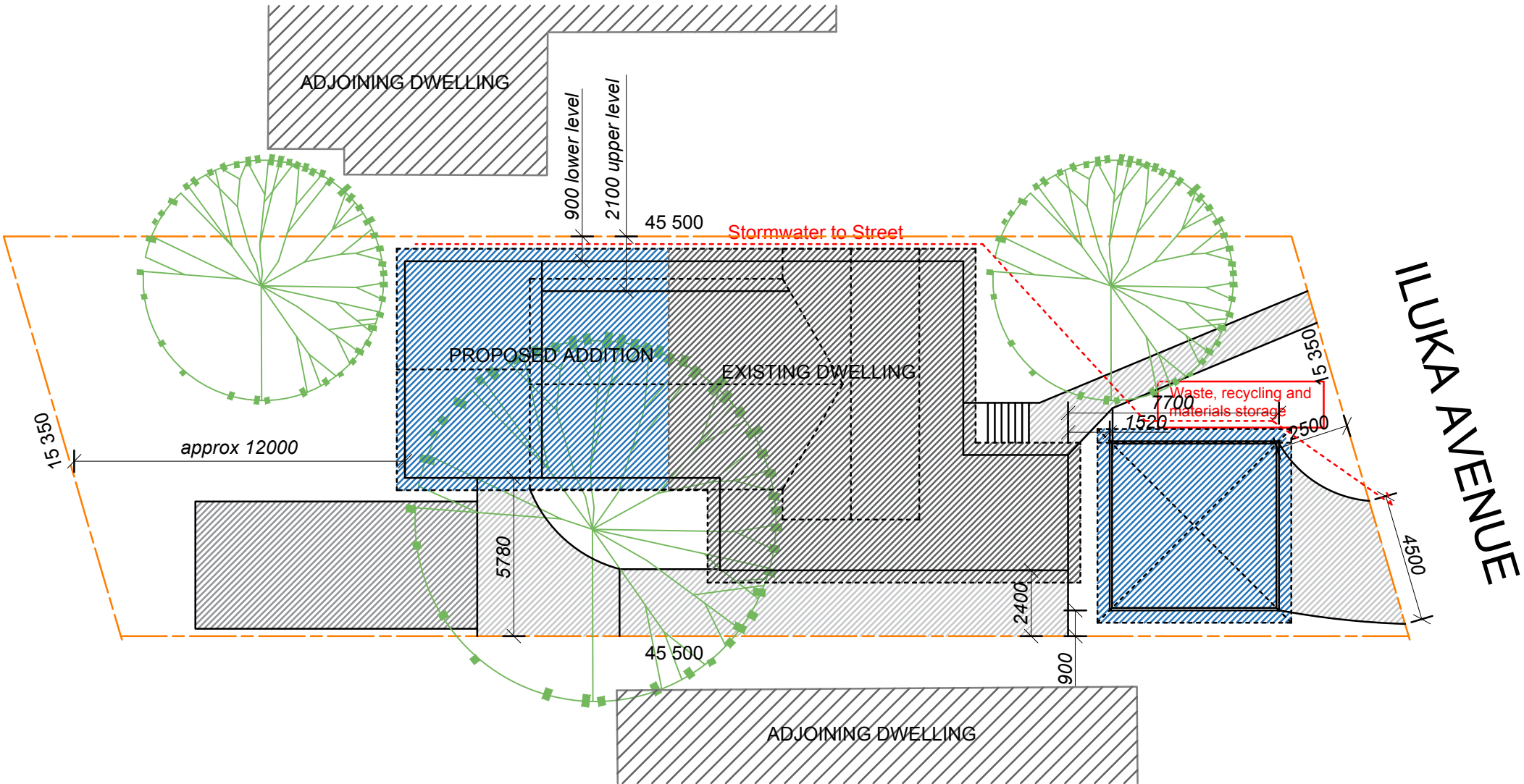


WIRE OR STEEL MESH
DISTURBED GROUND
3000 MAX
500
GEOTEXTILE FILTER FABRIC
POSTS DRIVEN INTO GROUND WITH SAFETY CAPS IF REQUIRED
UNDISTURBED GROUND

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION & STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

PROPOSED NEW	
MAIN DWELLING	
PATIO ROOF/SHEDS	
CONCRETE/PAVING	



TOTAL SITE AREA - m2	681.10		
EXISTING DWELLING-GRND FLOOR	113.00		
EXISTING OTHER STRUCTURES	65.80		
EXISTING DRIVEWAY/PATHS	95.00		
TOTAL EXISTING IMPERVIOUS	273.80		
EXISTING HARD SURFACE BUILT OVER	0.00		
BALANCE IMPERVIOUS AREA	273.80		
PROPOSED ADDITIONS-DECK/CARPORT	77.80		
PROPOSED ADDITIONS-UPPER FLOOR	45.00		
PROPOSED ADDITIONS-GRND FLOOR	41.00		
TOTAL PROPOSED IMPERVIOUS AREA	392.60	57.64	%
TOTAL PROPOSED LANDSCAPE AREA	288.50	42.36	%

Site Plan / Site Analysis

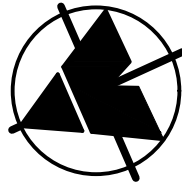
Site Plan: 1 : 200

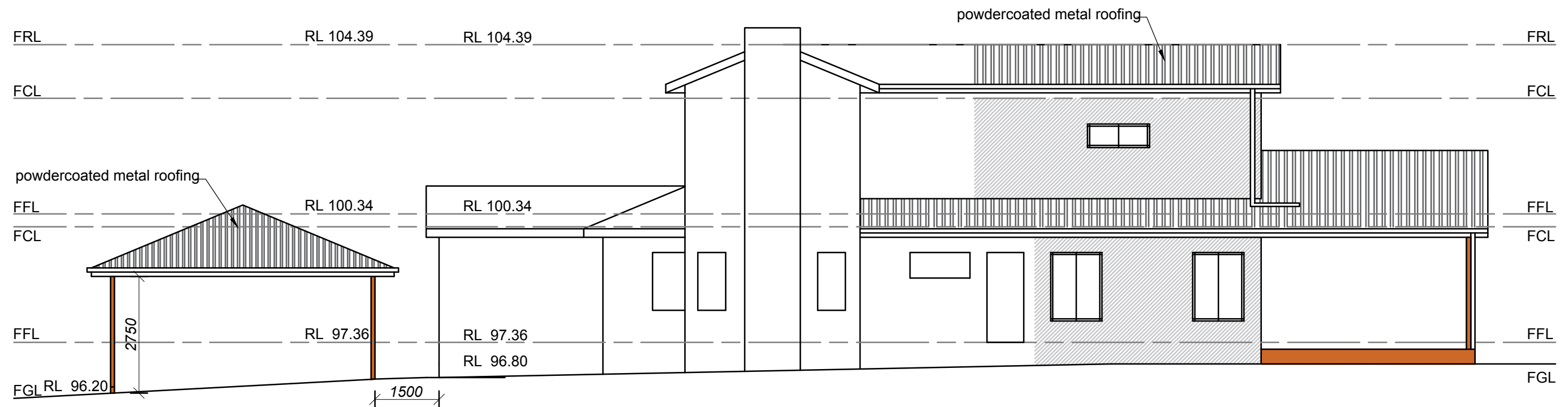
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	AMENDMENT	ISSUE	PROPOSED	FOR
22/08/19	PRELIMINARY ISSUE	A	ADDITIONS	CRAIG ARCHER
			AT SITE ADDRESS	
			24 ILUKA AVENUE, ELANORA HEIGHTS	
			DRAWING	
			SITE PLAN/SITE ANALYSIS	LOT NO 19 DP 13643
			DATE 22/08/19 SCALE 1 : 200 PROJECT NO CD-170/19 DRAWING NO CD-170/19-V1 SHEET NO 1 OF 6	

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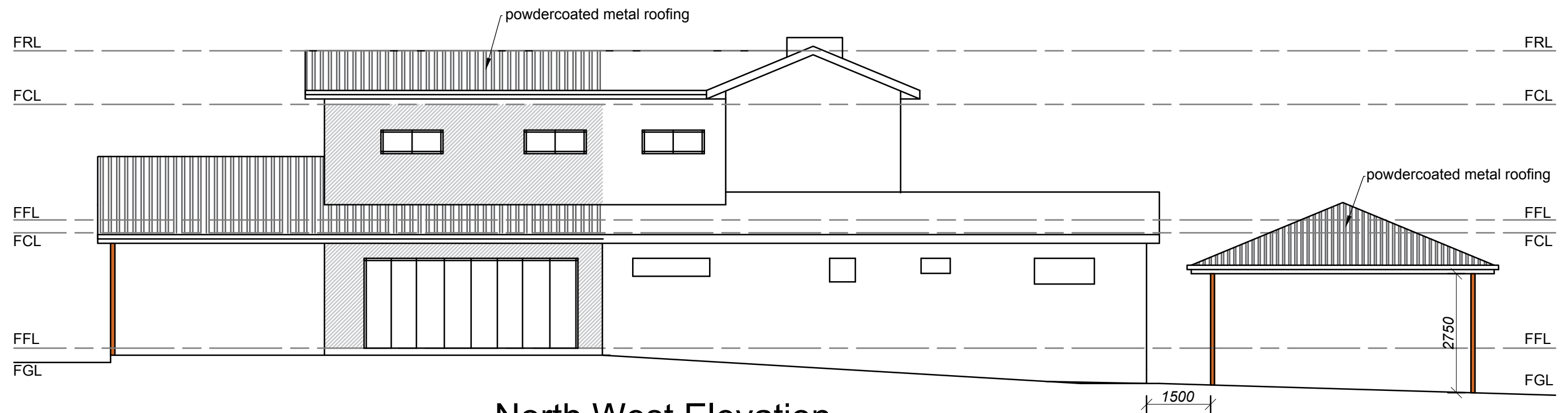
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South East Elevation

1:100



North West Elevation

1:100

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22/08/19	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		ADDITIONS	CRAIG ARCHER
AT SITE ADDRESS				
24 ILUKA AVENUE, ELANORA HEIGHTS				
DRAWING			LOT NO	DP
ELEVATIONS			19	13643
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
22/08/19	1:100	CD-170/19	CD-170/19-V1	4 OF 6

NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES
DIAL BEFORE YOU DIG IS RECOMMENDED

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BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A358784

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 02, October 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	ELANORA HEIGHTS
Street address	24 Iluka Avenue Elanora Heights 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 13643
Lot number	19
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Connect Drafting
ABN (if applicable):	44533496441

BASIX Certificate number: A358784

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Planning & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A358784

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
	✓	✓	✓
Construction	Additional insulation required (R-value)		Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking		dark (solar absorbance > 0.70)

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BASIX Certificate number: A358784

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	SE	0.79	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SE	1.89	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	SE	1.89	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NW	0.79	4	2	eave/verandah/pergola/balcony	standard aluminium, single clear, (or

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BASIX Certificate number: A358784

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Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
					>=450 mm	U-value: 7.63, SHGC: 0.75)		
W5	NW	0.79	4	2	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W6	NW	10.5	8	1.5	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W7	NE	12.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	NE	0.8	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W9	NE	2.52	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

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BASIX Certificate number: A358784

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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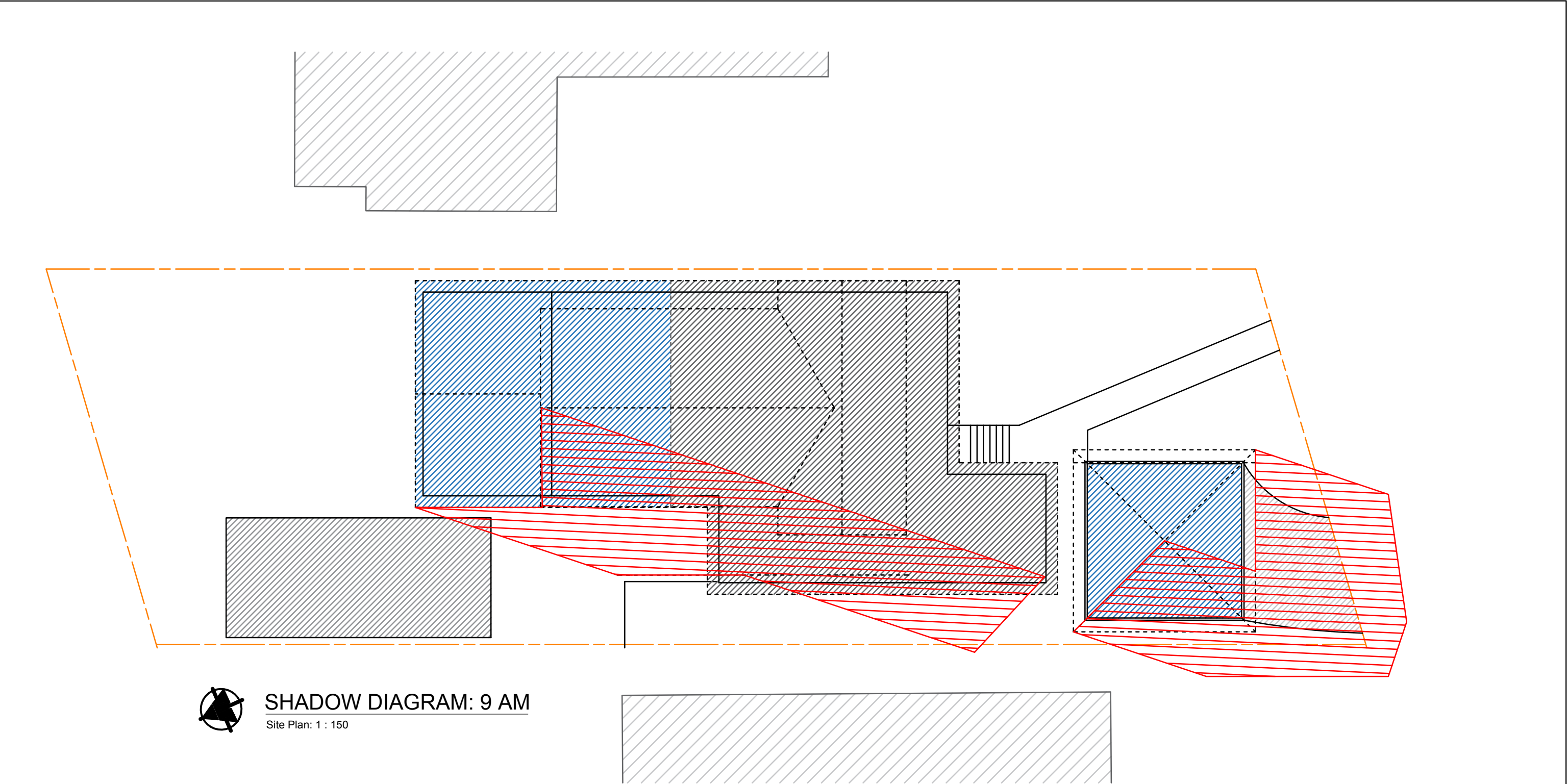
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22/08/19	PRELIMINARY ISSUE	A	PROPOSED	FOR
DATE	FINAL ISSUE		ADDITIONS	CRAIG ARCHER
AT SITE ADDRESS				
24 ILUKA AVENUE, ELANORA HEIGHTS				
DRAWING			LOT NO	DP
BASIX			19	13643
DATE	SCALE	PROJECT NO	DRAWING NO	SHEET NO
22/08/19	1:100	CD-170/19	CD-170/19-V1	6 OF 6

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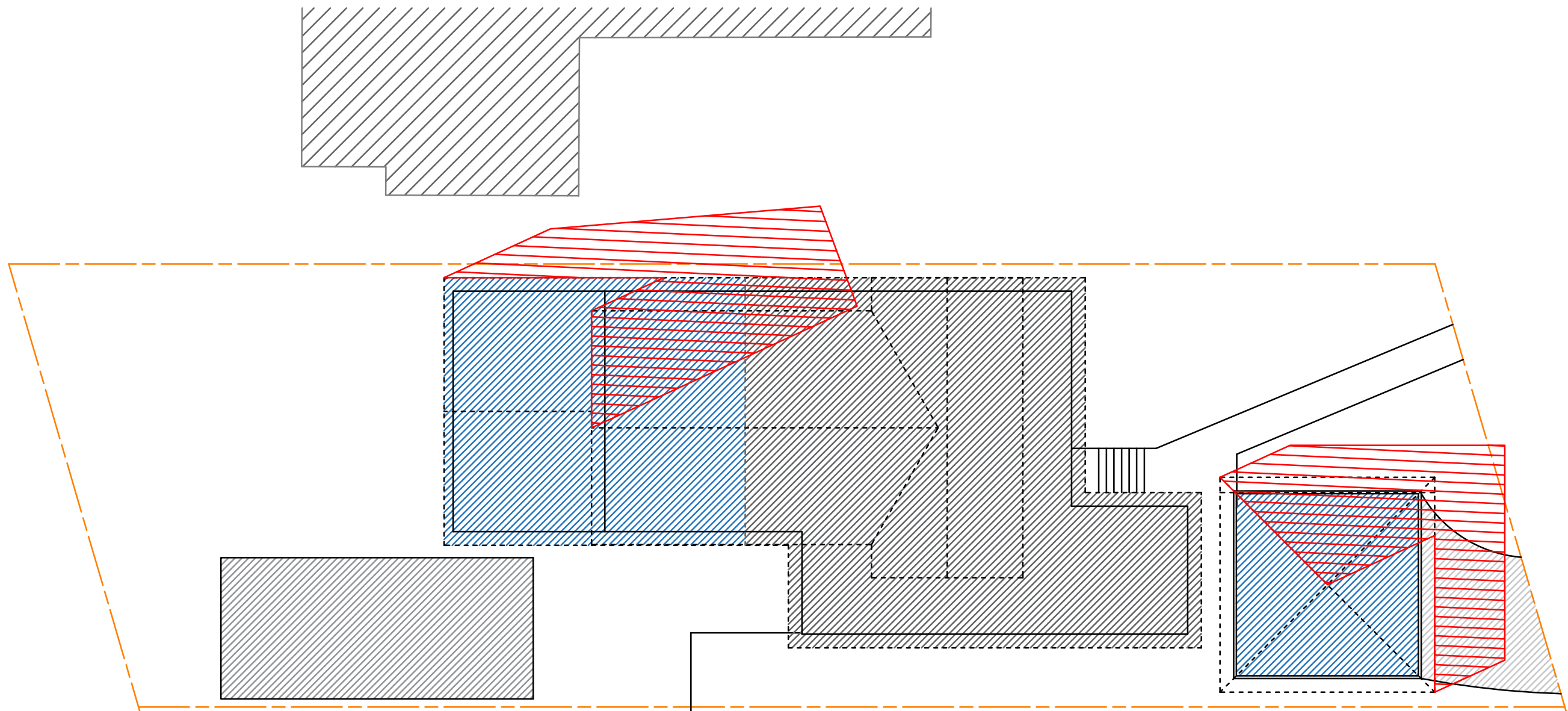
SHADOW DIAGRAM: 9 AM
Site Plan: 1 : 150

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	AMENDMENT	ISSUE	PROPOSED	FOR
22/08/19	PRELIMINARY ISSUE	A	ADDITIONS	CRAIG ARCHER
			AT SITE ADDRESS 24 ILUKA AVENUE, ELANORA HEIGHTS	
			DRAWING	LOT NO
			SHADOWS - 9AM	19
			DATE	DP
			22/08/19	13643
			SCALE	DRAWING NO
			1 : 200	CD-170/19-V1
			PROJECT NO	SHEET NO
			CD-170/19	1 OF 3

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SHADOW DIAGRAM: 12 NN

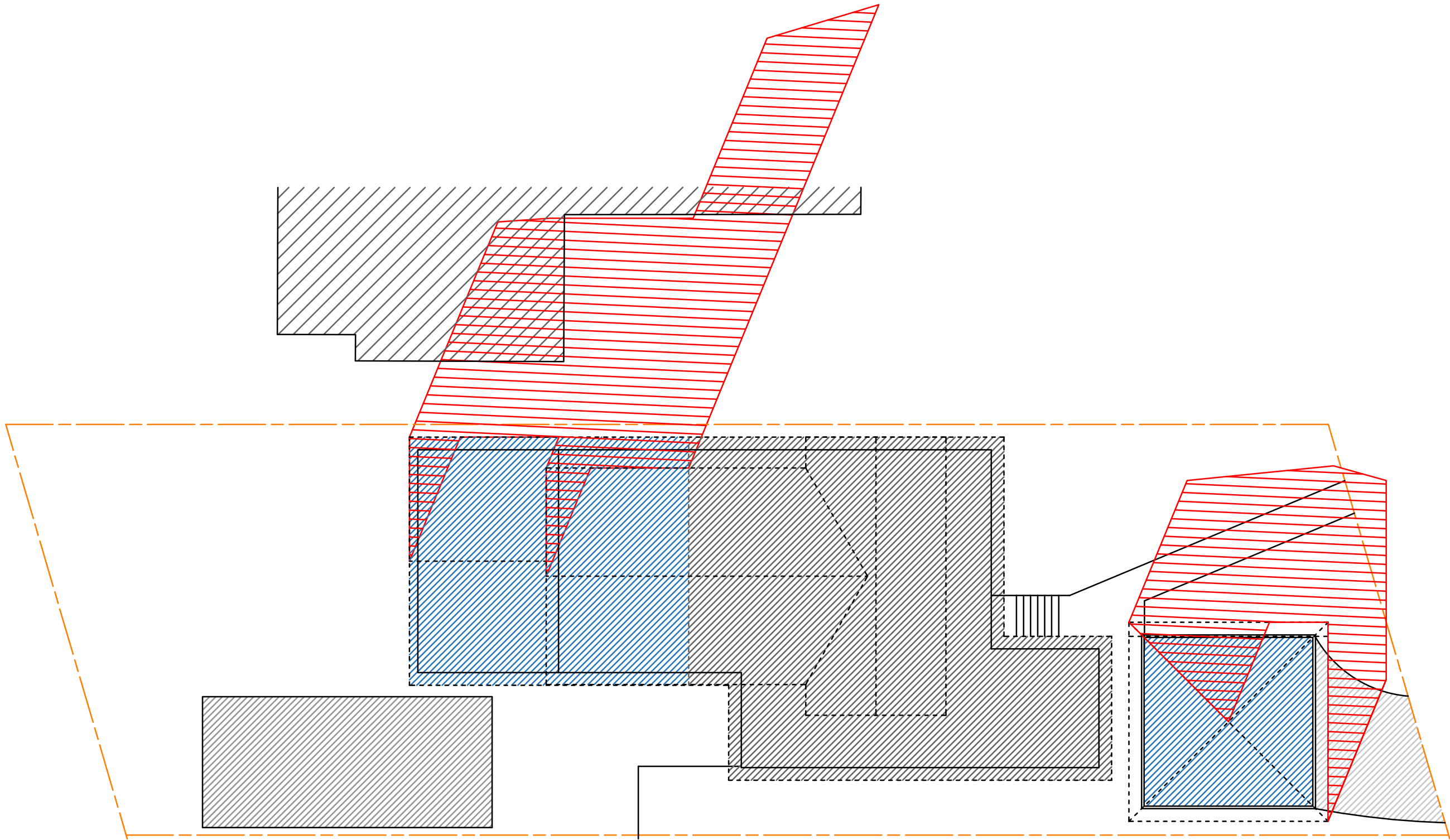
Site Plan: 1 : 150

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AMENDMENT	ISSUE	PROPOSED	FOR
22/08/19	PRELIMINARY ISSUE	A	ADDITIONS
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			24 ILUKA AVENUE, ELANORA HEIGHTS
			DRAWING
			SHADOWS - 12NN
			LOT NO
			19
			DP
			13643
			DATE
			22/08/19
			SCALE
			1 : 200
			PROJECT NO
			CD-170/19
			DRAWING NO
			CD-170/19-V1
			SHEET NO
			2 OF 3

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SHADOW DIAGRAM: 3 PM

Site Plan: 1 : 150

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	AMENDMENT	ISSUE	PROPOSED	FOR
22/08/19	PRELIMINARY ISSUE	A	ADDITIONS	CRAIG ARCHER
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			DRAWING	
			SHADOWS - 3PM	
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			22/08/19	
			SCALE	
			1 : 200	
			PROJECT NO	
			CD-170/19	
			LOT NO	
			19	
			DP	
			13643	
			DRAWING NO	
			CD-170/19-V1	
			SHEET NO	
			3 OF 3	

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