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REV	DATE	DESCRIPTION	BY
B	2019.07.22	PRELIMINARY	OH
C	2019.07.31	PRELIMINARY	OH
C	2019.08.15	PRELIMINARY - LAYOUTS UPDATE	OH
D	2019.09.20	FOR PRELODGEEMENT MEETING	OH
E	Dec '19	CONSULTANT COORDINATION	OH
F	Mar '19	FOR DA LODGMENT	OH

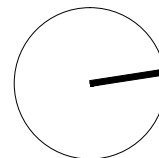
REVISION NOTES  
FOR DA LODGEMENT  
NOT FOR CONSTRUCTION

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ARCHITECTS

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www.platformarchitects.com.au

PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SITE PLAN

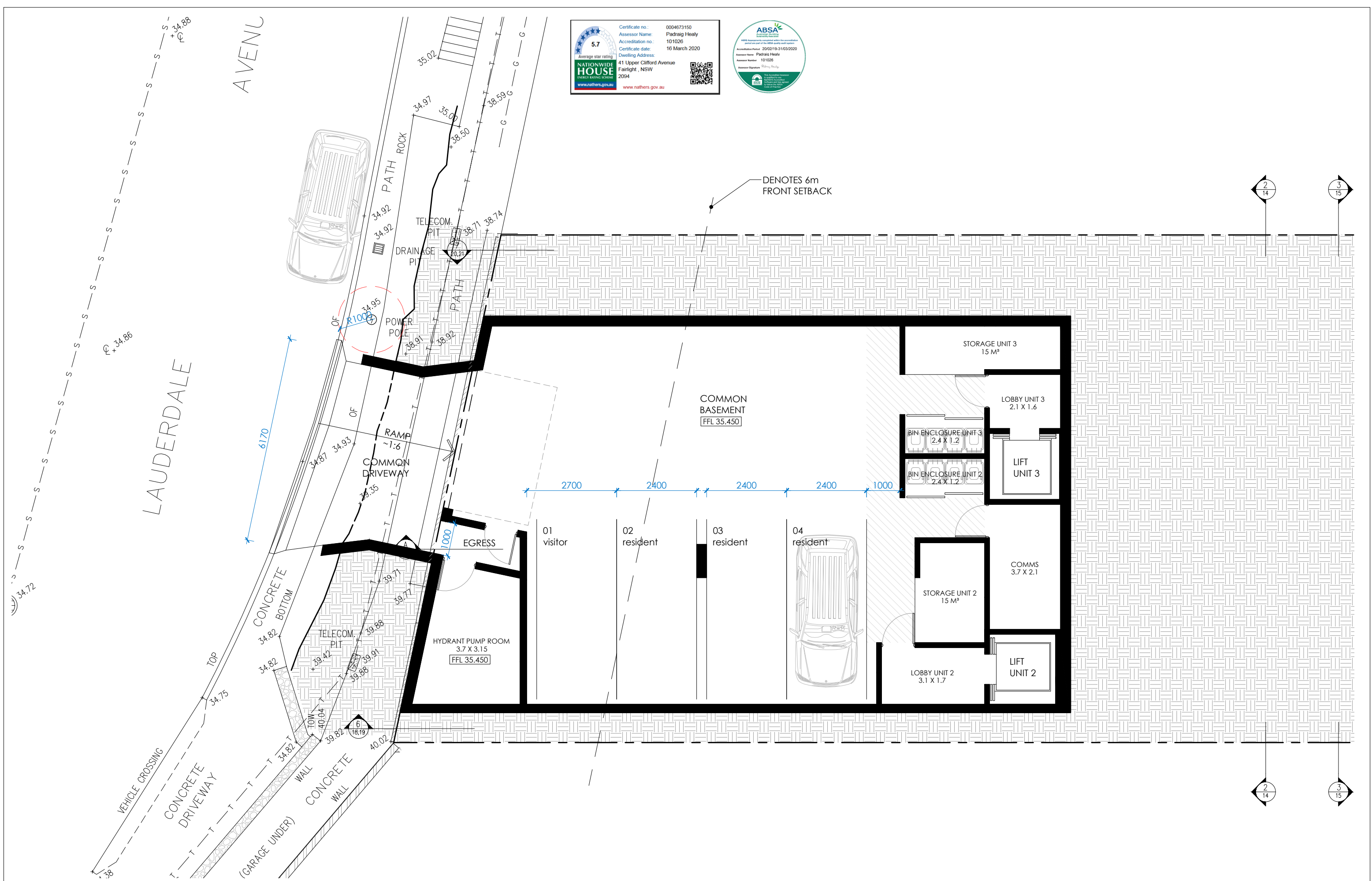
SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
01

PROJECT  
UCS

REVISION  
F



5.7

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no: 0004673150

Assessor Name: Padraig Healy

Accreditation no: 101026

Certificate date: 16 March 2020

Dwelling Address: 41 Upper Clifford Avenue Fairlight, NSW 2094

www.nathers.gov.au

ABSA

Accredited Assessor

ABSA

Accredited Assessor

Accreditation Period: 20/02/19-31/03/2020

Assessor Name: Padraig Healy

Assessor Number: 101026

Assessor Signature: Padraig Healy

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REVISION NOTES  
FOR DA LODGEMENT  
NOT FOR CONSTRUCTION

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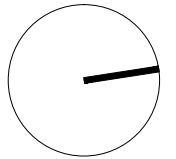
P: 02 9976 6466

F: 02 9976 6466

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DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
BASEMENT FLOOR PLAN  
(LAUDERDALE AVE, UNITS 2 & 3)

SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
02

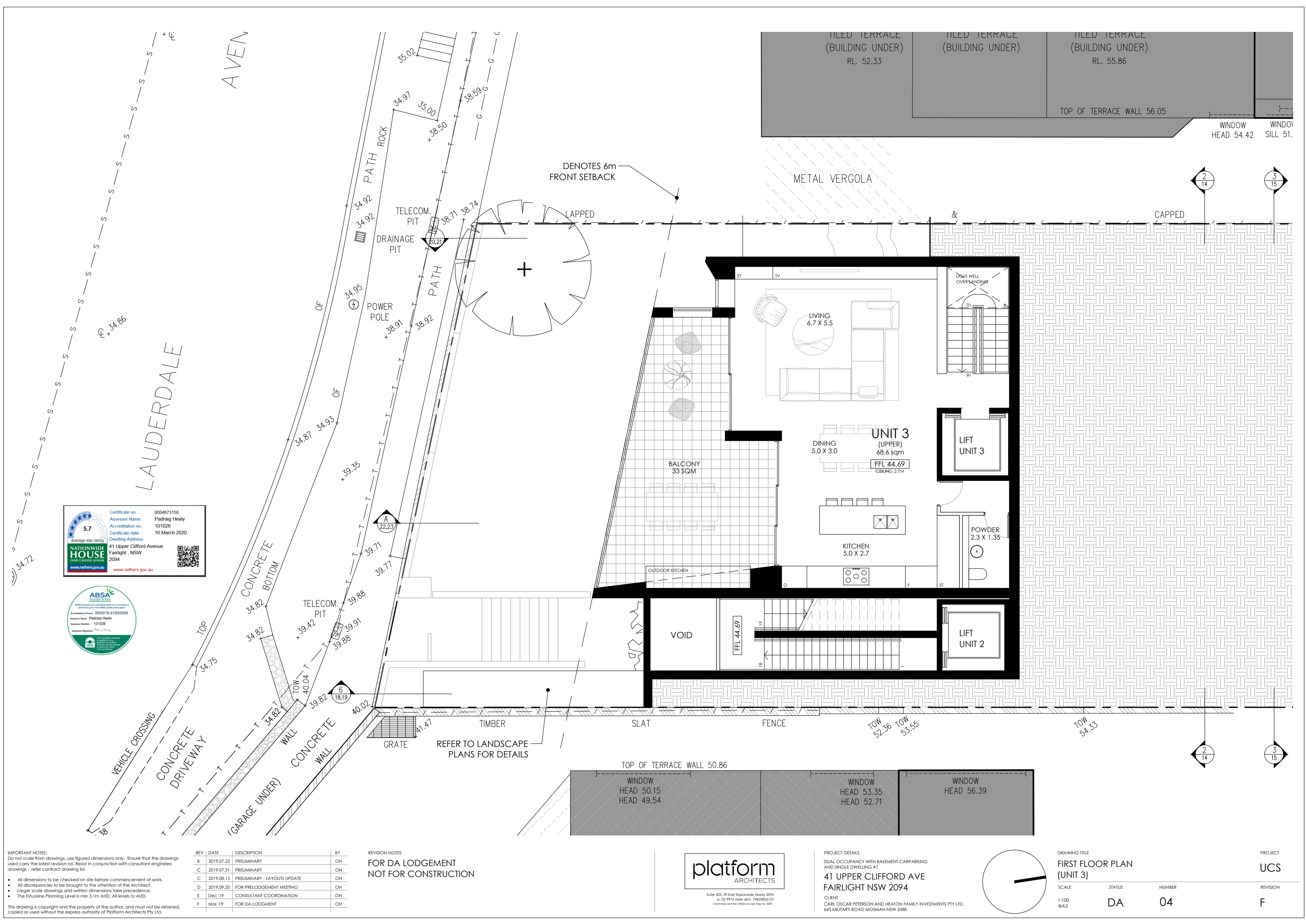
PROJECT  
UCS

REVISION  
F









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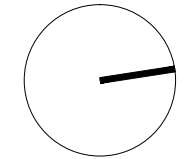
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PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE	STATUS	NUMBER	REVISION
FIRST FLOOR PLAN (UNIT 3)	DA	04	F
SCALE			
1:100 @A3			

PROJECT  
UCS

5.7

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no.: 0004673150

Assessor Name: Padraig Healy

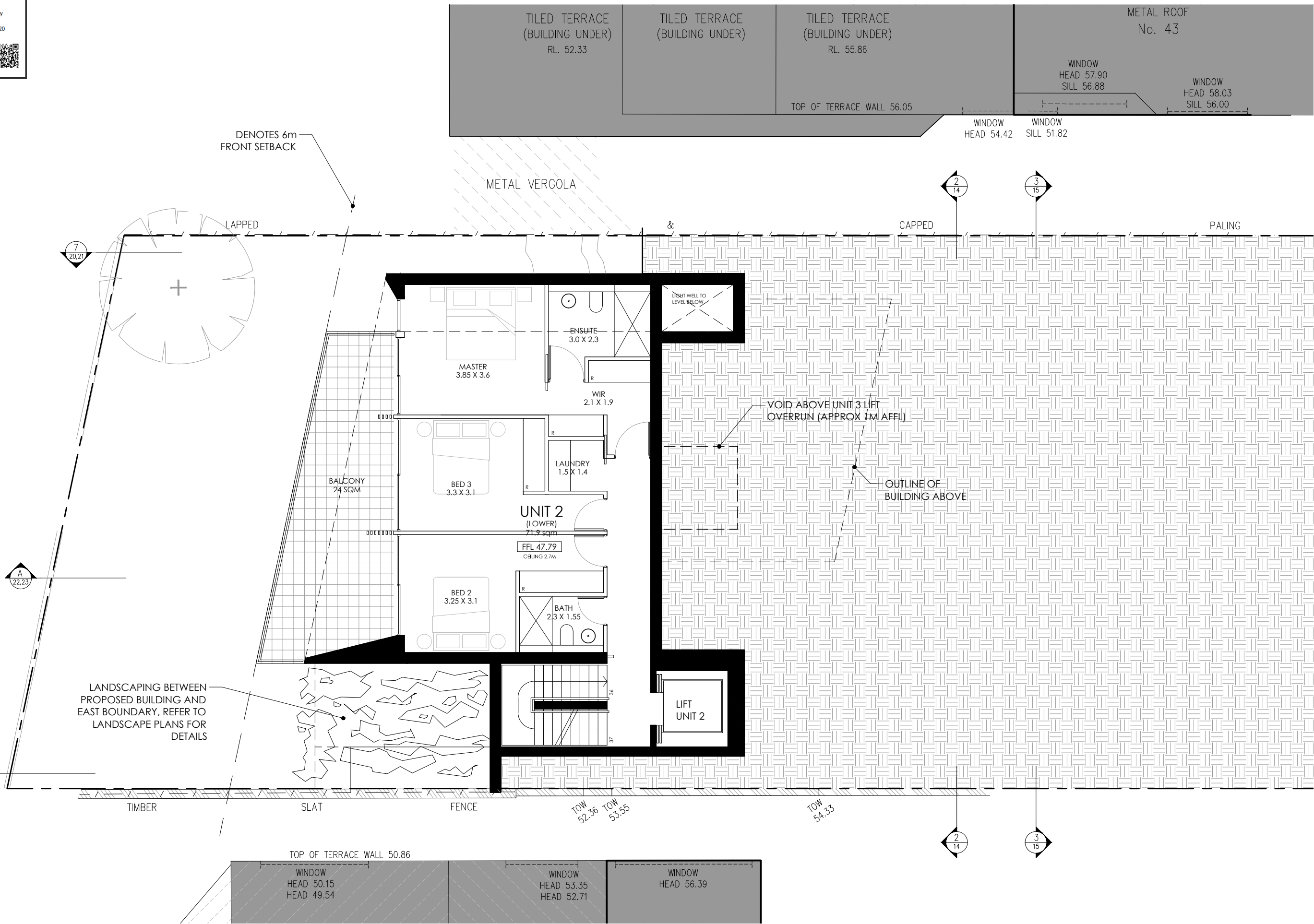
Certificate date: 101026

16 March 2020

Dwelling Address: 41 Upper Clifford Avenue

Fairlight, NSW 2094

www.nathers.gov.au



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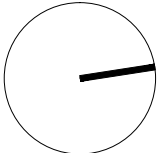
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REVISION NOTES  
FOR DA LODGEMENT  
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PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
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41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SECOND FLOOR PLAN  
(UNIT 2)

SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
05

PROJECT  
UCS  
REVISION  
F

5.7

Average star rating

NATIONWIDE

ENERGY RATING SCHEME

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ABSA

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Accreditation number: 200216-31/03/2020

Assessor Name: Padraig Healy

Assessor Number: 101026

Assessor Signature: Padraig Healy

TILED TERRACE (BUILDING UNDER) RL. 52.33

TILED TERRACE (BUILDING UNDER)

TILED TERRACE (BUILDING UNDER) RL. 55.86

METAL ROOF No. 43

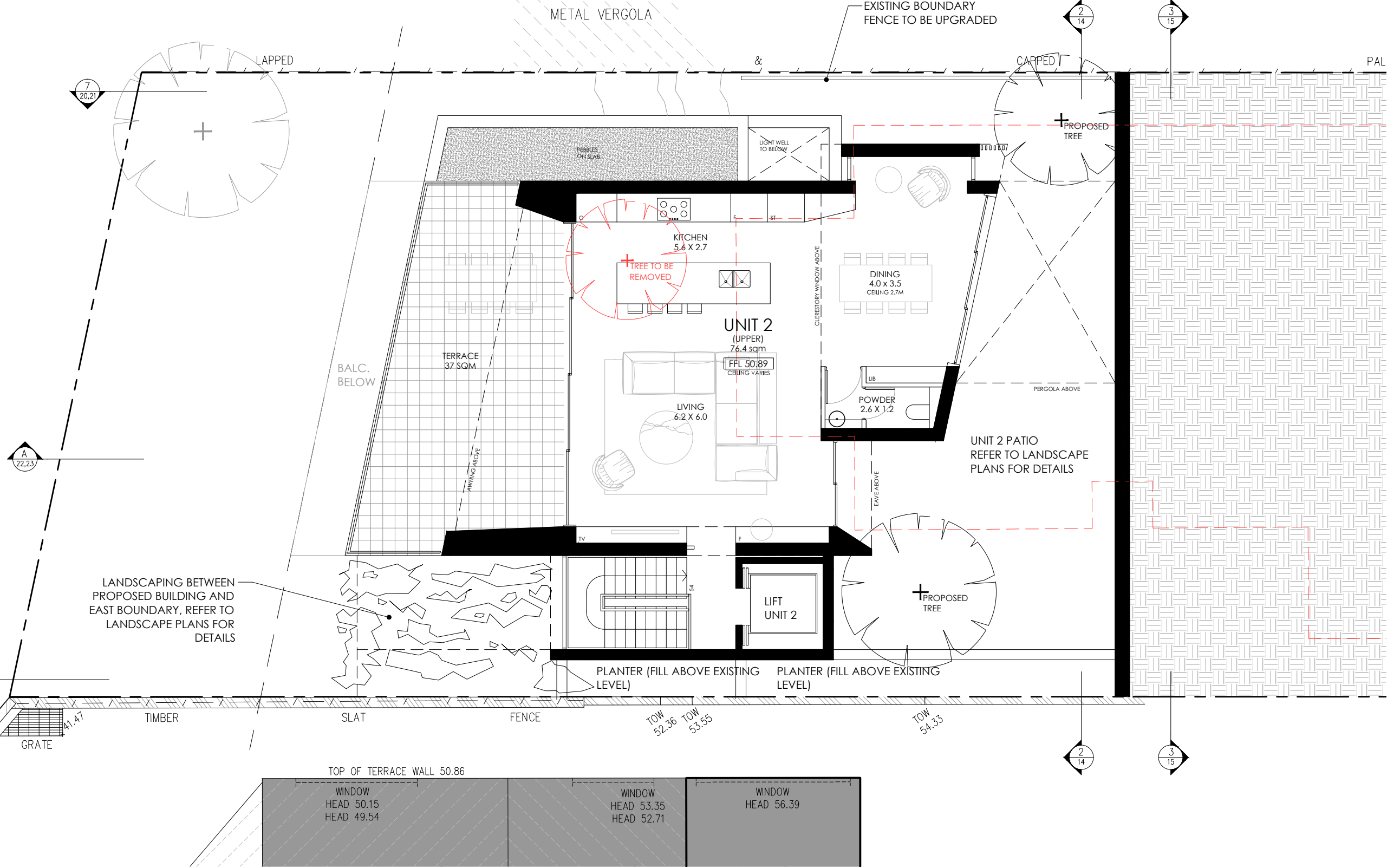
WINDOW HEAD 57.90 SILL 56.88

WINDOW HEAD 58.0 SILL 56.00

TOP OF TERRACE WALL 56.05

WINDOW HEAD 54.42

WINDOW SILL 51.82



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REVISION NOTES  
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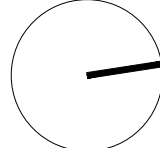
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FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
THIRD FLOOR PLAN  
(UNIT 2)  
SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
06

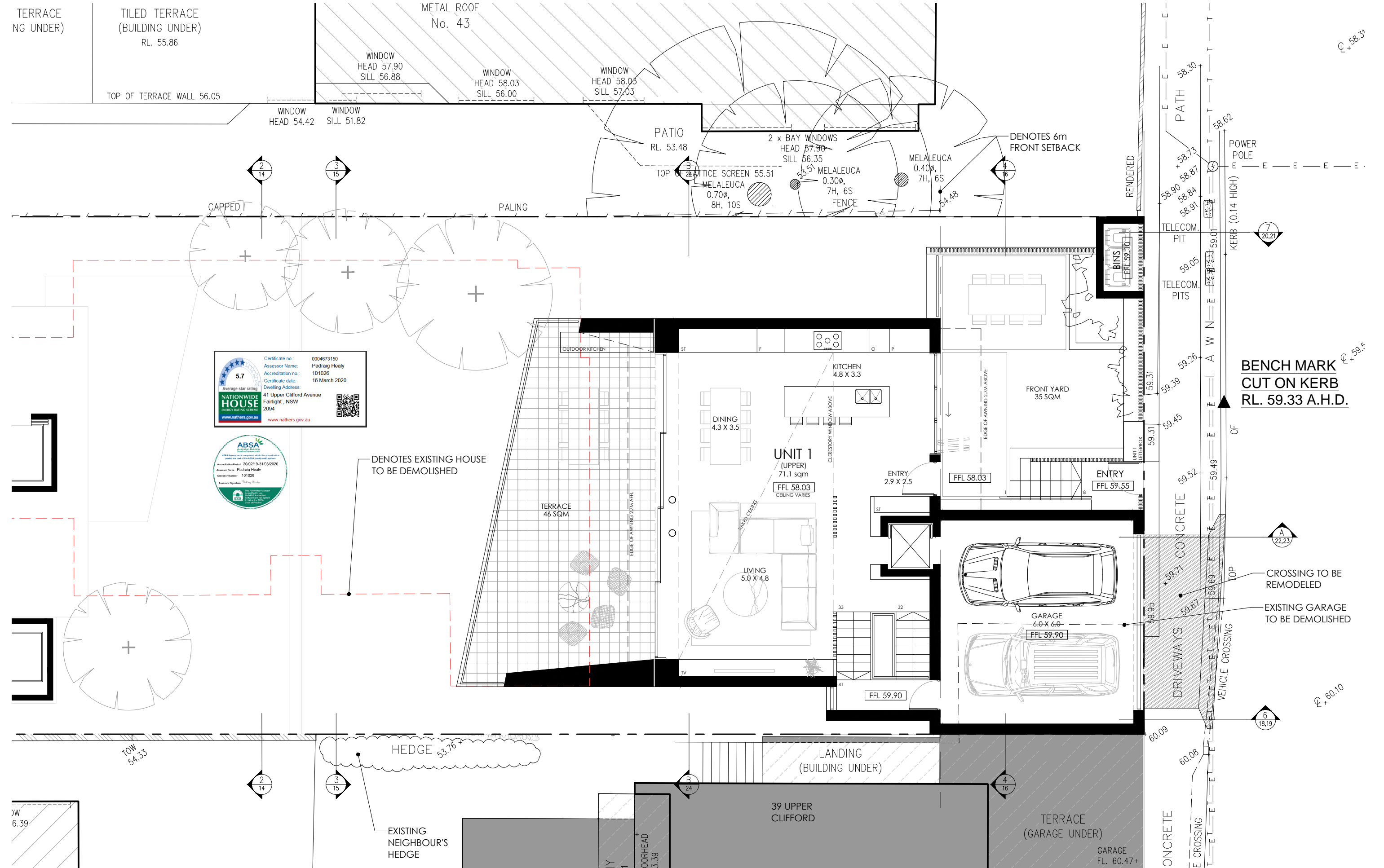
PROJECT  
UCS  
REVISION  
F

CONTINUATION ON DWG 08









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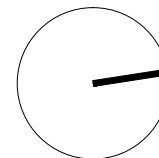
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FAIRLIGHT NSW 2094

CLIENT  
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643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SECOND FLOOR PLAN  
(UNIT 1)

SCALE  
1:100  
@A3

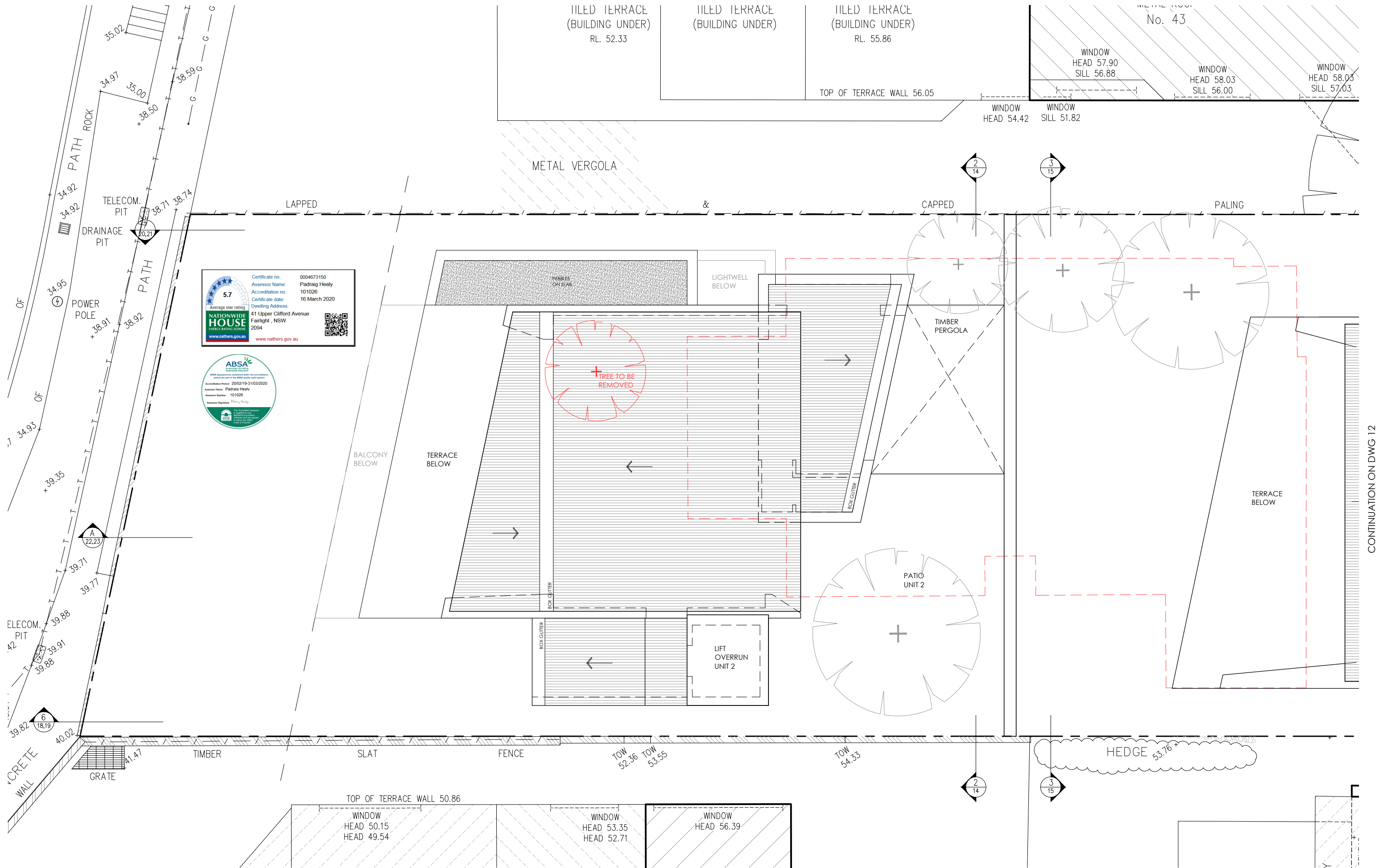
STATUS  
DA

NUMBER  
10

PROJECT  
UCS

REVISION  
F





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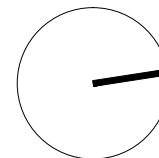
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PROJECT DETAILS  
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AND SINGLE DWELLING AT  
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FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088

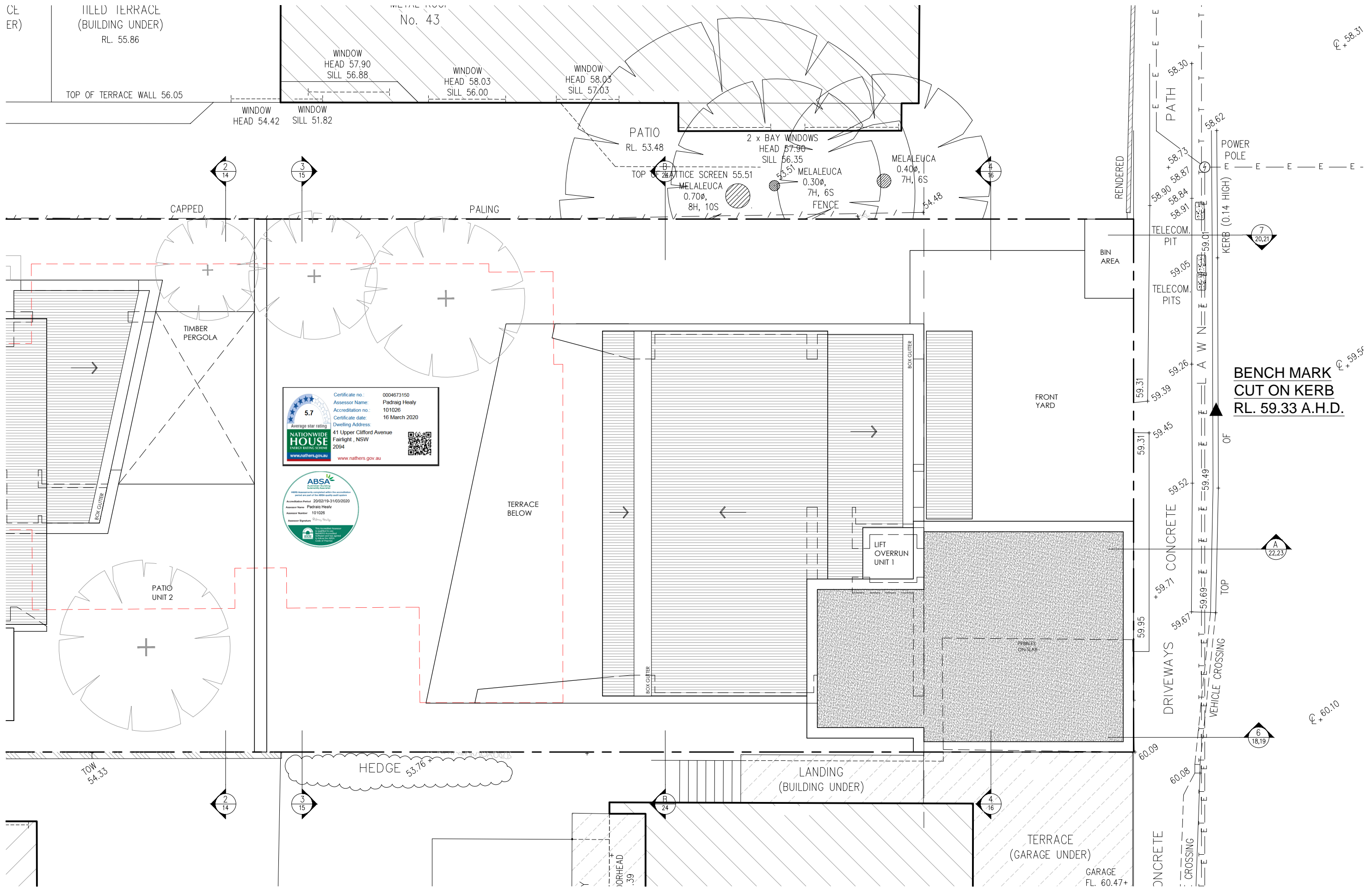


DRAWING TITLE  
ROOF PLAN - SHEET 1  
(UNIT 2 AND UNIT 3)

SCALE STATUS NUMBER  
1:100 DA 11

PROJECT  
UCS  
REVISION  
F

CONTINUATION ON DWG 11



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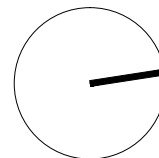
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FAIRLIGHT NSW 2094

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643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
ROOF PLAN - SHEET 2  
(UNIT 1)

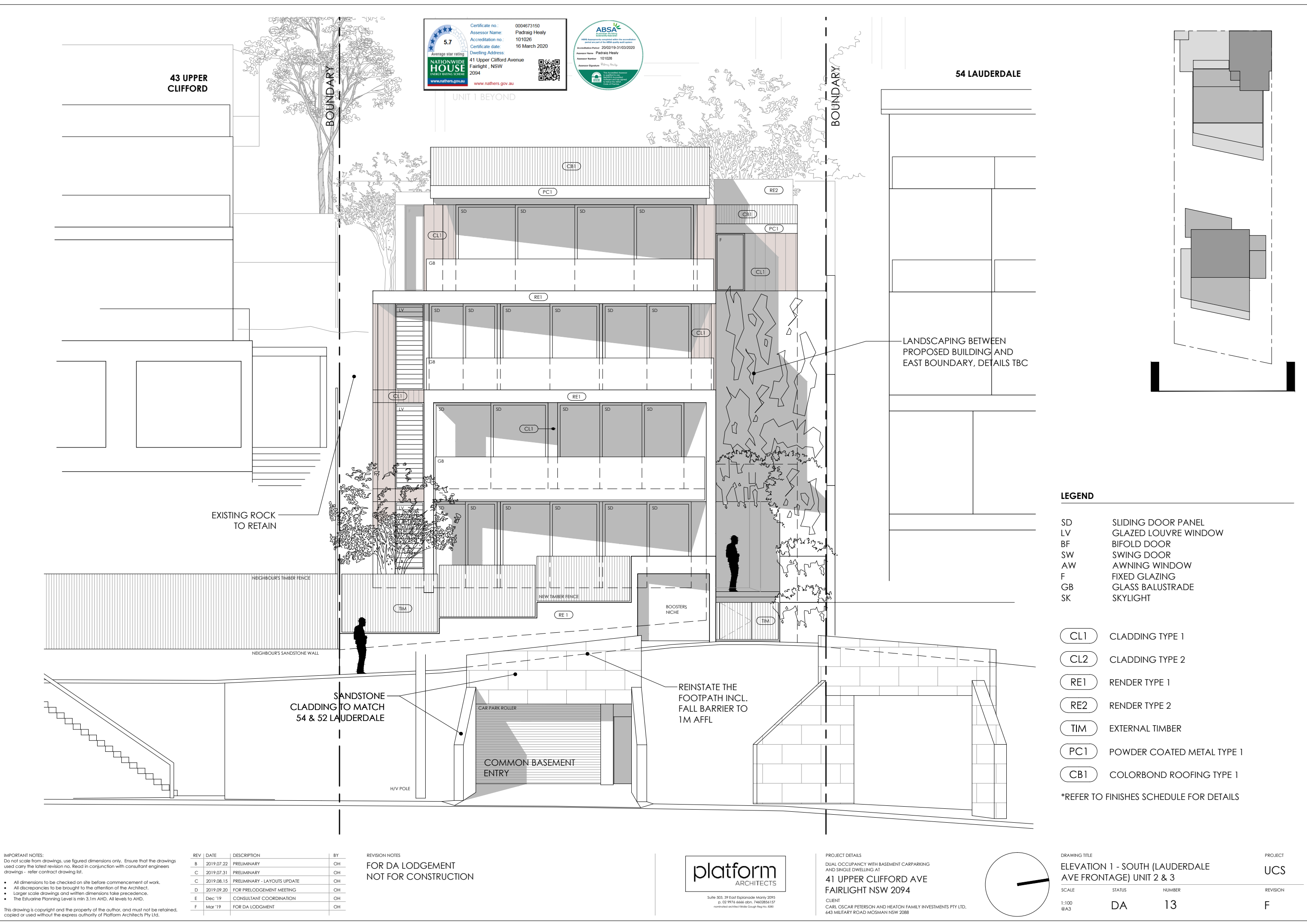
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STATUS  
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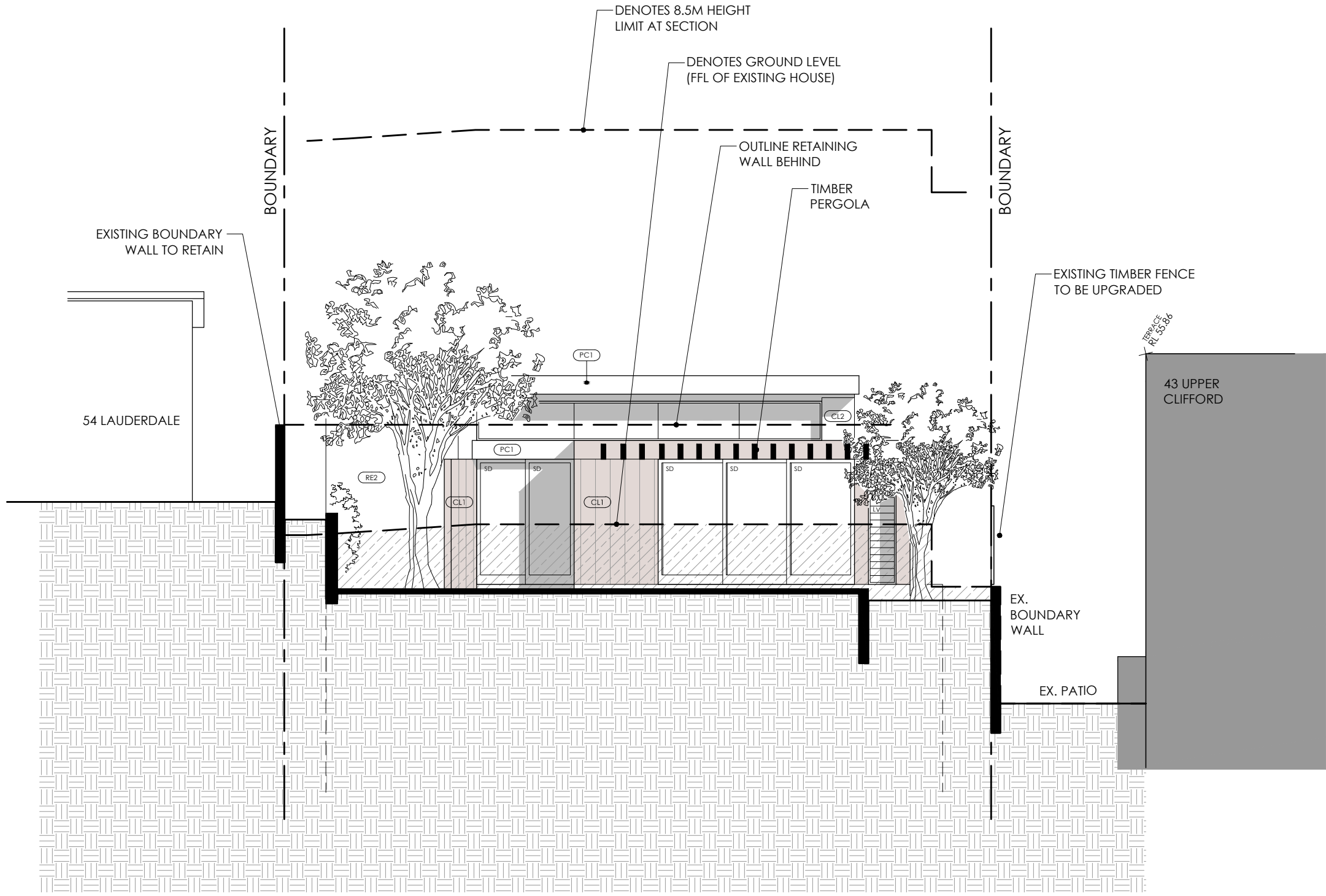
NUMBER  
12

PROJECT  
UCS

REVISION  
F







#### LEGEND

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

CL1	CLADDING TYPE 1
CL2	CLADDING TYPE 2
RE1	RENDER TYPE 1
RE2	RENDER TYPE 2
TIM	EXTERNAL TIMBER
PC1	POWDER COATED METAL TYPE 1
CB1	COLORBOND ROOFING TYPE 1

\*REFER TO FINISHES SCHEDULE FOR DETAILS

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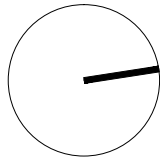
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FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
ELEVATION 2 - NORTH  
UNIT 2 & 3

SCALE: 1:100  
STATUS: DA  
NUMBER: 14

PROJECT  
UCS  
REVISION  
F

5.7

Average star rating

NATIONWIDE

HOUSE

TRUSTED LIVING RATING

www.nathers.gov.au

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Certificate date: 16 March 2020

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**LEGEND**

- SD SLIDING DOOR PANEL
- LV GLAZED LOUVRE WINDOW
- BF BIFOLD DOOR
- SW SWING DOOR
- AW AWNING WINDOW
- F FIXED GLAZING
- GB GLASS BALUSTRADE
- SK SKYLIGHT

- CL1 CLADDING TYPE 1
- CL2 CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- TIM EXTERNAL TIMBER
- PC1 POWDER COATED METAL TYPE 1
- CB1 COLORBOND ROOFING TYPE 1

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**CLIENT**  
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643 MILITARY ROAD MOSMAN NSW 2088

**DRAWING TITLE**  
ELEVATION 3 - SOUTH  
UNIT 1

SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
15

**PROJECT**  
UCS

**REVISION**  
F

5.7

Average star rating

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

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Certificate no.: 0004673150

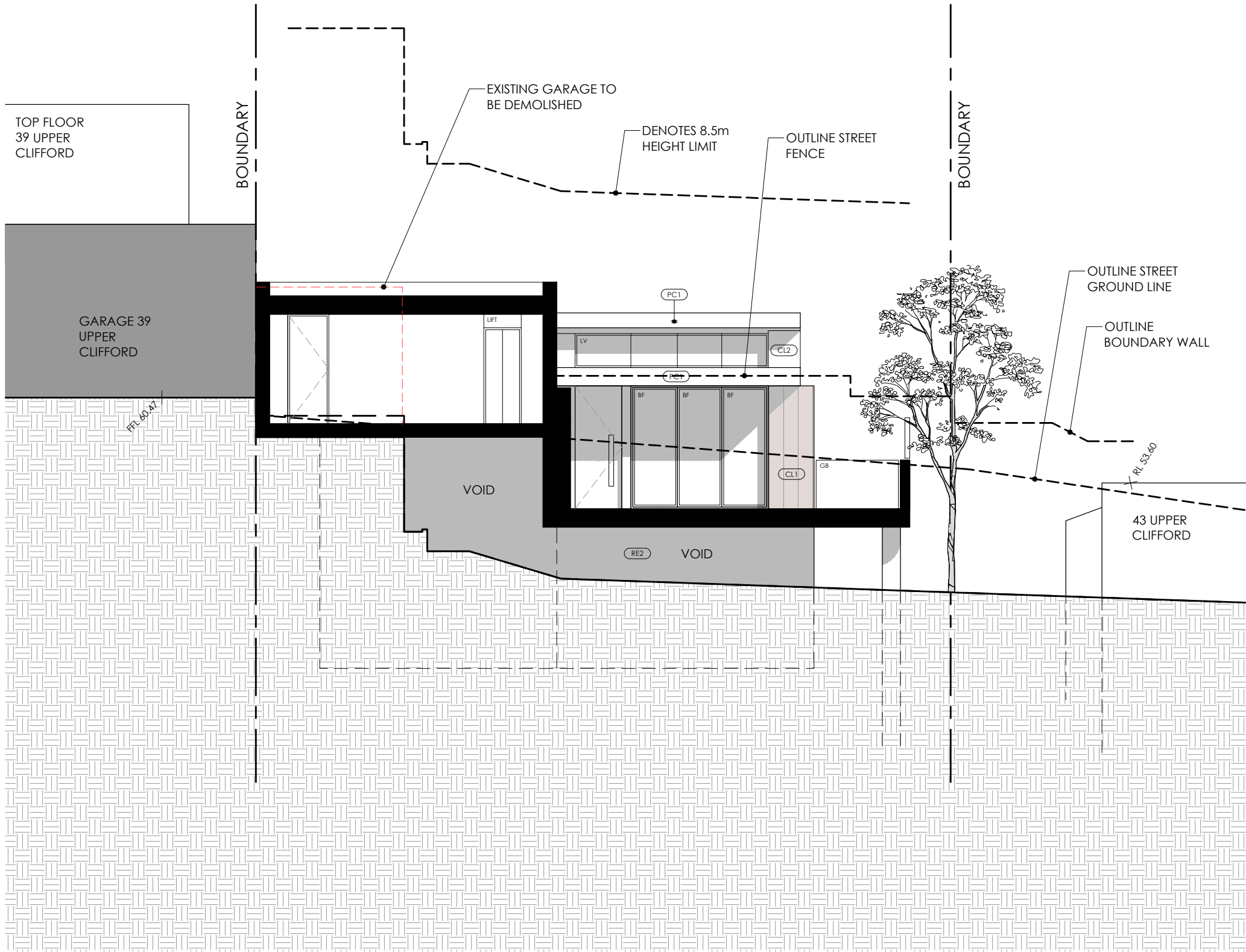
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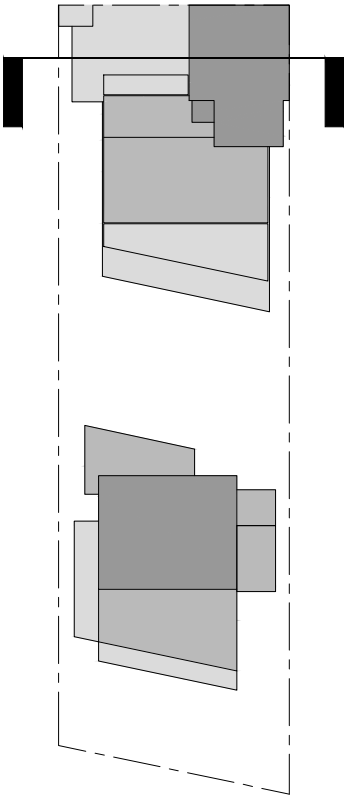


LEGEND

- SD SLIDING DOOR PANEL  
LV GLAZED LOUVRE WINDOW  
BF BIFOLD DOOR  
SW SWING DOOR  
AW AWNING WINDOW  
F FIXED GLAZING  
GB GLASS BALUSTRADE  
SK SKYLIGHT

- CL1 CLADDING TYPE 1  
CL2 CLADDING TYPE 2  
RE1 RENDER TYPE 1  
RE2 RENDER TYPE 2  
TIM EXTERNAL TIMBER  
PC1 POWDER COATED METAL TYPE 1  
CB1 COLORBOND ROOFING TYPE 1

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- The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.

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REV	DATE	DESCRIPTION	BY
B	2019.07.22	PRELIMINARY	OH
C	2019.07.31	PRELIMINARY	OH
C	2019.08.15	PRELIMINARY - LAYOUTS UPDATE	OH
D	2019.09.20	FOR PRELODGEEMENT MEETING	OH
E	Dec '19	CONSULTANT COORDINATION	OH
F	Mar '19	FOR DA LODGMENT	OH

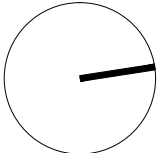
REVISION NOTES  
FOR DA LODGMENT  
NOT FOR CONSTRUCTION

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ARCHITECTS

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P: 02 9976 6666 cbrn: 74602856157  
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PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
ELEVATION 4 - NORTH  
UNIT 1

SCALE  
1:100  
@A3

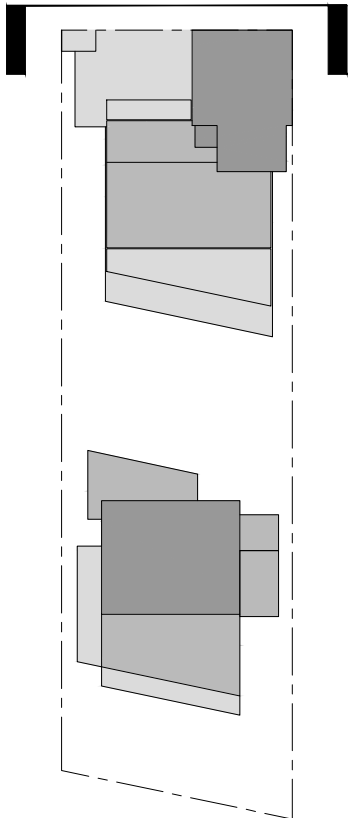
STATUS  
DA

NUMBER  
16

PROJECT  
UCS

REVISION  
F

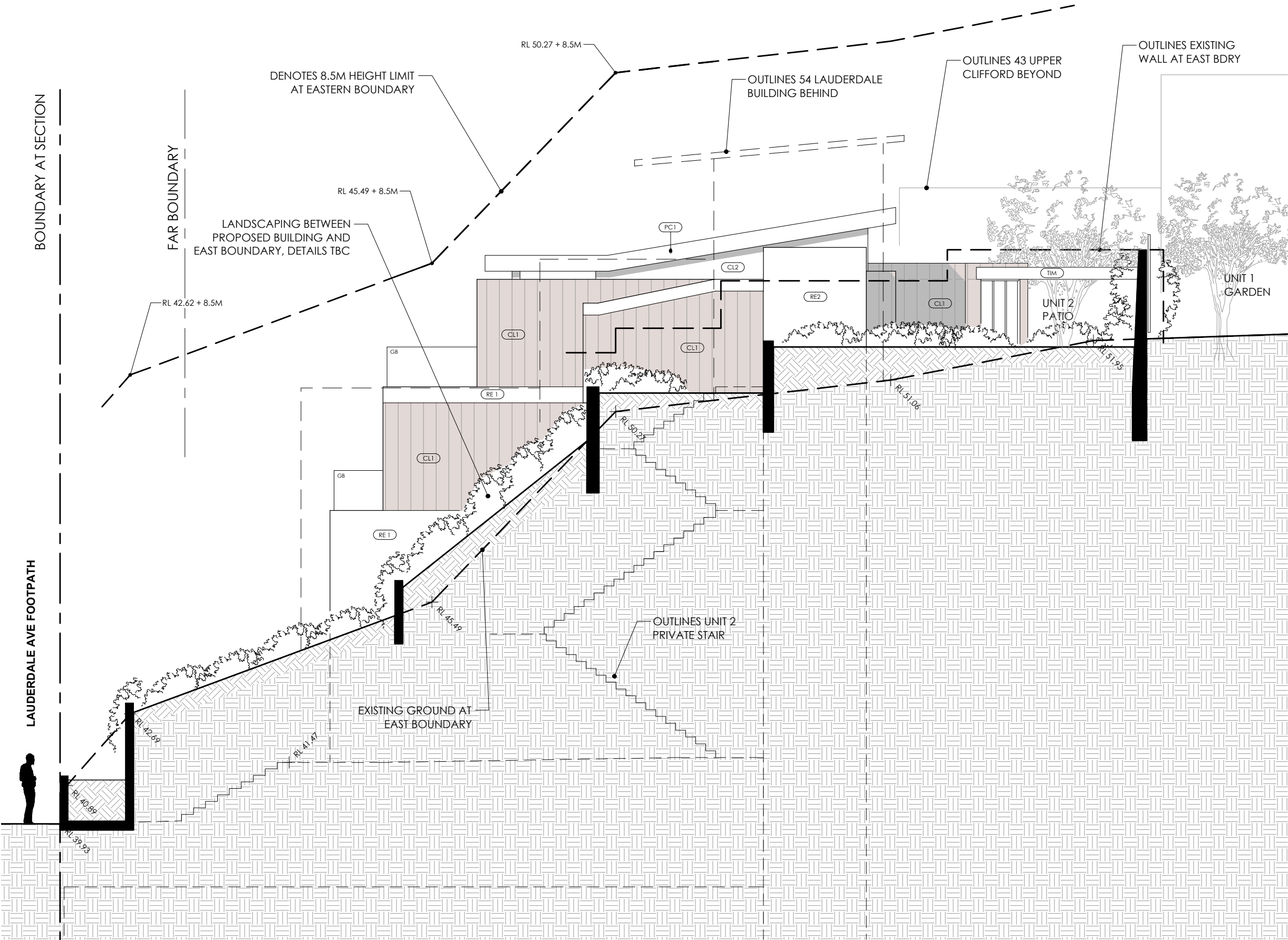




SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

- \*REFER TO FINISHES SCHEDULE FOR DETAILS

DRAWING TITLE			PROJECT
ELEVATION 5 - NORTH (UPPER CLIFFORD FRONTAGE) UNIT 1			UCS
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	17	F



CONTINUATION ON DWG 19

#### LEGEND

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

CL1	CLADDING TYPE 1
CL2	CLADDING TYPE 2
RE1	RENDER TYPE 1
RE2	RENDER TYPE 2
TIM	EXTERNAL TIMBER
PC1	POWDER COATED METAL TYPE 1
CB1	COLORBOND ROOFING TYPE 1

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E	Dec '19	CONSULTANT COORDINATION	OH
F	Mar '19	FOR DA LODGMENT	OH

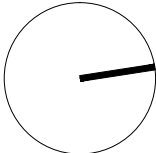
REVISION NOTES  
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PROJECT DETAILS  
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FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



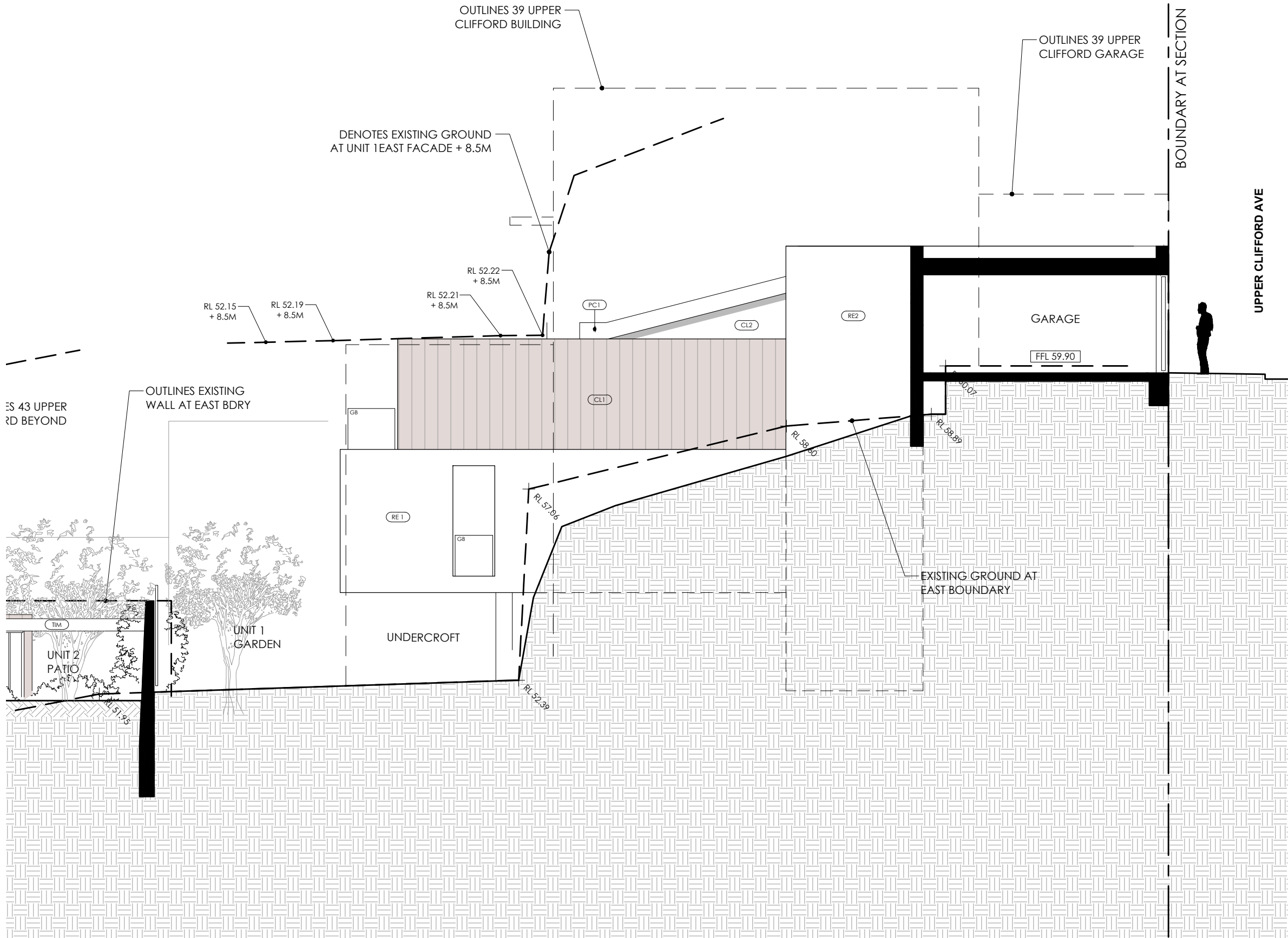
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SECTIONAL ELEVATION 6 - EAST  
SHEET 1

SCALE: 1:100  
STATUS: DA  
NUMBER: 18  
@A3

PROJECT  
UCS

REVISION  
F

CONTINUATION ON DWG 18



LEGEND

- SD SLIDING DOOR PANEL  
LV GLAZED LOUVRE WINDOW  
BF BIFOLD DOOR  
SW SWING DOOR  
AW AWNING WINDOW  
F FIXED GLAZING  
GB GLASS BALUSTRADE  
SK SKYLIGHT

- CL1 CLADDING TYPE 1  
CL2 CLADDING TYPE 2  
RE1 RENDER TYPE 1  
RE2 RENDER TYPE 2  
TIM EXTERNAL TIMBER  
PC1 POWDER COATED METAL TYPE 1  
CB1 COLORBOND ROOFING TYPE 1

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D	2019.09.20	FOR PRELODGEEMENT MEETING	OH
E	Dec '19	CONSULTANT COORDINATION	OH
F	Mar '19	FOR DA LODGMENT	OH

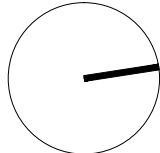
REVISION NOTES  
FOR DA LODGMENT  
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ARCHITECTS

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PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SECTIONAL ELEVATION 6 - EAST  
SHEET 2

SCALE  
1:100  
@A3

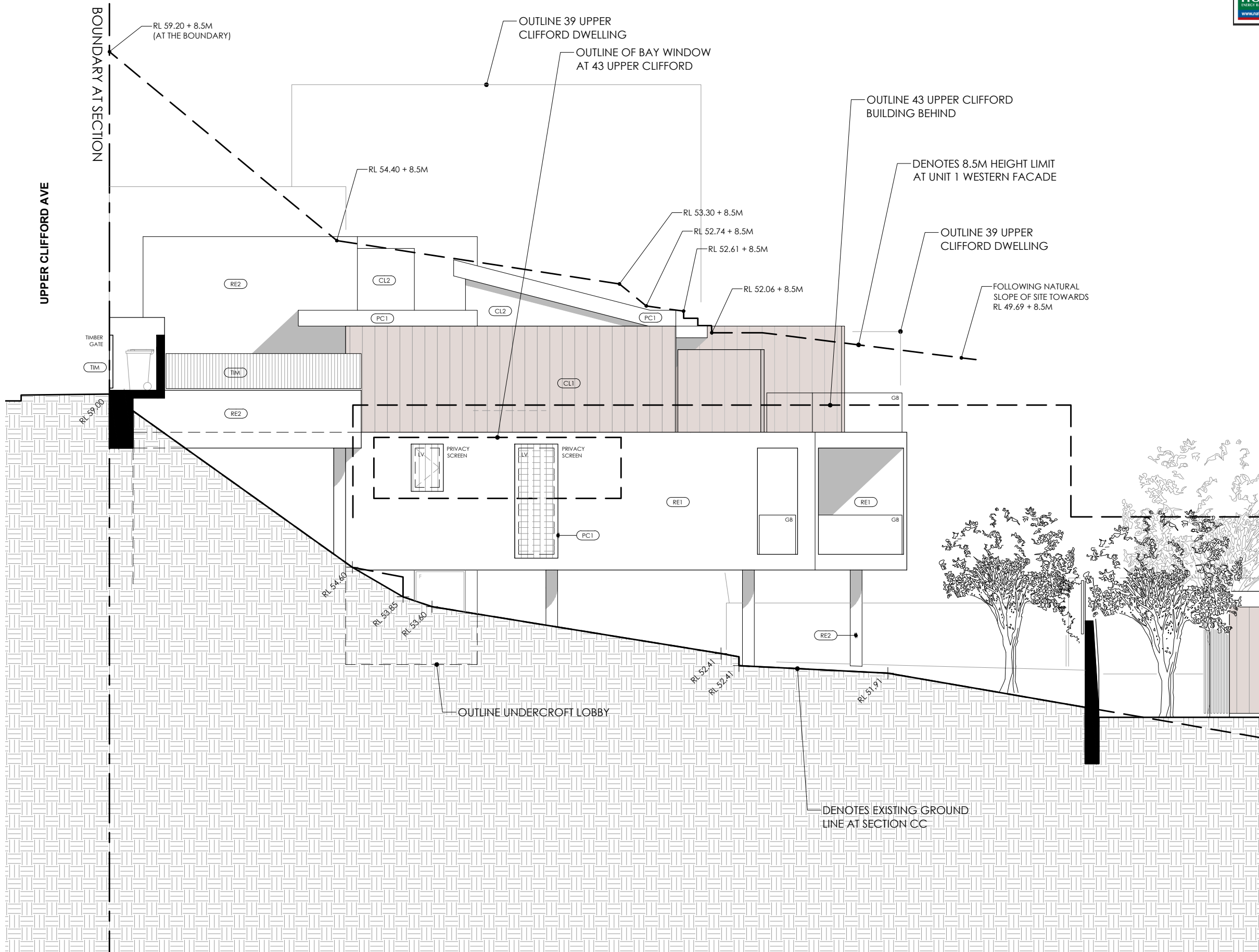
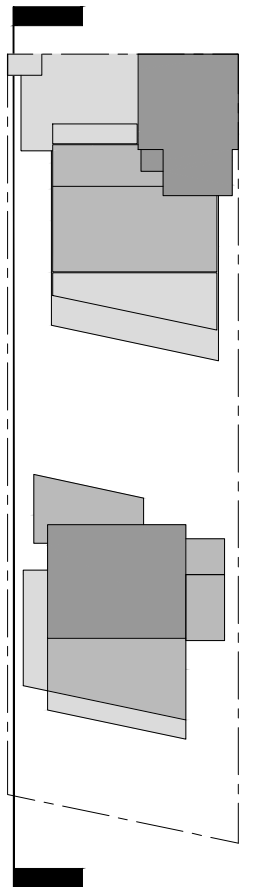
STATUS  
DA

NUMBER  
19

PROJECT  
UCS

REVISION  
F





CONTINUATION ON DWG 21

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

- |     |                            |
|-----|----------------------------|
| CL1 | CLADDING TYPE 1            |
| CL2 | CLADDING TYPE 2            |
| RE1 | RENDER TYPE 1              |
| RE2 | RENDER TYPE 2              |
| TIM | EXTERNAL TIMBER            |
| PC1 | POWDER COATED METAL TYPE 1 |
| CB1 | COLORBOND ROOFING TYPE 1   |

**IMPORTANT NOTES:**  
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p. 02 9976 6666 abn. 74602856157  
nominated architect (Bride Gough Reg No. 8280)

PROJECT DETAILS

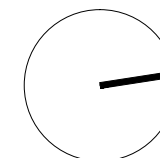
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT

**41 UPPER CLIFFORD AVE**

**FAIRLIGHT NSW 2094**

CLIENT

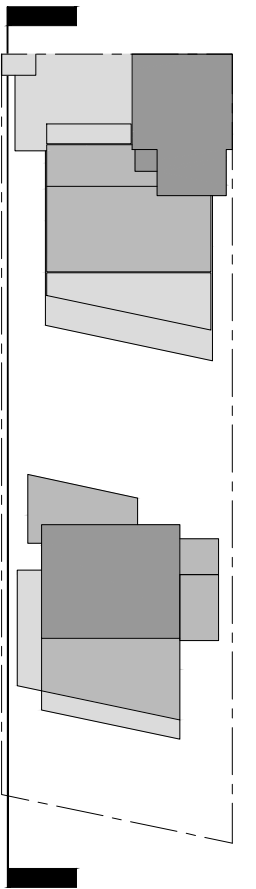
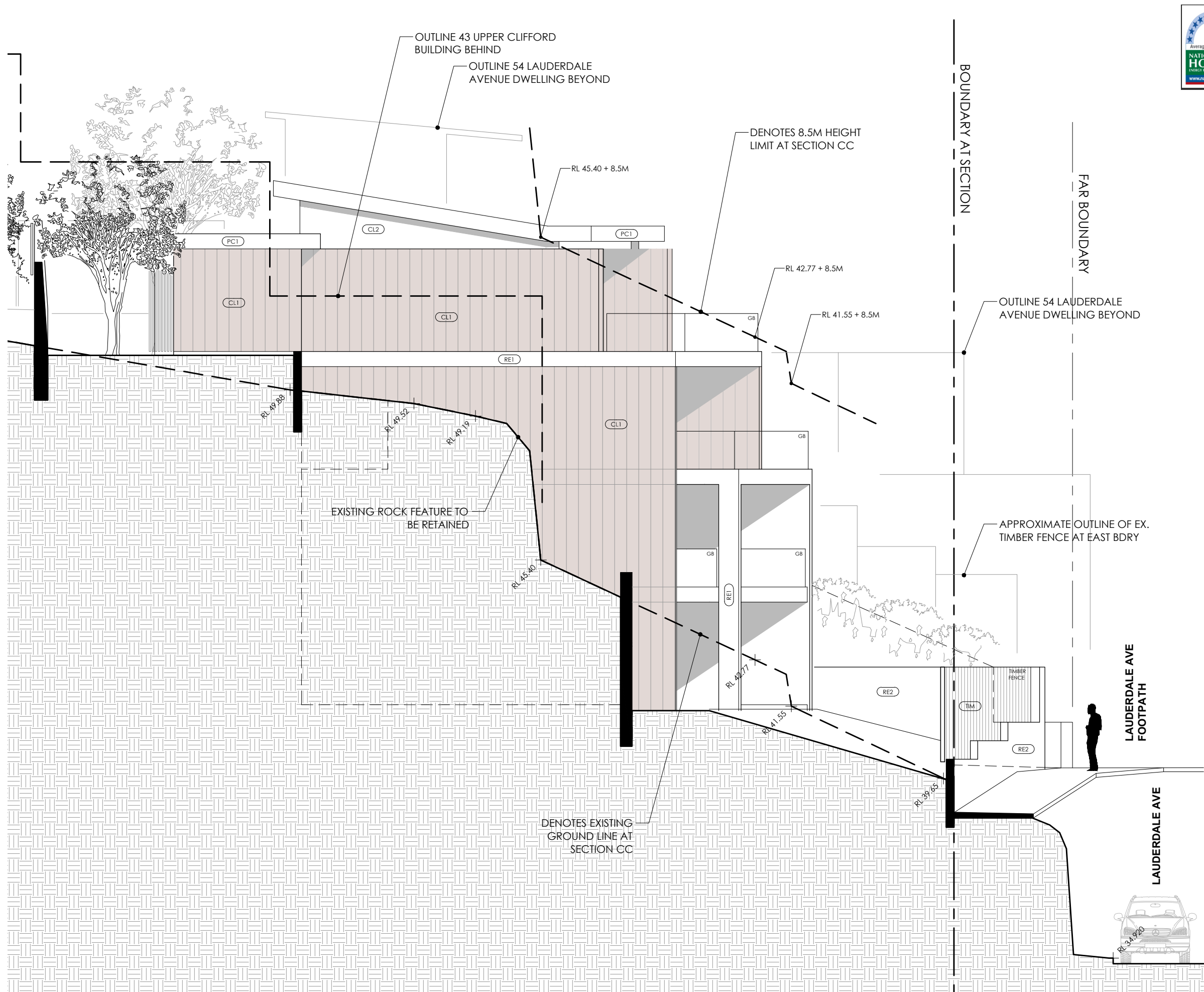
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



SCALE	STATUS	NUMBER
1:100 @A3	DA	20

PROJECT  
JCS  
REVISION

CONTINUATION ON DWG 20



LEGEND

- SD SLIDING DOOR PANEL  
LV GLAZED LOUVRE WINDOW  
BF BIFOLD DOOR  
SW SWING DOOR  
AW AWNING WINDOW  
F FIXED GLAZING  
GB GLASS BALUSTRADE  
SK SKYLIGHT

- CL1 CLADDING TYPE 1  
CL2 CLADDING TYPE 2  
RE1 RENDER TYPE 1  
RE2 RENDER TYPE 2  
TIM EXTERNAL TIMBER  
PC1 POWDER COATED METAL TYPE 1  
CB1 COLORBOND ROOFING TYPE 1

\*REFER TO FINISHES SCHEDULE FOR DETAILS

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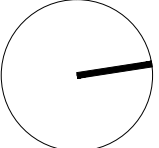
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F	Mar '19	FOR DA LODGMENT	OH

REVISION NOTES  
FOR DA LODGMENT  
NOT FOR CONSTRUCTION



PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SECTIONAL ELEVATION 7 - WEST  
SHEET 2

SCALE 1:100  
@A3

STATUS DA  
NUMBER 21

PROJECT UCS  
REVISION F



**ABSA**  
AUSTRALIAN BUILDING  
PRACTITIONER ASSOCIATION

HBPS Recognition completed within the accreditation  
period are part of the ABSA quality audit system

**Accreditation Period:** 20/02/19-31/03/2020

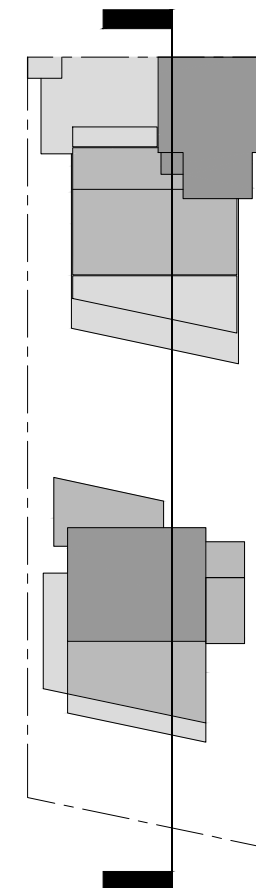
**Assessor Name:** Padraig Healy

**Assessor Number:** 101026

**Assessor Signature:** *Padraig Healy*

This Accredited Assessor  
is qualified to issue  
HBPSA Accredited  
Certificates and has signed  
to the Code of Practice

 HBPSA



### LEGEND

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

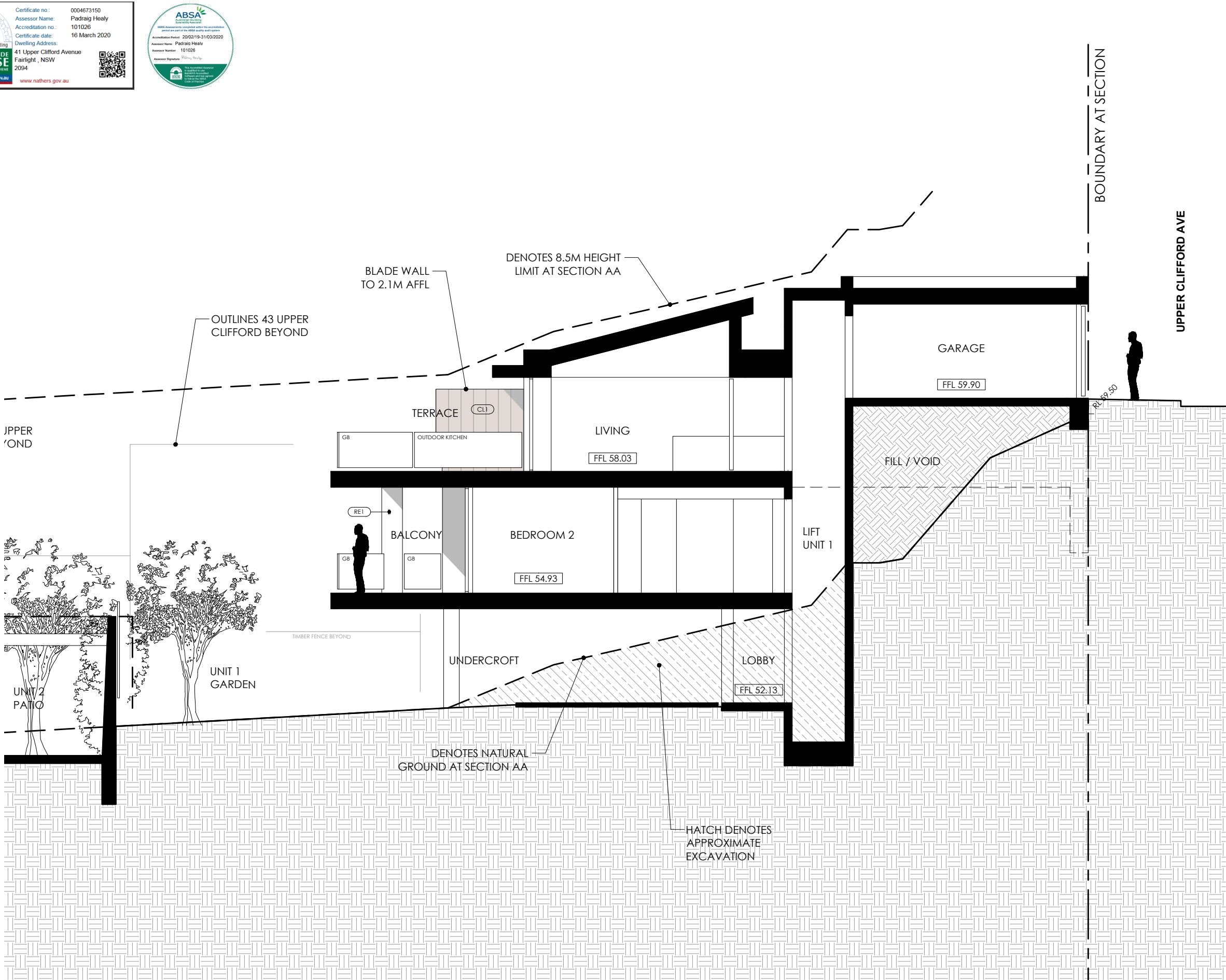
CL1	CLADDING TYPE 1
CL2	CLADDING TYPE 2
RE1	RENDER TYPE 1
RE2	RENDER TYPE 2
TIM	EXTERNAL TIMBER
PC1	POWDER COATED METAL TYPE 1
CB1	COLORBOND ROOFING TYPE 1

\*REFER TO FINISHES SCHEDULE FOR DETAILS

DRAWING TITLE		PROJECT	
SECTION AA		UCS	
SHEET 1			
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	22	F



CONTINUATION ON DWG 22



- LEGEND**
- SD SLIDING DOOR PANEL  
LV GLAZED LOUVRE WINDOW  
BF BIFOLD DOOR  
SW SWING DOOR  
AW AWNING WINDOW  
F FIXED GLAZING  
GB GLASS BALUSTRADE  
SK SKYLIGHT

- CL1 CLADDING TYPE 1  
CL2 CLADDING TYPE 2  
RE1 RENDER TYPE 1  
RE2 RENDER TYPE 2  
TIM EXTERNAL TIMBER  
PC1 POWDER COATED METAL TYPE 1  
CB1 COLORBOND ROOFING TYPE 1

\*REFER TO FINISHES SCHEDULE FOR DETAILS

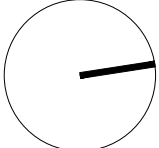
**IMPORTANT NOTES:**  
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D	2019.09.20	FOR PRELODGEEMENT MEETING	OH
E	Dec '19	CONSULTANT COORDINATION	OH
F	Mar '19	FOR DA LODGMENT	OH

**REVISION NOTES**  
FOR DA LODGMENT  
NOT FOR CONSTRUCTION



5.7

Average star rating

NATIONWIDE

HOUSE

ENERGY RATING

www.nathers.gov.au

Certificate no.: 0004673150

Assessor Name: Padraig Healy

Accreditation no.: 101026

Certificate date: 16 March 2020

Dwelling Address: 41 Upper Clifford Avenue Fairlight, NSW 2094

www.nathers.gov.au

ABSA

Accredited Building Surveyors Australia

HABD Assessments conducted within the accreditation period are valid for the HABD quality seal scheme

Accreditation Period: 20/02/19-31/03/2020

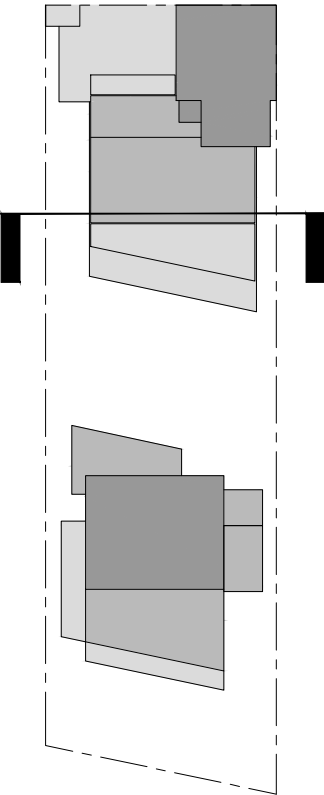
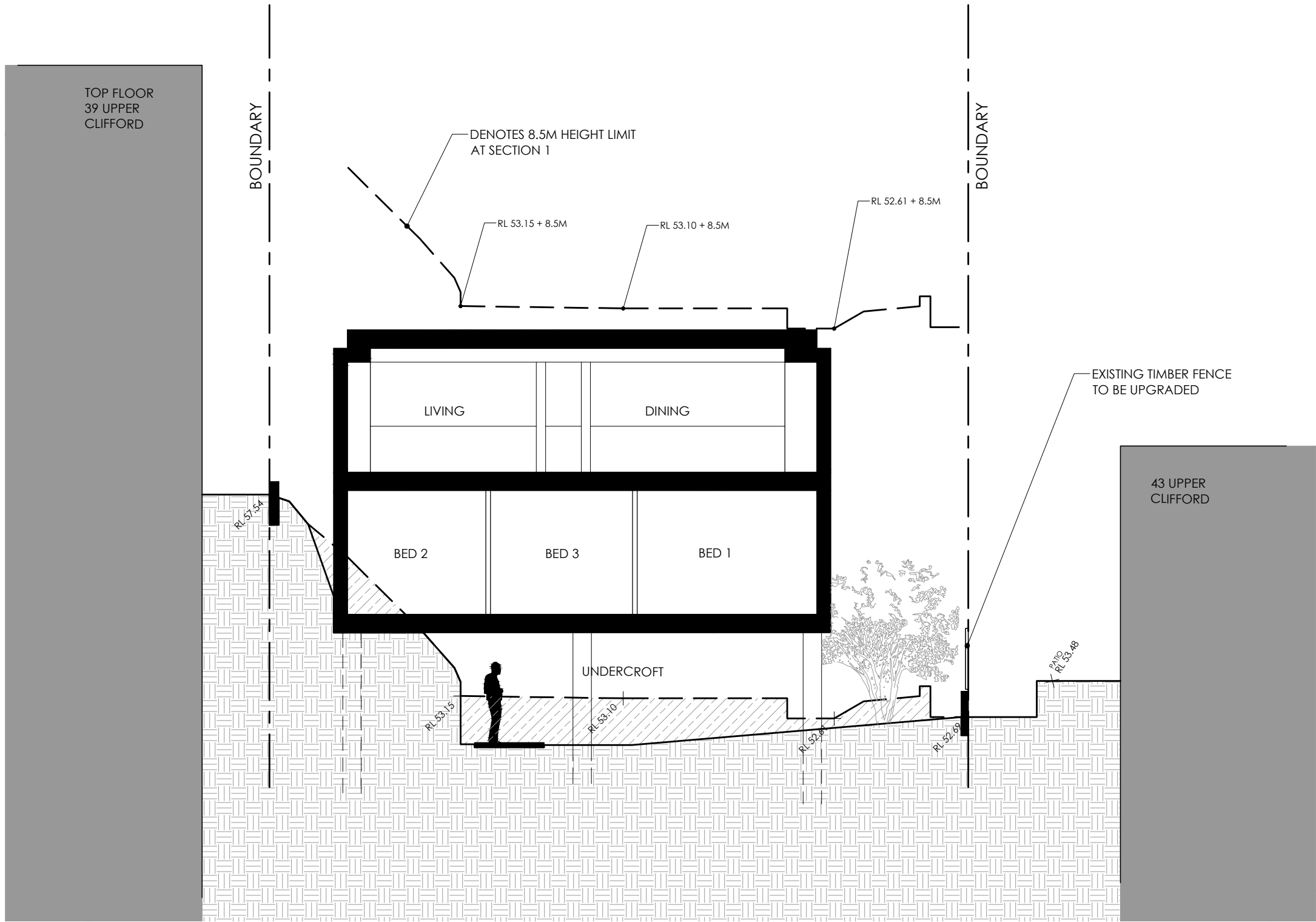
Assessor Name: Padraig Healy

Assessor Number: 101026

Assessor Signature:

This Assessor's Signature is valid for the period 20/02/19-31/03/2020

Place and Date of Issue



LEGEND

- SD

LV

BF

SW

AW

F

GB

SK
- SLIDING DOOR PANEL

GLAZED LOUVRE WINDOW

BIFOLD DOOR

SWING DOOR

AWNING WINDOW

FIXED GLAZING

GLASS BALUSTRADE

SKYLIGHT

- CL1

CL2

RE1

RE2

TIM

PC1

CB1
- CLADDING TYPE 1

CLADDING TYPE 2

RENDER TYPE 1

RENDER TYPE 2

EXTERNAL TIMBER

POWDER COATED METAL TYPE 1

COLORBOND ROOFING TYPE 1

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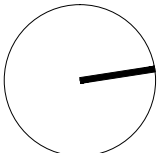
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NOT FOR CONSTRUCTION



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PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SECTION B-B

SCALE  
1:100  
@A3

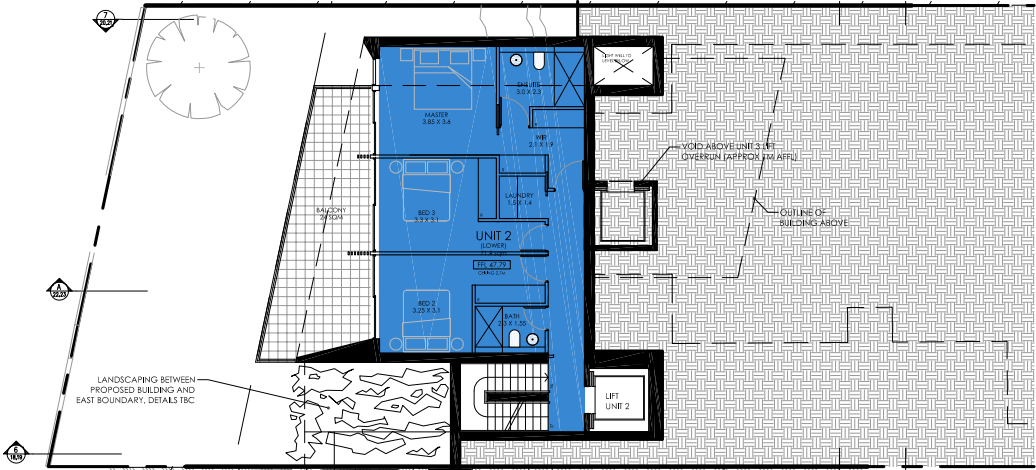
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NUMBER  
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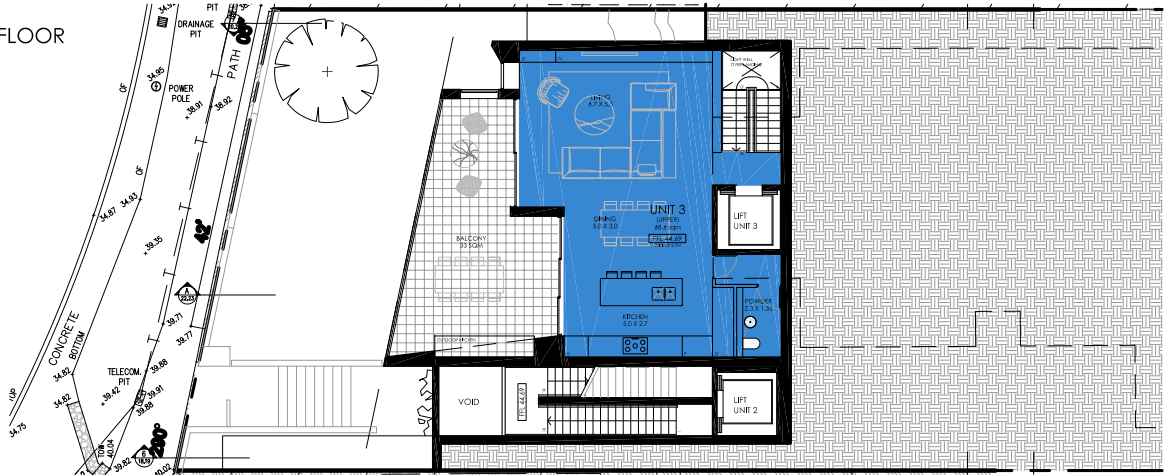
PROJECT  
UCS

REVISION  
F

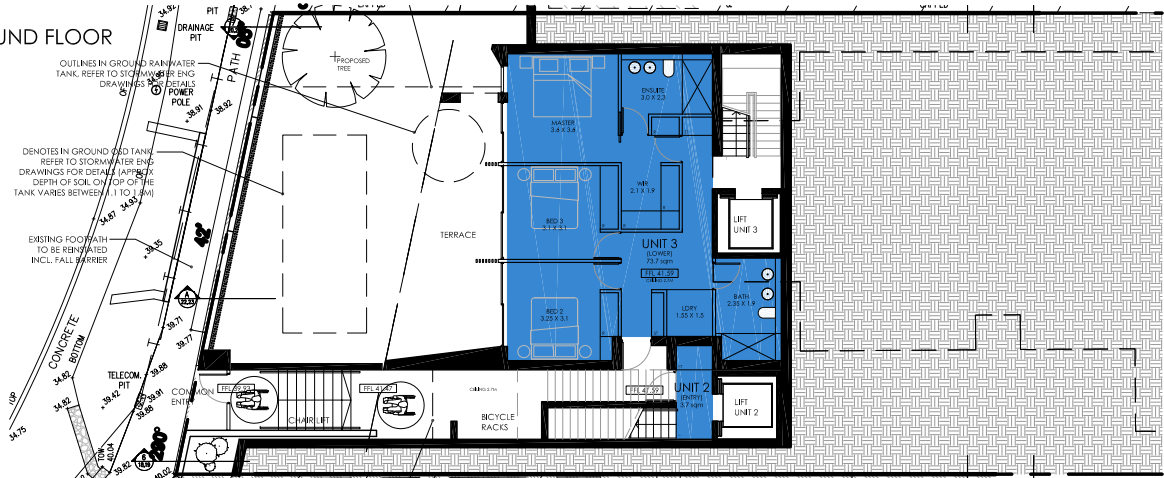
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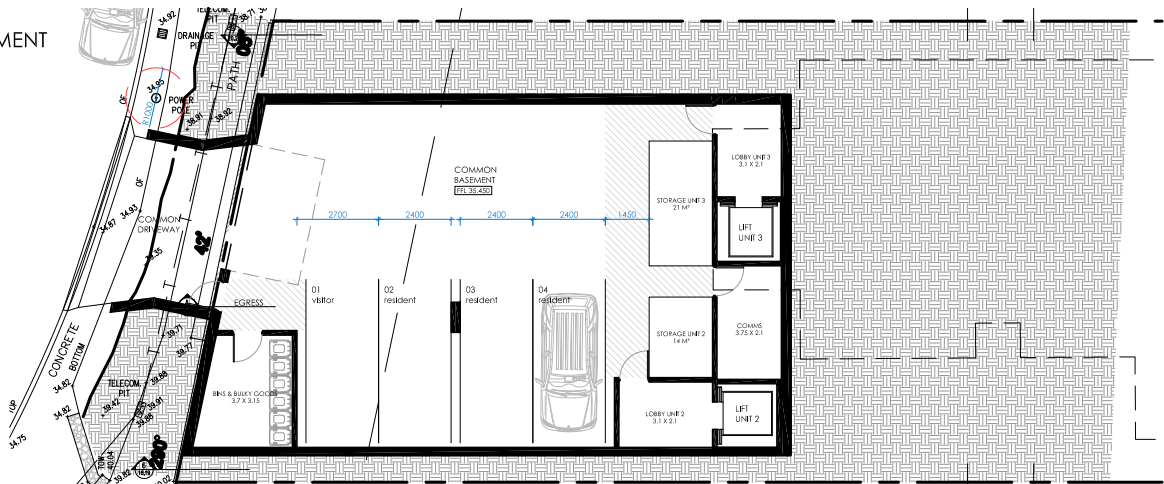
FIRST FLOOR



GROUND FLOOR



BASEMENT



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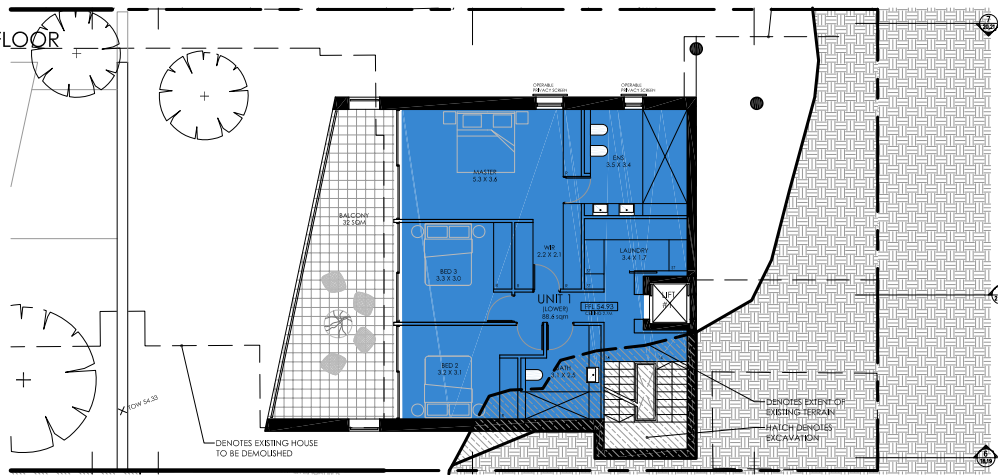
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E	Dec '19	CONSULTANT COORDINATION	OH
F	Feb '19	FOR DA LODGMENT	OH

REVISION NOTES  
FOR DA LODGMENT  
NOT FOR CONSTRUCTION

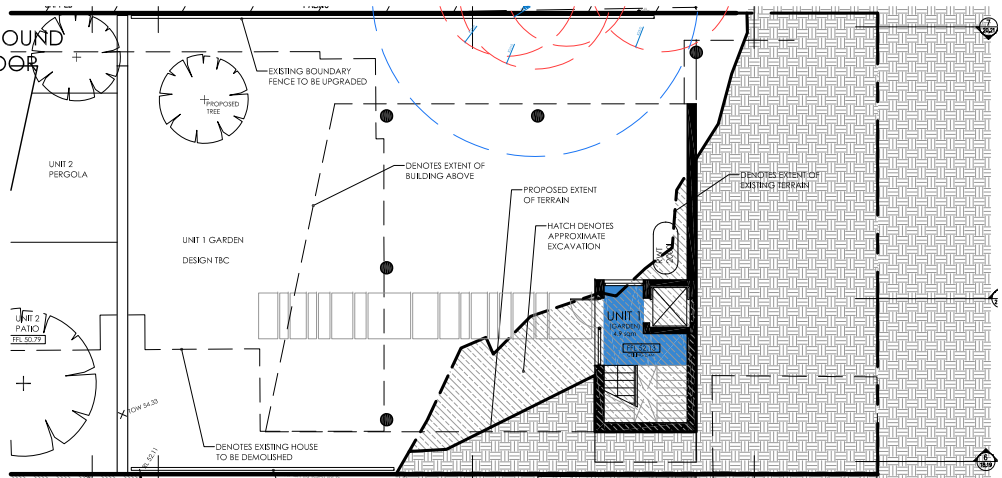
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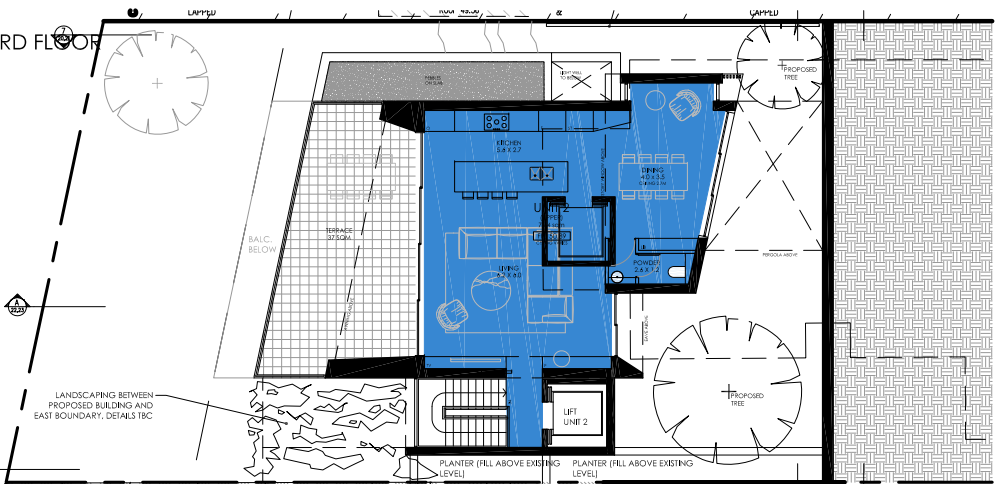
FIRST FLOOR



GROUND FLOOR



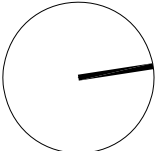
THIRD FLOOR



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PROJECT DETAILS  
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AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
GFA CALCULATIONS

SCALE  
1:100  
@A3

STATUS  
DA

NUMBER  
25

PROJECT  
UCS  
REVISION  
F

GFA SUMMARY

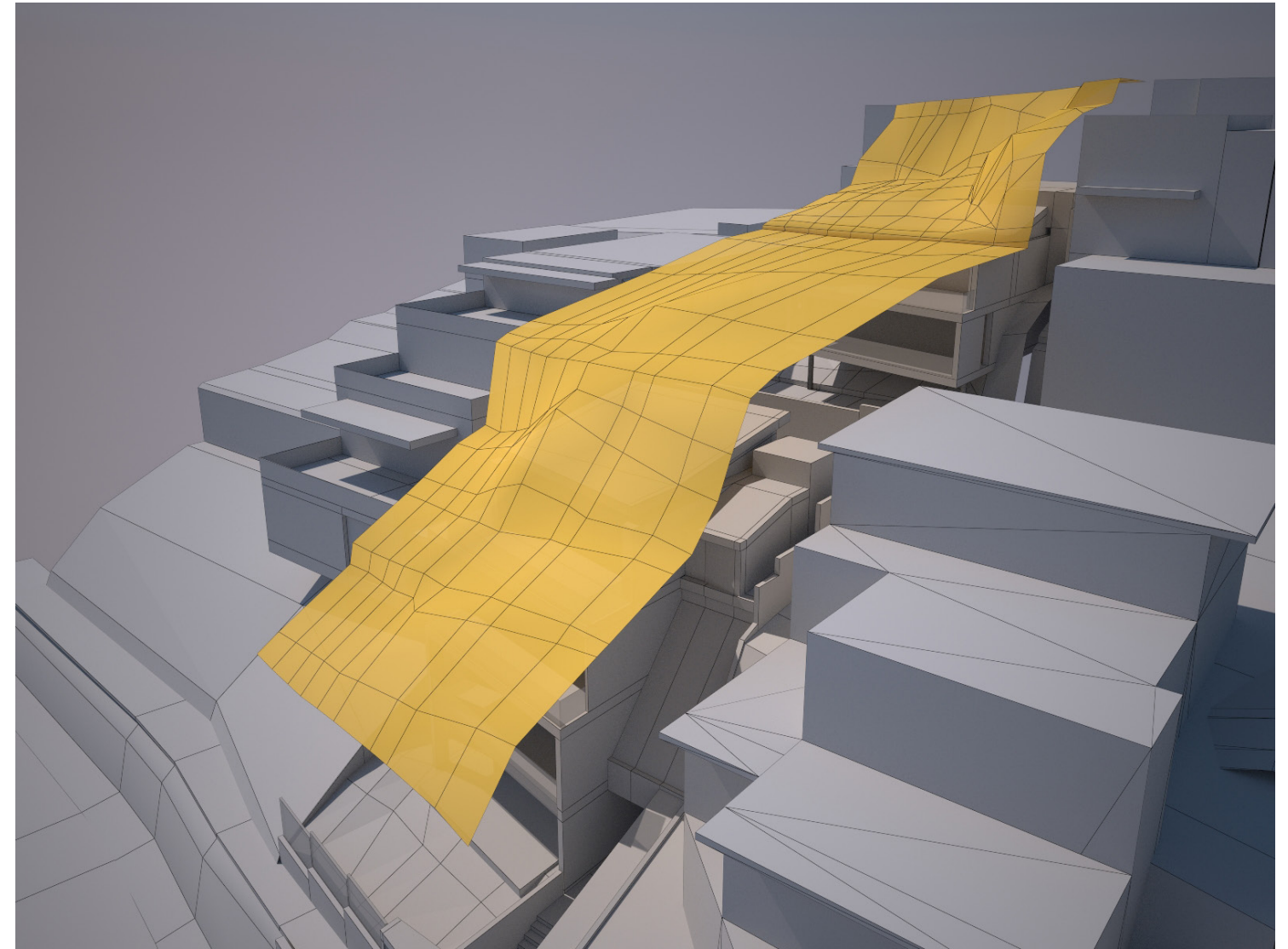
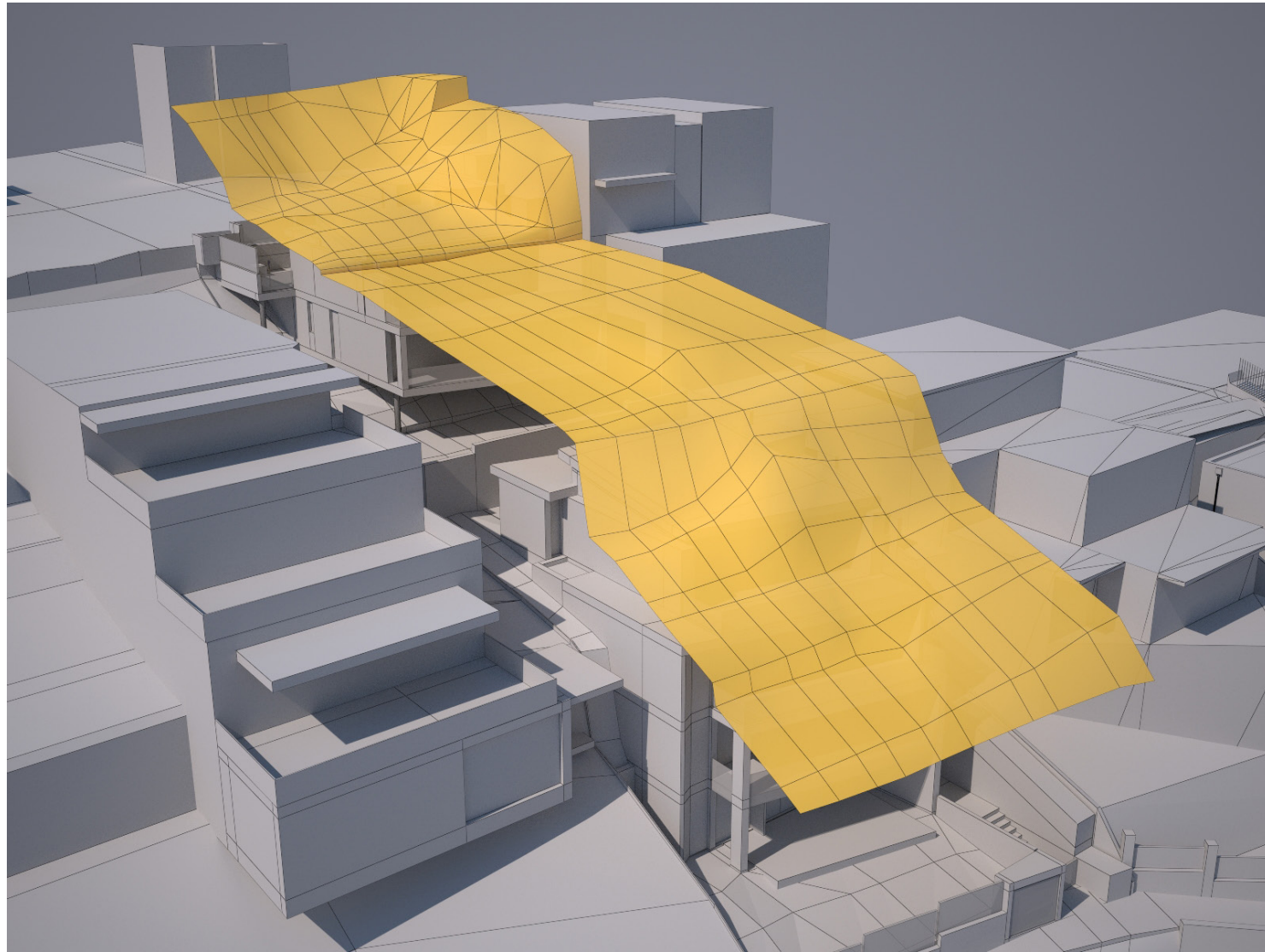
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FIRST FLOOR (UNIT 1) 88.6 SQM  
GROUND FLOOR (UNIT 1) 4.9 SQM

THIRD FLOOR (UNIT 2) 76.4 SQM  
SECOND FLOOR (UNIT 2) 71.9 SQM  
FIRST FLOOR (UNIT 2 & 3) 0 + 68.6 SQM  
GROUND FLOOR (UNIT 2 + 3) 3.7 + 73.7 SQM  
BASEMENT (UNIT 2 & 3) NIL

SITE AREA 770.2 SQM  
ALLOWABLE FSR 0.6 : 1 (462 SQM)

PROPOSED GFA 458.9 SQM  
PROPOSED FSR 0.5958 : 1





THE YELLOW PLANE SHOWN ABOVE REPRESENTS THE 8.5M HEIGHT LIMIT AS PER THE CURRENT MLEP. THE PLANE IS AN EXTRAPOLATION OF THE SPOT LEVELS SURVEYED IN THE SURVEY ATTACHED TO THIS APPLICATION AND ANY PROJECTION THROUGH THE YELLOW PLANE CONSTITUTES HEIGHT LIMIT BREACH.



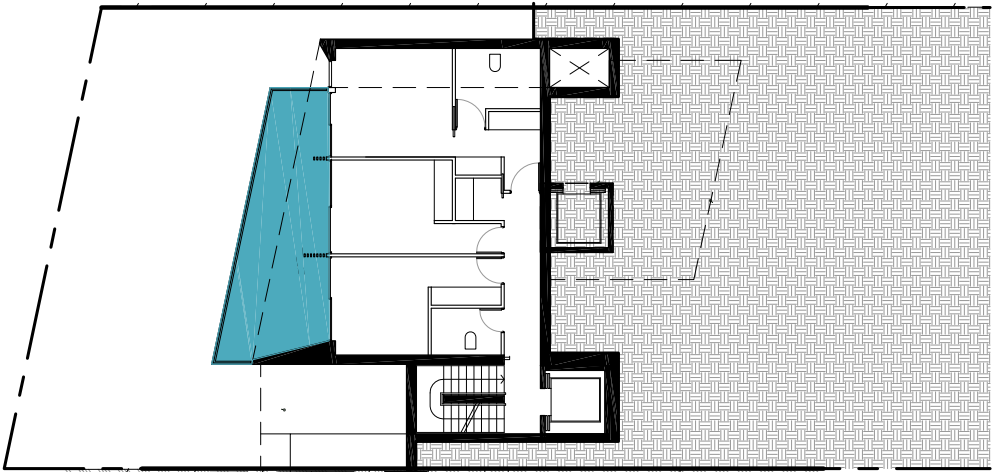
PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
**41 UPPER CLIFFORD AVE**  
**FAIRLIGHT NSW 2094**  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088

DRAWING TITLE  
**HEIGHT LIMIT ANALYSIS**  
SCALE  
**NTS**  
STATUS  
**DA**

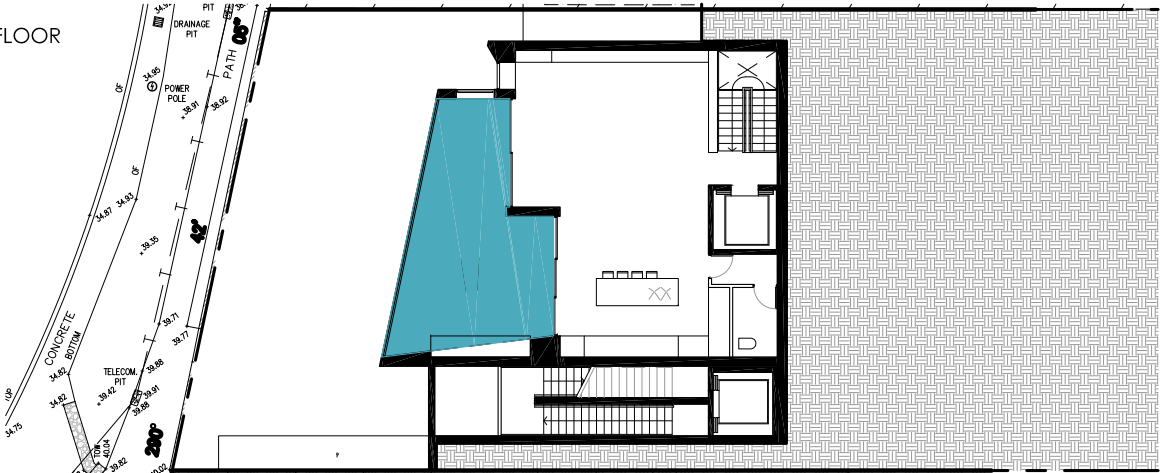
PROJECT  
**UCS**  
REVISION  
**A**



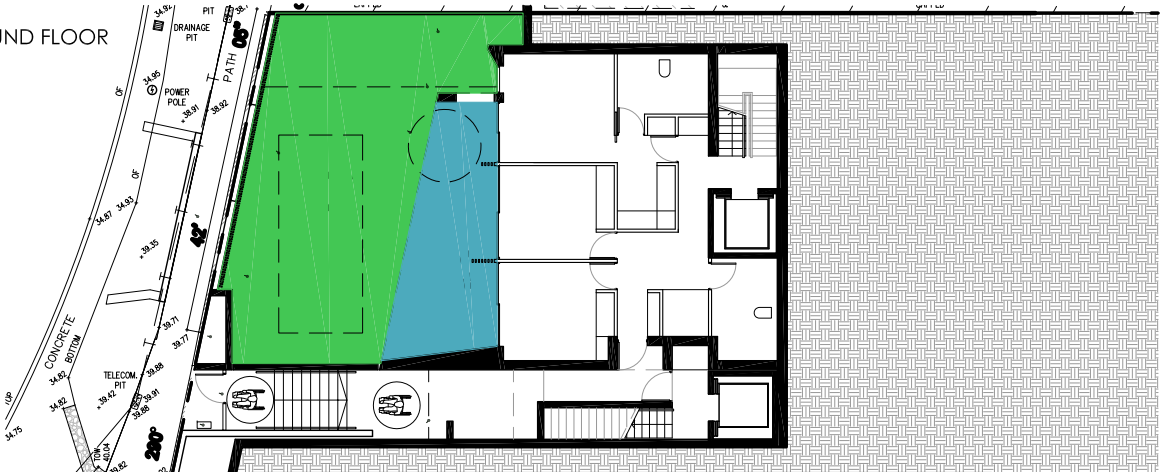
SECOND FLOOR



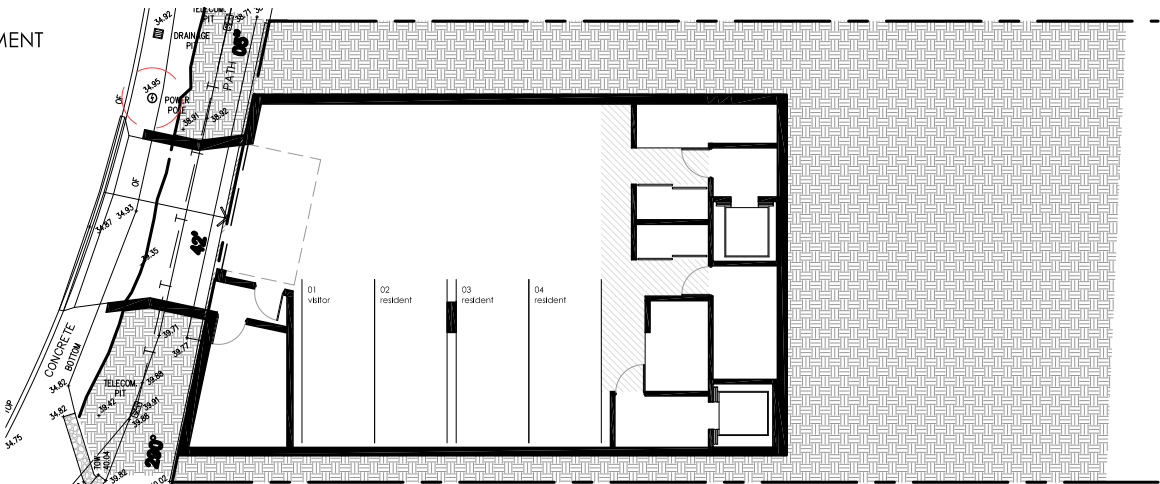
FIRST FLOOR



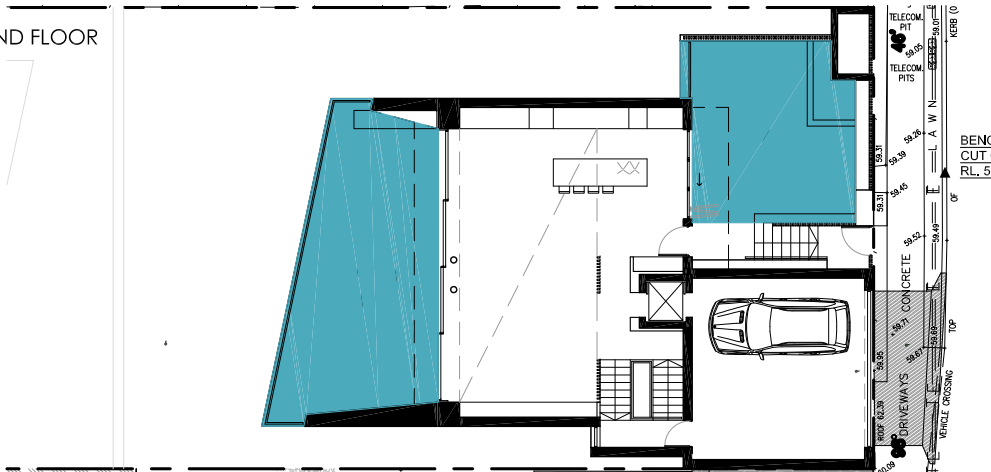
GROUND FLOOR



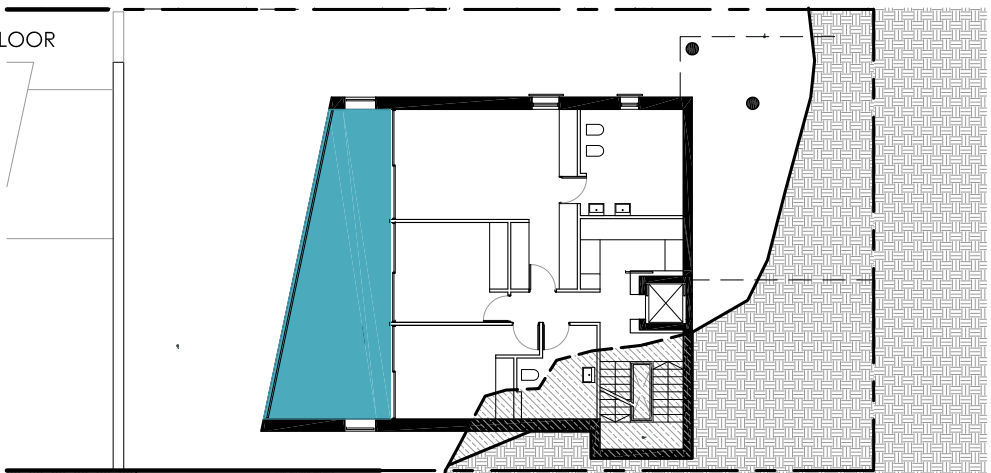
BASEMENT



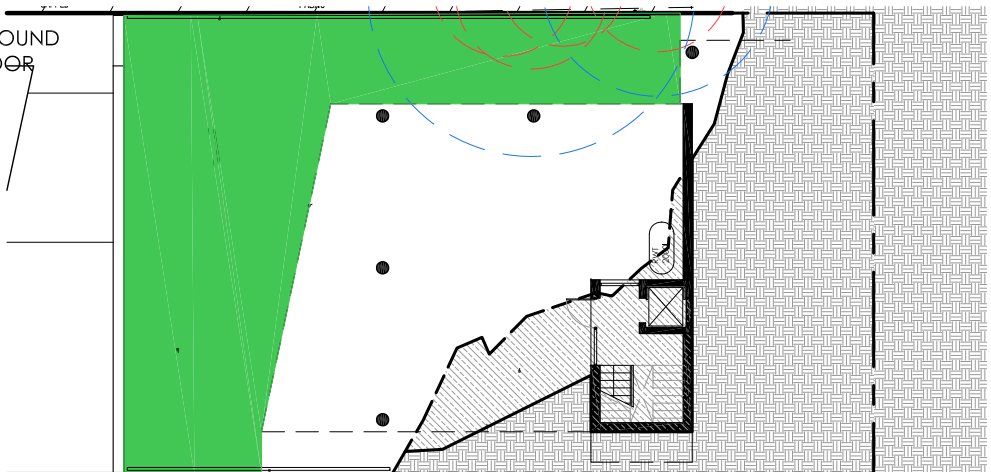
SECOND FLOOR



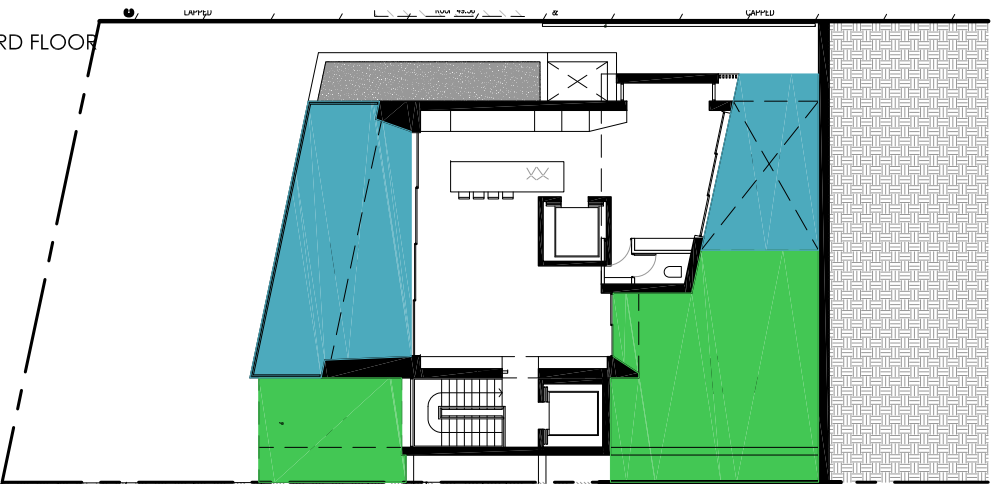
FIRST FLOOR



GROUND FLOOR



THIRD FLOOR



CLIFFORD

OPEN SPACE SUMMARY

12	SECOND FLOOR (UNIT 1 TERRACE)	47 SQM
11	SECOND FLOOR (UNIT 1 YARD)	32 SQM
10	FIRST FLOOR (UNIT 1 TERRACE)	32 SQM
09	GROUND FLOOR (UNIT 1 GARDEN)	123 SQM
08	THIRD FLOOR (UNIT 2 TERRACE)	56 SQM
07	THIRD FLOOR (UNIT 2 PATIO)	19 SQM
06	THIRD FLOOR (UNIT 2 GARDEN)	48 SQM
05	THIRD FLOOR (COMMON)	16 SQM
04	SECOND FLOOR (UNIT 2 TERRACE)	25 SQM
03	FIRST FLOOR (UNIT 3 TERRACE)	33 SQM
02	GROUND FLOOR (UNIT 3 TERRACE)	24 SQM
01	GROUND FLOOR (UNIT 3 GARDEN)	72 SQM
	BASEMENT (UNIT 2 & 3)	NIL

SITE AREA	770.2 SQM
TOTAL OPEN SPACE REQUIRED	424 SQM (55%)
LANDSCAPED REQUIRED	148 SQM (35%)

PROPOSED TOTAL OPEN SPACE	527 SQM (68%)
PROPOSED LANDSCAPED	259 SQM (49%)

- PRIVATE OPEN SPACE
- LANDSCAPED AREA

IMPORTANT NOTES:  
Do not scale from drawings. Use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work.
- All discrepancies to be brought to the attention of the Architect.
- Larger scale drawings and written dimensions take precedence.
- The Estuarine Planning Level is msl 3.1m AHD. All levels to AHD.

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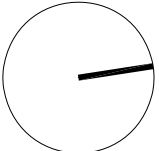
REV	DATE	DESCRIPTION	BY
B	2019.07.22	PRELIMINARY	OH
C	2019.07.31	PRELIMINARY	OH
D	2019.08.15	PRELIMINARY - LAYOUTS UPDATE	OH
E	2019.09.20	FOR PRELODGEEMENT MEETING	OH
F	Dec '19	CONSULTANT COORDINATION	OH
	Mar '19	FOR DA LODGMENT	OH

REVISION NOTES  
FOR DA LODGMENT  
NOT FOR CONSTRUCTION

platform  
ARCHITECTS

Suite 503, 39 East Esplanade Manly 2095  
p. 02 9976 6666 abn. 74602856137  
incorporated in New South Wales 12085

PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088

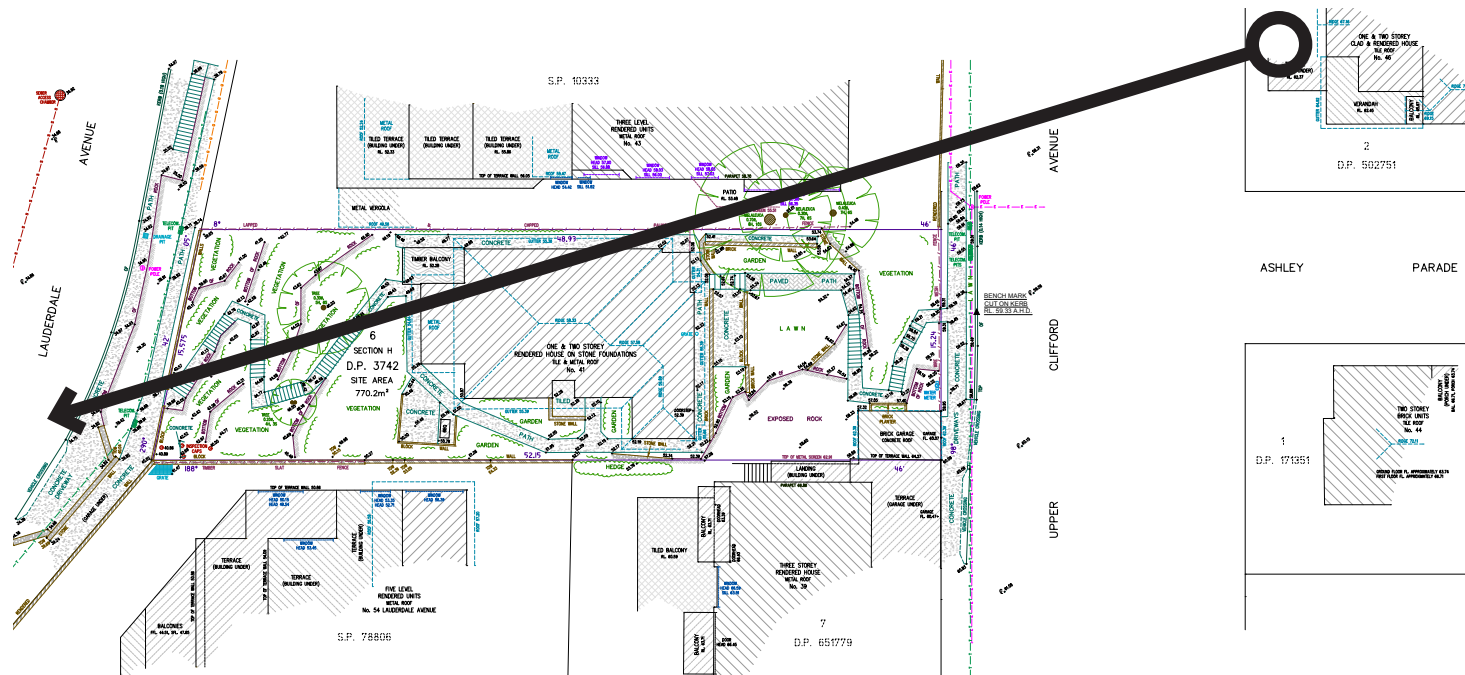


DRAWING TITLE  
TOTAL OPEN SPACE AND  
LANDSCAPED AREA CALCULATIONS

SCALE	STATUS	NUMBER	REVISION
1:250 @A3	DA	26	F

PROJECT  
UCS





01

VIEW FROM 46 UPPER CLIFFORD AVE  
SOUTH TERRACE ON TOP OF THE GARAGE

platform  
ARCHITECTS

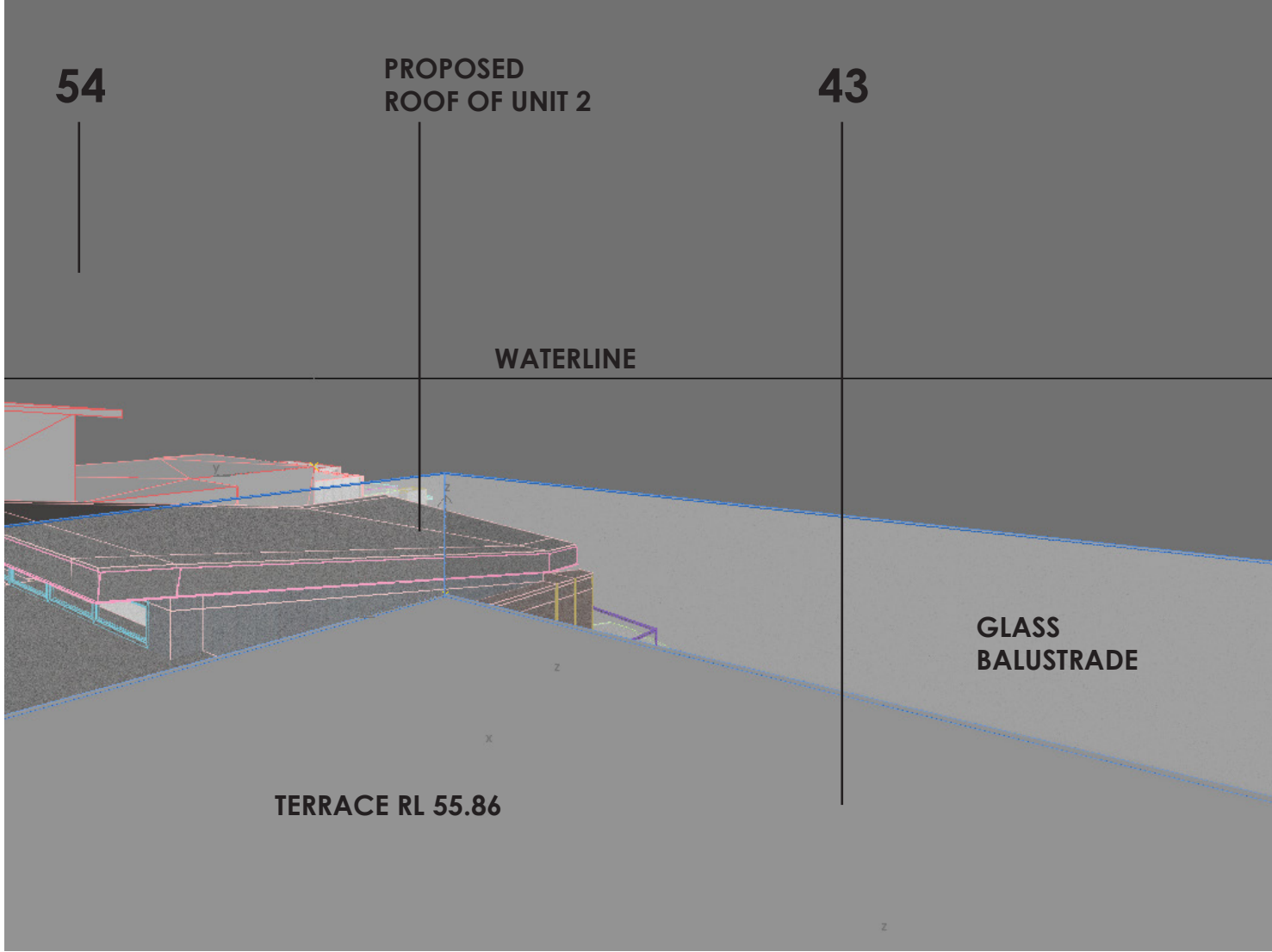
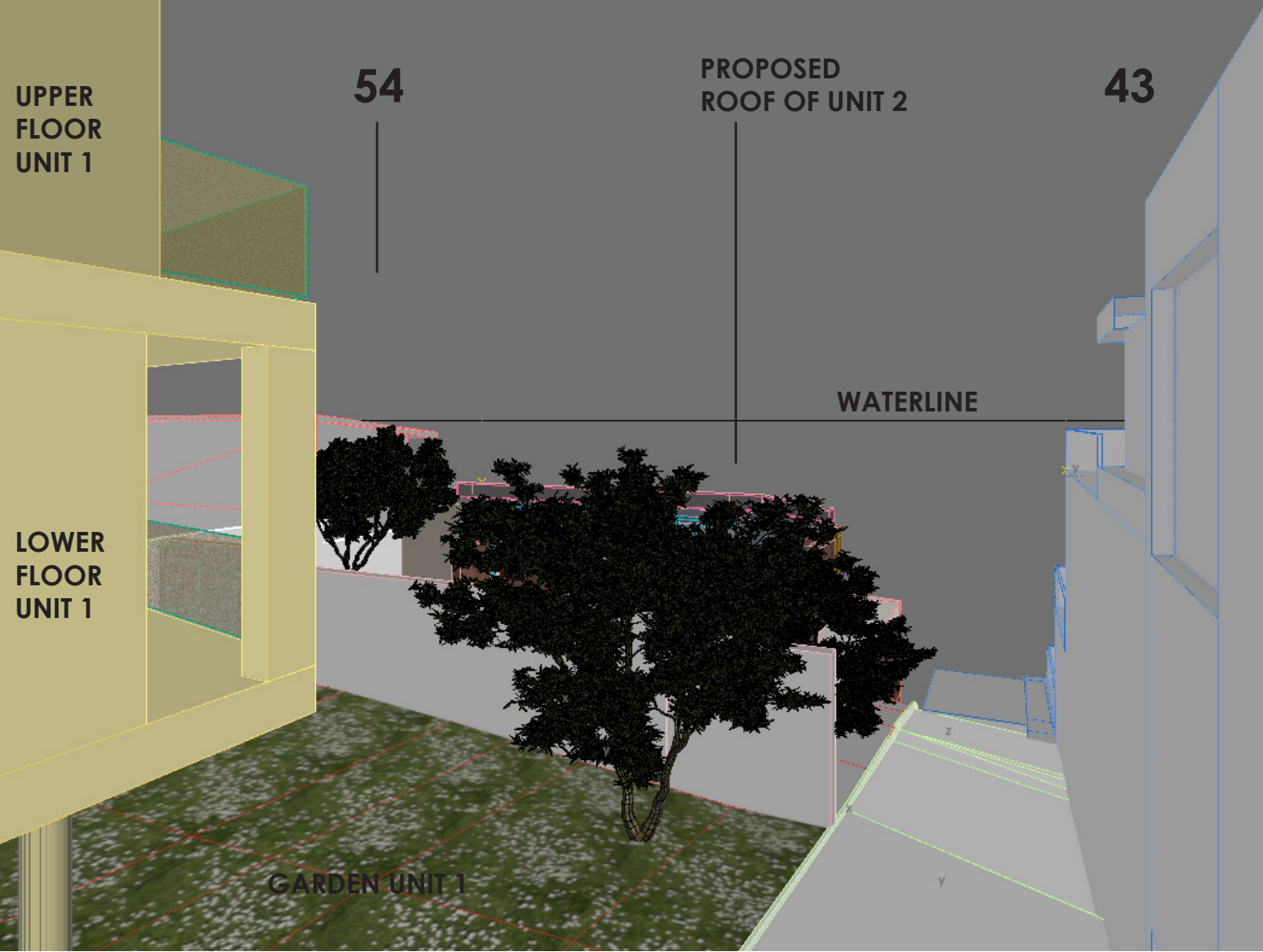
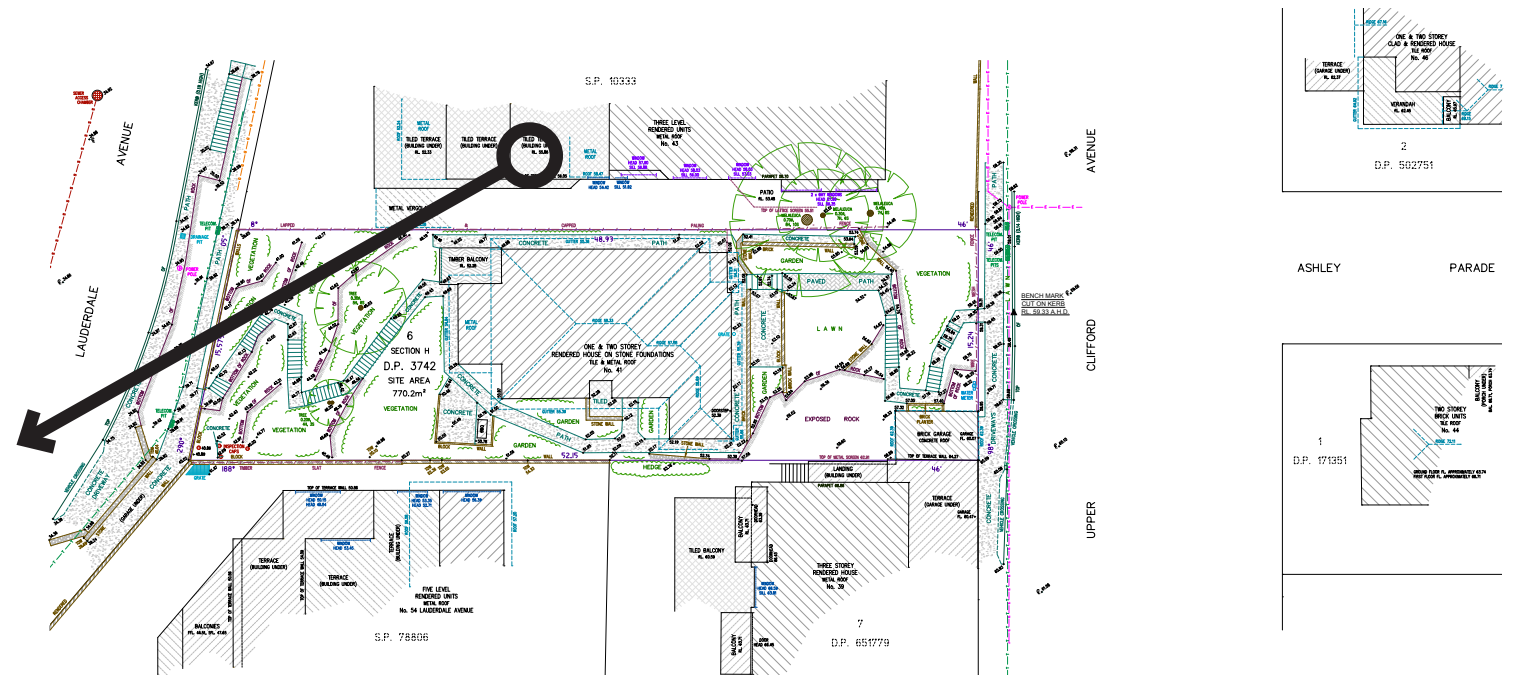
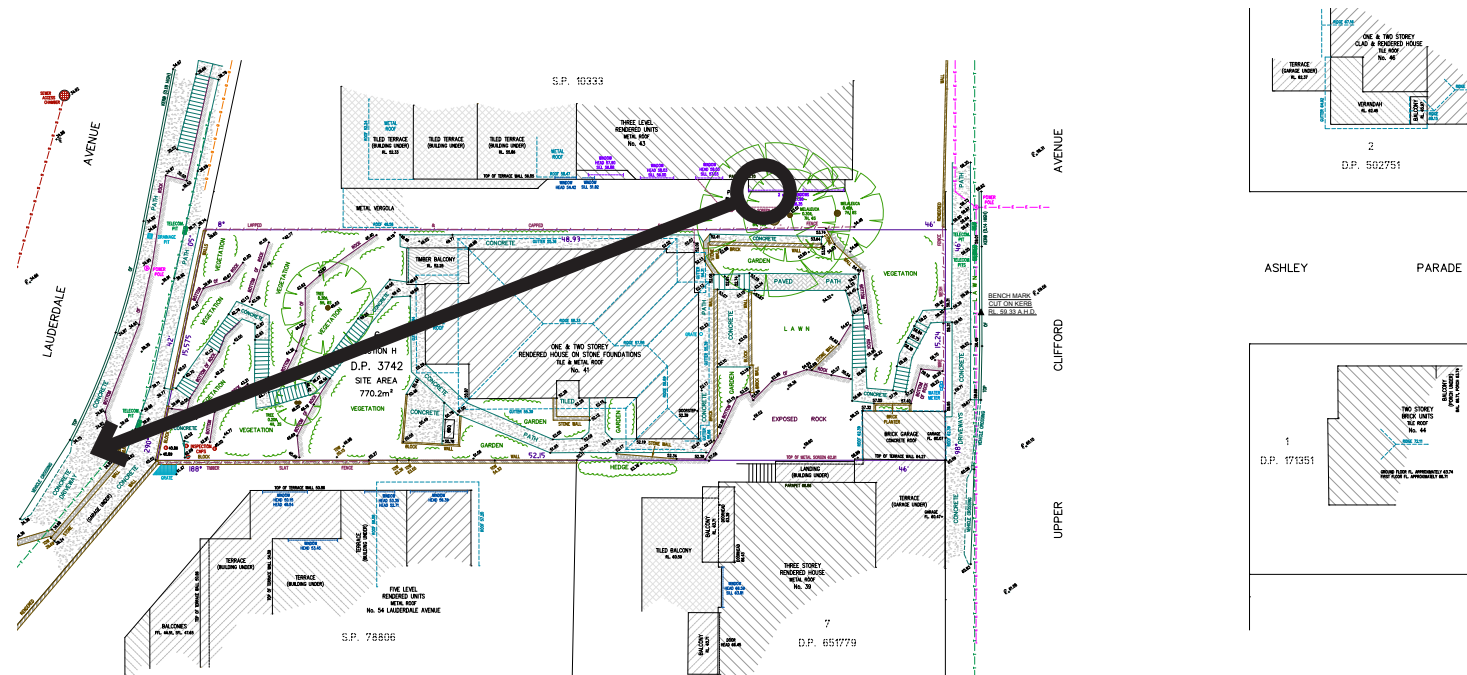
Suite 503, 39 East Esplanade Manly 2095  
p. 02 9776 6666 abn. 74602856157  
commercial and residential building design and construction

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FAIRLIGHT NSW 2094  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088

DRAWING TITLE  
VIEW ANALYSIS  
SHEET 01  
SCALE STATUS  
NTS DA

PROJECT  
UCS  
REVISION  
A

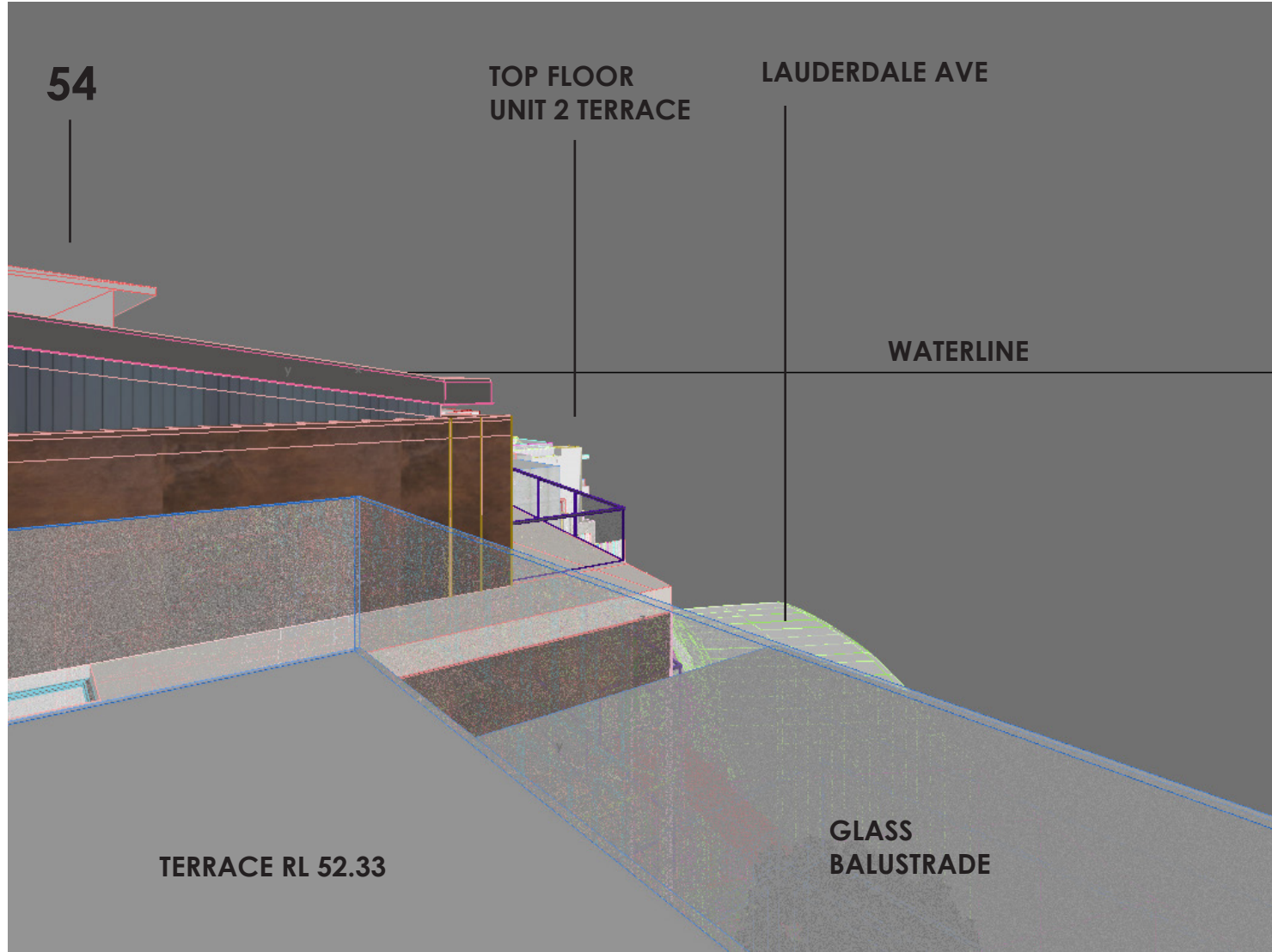
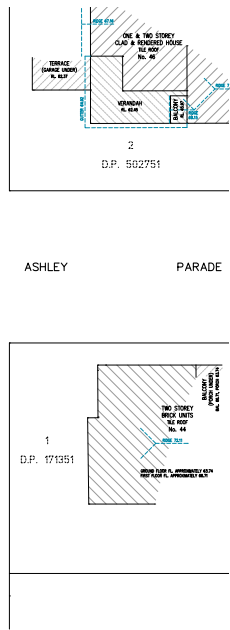
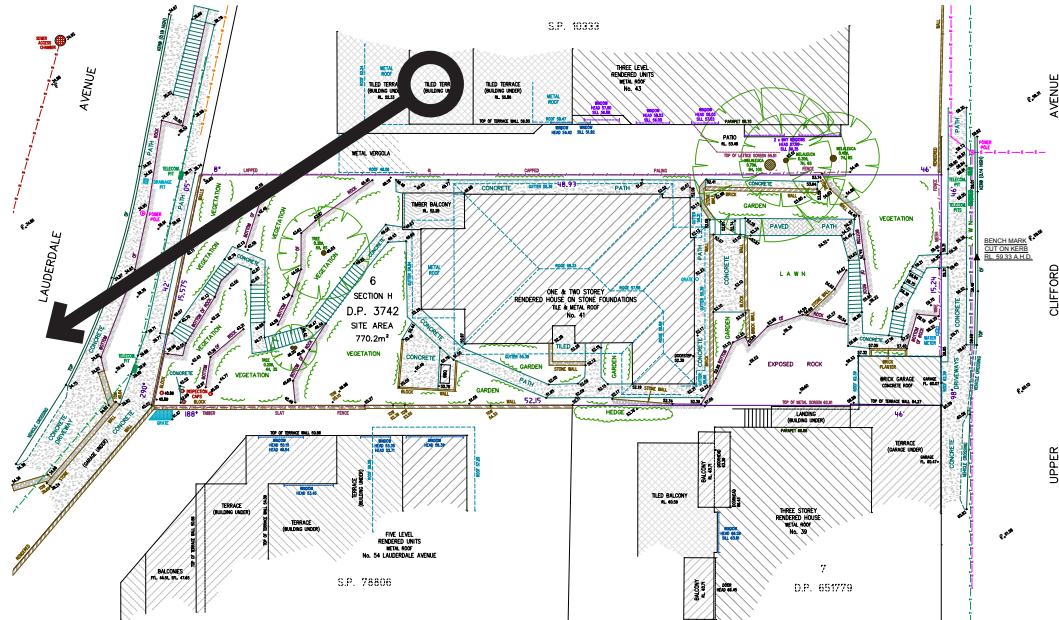
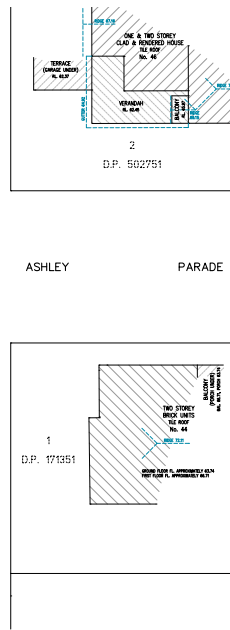
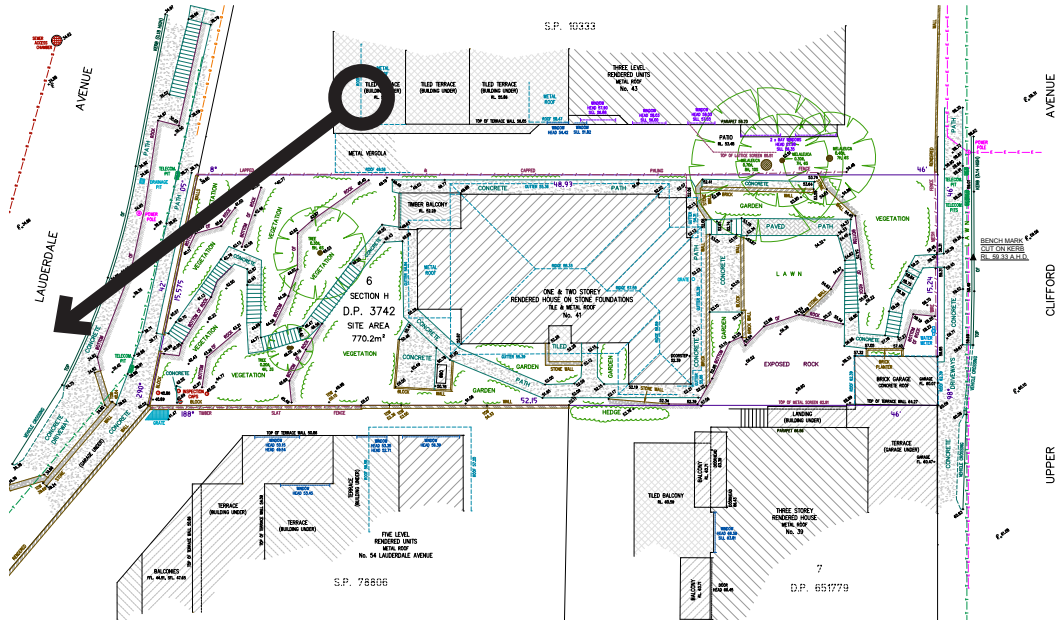




**02**  
VIEW FROM 43 UPPER CLIFFORD AVE  
EAST FACING BAY WINDOW AT SILL RL 56.35 (SURVEYED RL)

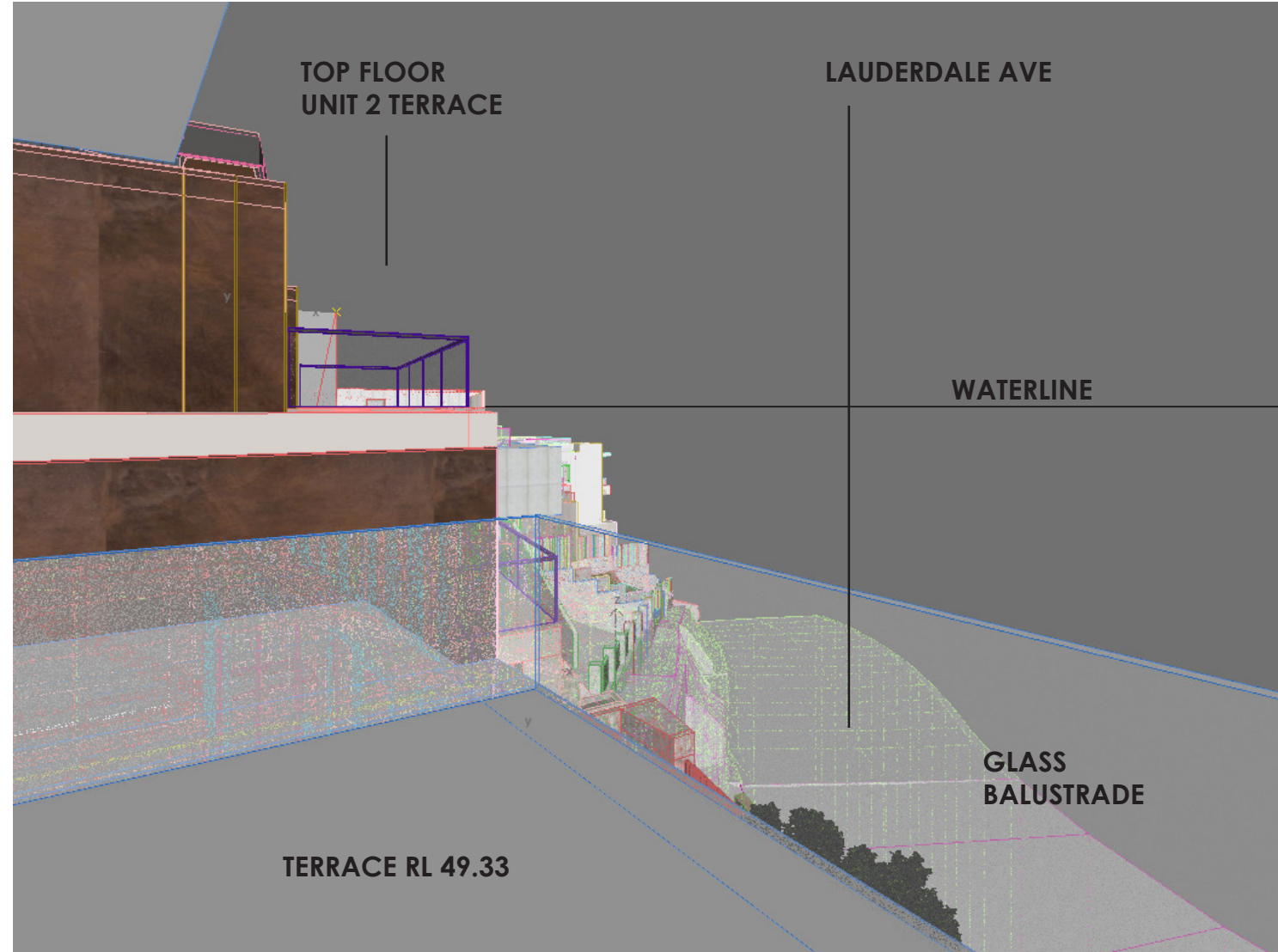
**03**  
VIEW FROM 43 UPPER CLIFFORD AVE  
SOUTH TERRACE AT RL 55.86 (SURVEYED RL)





04

VIEW FROM 43 UPPER CLIFFORD AVE  
SOUTH TERRACE AT RL 52.33 (SURVEYED RL)



05

VIEW FROM 43 UPPER CLIFFORD AVE  
SOUTH TERRACE AT RL 49.33 (ESTIMATED RL)



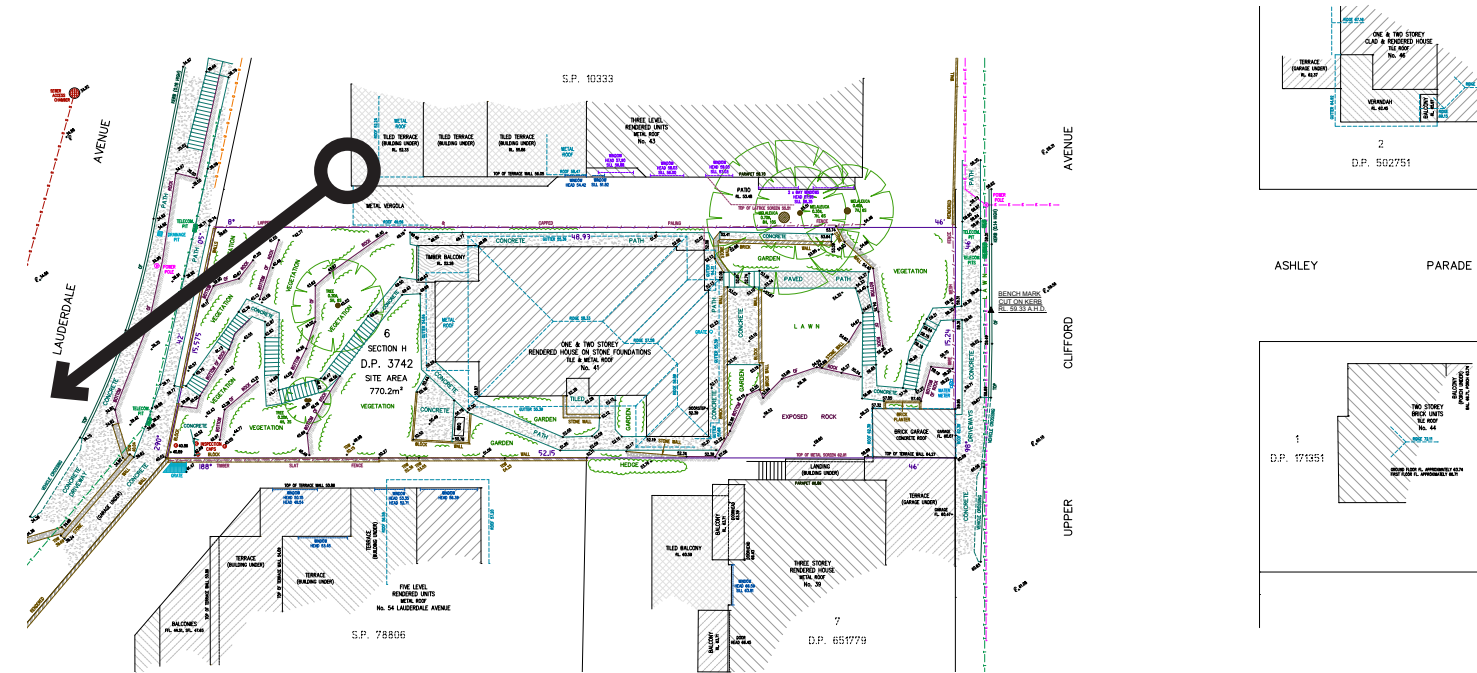
Suite 503, 39 East Esplanade Manly 2095  
p. 02 9776 6666 abn. 74602856157  
commercial and residential design and construction

PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
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FAIRLIGHT NSW 2094  
CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD.  
643 MILITARY ROAD MOSMAN NSW 2088

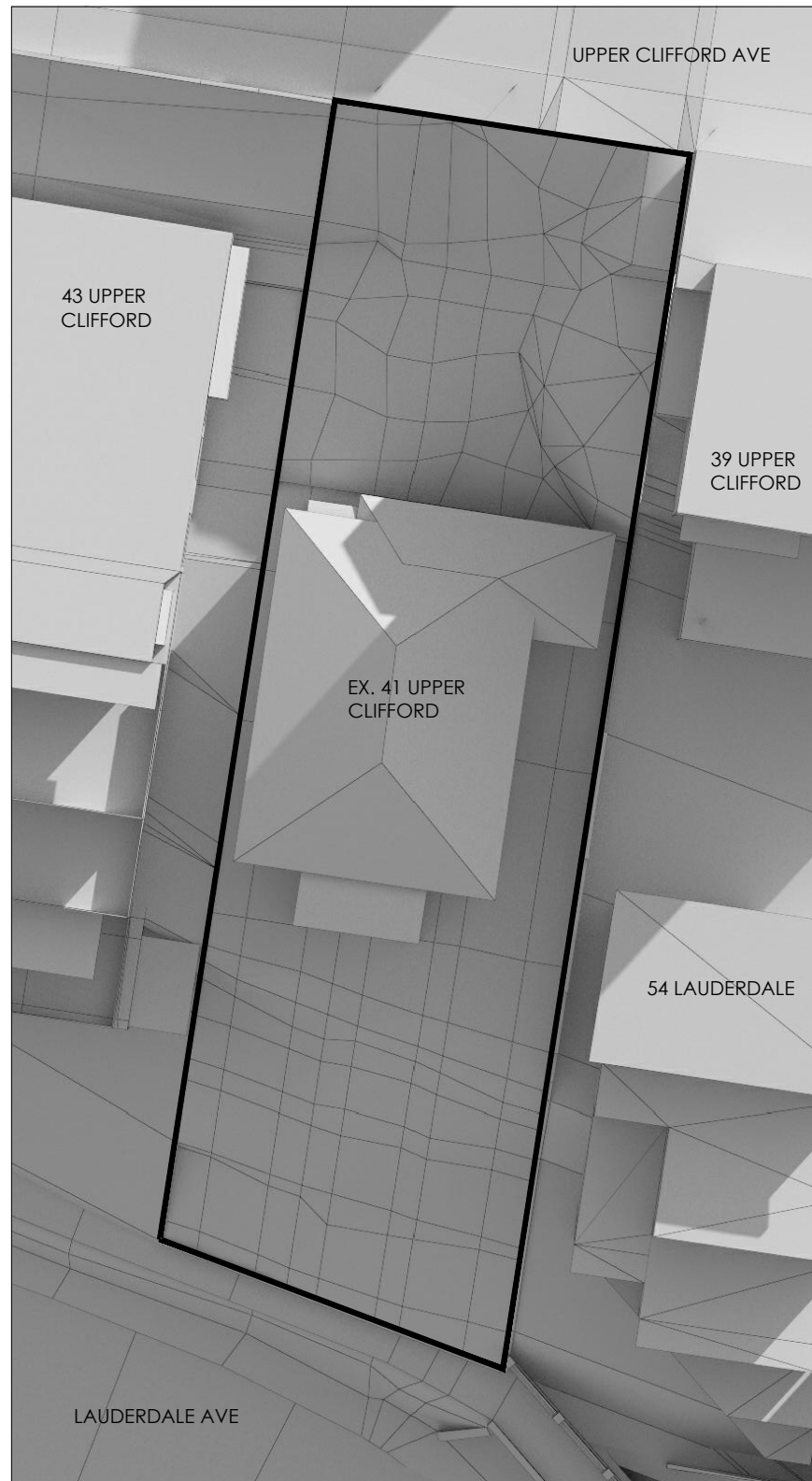
DRAWING TITLE  
VIEW ANALYSIS  
SHEET 03  
SCALE STATUS  
NTS DA

PROJECT  
UCS  
REVISION  
A

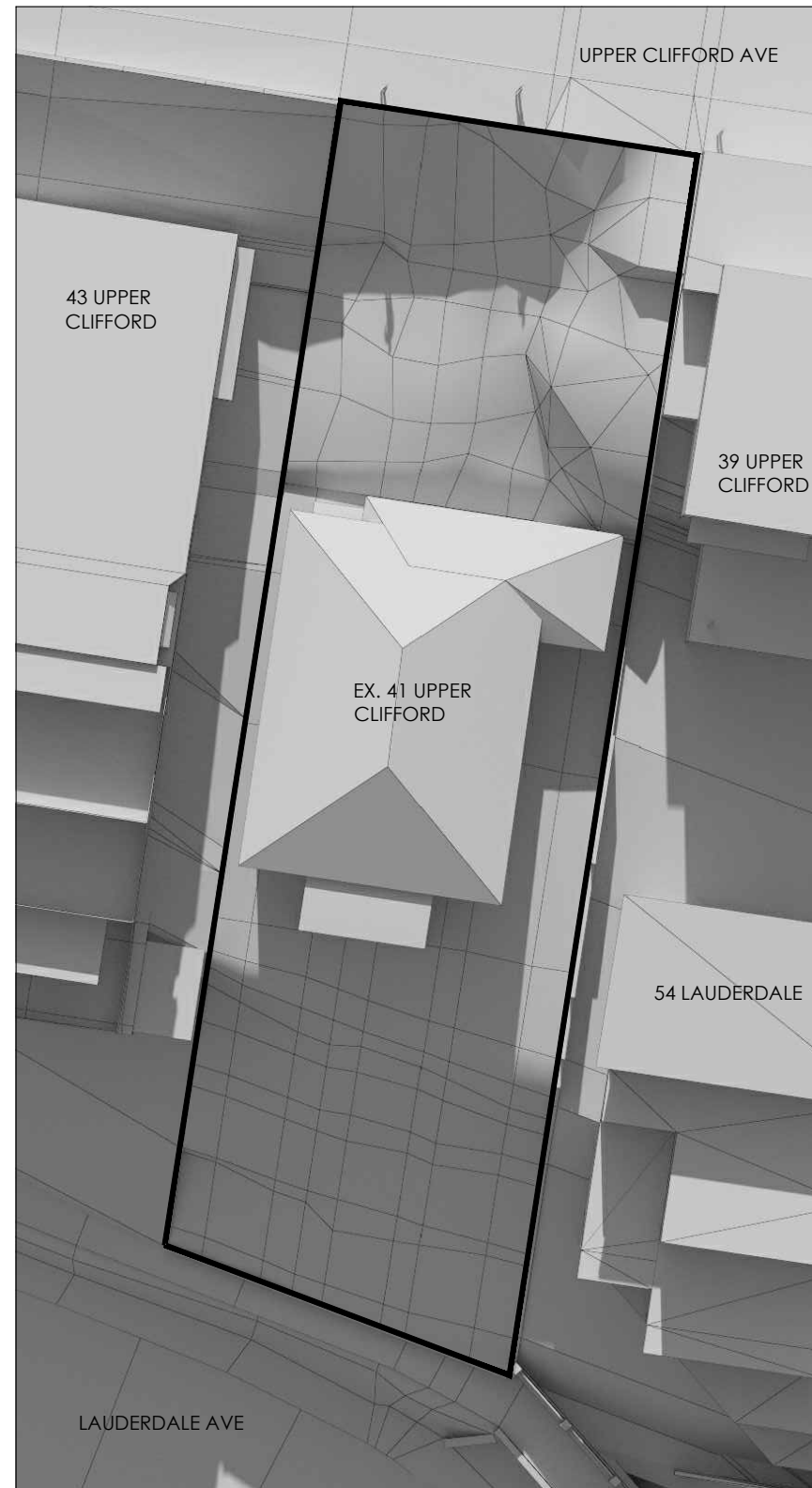




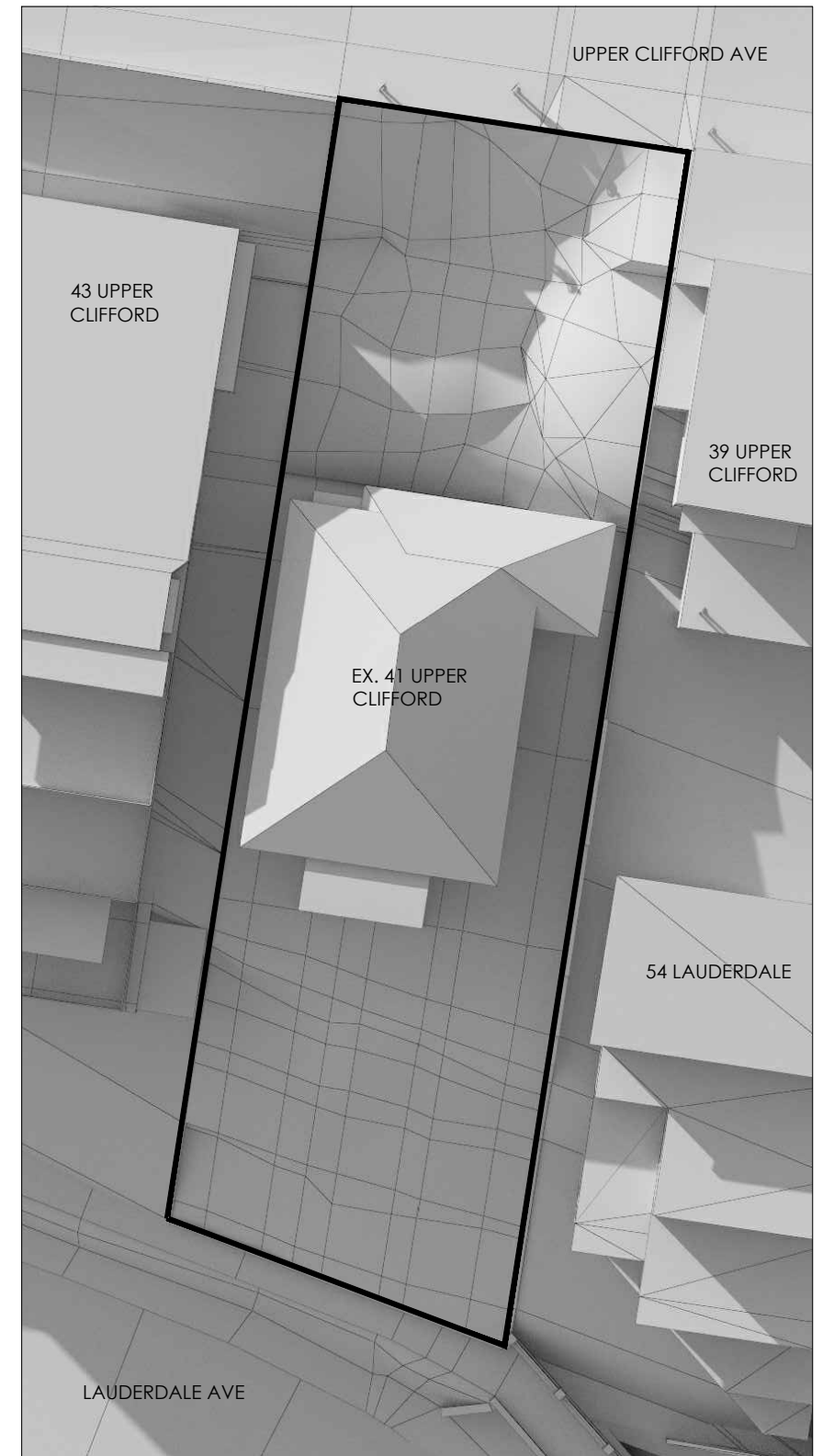
06  
VIEW FROM 43 UPPER CLIFFORD AVE  
WINDOW OF THE SOUTH BEDROOM ON THE BOTTOM LEVEL



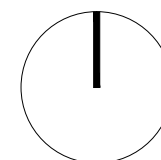
EXISTING HOUSE  
21st JUNE 9am



EXISTING HOUSE  
21st JUNE 12pm



EXISTING HOUSE  
21st JUNE 3pm

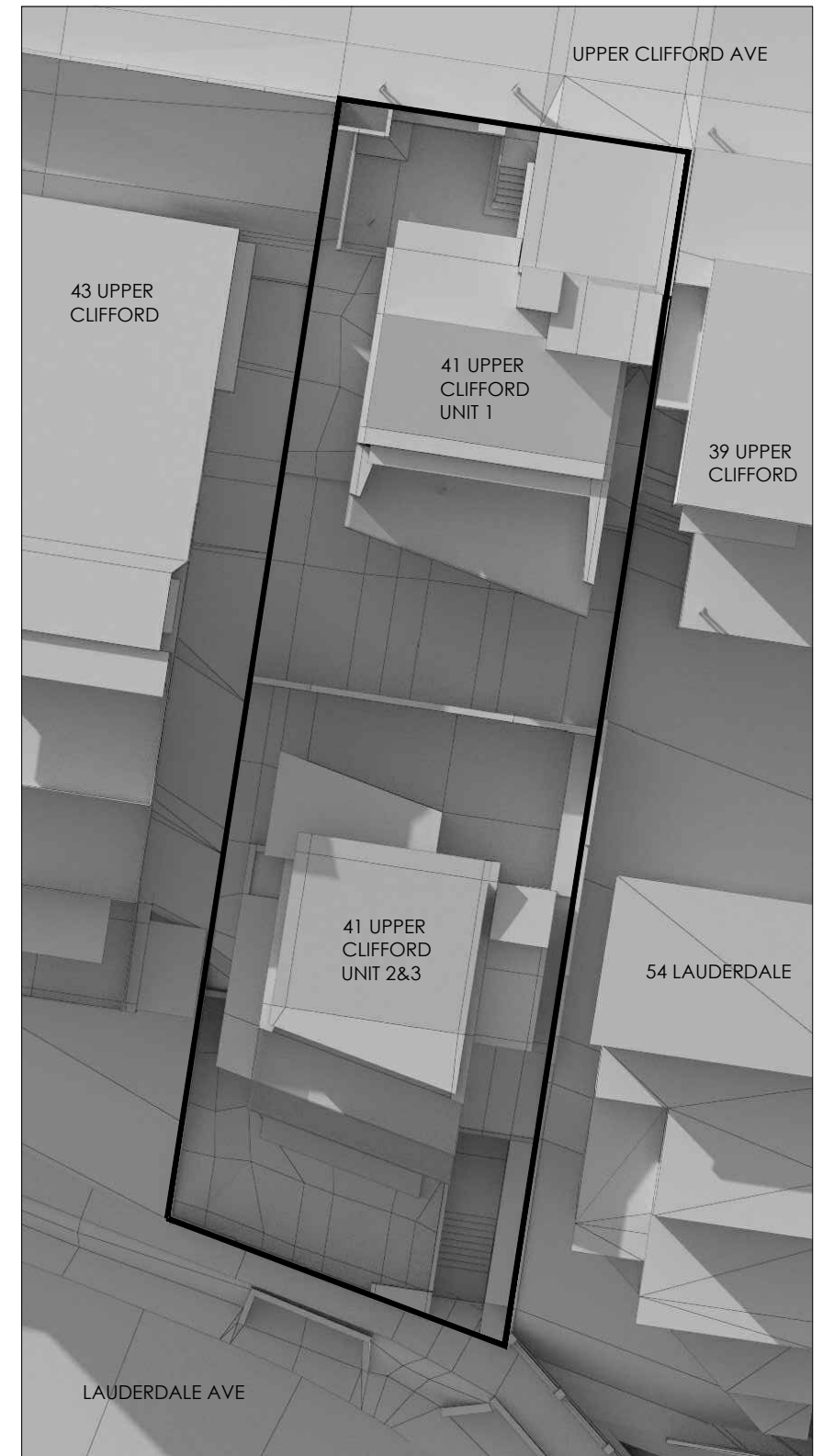




PROPOSED DEVELOPMENT  
21st JUNE 9am



PROPOSED DEVELOPMENT  
21st JUNE 12pm



PROPOSED DEVELOPMENT  
21st JUNE 3pm

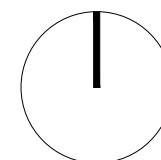
SHADOWS SHOWN ON IMAGES ABOVE AS CAST BY THE PROPOSED  
DEVELOPMENT DEPICTED ON DRAWINGS REVISION F AS LODGED.

platform  
ARCHITECTS

Suite 503, 39 East Esplanade Manly 2095  
p. 02 9976 6666 abn: 7462856157  
registered architect (NSW) (Licence No. 5285)

PROJECT DETAILS  
DUAL OCCUPANCY WITH BASEMENT CARPARKING  
AND SINGLE DWELLING AT  
41 UPPER CLIFFORD AVE  
FAIRLIGHT NSW 2094

CLIENT  
CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD,  
643 MILITARY ROAD MOSMAN NSW 2088



DRAWING TITLE  
SHADOW DIAGRAMS  
PROPOSED CONDITIONS

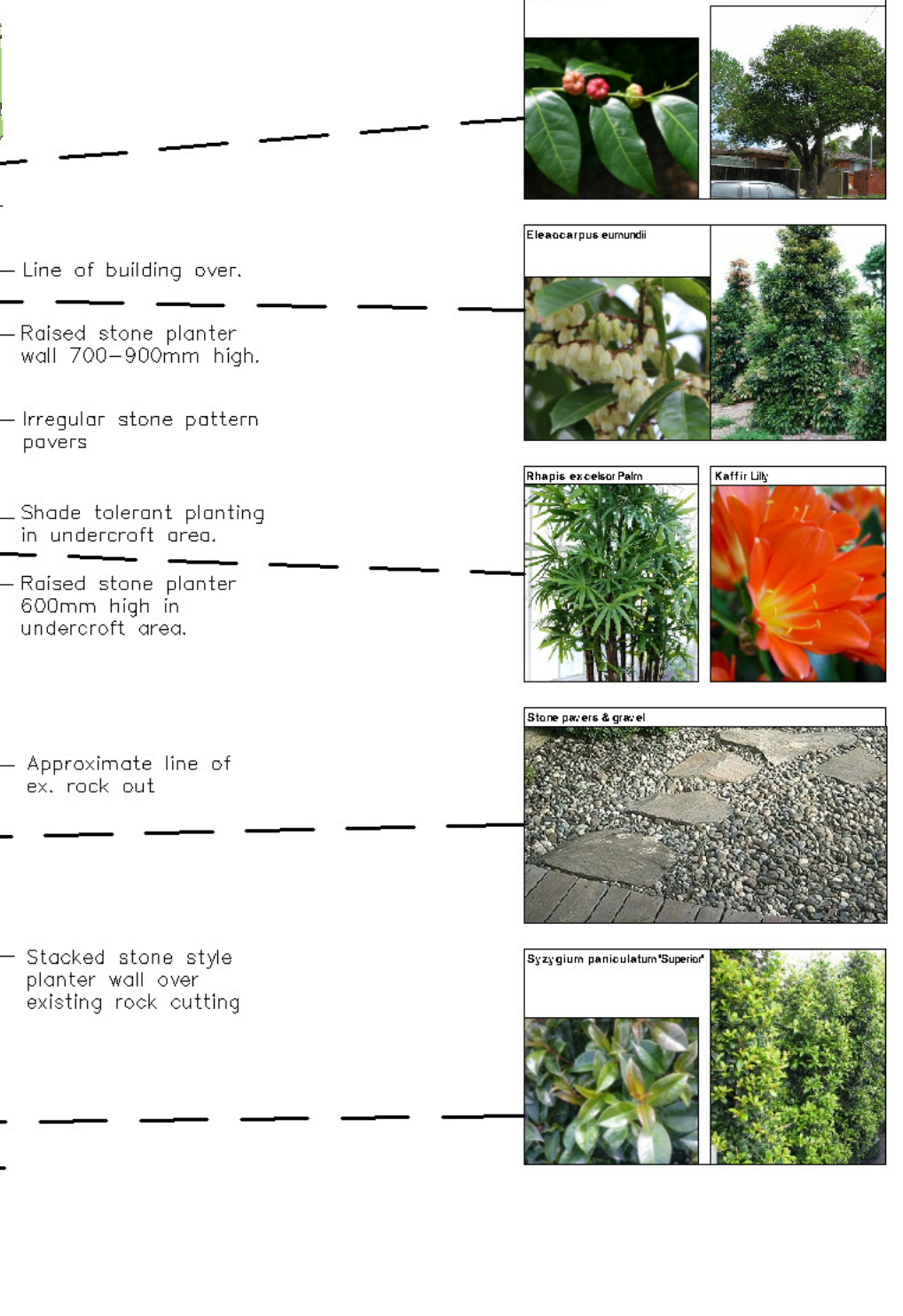
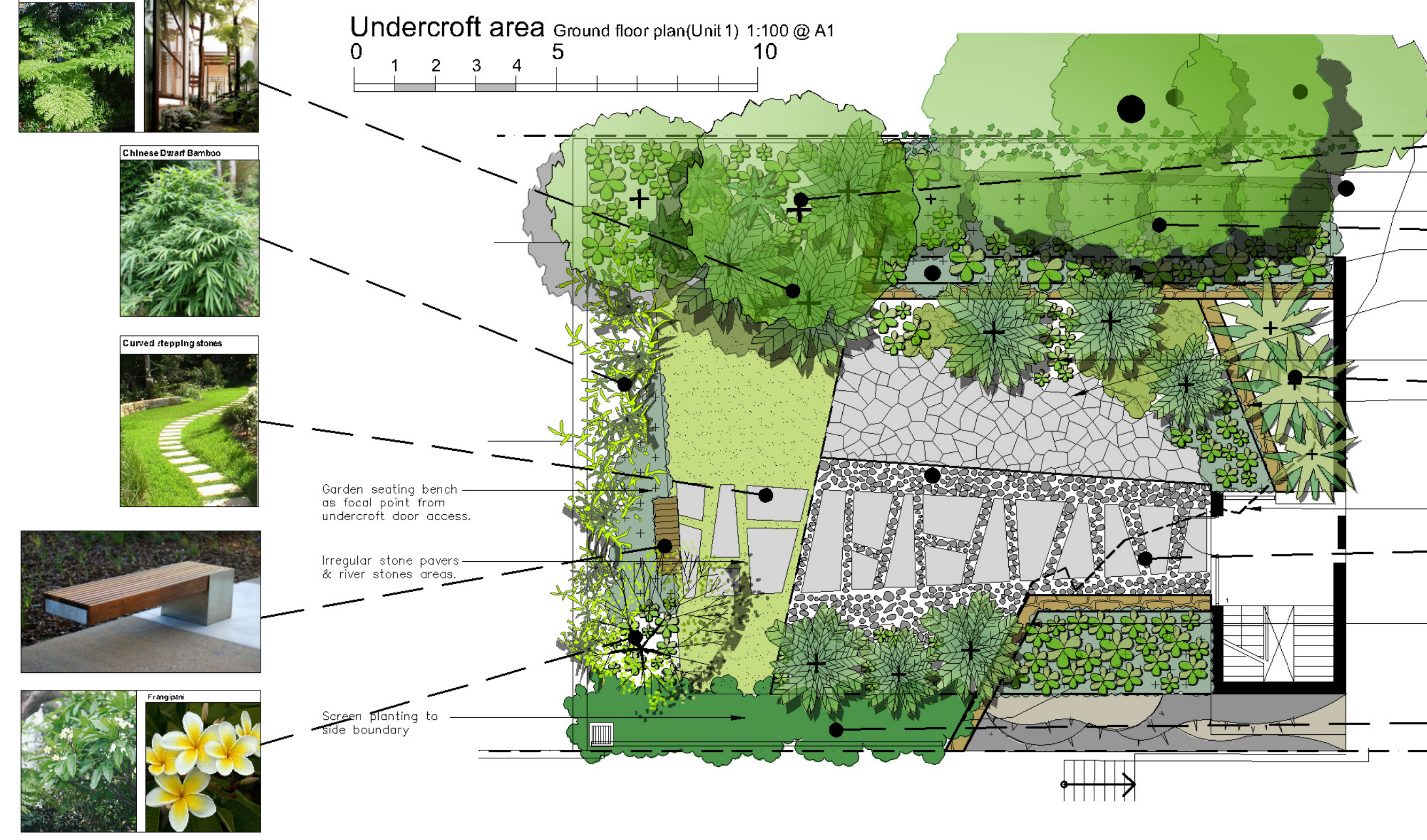
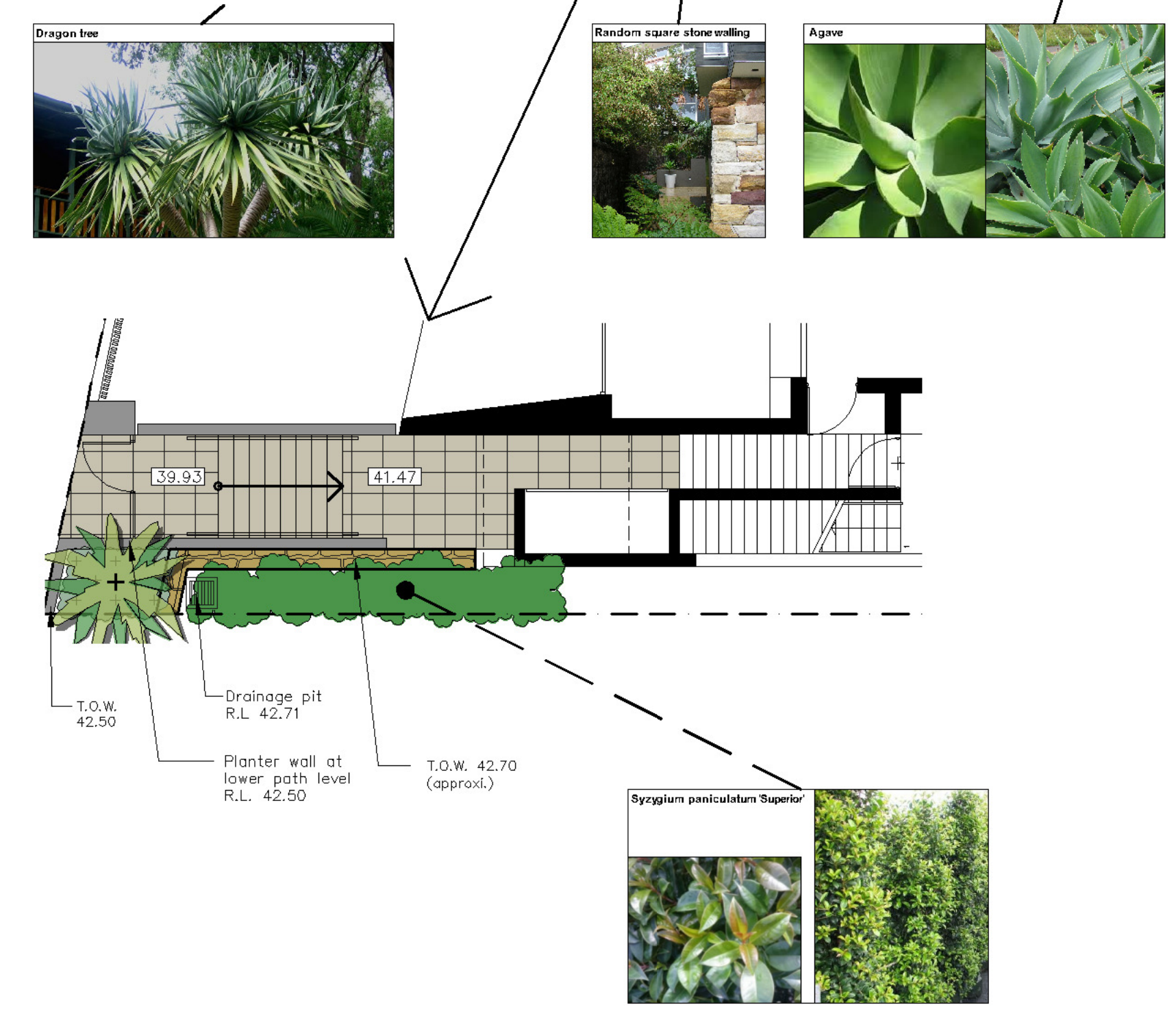
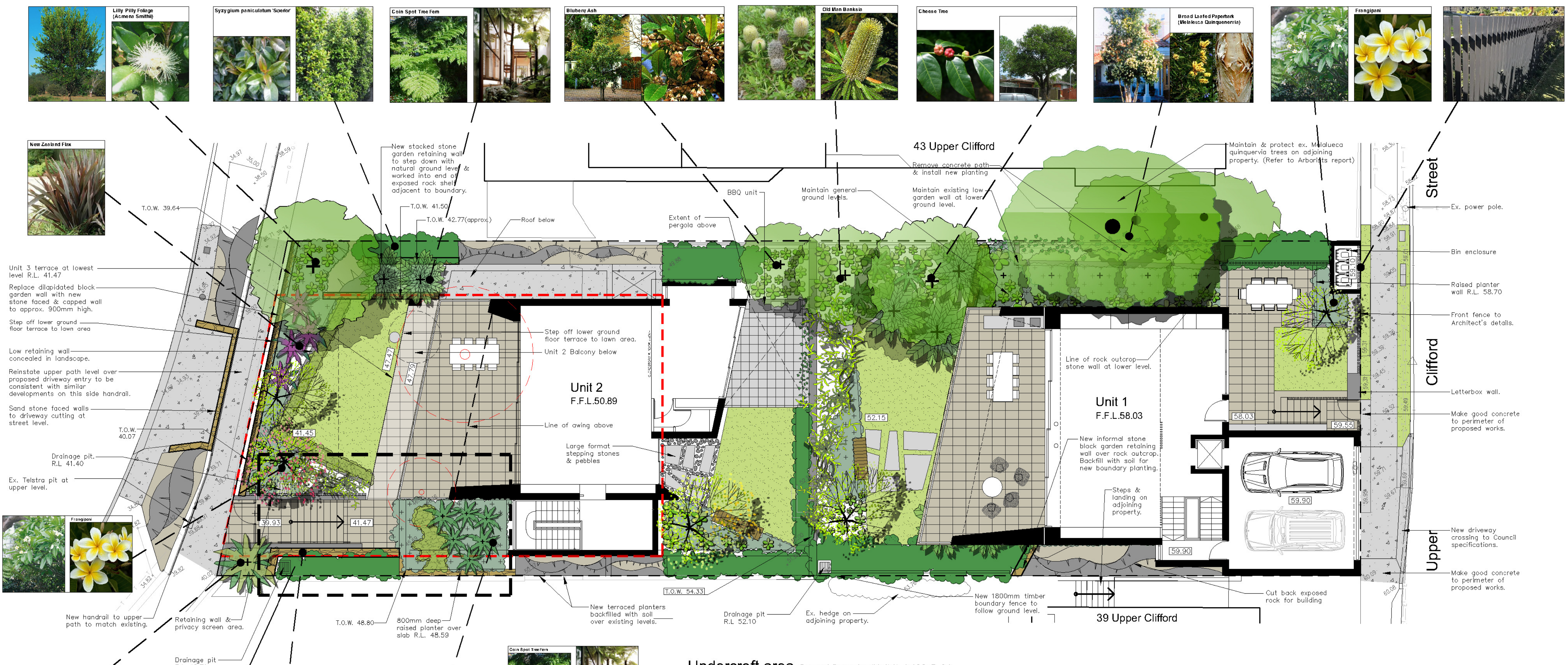
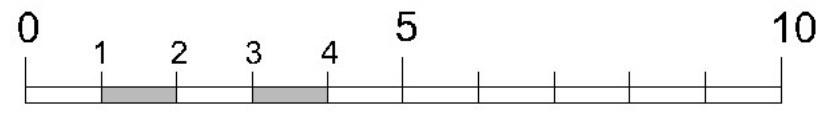
SCALE  
1:300  
@A3

STATUS  
DA

PROJECT  
UCS

REVISION  
A





- Legend**
- Existing trees to be removed
  - Proposed evergreen trees
  - Proposed Deciduous tree
  - Palm
  - Strappy leaved understorey plants
  - Tree Ferns
  - Low shrubs / ornamental grasses
  - Medium shrubs
  - Private open space paving
  - Groundcovers
  - Lawn areas
  - Timber decking / seating
  - Balustrading/fence
  - Water
  - Stone clad walls
  - Walls
  - Proposed levels
  - Concrete
  - River stones
  - Rock outcrops

**PAUL SCRIVENER**  
LANDSCAPE

PO Box 813 Newport NSW 2106  
ABN: 627 121 448  
PHONE: 02 9907 8011  
WWW.SCRIVENER-DESIGN.COM  
EMAIL: PAUL@SCRIVENER-DESIGN.COM

**PROJECT: PROPOSED DWELLING**  
41 UPPER CLIFFORD AVE,  
FAIRLIGHT, NSW

**DWG: LANDSCAPE PLAN**

**DATE:** 26.2.20 **SCALE:** 1:100 @A1  
**JOB REF:** 19/2031/DA **SHEET NO:** 1 OF 2  
**ISSUE:** A

**AMENDMENTS**

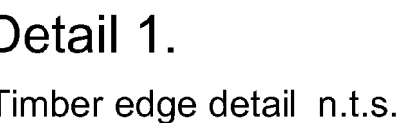
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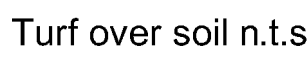
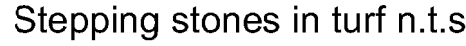
0 1 2 3 4 5 10



Ground floor plan(Unit 1) 1:100 @ A1



On structure planter typical detail n.t.s



and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works must be carried out in such a way as to ensure the survival and growth of the existing trees during landscaping works, protected by fencing or armoring where necessary. Trees shall not be removed or topped unless specific written approval to do so is given or is indicated on plan. The following items are prohibited: use of chainsaws, stump pullers, liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not use hand tools, motorized equipment or heavy machinery at the site building materials, within the drip-line of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.

**2. Soil preparation**

All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 100mm of topsoil over the rippled area. To comply with AS 4541-1998 Turfed areas as noted to be laid over 100mm min. good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe until where free road drainage would otherwise occur. In such situations care to be taken to hand cultivate in any areas where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborists report. Where planting is to occur in areas where there is no drainage, the ground surface must be worked into the top 200mm profile. To comply with AS 4541-1998:

**3. New plantings**

Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional mulch applied around hole. For functional requirements such as available mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect the ability of plants to grow well. All trees and shrubs planted over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended uses of the site. For functional requirements such as available planting width, intended access under branches and solar access.

Automatic drip line watering system to be selected. To extend to ALL garden areas nominated on the deep soil and planter box areas and is to include all raised planter boxes over slab. (all lawn areas to be excluded) Water supply tap hosecocks as indicated on CC stage drawings.(To be coordinated with Hydraulic and Structural Engineer's details ). Dripline supply system only to be incorporated. Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sensor is installed for common area garden zones connected to timers

**Chemical root control:** Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation.

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet .... Battery timers to isolated planter boxes is acceptable and to be maintained by the owners corporation as part of the ongoing property maintenance.

**Performance:** It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

**Testing:** After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

**Warranty:** A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

PAUL SCRIVENER  
LANDSCAPE

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ABN: 627 121 448

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PROJECT: PROPOSED DWELLING  
41 UPPER CLIFFORD AVE,  
FAIRLIGHT, NSW

DWG: PLANTING PLAN

DATE: 26.2.20	SCALE: 1:100 @A1
JOB REF: 19/2031/DA	SHEET NO: 2 OF 2
ISSUE: A	—

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A.B.N. 627 121 648  
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## AMENDMENTS

NORTH





(CL1)

STANDING SEAM COPPER / COPPER-LOOK CLADDING OR SIMILAR



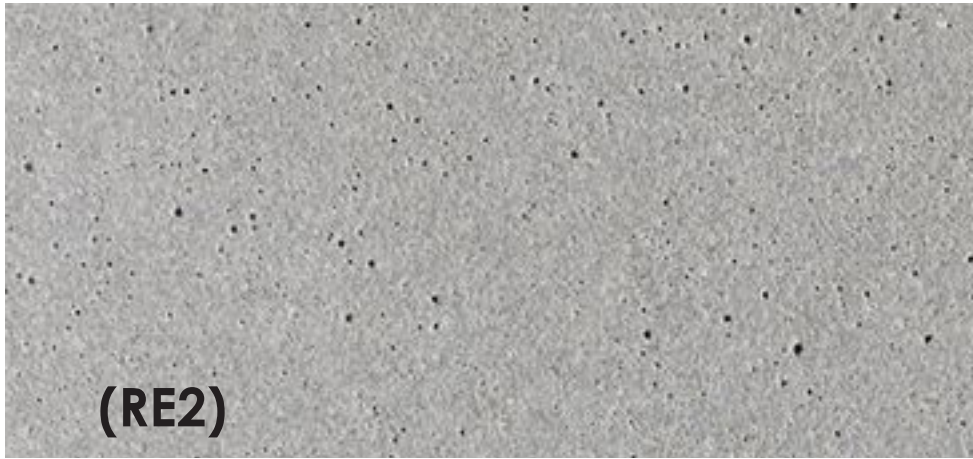
(CL2)

VERTICAL GAP ARCHITECTURAL CLADDING (COMPOSITE / FC); CHARCOAL COLOUR



(RE1)

PIGMENTED CEMENT RENDER W/ FINE GRAIN; SOFT TONE NATURAL COLOUR IE. DULUX LIME WHITE QUARTER OR SIMILAR



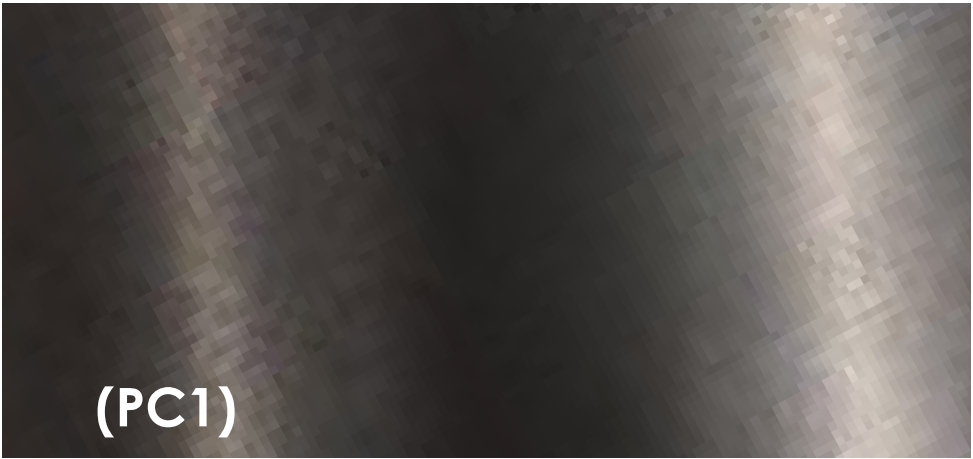
(RE2)

PIGMENTED CEMENT RENDER W/ COARSE GRAIN; MID TONE NATURAL COLOUR IE. DULUX TIMELESS GREY OR SIMILAR



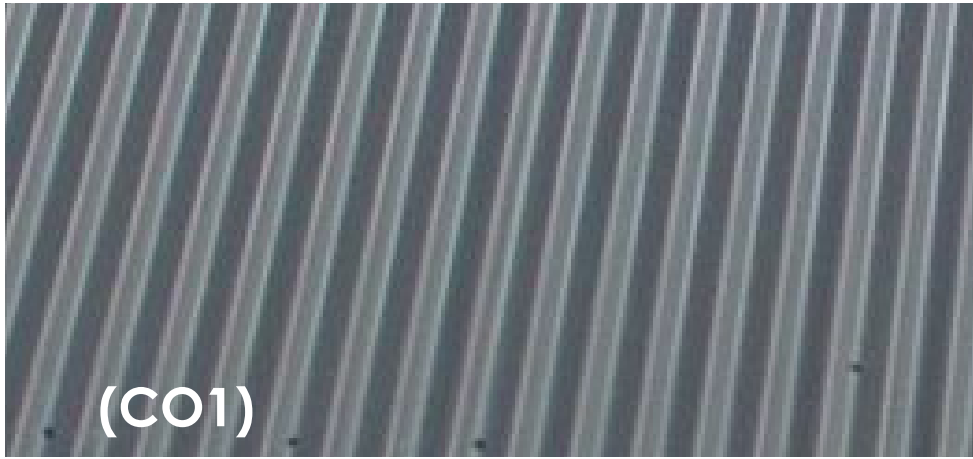
(TIM)

PIGMENTED CEMENT RENDER W/ COARSE GRAIN; MID TONE NATURAL COLOUR IE. DULUX TIMELESS GREY OR SIMILAR



(PC1)

POWDERCOATED METAL FASCIAS AND LINING, STAINLESS STEEL / ALUMINIUM SUBSTRATE; CHARCOAL COLOUR



(CO1)

METAL ROOFING; MEDIUM GREY COLOUR IE. COLORBOND BASALT OR SIMILAR



(ST1)

DRY STACK SANDSTONE CLADDING





**01**  
AS VIEWED FROM LAUDERDALE AVENUE

platform  
ARCHITECTS

Suite 503, 39 East Esplanade Manly 2095  
p. 02 9976 6666 abn. 7402856157  
www.platformarchitects.com.au

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643 MILITARY ROAD MOSMAN NSW 2088

DRAWING TITLE  
PHOTOMONTAGES - SHEET 01  
SCALE  
NTS  
STATUS  
DA

PROJECT  
UCS  
REVISION  
A