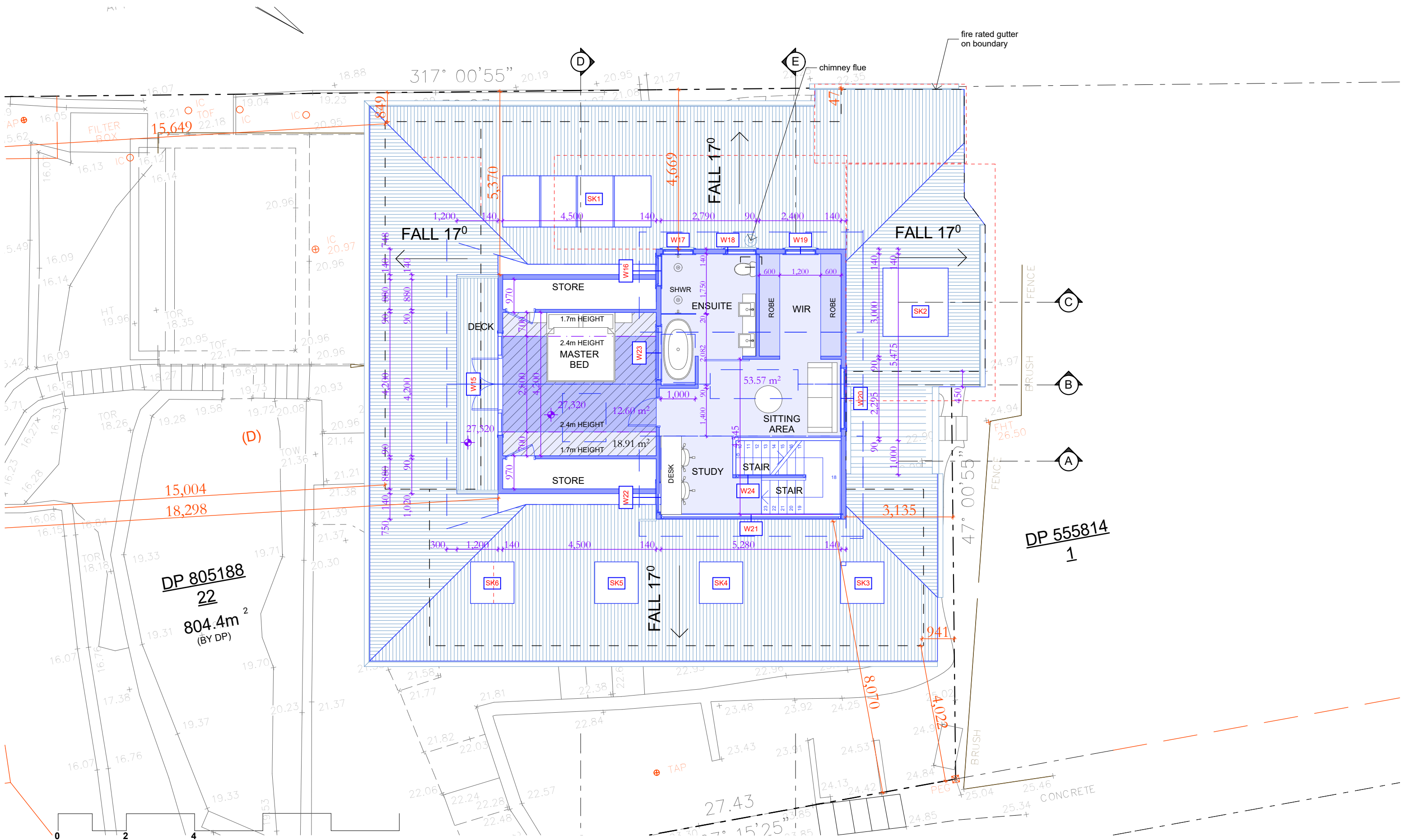
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

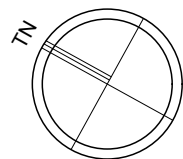
Legend:
- Proposed Work
- Demolition
- Existing

STATUS:
DA
DATE:
130821
SCALE:
1:100@A3
PROJECT NUMBER:
2033
STAGE:
DA
DRAWN/DESIGNED:
PB / MP
ISSUE:
DRAWING NO:
DA5



First Floor Plan
1:100

Signature



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

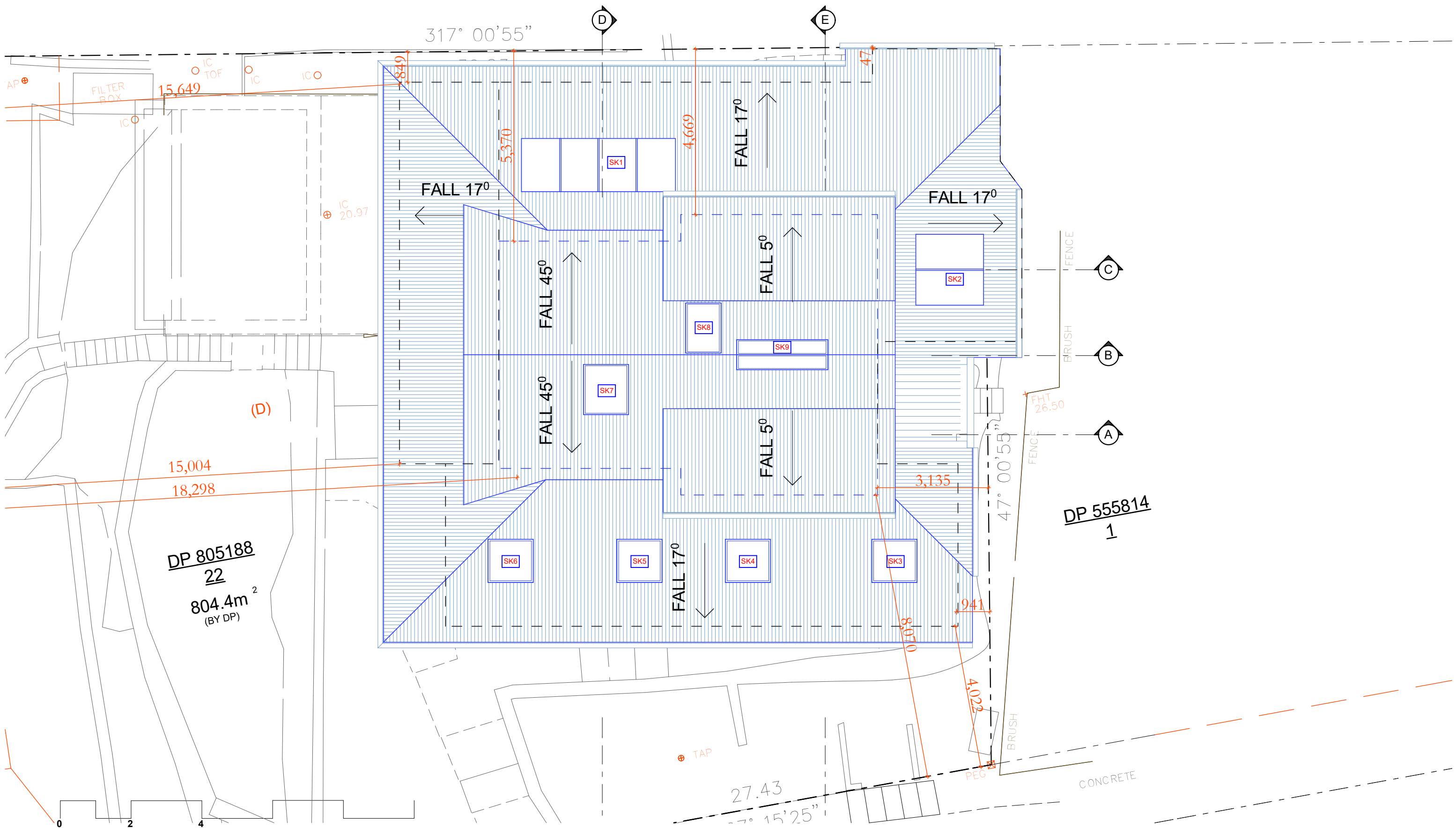
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

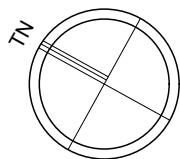
Legend:
Blue box = Proposed Work
Red box = Demolition
Black box = Existing

STATUS: DA		
DATE: 130821	SCALE: 1:100@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA6		



Roof Plan
1:100

SA.



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions
and verify all errors and omissions to the
Architect. Do not scale the drawings.
Drawings shall not be used for construction
purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

Legend:
Blue box = Proposed Work
Red box = Demolition
Black box = Existing

STATUS: DA		
DATE: 130821	SCALE: 1:100@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA7		

RL +31,620
Ridge

RL +27,320
First Floor

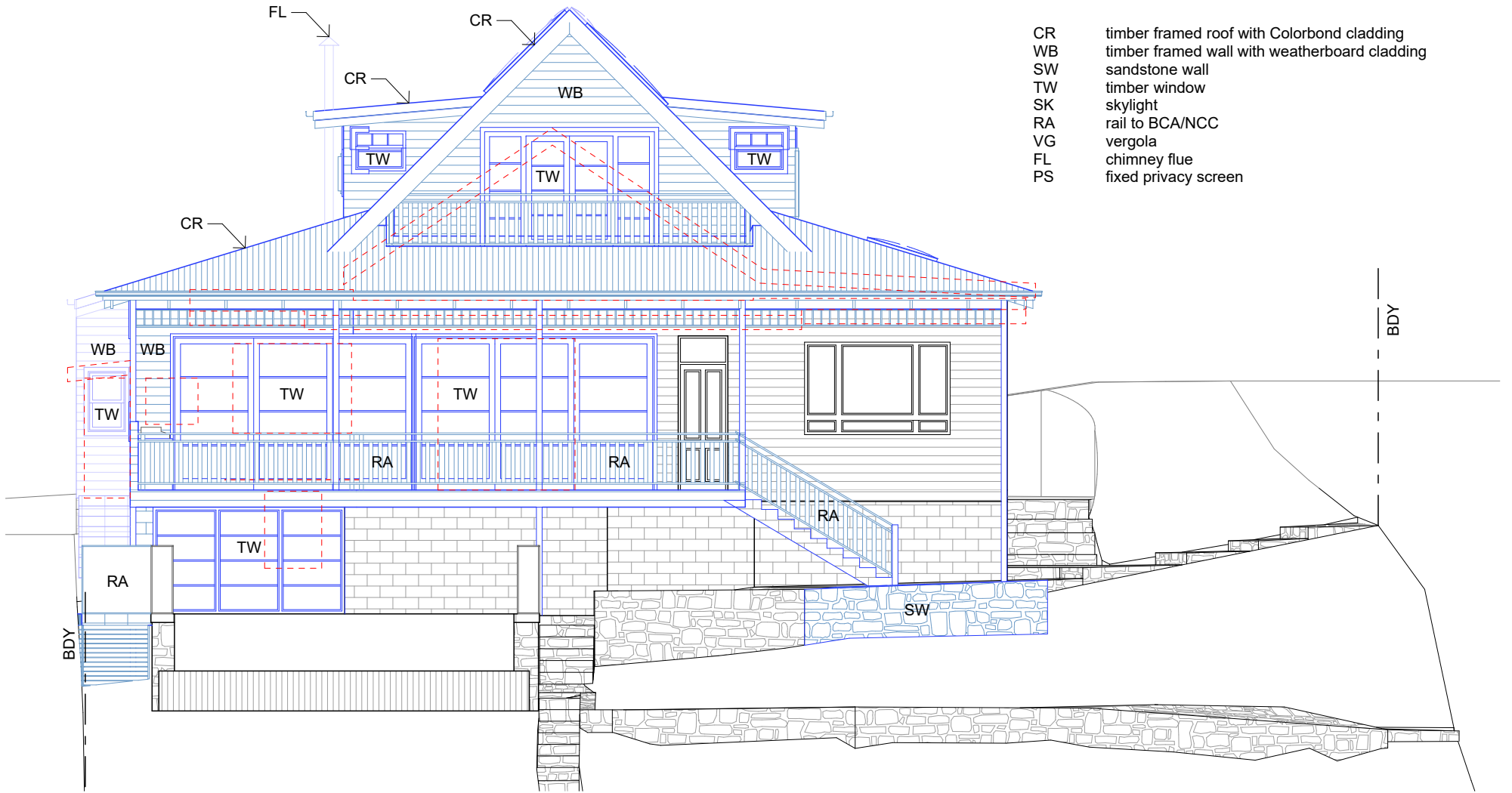
RL +23,130
Ground Floor

RL +20,960
Cabana

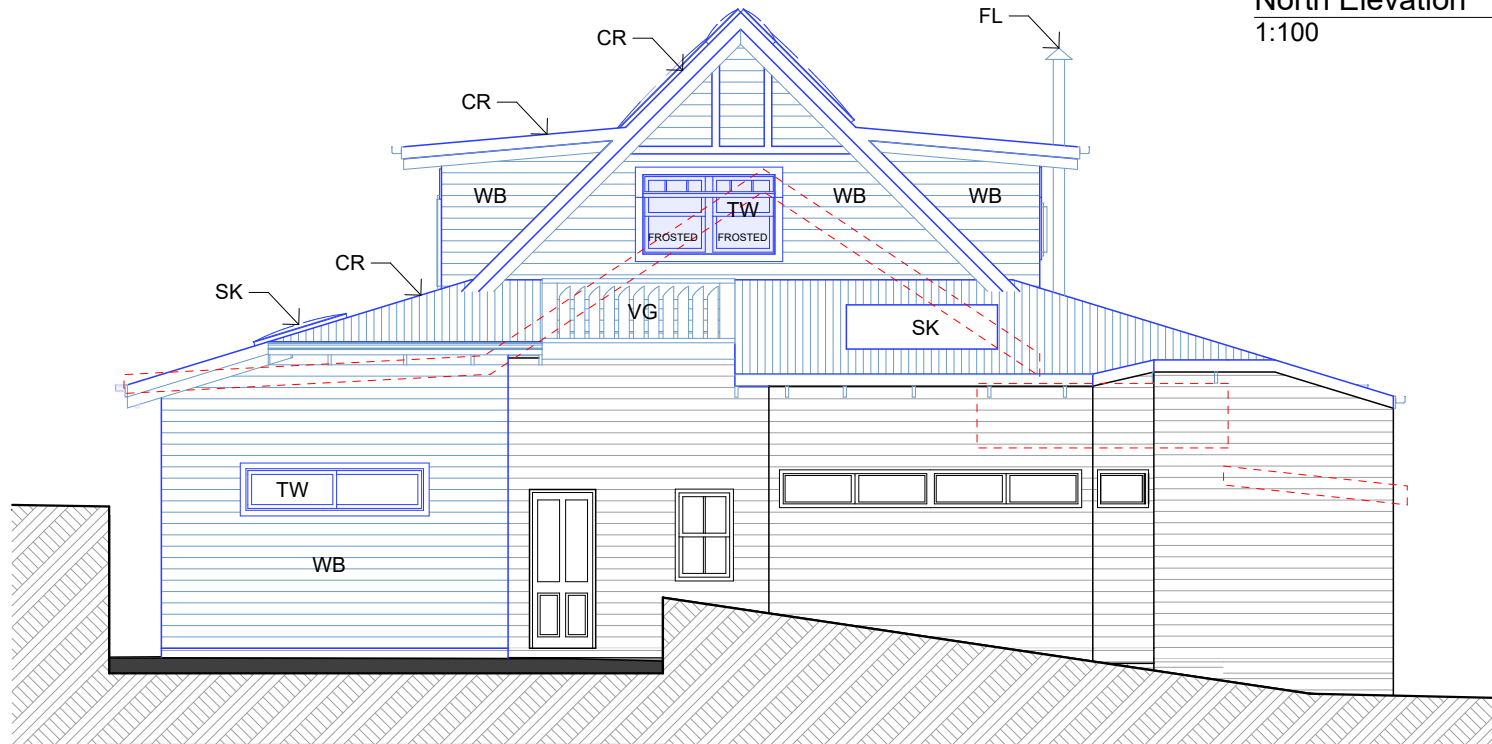
RL +31,620
Ridge

RL +27,320
First Floor

RL +23,130
Ground Floor



North Elevation
1:100



South Elevation
1:100

SA.

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions
and verify all errors and omissions to the
Architect. Do not scale the drawings.
Drawings shall not be used for construction
purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION

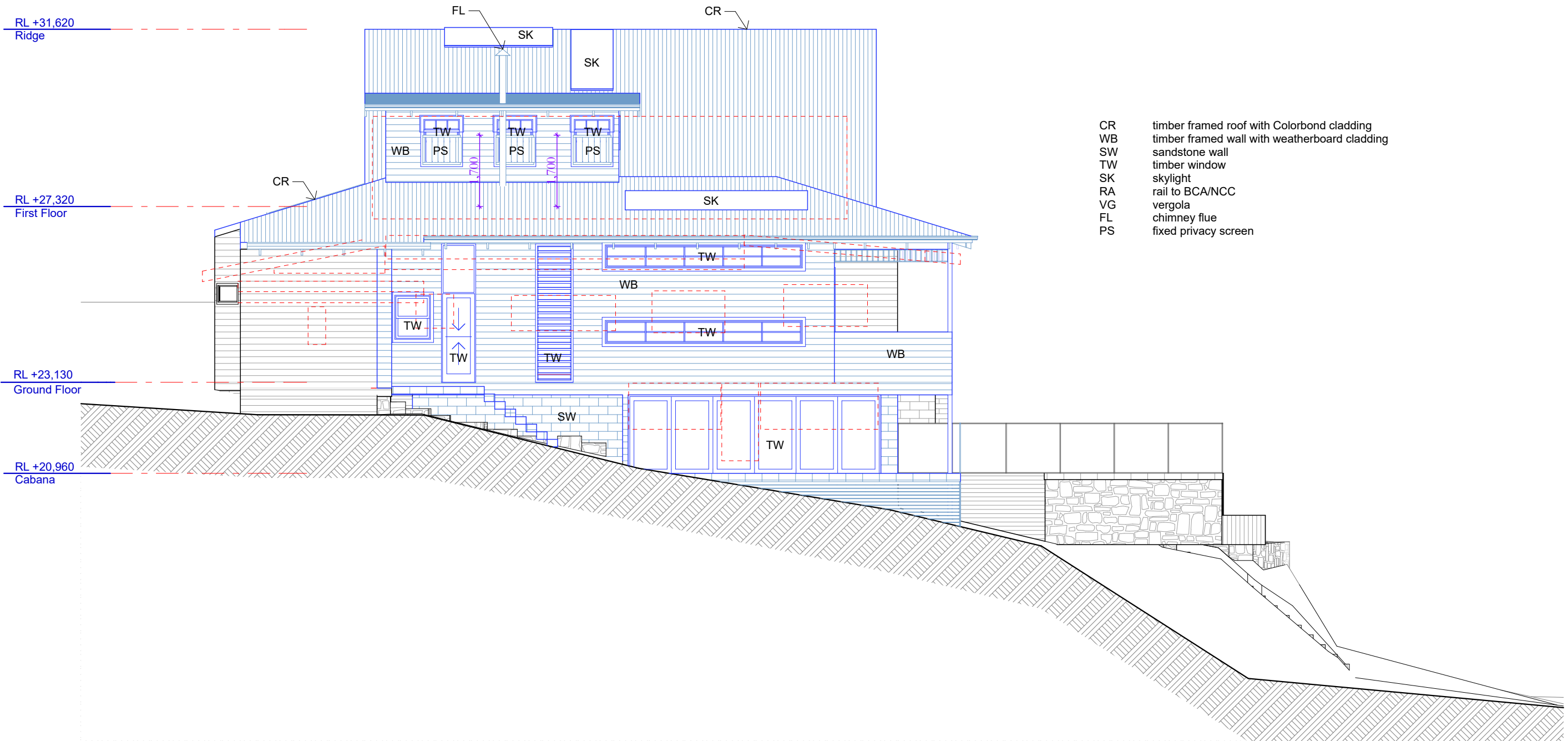
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

= Proposed Work
= Demolition
= Existing

STATUS: DA		
DATE: 130821	SCALE: 1:100@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA8		



- CR timber framed roof with Colorbond cladding
- WB timber framed wall with weatherboard cladding
- SW sandstone wall
- TW timber window
- SK skylight
- RA rail to BCA/NCC
- VG vergola
- FL chimney flue
- PS fixed privacy screen

East Elevation
1:100



SA.

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

- = Proposed Work
- = Demolition
- = Existing

STATUS: DA		
DATE: 130821	SCALE: 1:100@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA9		

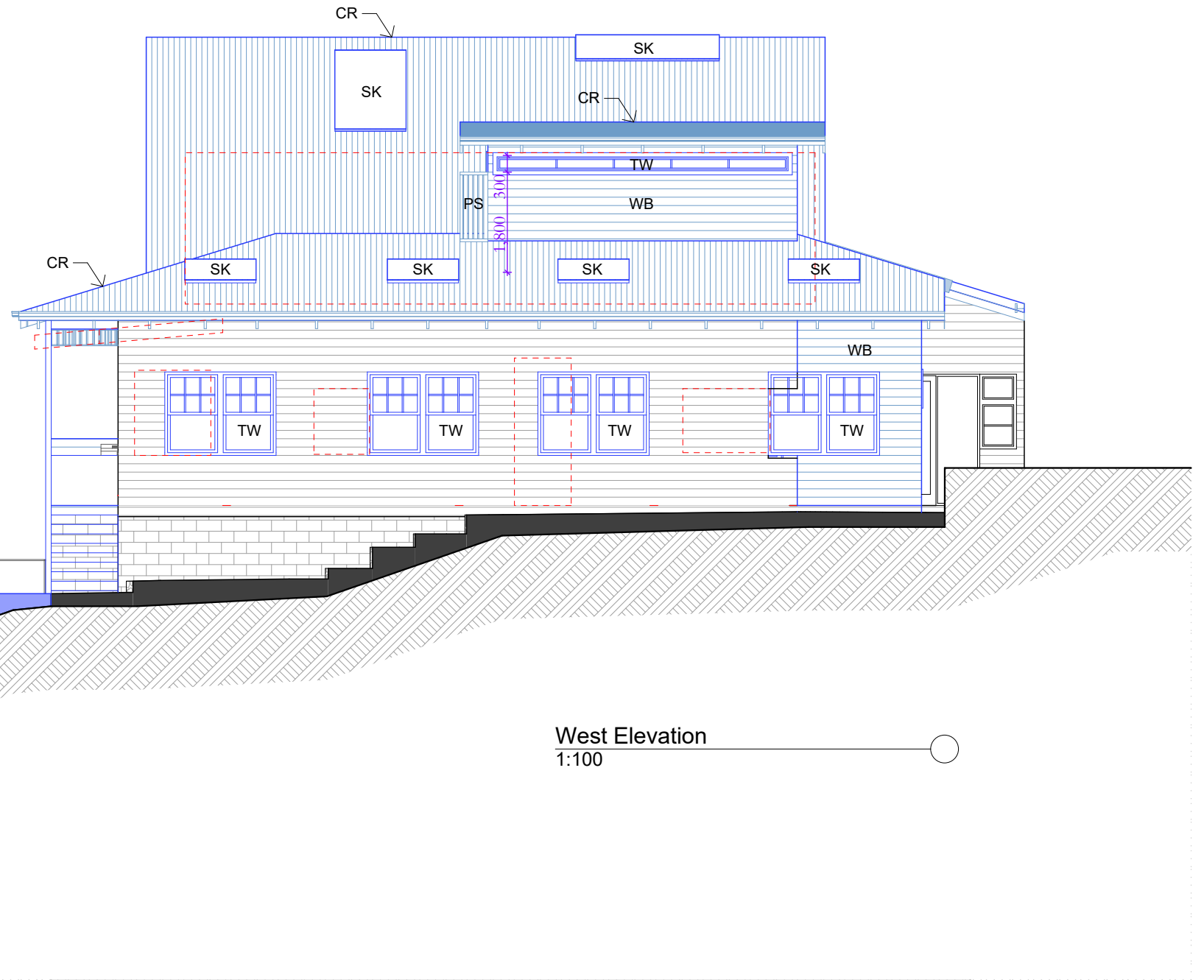
RL +31,620
Ridge

RL +27,320
First Floor

RL +23,130
Ground Floor

RL +20,960
Cabana

CR timber framed roof with Colorbond cladding
WB timber framed wall with weatherboard cladding
SW sandstone wall
TW timber window
SK skylight
RA rail to BCA/NCC
VG vergola
FL chimney flue
PS fixed privacy screen



West Elevation
1:100



SketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions
and verify all errors and omissions to the
Architect. Do not scale the drawings.
Drawings shall not be used for construction
purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT:
Private

= Proposed Work
= Demolition
= Existing

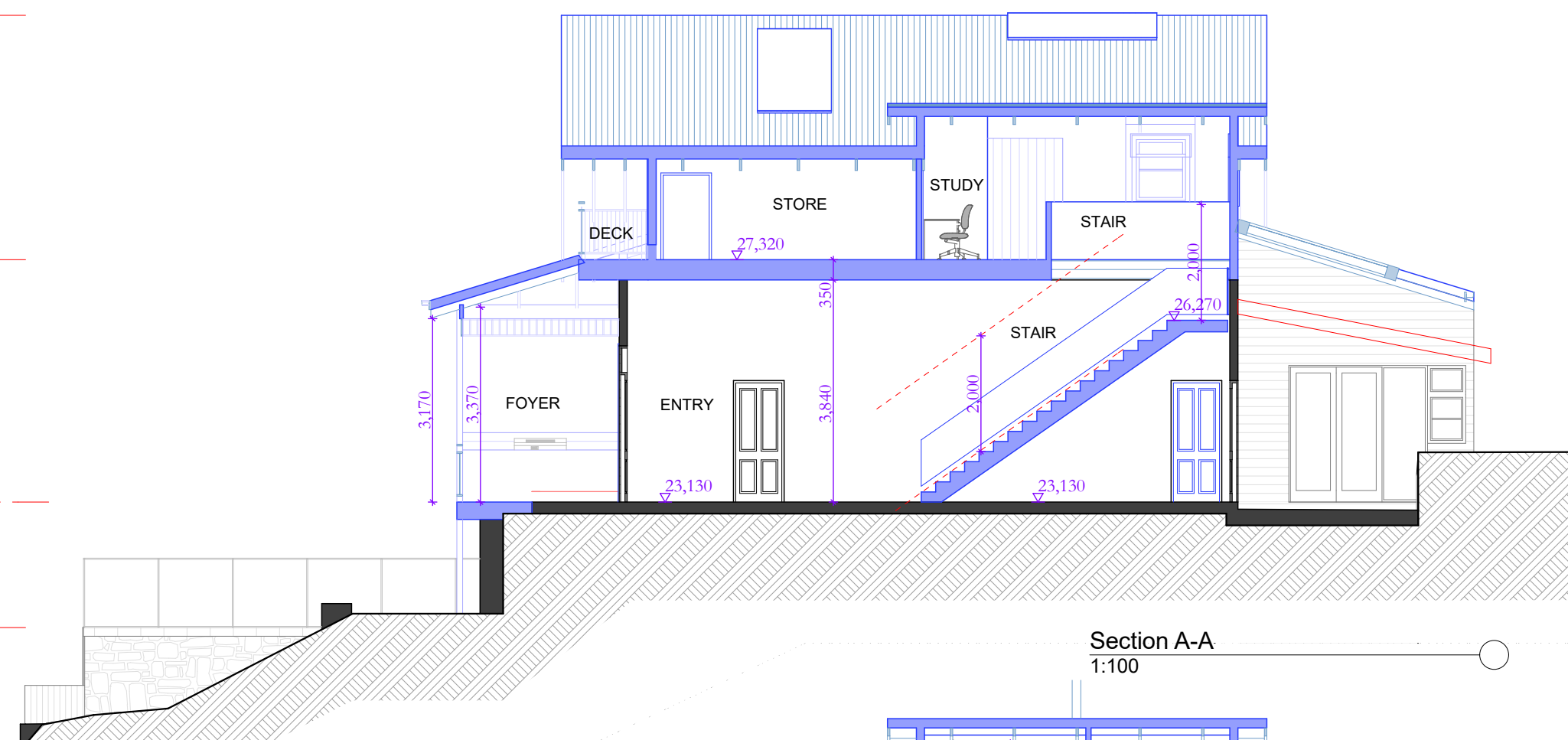
STATUS:
DA
DATE:
130821
SCALE:
1:100@A3
PROJECT NUMBER:
2033
STAGE:
DA
DRAWN/DESIGNED:
PB / MP
ISSUE:
DRAWING NO:
DA10

RL +31,620
Ridge

RL +27,320
First Floor

RL +23,130
Ground Floor

RL +20,960
Cabana

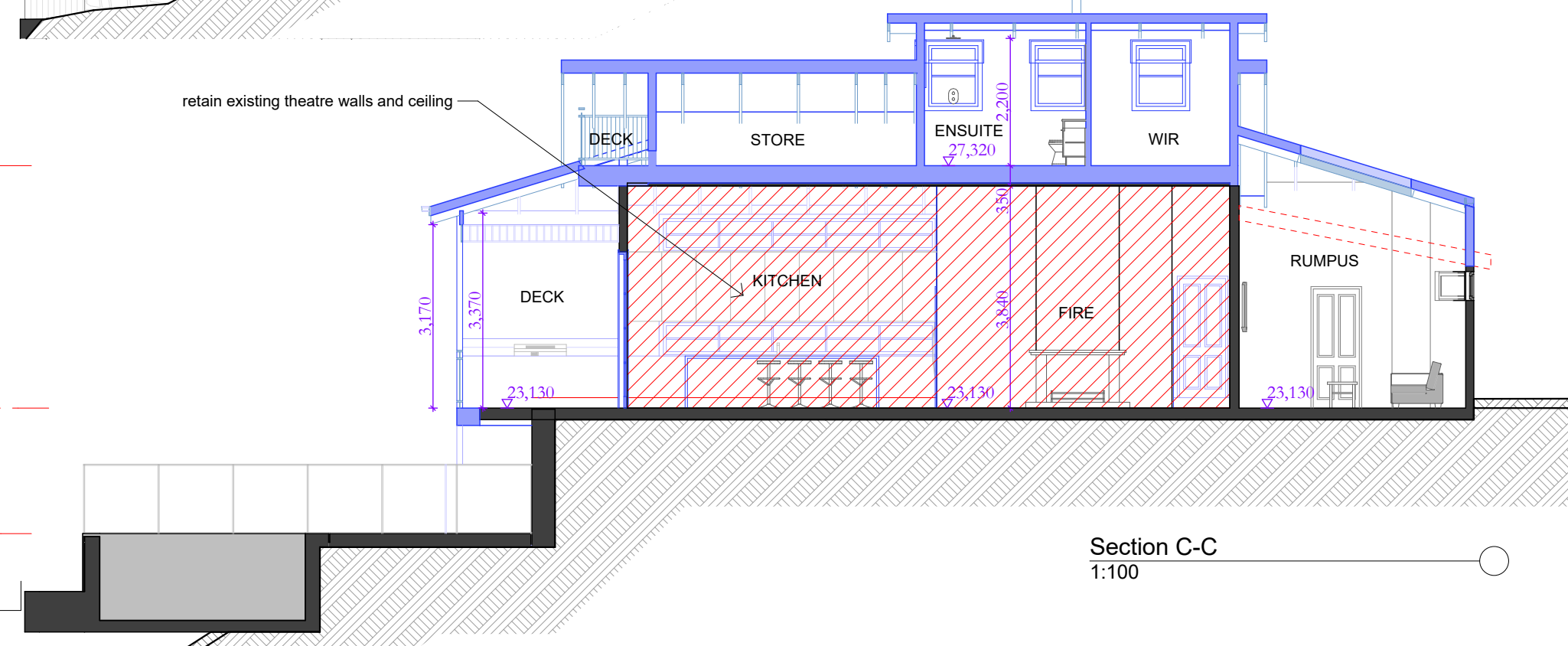


Section A-A
1:100

RL +27,320
First Floor

RL +23,130
Ground Floor

RL +20,960
Cabana



Section C-C
1:100



SketchArc

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2
CLIENT: Private

= Proposed Work
= Demolition
= Existing

STATUS: DA
DATE: 130821
STAGE: DA
DRAWING NO: DA11
SCALE: 1:100@A3
DRAWN/DESIGNED: PB / MP
PROJECT NUMBER: 2033
ISSUE:



Sr.

REV	DATE	DESCRIPTION
-----	------	-------------

e : power@sketcharc.com.au
w : www.sketcharc.com.au

CLIENT: **Private**

STATUS: DA		
DATE: 130821	SCALE: 1:100@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA12		

RL +31,620
Ridge

RL +27,320
First Floor

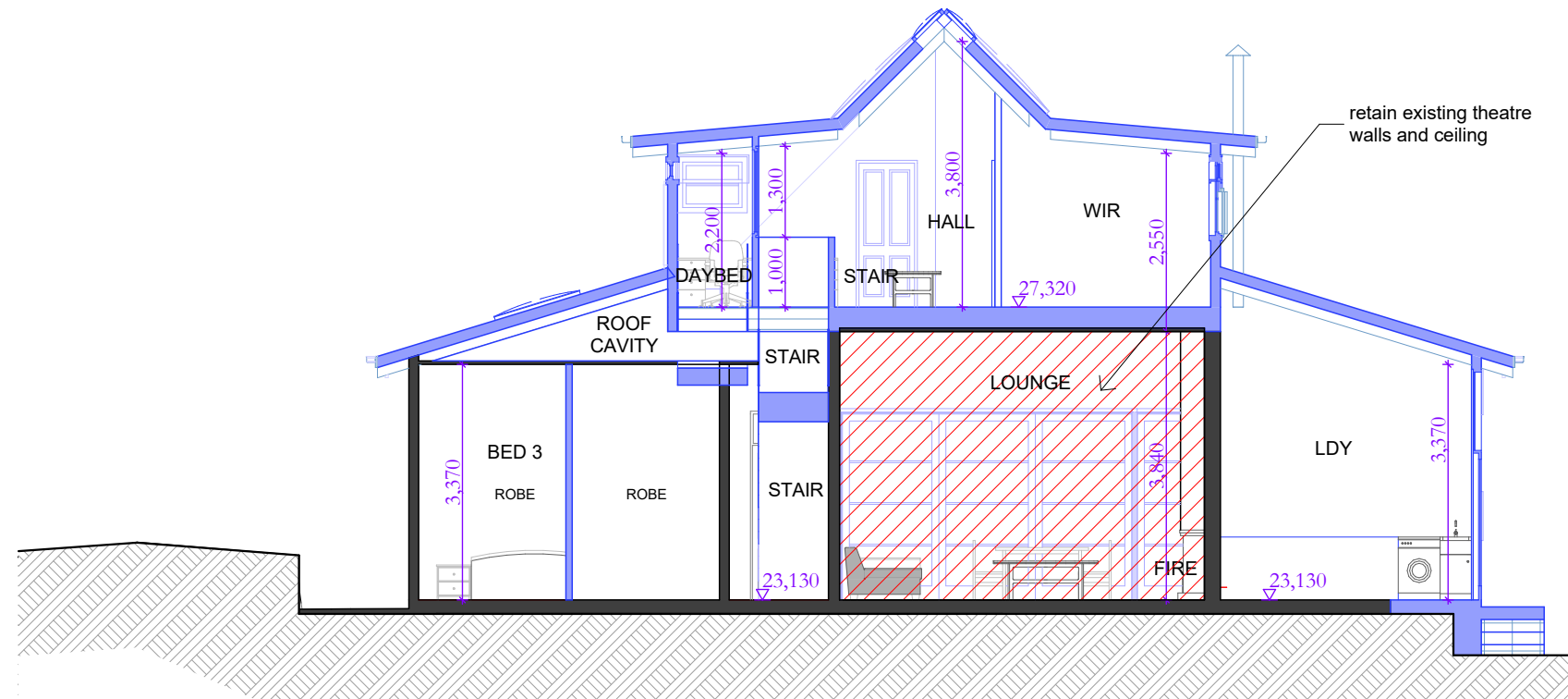
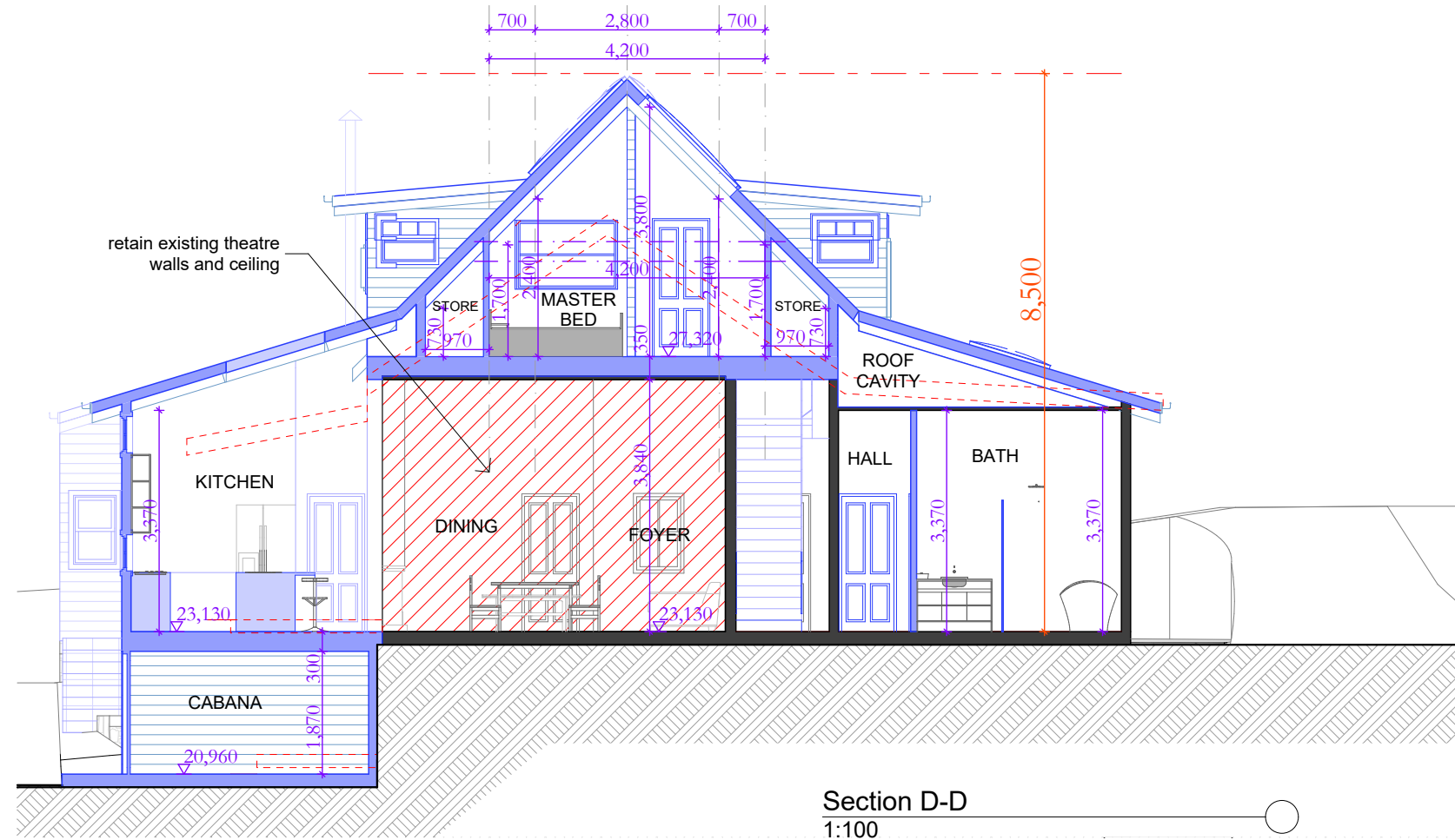
RL +23,130
Ground Floor

RL +20,960
Cabana

RL +31,620
Ridge

RL +27,320
First Floor

RL +23,130
Ground Floor



Section E-E
1:100

Signature

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions
and verify all errors and omissions to the
Architect. Do not scale the drawings.
Drawings shall not be used for construction
purposes until issued by the
Architect for construction.

REV	DATE	DESCRIPTION

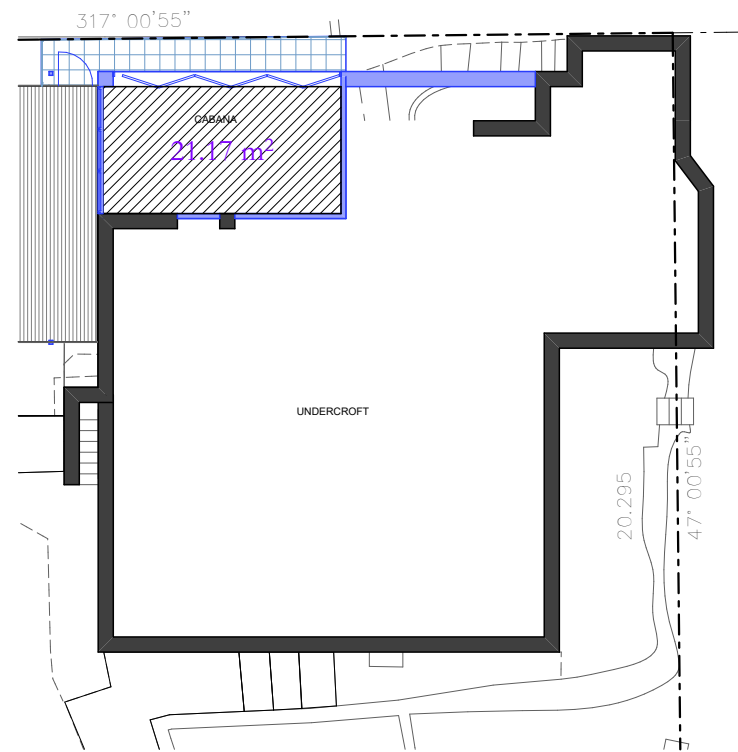
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

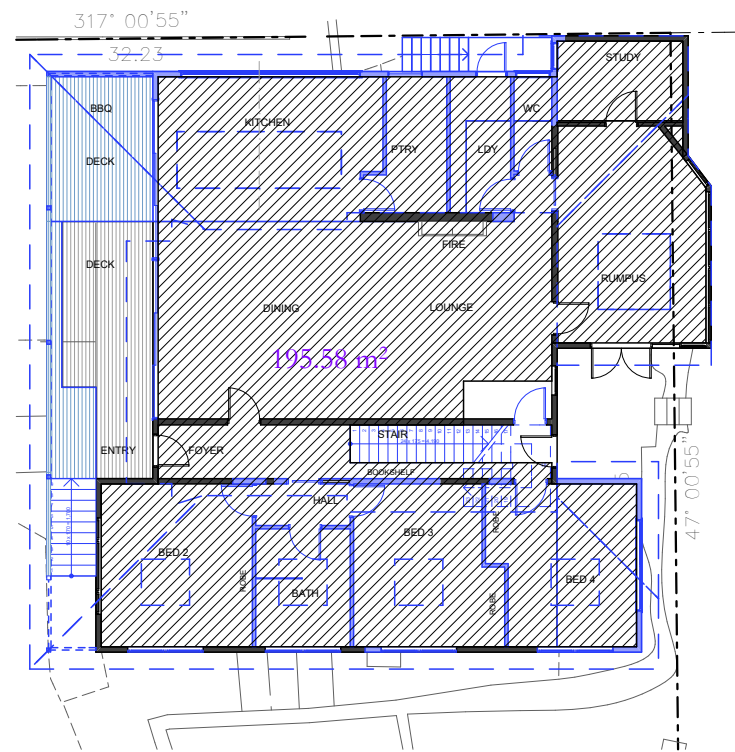
CLIENT:
Private

= Proposed Work
= Demolition
= Existing

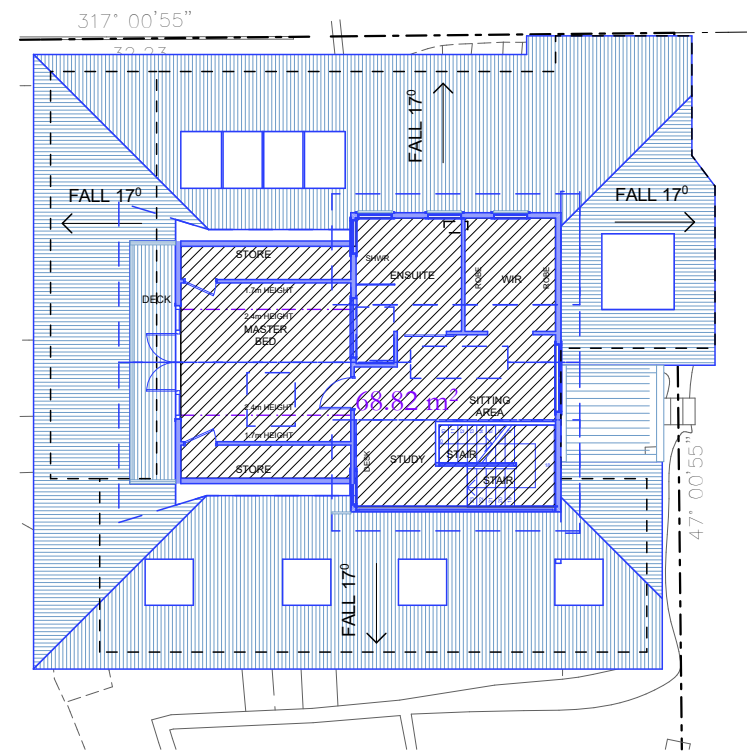
STATUS:
DA
DATE:
130821
SCALE:
1:100@A3
PROJECT NUMBER:
2033
STAGE:
DA
DRAWN/DESIGNED:
PB / MP
ISSUE:
DRAWING NO:
DA13



FSR Basement Floor Plan
1:200



FSR Ground Floor Plan
1:200



FSR First Floor Plan
1:200

SITE AREA = 804.4m²

FLOOR SPACE RATIO MAX.40% SITE AREA = 321.76m²

CABANA FLOOR AREA = 21.17m²



GROUND FLOOR AREA = 195.58m²

FIRST FLOOR AREA = 68.82m²

TOTAL FLOOR AREA COMPLIES = 285.57m²



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth, 2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

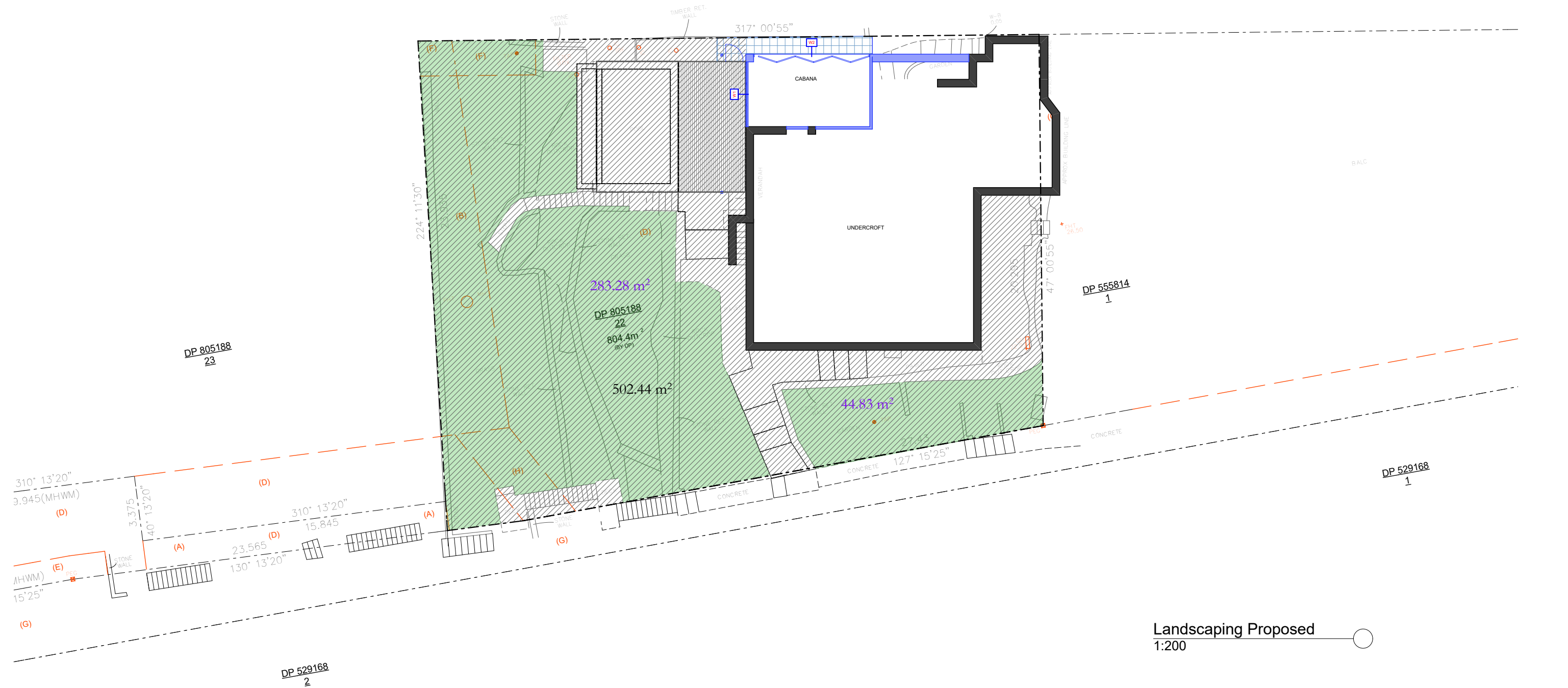
CLIENT: Private



STATUS: DA
DATE: 130821
STAGE: DA
DRAWING NO: DA14

SCALE: 1:200@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 2033
ISSUE:



SITE AREA = 804.4m²

	OPEN SPACE AREA MIN.60% SITE AREA	= 482.64m ²
	LANDSCAPED AREA MIN.40% of Open Space	= 193.06m ²
	OPEN SPACE AREA	= 502.44m ² COMPLIES
	LANDSCAPED AREA	= 328.11m ² COMPLIES



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc

Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth, 2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT: Private

	= Proposed Work
	= Demolition
	= Existing

STATUS: DA		
DATE: 130821	SCALE: 1:200@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA15		



Solar June 21 9am
1:200



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

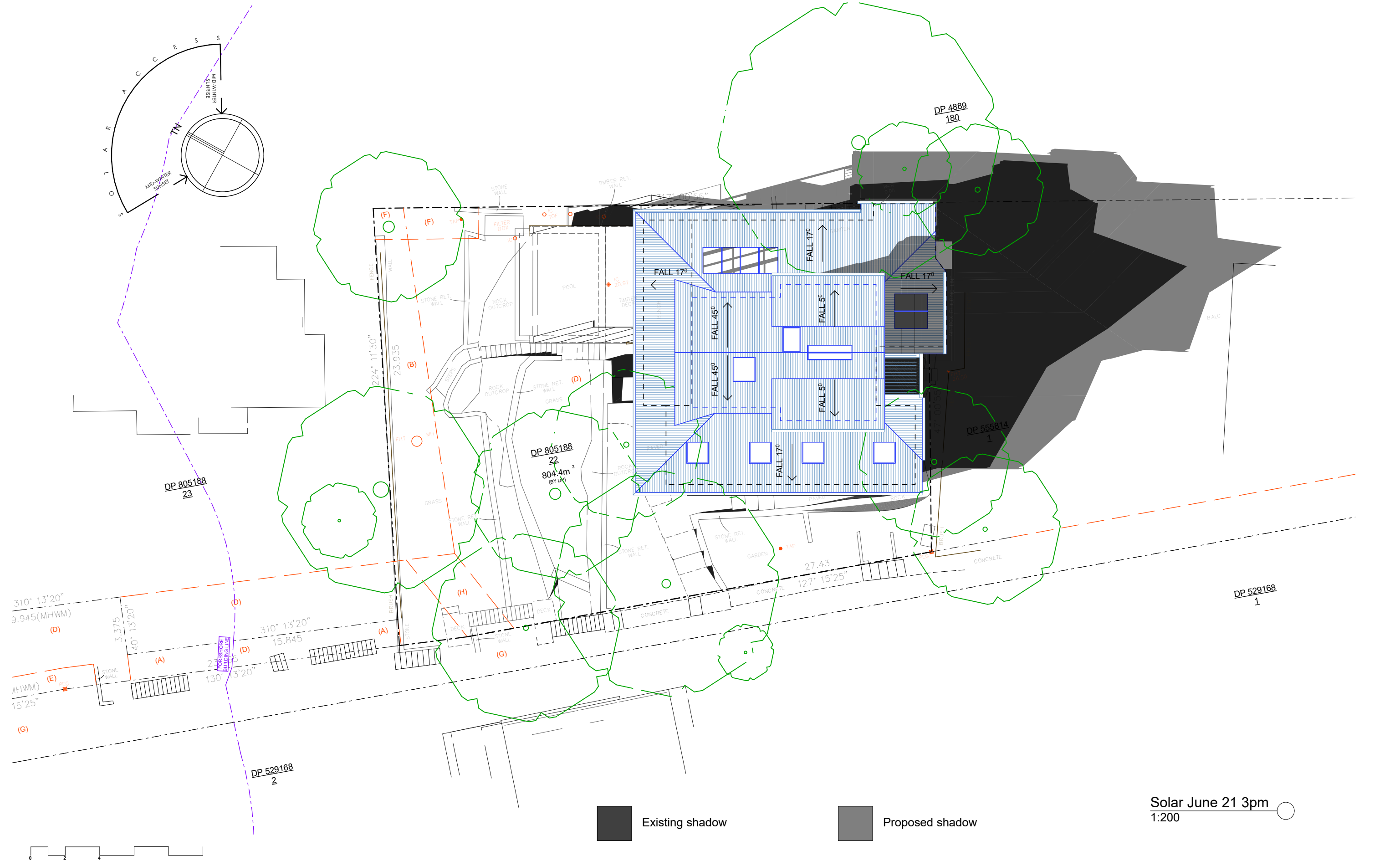
sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth,
2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2


CLIENT:
Private

 = Proposed Work	 = Demolition	 = Existing

STATUS: DA		
DATE: 130821	SCALE: 1:200@A3	PROJECT NUMBER: 2033
STAGE: DA	DRAWN/DESIGNED: PB / MP	ISSUE:
DRAWING NO: DA16		



Solar June 21 3pm
1:200





DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth, 2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT: Private

 = Proposed Work
 = Demolition
 = Existing

STATUS: DA
DATE: 130821
STAGE: DA
DRAWING NO: DA18

SCALE: 1:200@A3
DRAWN/DESIGNED: PB / MP

PROJECT NUMBER: 2033
ISSUE:

Alterations and Additions

Certificate number: A427806_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 15, December 2021

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Description of project

Project address	
Project name	173a Seaforth Cres_02
Street address	173a Seaforth Crescent Seaforth 2092
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 805188
Lot number	22
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.


For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W3	N	11.4	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	N	11.4	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	E	2.8	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W5A	E	2.8	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W6	E	2.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W7	E	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W8	E	1	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W9	N	0.7	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W10	S	1.4	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11	S	3	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W12	S	3	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W13	S	3	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W14	S	3	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W15	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W16	N	0.6	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W17	E	1	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W18	E	1	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W19	E	1	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W20	S	2	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W21	E	1.5	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)
W22	N	0.6	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)



DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.
The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

REV	DATE	DESCRIPTION

sketchArc
Po Box 377 Manly 1655
m : 0422 521 871
e : power@sketcharc.com.au
w : www.sketcharc.com.au

PROJECT: 173a Seaforth Cres, Seaforth, 2092, NSW
Alterations & Additions
LOT 22 in DP 805188 - 804.4m2

CLIENT: Private

= Proposed Work
= Demolition
= Existing

STATUS: DA	SCALE:	PROJECT NUMBER: 2033
DATE: 130821	DRAWN/DESIGNED: PB / MP	ISSUE:
STAGE: DA	DRAWING NO: DA19	