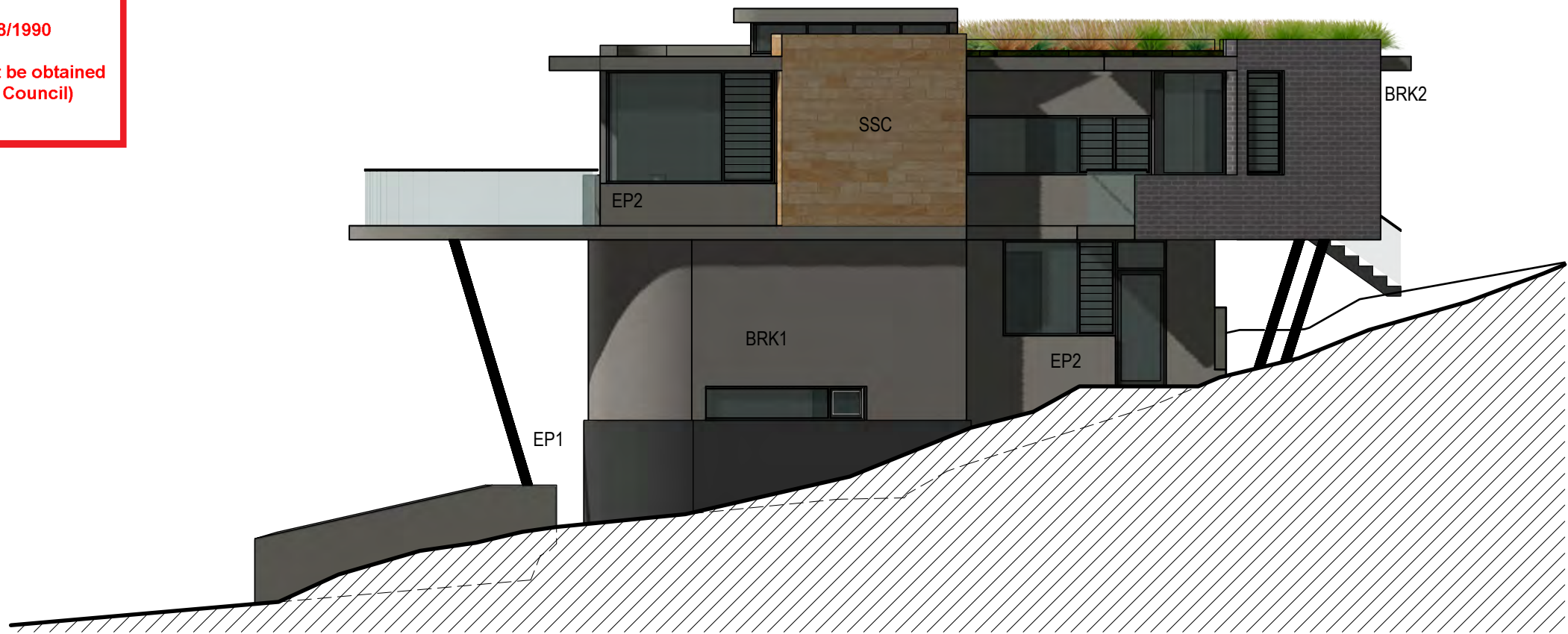


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CONJUNCTION WITH  
DEFERRED COMMENCEMENT CONSENT**

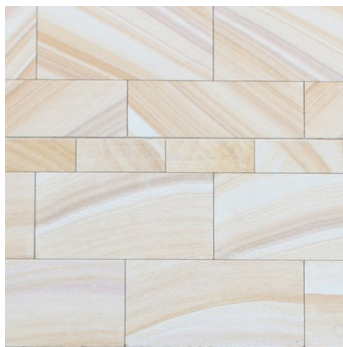
**DA NUMBER: DA2018/1990**

**(Activation of consent must be obtained  
from Northern Beaches Council)**



1 NORTH-WEST ELEVATION  
Scale 1:100

NOTE: EXTENT OF FINISHES ON  
ELEVATIONS ARE INDICATIVE ONLY



SANDSTONE CLADDING  
**SSC**



RENDERED MASONRY  
COLOUR : DARK GREY  
**EP1**



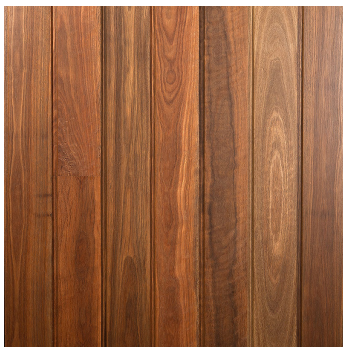
RENDERED MASONRY  
COLOUR : MID GREY 1  
**EP2**



PAINTED BRICKWORK  
COLOUR : GREY  
**BRK1**



FACE BRICKWORK  
**BRK2**



TIMBER CLADDING  
**TC1**



ALUMINIUM FRAMED  
WINDOWS/DOORS  
**GL1**

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LOT 2 - EXTERNAL FINISHES SCHEDULE

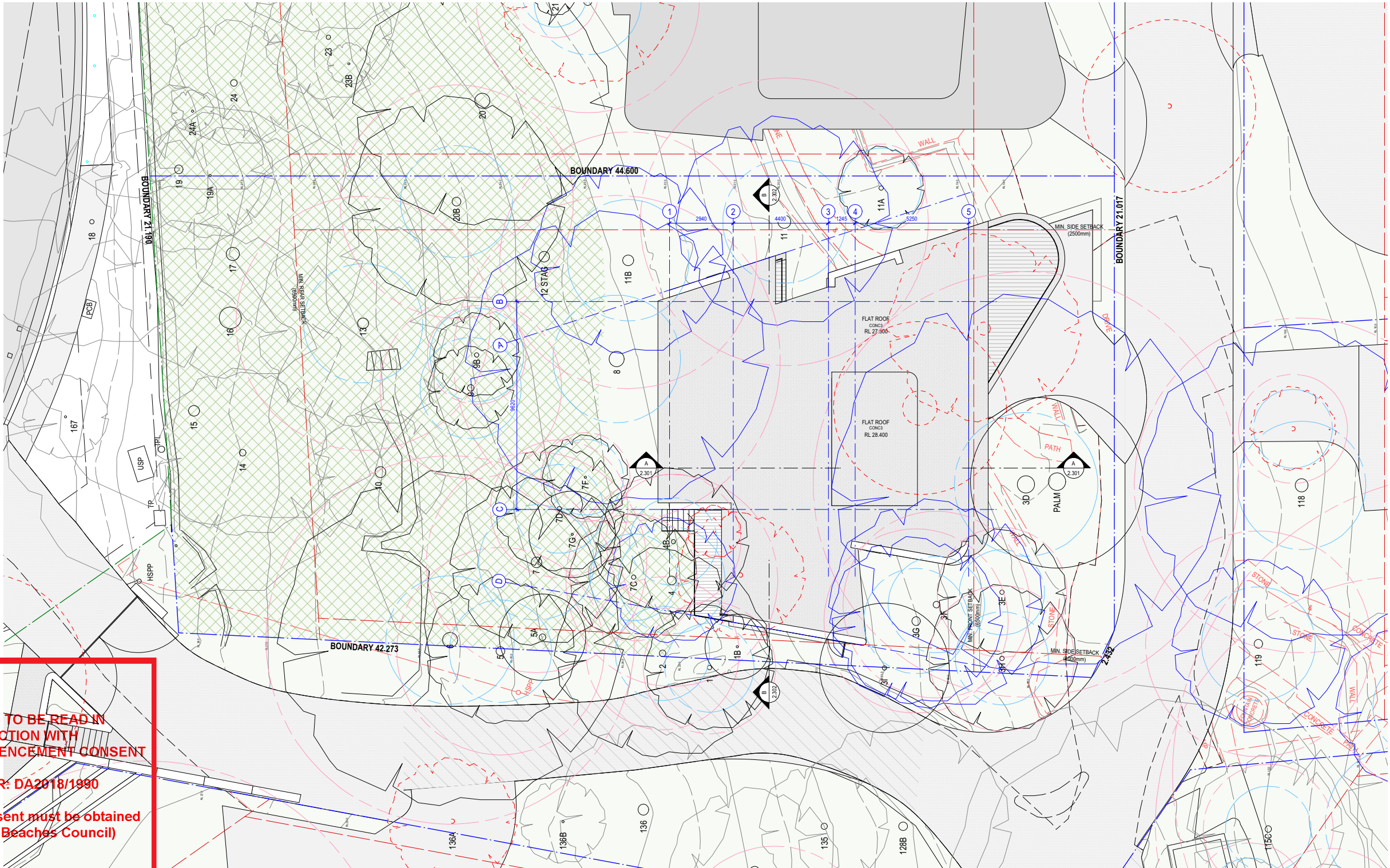
DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

**96-104 CABARITA ROAD AVALON BEACH**

1801 A2.SK03 A

NOVEMBER 2018  
MERAKI DEVELOPMENTS PTY LIMITED





 **northern beaches council**

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**DA NUMBER: DA2018/1990**

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 **Energy Rating** Certificate Number: 15212064

☒ single-dwelling rating **5.4** stars

☐ multi-unit development (attach listing of ratings)

heating **36.0** MJ/m<sup>2</sup>

cooling **23.0** MJ/m<sup>2</sup>

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number: Ved Baheti VIC/BDW/131521

Assessor Signature:  Date: 10/12/2018

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LOT 2 - LOT / ROOF PLAN

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

**96-104 CABARITA ROAD AVALON BEACH**

1801 A2.002 A

SCALE: 1:200  
NOVEMBER 2018


ISSUED FOR DEVELOPMENT APPLICATION  
AMENDMENT

NOVEMBER 2018  
DATE

A  
ISSUE

**MARK HURCUM DESIGN PRACTICE**  
ARCHITECTS

LEVEL 2 271 ALFRED STREET NORTH  
NORTH SYDNEY NSW 2060  
FACSIMILE (02) 9955 5063  
TELEPHONE (02) 9955 5608

 **DESIGN PRACTICE**

1801 A2101 House 2 Plans Current.vwx  
Wednesday, 28 November 2018





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LOT 2 - NORTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.201 A

96-104 CABARITA ROAD AVALON BEACH

SCALE 1:100  
NOVEMBER 2018

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NOVEMBER 2018  
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DESIGN PRACTICE

1801 A2101 House 2 Plans Current.vwx

Tuesday, 27 November 2018

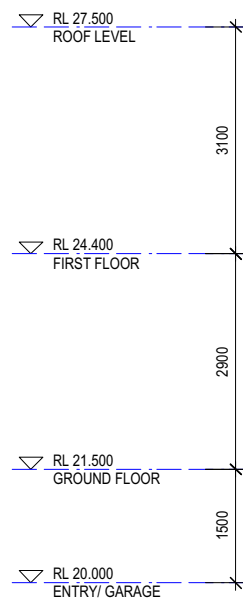


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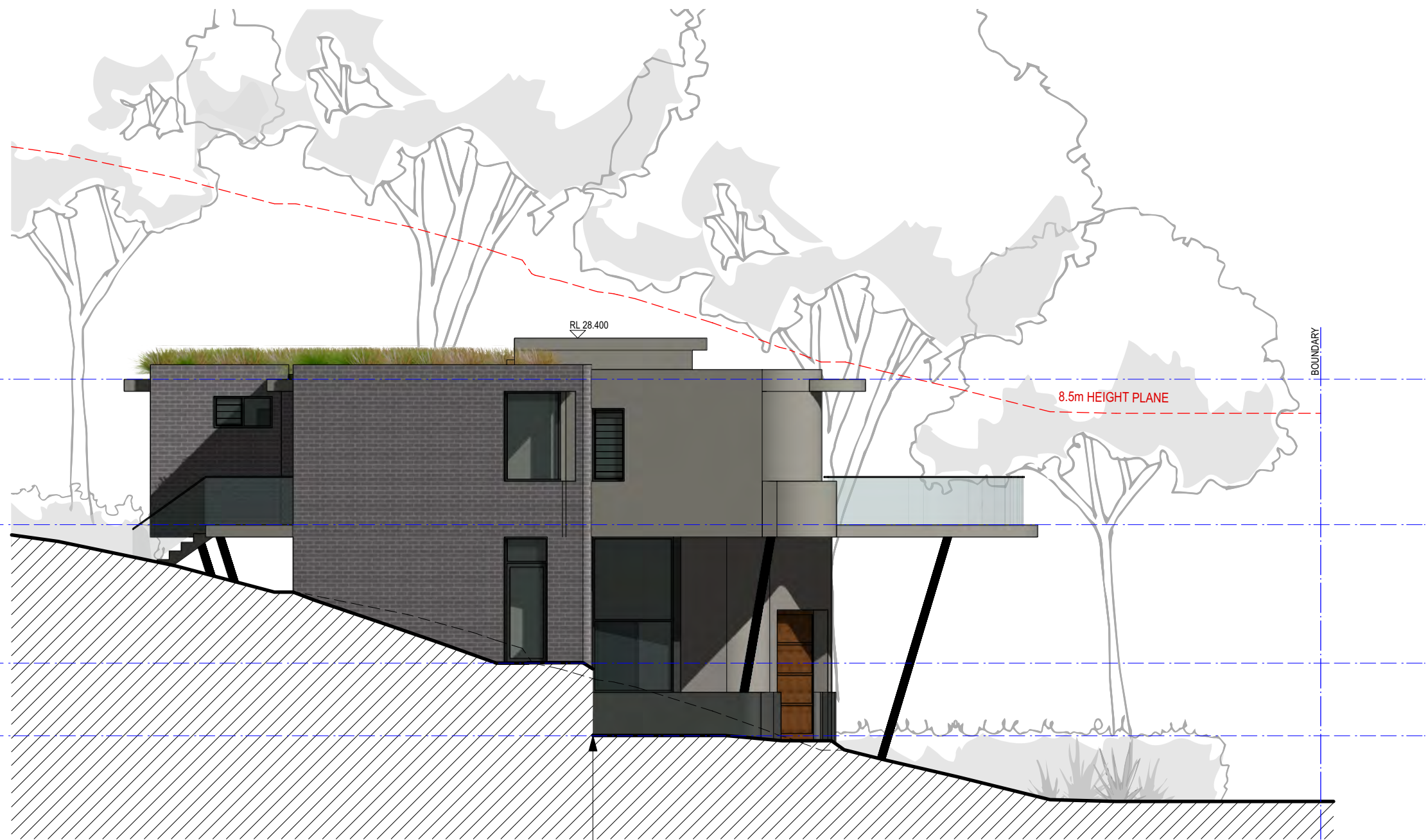
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1 SOUTH-EAST ELEVATION  
Scale 1:100



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LOT 2 - SOUTH-EAST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.202 A

96-104 CABARITA ROAD AVALON BEACH

SCALE 1:100  
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1 SOUTH-WEST ELEVATION  
Scale 1:100



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LOT 2 - SOUTH-WEST ELEVATION

DWELLING HOUSE FOR LOT 2 IN PROPOSED SUBDIVISION OF

1801 A2.203 A

96-104 CABARITA ROAD AVALON BEACH

SCALE 1:100  
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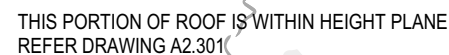
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8.5m HEIGHT PLANE  
THROUGH SECTION A-A

8.5m HEIGHT PLANE  
IN FRONT OF ELEVATION



## 96-104 CABARITA ROAD AVALON BEACH

MERAKI DEVELOPMENTS PTY LIMITED



DESIGN PRACTICE

1801 A2101 House 2 Plans Current vwr

Tuesday, 27 November 2018