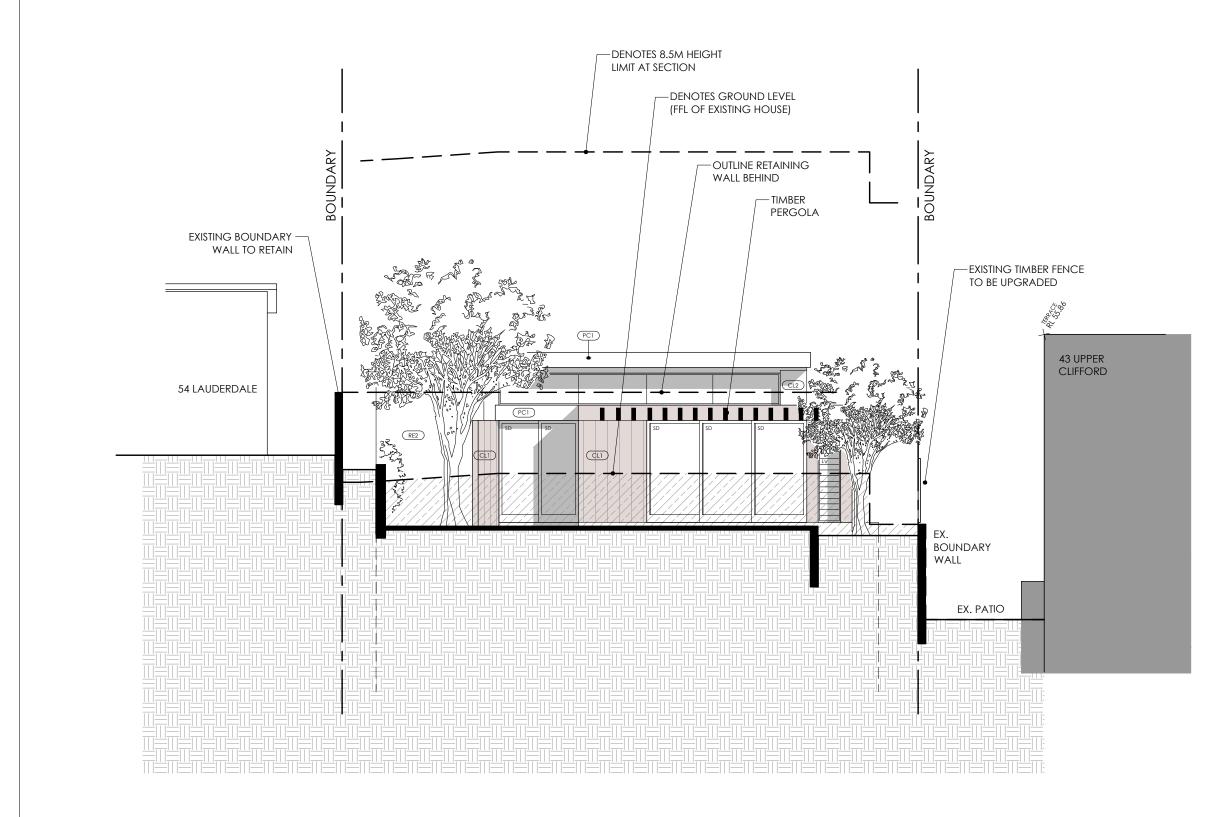


SD LV BF SW AW F GB SK	SLIDING DOOR PANEL GLAZED LOUVRE WINDOW BIFOLD DOOR SWING DOOR AWNING WINDOW FIXED GLAZING GLASS BALUSTRADE SKYLIGHT
CL1	CLADDING TYPE 1
CL2	CLADDING TYPE 2
(RE1)	RENDER TYPE 1
RE2	RENDER TYPE 2
TIM	EXTERNAL TIMBER
(PC1)	POWDER COATED METAL TYPE 1
CB1	COLORBOND ROOFING TYPE 1
*REFER TO	FINISHES SCHEDULE FOR DETAILS

\backslash		drawing title ELEVATION 1 - SOUTH (LAUDERDALE		
	AVE FRO	ONTAGE) UN status	IIT 2 & 3	REVISION
	1:100 @A3	DA	13	F





Noronana Notes. Jo not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

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B 2019.07.22 PRELIMINARY C 2019.07.31 PRELIMINARY C 2019.08.15 PRELIMINARY - LAYOUTS UPDATE D 2019.09.20 FOR PRELODGEMENT MEETING E Dec '19 CONSULTANT COORDINATION

F Mar '19 FOR DA LODGMENT

REV | DATE | DESCRIPTION

REVISION NOTES FOR DA LODGEMENT

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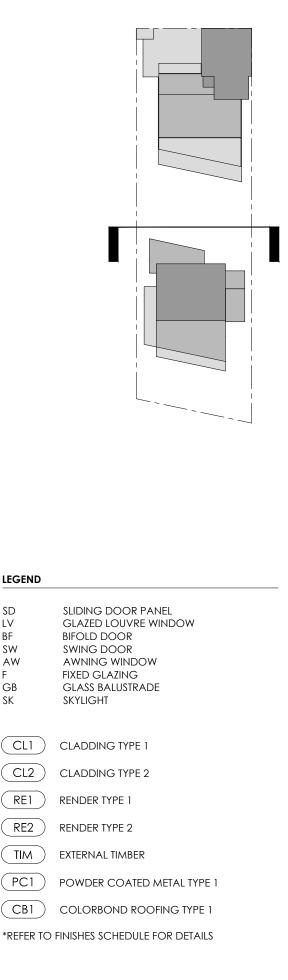
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NOT FOR CONSTRUCTION

platform ARCHITECTS ite 503, 39 East Esplanade Manly 2095 p. 02 9976 6666 abn. 74602856157

PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LID, 643 MILITARY ROAD MOSMAN NSW 2088

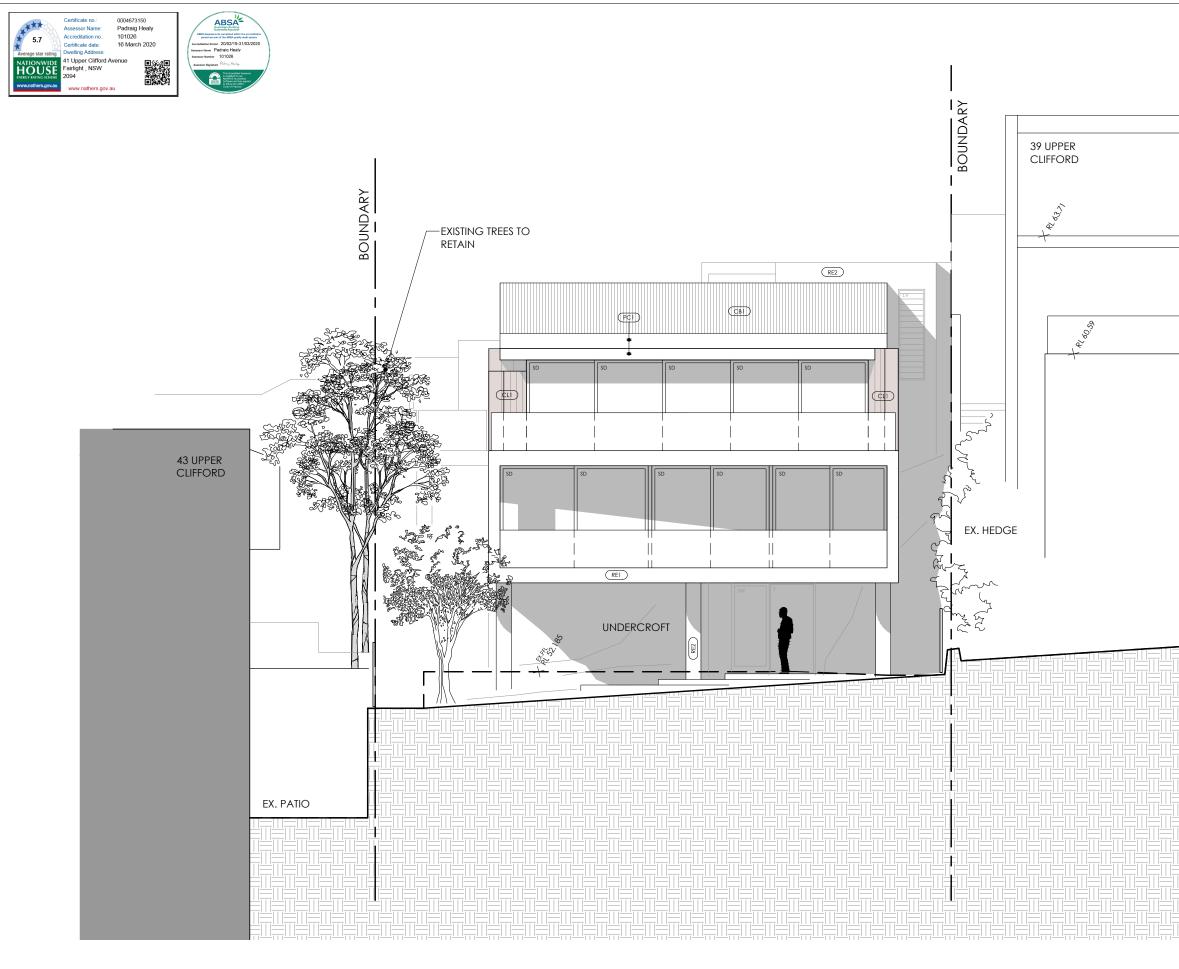


LEGEND

SD LV BF SW AW F GB	SLIDING DOOR PANEL GLAZED LOUVRE WINDOW BIFOLD DOOR SWING DOOR AWNING WINDOW FIXED GLAZING GLASS BALUSTRADE
GB SK	

- (CL1)
- (CL2)
- RE1
- RE2
- TIM
- PC1
- CB1

	drawing title ELEVATION 2 - NORTH UNIT 2 & 3			
SCALE	STATUS	NUMBER	REVISION	
1:100 @A3	DA	14	F	



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- C 2019.08.15 PRELIMINARY LAYOUTS UPDATE

REV | DATE | DESCRIPTION

- D 2019.09.20 FOR PRELODGEMENT MEETING
- E Dec '19 CONSULTANT COORDINATION
- F Mar '19 FOR DA LODGMENT

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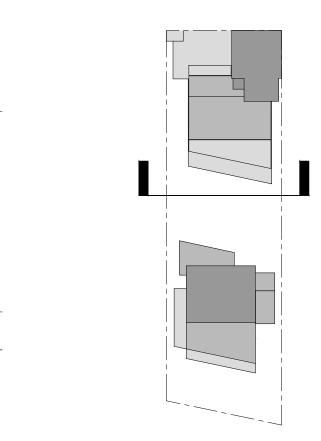
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REVISION NOTES



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LID, 643 MILITARY ROAD MOSMAN NSW 2088

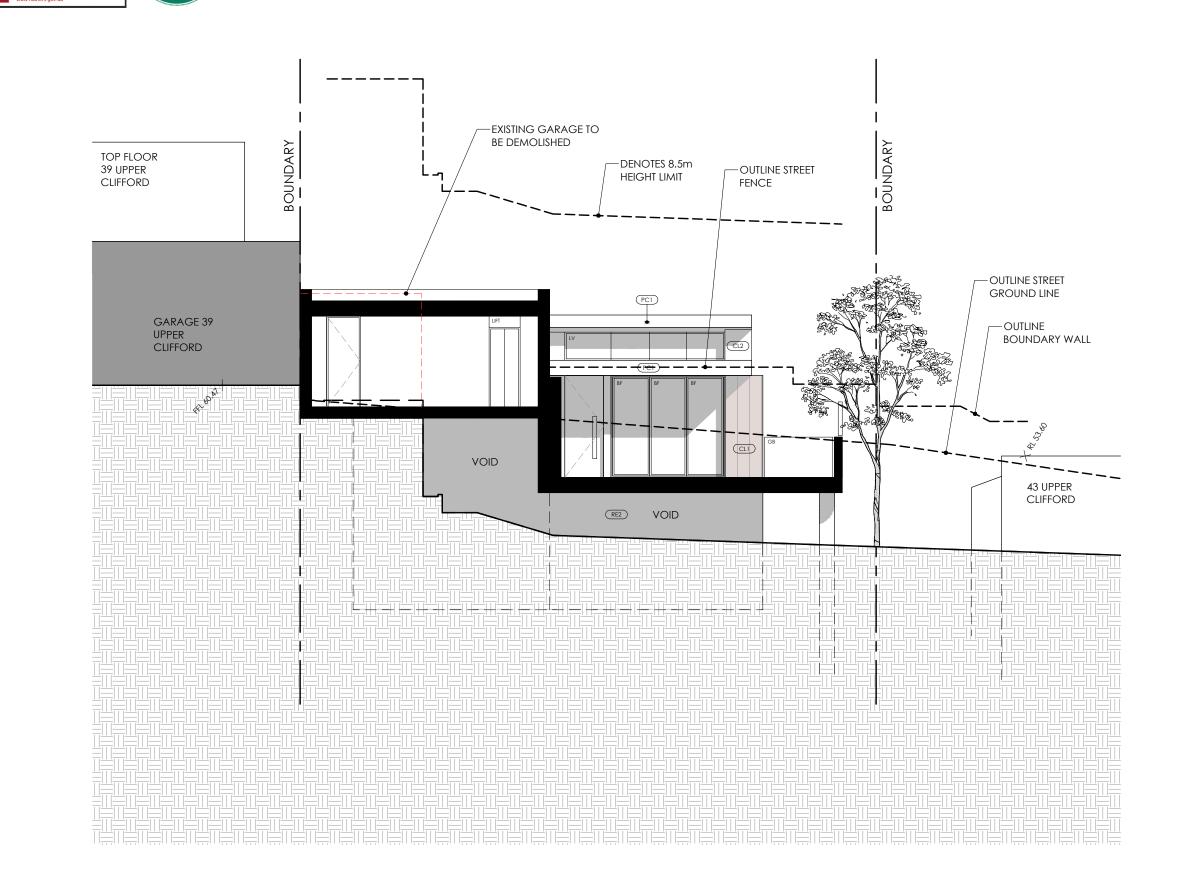


LEGEND

SLIDING DOOR PANEL GLAZED LOUVRE WINDOW SD LV ΒF **BIFOLD DOOR** SW SWING DOOR AWNING WINDOW AW F FIXED GLAZING GLASS BALUSTRADE GB SK SKYLIGHT CL1 CLADDING TYPE 1 (CL2) CLADDING TYPE 2 RE1 RENDER TYPE 1 RE2 RENDER TYPE 2 TIM EXTERNAL TIMBER PC1 POWDER COATED METAL TYPE 1 CB1 COLORBOND ROOFING TYPE 1 *REFER TO FINISHES SCHEDULE FOR DETAILS



drawing title ELEVATI UNIT 1	on 3 - Sout	Н	PROJECT
SCALE	STATUS	NUMBER	REVISION
1:100 @A3	DA	15	F



Do not scale from drawings, use figured dimensions only. Ensure that the drawings sed carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

Certificate no

Assessor Name

Accreditation no

Certificate date: 41 Upper Clifford Avenue Fairlight , NSW 2094

5.7

HOUSE

0004673150

Padraig Healy

101026 16 March 2020

Accreditation Period 20/02/19-3 Assessor Name Padraig Heals Assessor Number 101026

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C 2019.07.31 PRELIMINARY

B 2019.07.22 PRELIMINARY

REV | DATE | DESCRIPTION

- C 2019.08.15 PRELIMINARY LAYOUTS UPDATE
- D 2019.09.20 FOR PRELODGEMENT MEETING
 - E Dec '19 CONSULTANT COORDINATION

 - F Mar '19 FOR DA LODGMENT

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REVISION NOTES



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

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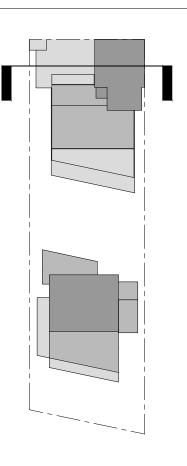
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CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LID, 643 MILITARY ROAD MOSMAN NSW 2088



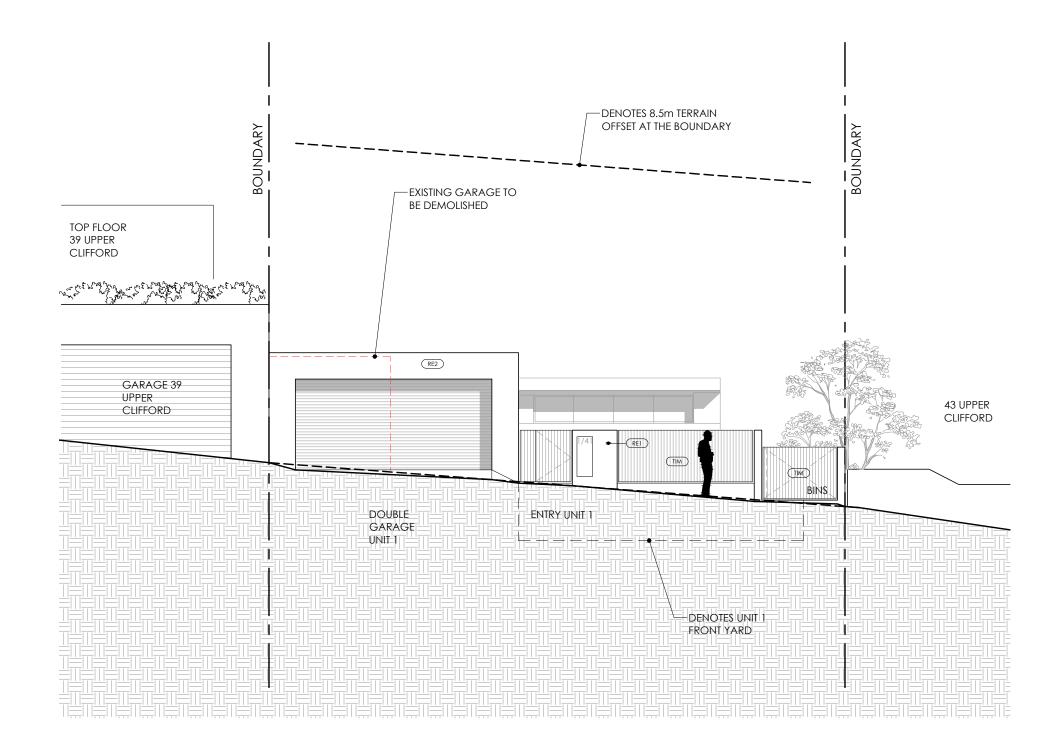
LEGEND

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

- (CL1) CLADDING TYPE 1
- (CL2) CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- TIM EXTERNAL TIMBER
- PC1 POWDER COATED METAL TYPE 1
- CB1 COLORBOND ROOFING TYPE 1

`	drawing title ELEVATION 4 - NORTH UNIT 1			project UCS
/	SCALE	STATUS	NUMBER	REVISION
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- C 2019.08.15 PRELIMINARY LAYOUTS UPDATE

REV | DATE | DESCRIPTION

- D 2019.09.20 FOR PRELODGEMENT MEETING
- E Dec '19 CONSULTANT COORDINATION
- F Mar '19 FOR DA LODGMENT

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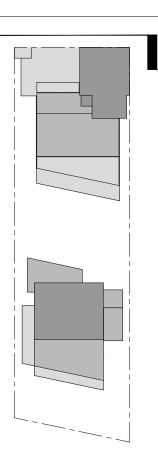
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REVISION NOTES



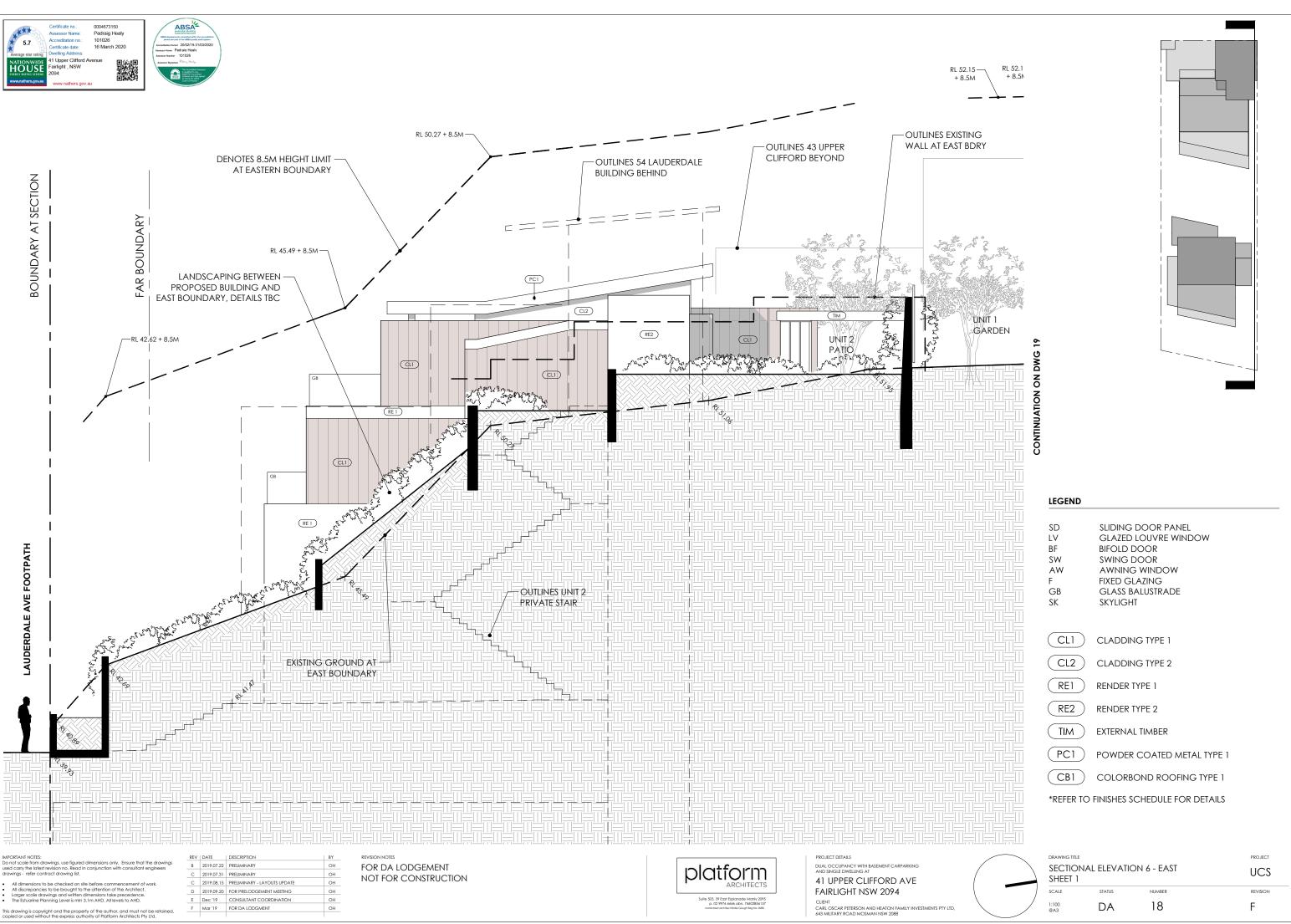
PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LID, 643 MILITARY ROAD MOSMAN NSW 2088



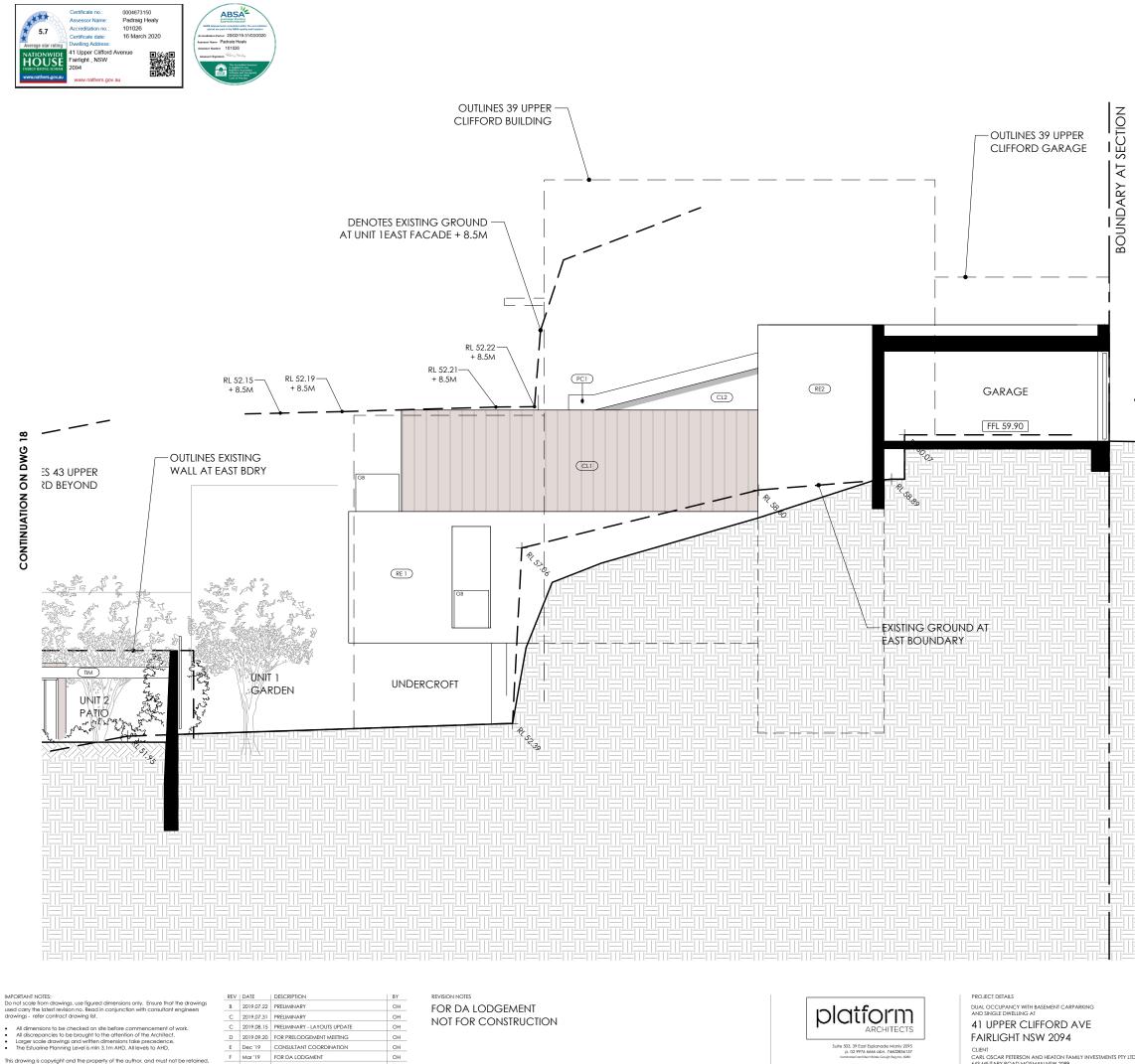
LEGEND

- (CL1) CLADDING TYPE 1
- CL2 CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- TIM EXTERNAL TIMBER
- PC1 POWDER COATED METAL TYPE 1
- CB1 COLORBOND ROOFING TYPE 1

ELEVAT	DRAWING TITLE ELEVATION 5 - NORTH (UPPER CLIFFORD FRONTAGE) UNIT 1			
SCALE	STATUS	NUMBER	REVISION	
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SCALE	STATUS	NUMBER	REVIS
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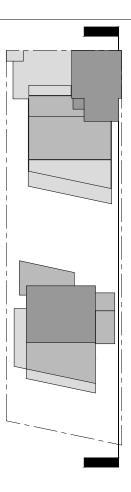


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FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088



CLIFFORD AVE UPPER

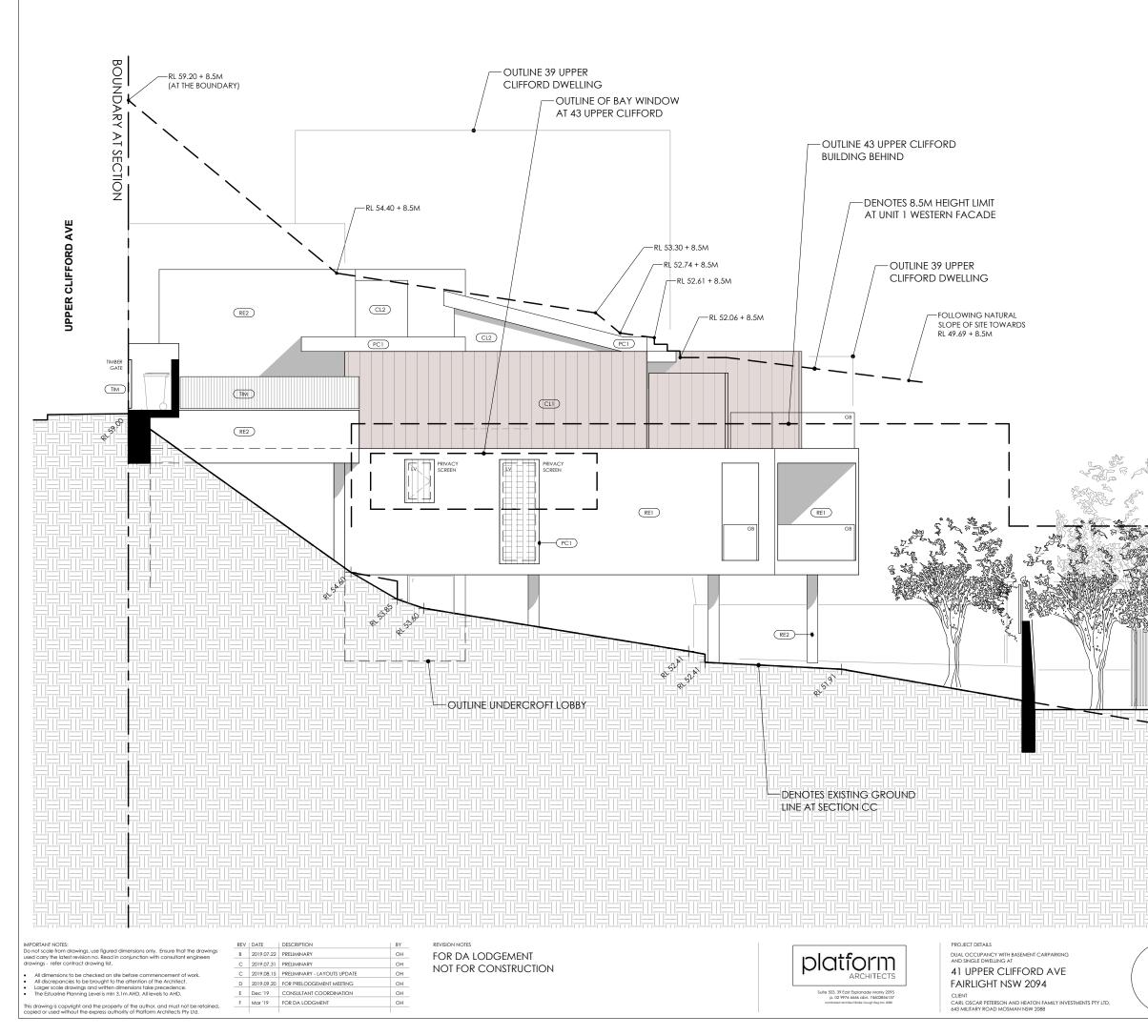
LEGEND

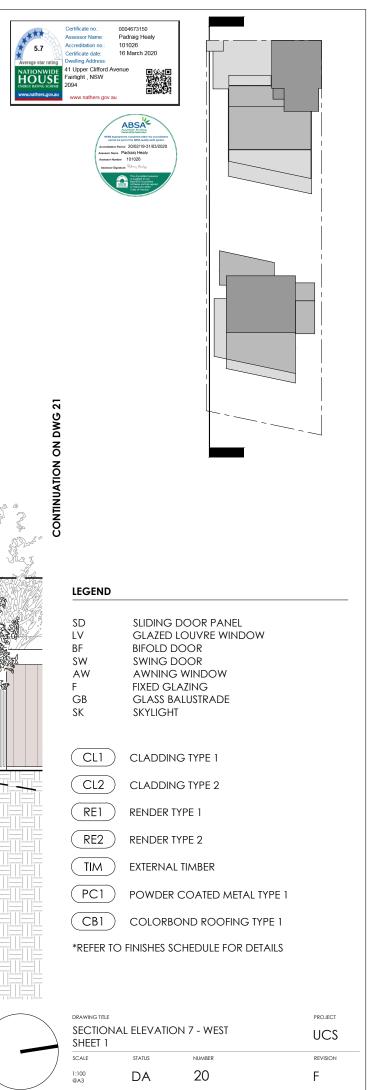
SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT
CL1	CLADDING TYPE 1

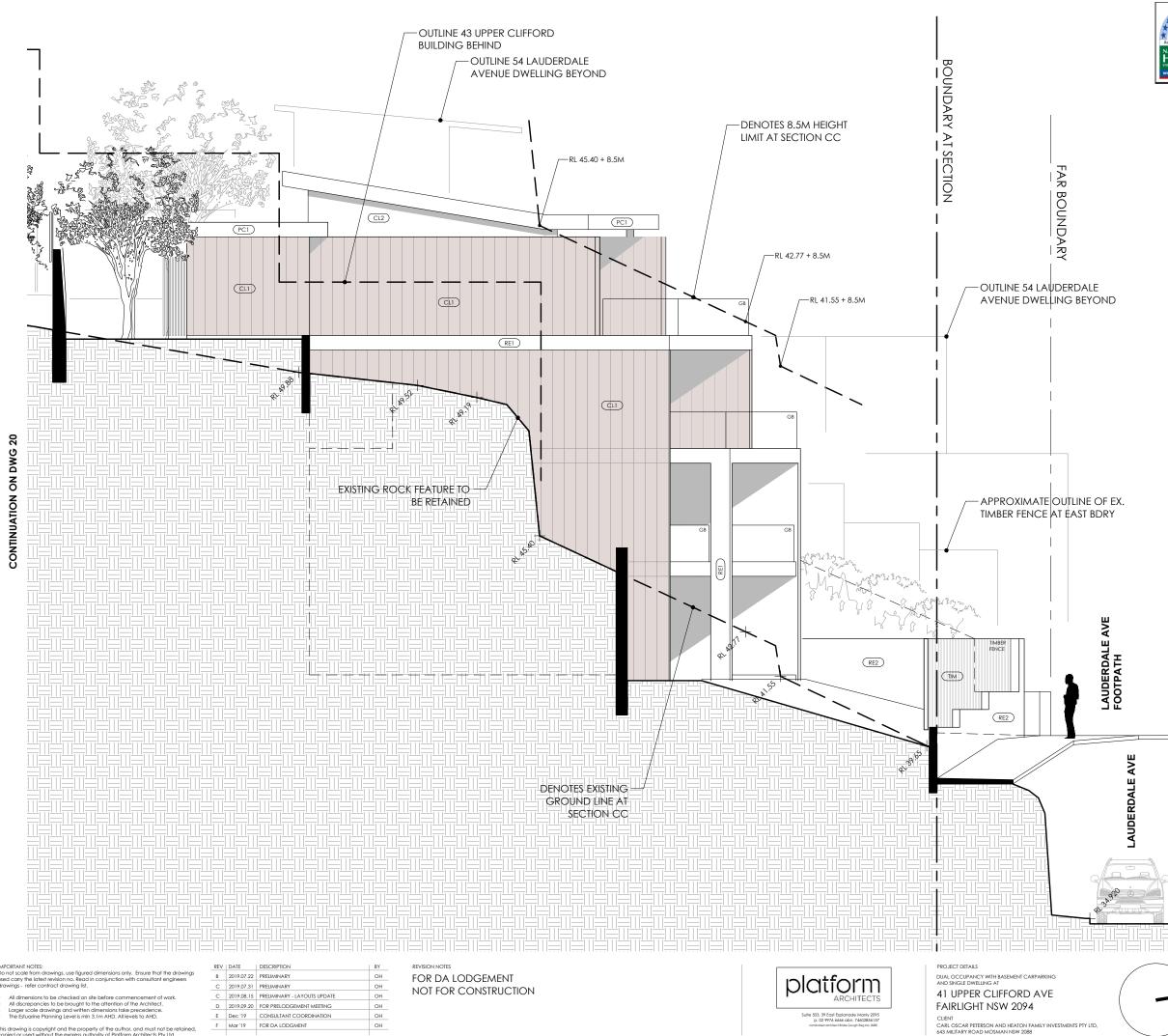
- (CL2) CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- TIM EXTERNAL TIMBER
- PC1 POWDER COATED METAL TYPE 1
- CB1 COLORBOND ROOFING TYPE 1



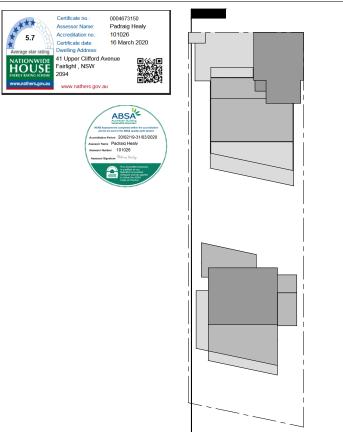
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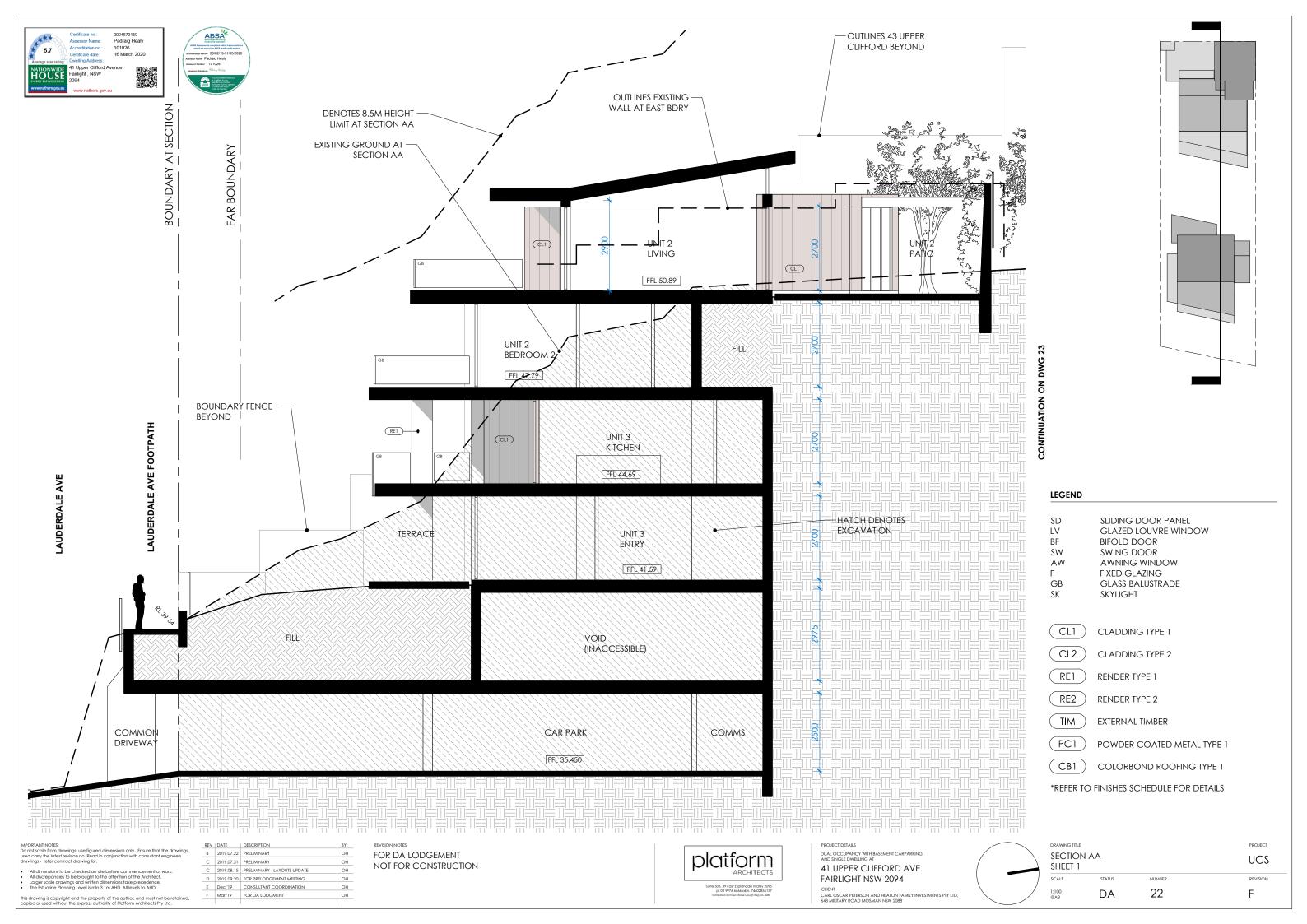


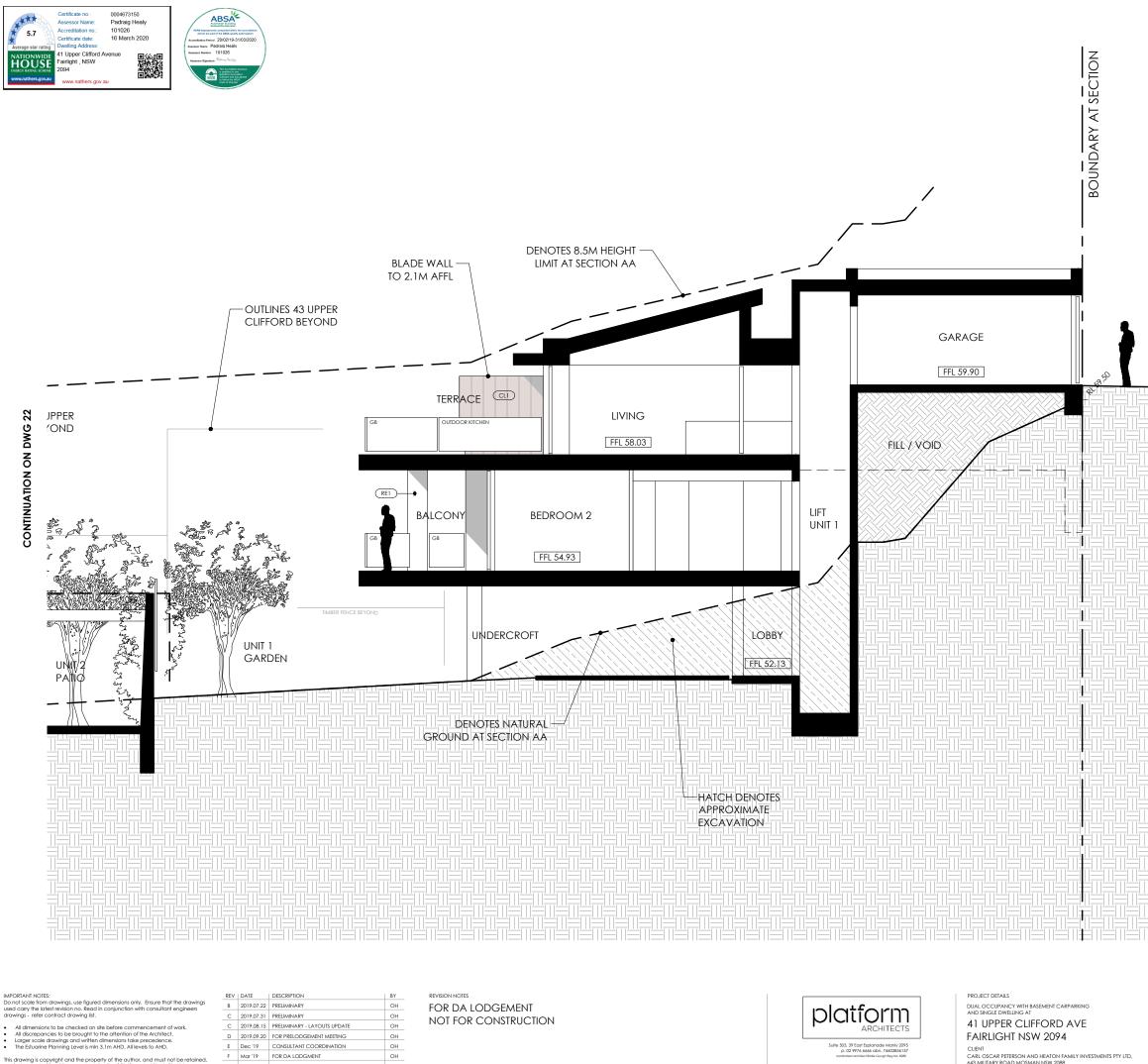
LEGEND

SD	SLIDING DOOR PANEL	
LV	GLAZED LOUVRE WINDOW	
BF	BIFOLD DOOR	
SW	SWING DOOR	
AW	AWNING WINDOW	
F	FIXED GLAZING	
GB	GLASS BALUSTRADE	
SK	SKYLIGHT	

- CL1 CLADDING TYPE 1
- CL2 CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- Í TIM Ì EXTERNAL TIMBER
- (PC1 POWDER COATED METAL TYPE 1
- (CB1 COLORBOND ROOFING TYPE 1







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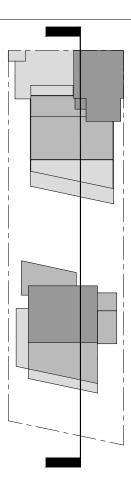
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2019.07.31 PRELIMINARY C 2019.08.15 PRELIMINARY - LAYOUTS UPDATE D 2019.09.20 FOR PRELODGEMENT MEETING E Dec '19 CONSULTANT COORDINATION

F Mar '19 FOR DA LODGMENT

FOR DA LODGEMENT NOT FOR CONSTRUCTION platform ARCHITECTS Suite 503, 39 East Esplanade Manly 209 p. 02 9976 6666 abn. 7460285615

DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088



LEGEND

UPPER CLIFFORD AVE

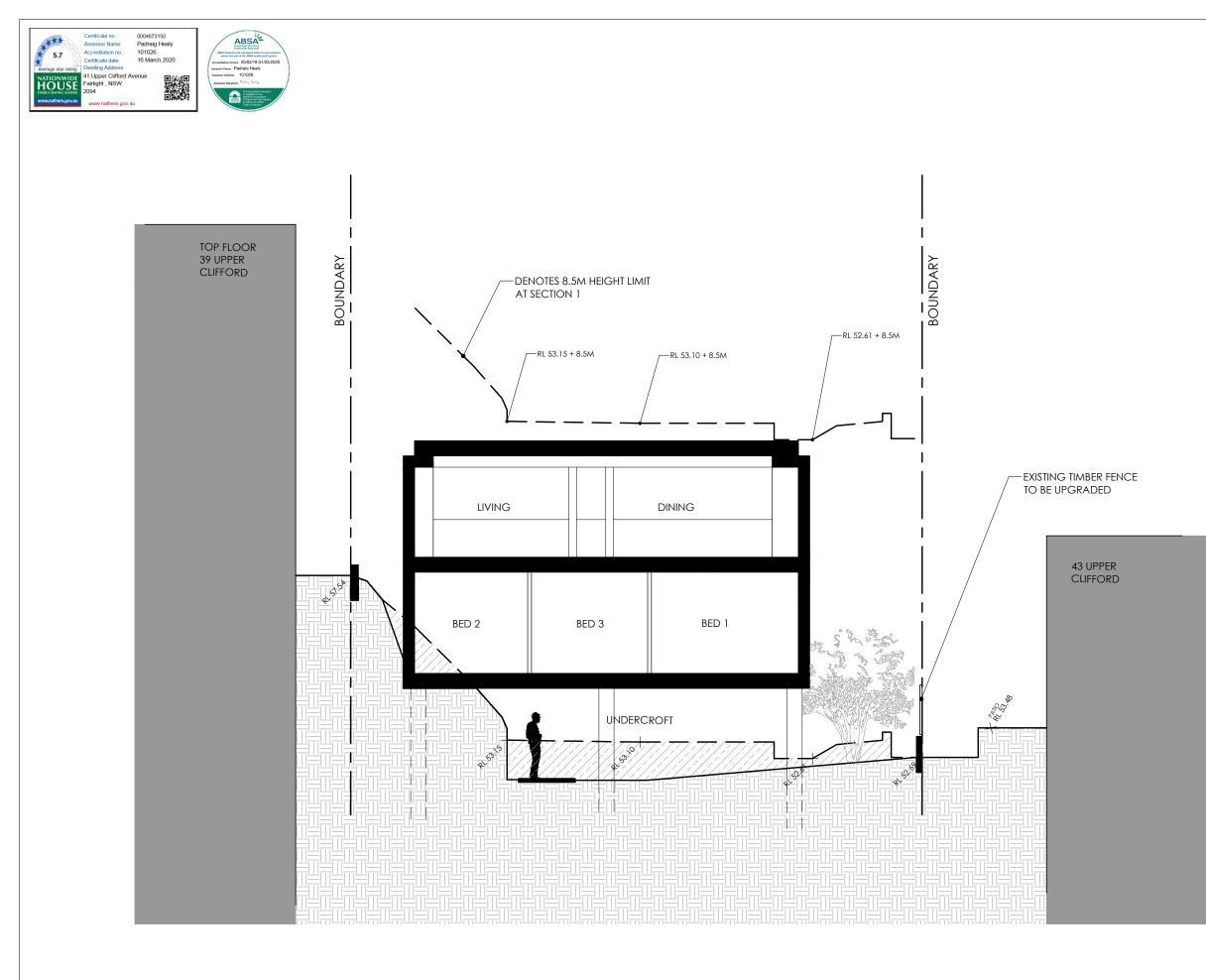
SD LV BF SW AW F GB SK	SLIDING DOOR PANEL GLAZED LOUVRE WINDOW BIFOLD DOOR SWING DOOR AWNING WINDOW FIXED GLAZING GLASS BALUSTRADE SKYLIGHT
CL1	CLADDING TYPE 1
CL2	CLADDING TYPE 2
(RE1)	RENDER TYPE 1
(RE2)	RENDER TYPE 2
TIM	EXTERNAL TIMBER

PC1 POWDER COATED METAL TYPE 1

CB1 COLORBOND ROOFING TYPE 1

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SCALE	STATUS	NUMBER	REVISION
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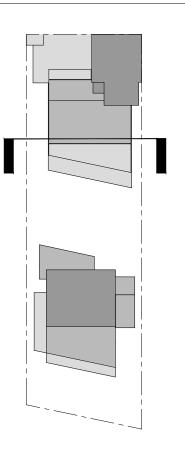
REVISION NOTES FOR DA LODGEMENT NOT FOR CONSTRUCTION

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PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094 CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LID, 643 MILITARY ROAD MOSMAN NSW 2088



LEGEND

SD	SLIDING DOOR PANEL
LV	GLAZED LOUVRE WINDOW
BF	BIFOLD DOOR
SW	SWING DOOR
AW	AWNING WINDOW
F	FIXED GLAZING
GB	GLASS BALUSTRADE
SK	SKYLIGHT

- (CL1) CLADDING TYPE 1
- (CL2) CLADDING TYPE 2
- RE1 RENDER TYPE 1
- RE2 RENDER TYPE 2
- TIM) EXTERNAL TIMBER
- PC1 POWDER COATED METAL TYPE 1
- CB1 COLORBOND ROOFING TYPE 1

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SECOND FLOOR (UNIT 1) FIRST FLOOR (UNIT 1) GROUND FLOOR (UNIT 1)

THIRD FLOOR (UNIT 2) SECOND FLOOR (UNIT 2) FIRST FLOOR (UNIT 2 & 3) GROUND FLOOR (UNIT 2 + 3) BASEMENT (UNIT 2 & 3)

SITE AREA ALLOWABLE FSR 770.2 SQM 0.6 :1 (462 SQM)

71.1 SQM 88.6 SQM

4.9 SQM

76.4 SQM

71.9 SQM

NIL

0 + 68.6 SQM

3.7 + 73.7 SQM

PROPOSED GFA PROPOSED FSR

458.9 SQM 0.5958 :1



SCALE

1:100 @A3

DRAWING TITLE GFA CALCULATIONS

STATUS

DA

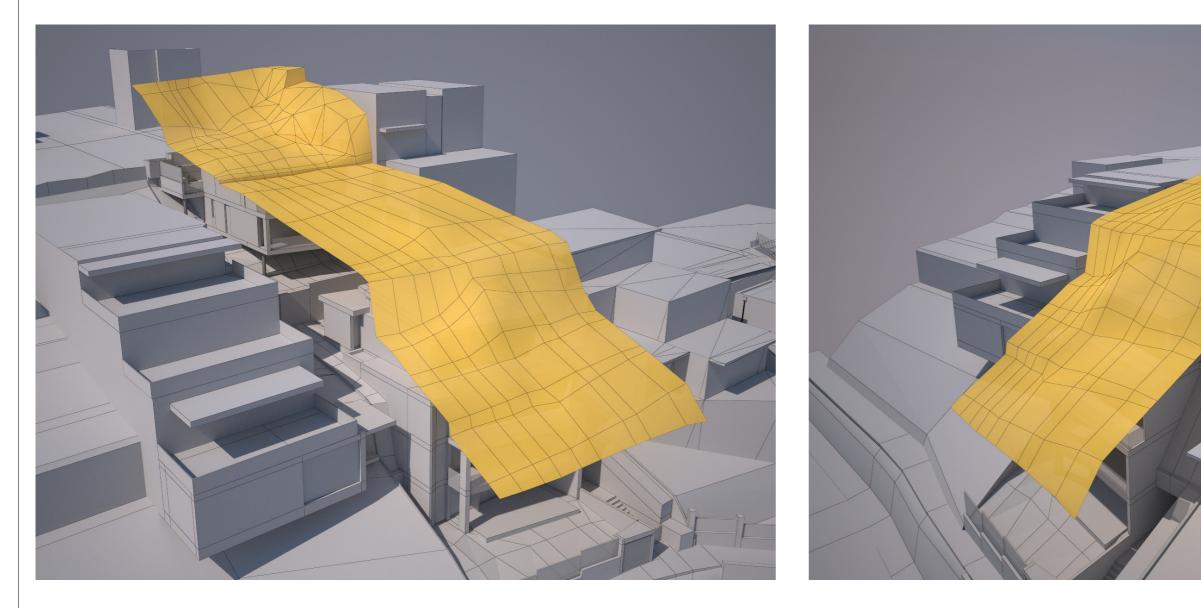


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REVISION

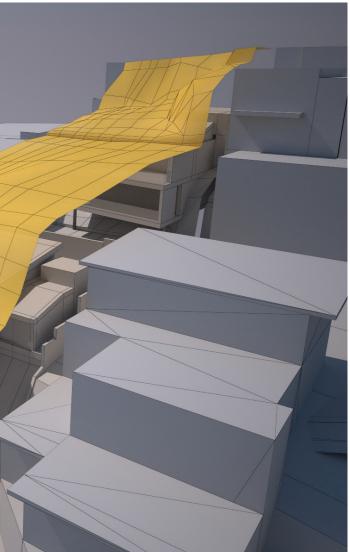
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THE YELLOW PLANE SHOWN ABOVE REPRESENTS THE 8.5M HEIGHT LIMIT AS PER THE CURRENT MLEP. THE PLANE IS AN EXTRAPOLATION OF THE SPOT LEVELS SURVEYED IN THE SURVEY ATTACHED TO THIS APPLICATION AND ANY PROJECTION THROUGH THE YELLOW PLANE CONSTITUTES HEIGHT LIMIT BREACH.



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094



DRAWING TITLE		PROJECT
HEIGH	t limit analysis	UCS
SCALE	STATUS	REVISION
NTS	DA	А







12SECOND FLOOR (UNIT 1 TERRACE)11SECOND FLOOR (UNIT 1 YARD)



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		17 0 00111
06	THIRD FLOOR (UNIT 2 GARDEN)	48 SQM
05	THIRD FLOOR (COMMON)	16 SQM
04	SECOND FLOOR (UNIT 2 TERRACE)	25 SQM
03	FIRST FLOOR (UNIT 3 TERRACE)	33 SQM
02	GROUND FLOOR (UNIT 3 TERRACE)	24 SQM
01	GROUND FLOOR (UNIT 3 GARDEN)	72 SQM
	BASEMENT (UNIT 2 & 3)	NIL
	SITE AREA	770.2 SQM
	SITE AREA TOTAL OPEN SPACE REQUIRED	770.2 SQM 424 SQM (55%)

PRIVATE OPEN SPACE

LANDSCAPED AREA

NUMBER

26

47 SQM 32 SQM

32 SQM

123 SQM

56 SQM

19 SQM

527 SQM (68%) 259 SQM (49%)

PROJECT

UCS

REVISION

F

OPEN SPACE SUMMARY

FIRST FLOOR (UNIT 1 TERRACE)

THIRD FLOOR (UNIT 2 TERRACE) THIRD FLOOR (UNIT 2 PATIO)

PROPOSED TOTAL OPEN SPACE PROPOSED LANDSCAPED

TOTAL OPEN SPACE AND

STATUS

DA

LANDSCAPED AREA CALCULATIONS

DRAWING TITLE

SCALE

1:250 @A3

GROUND FLOOR (UNIT 1 GARDEN)



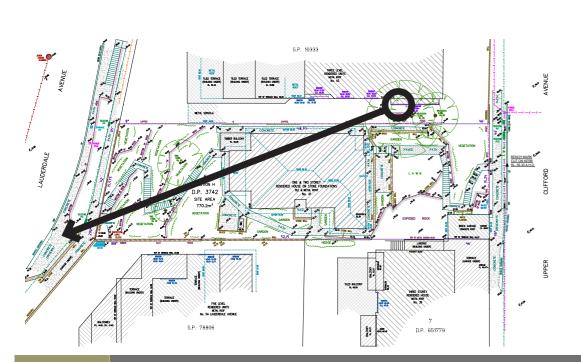


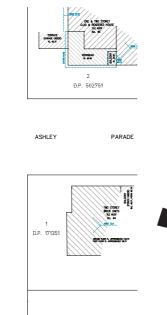
01 VIEW FROM 46 UPPER CLIFFORD AVE SOUTH TERRACE ON TOP OF THE GARAGE

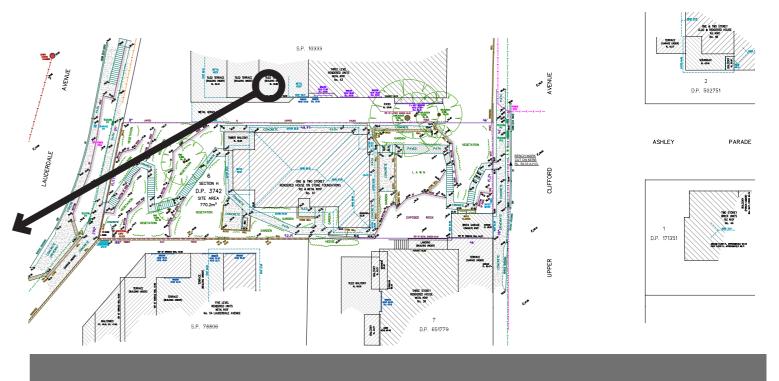


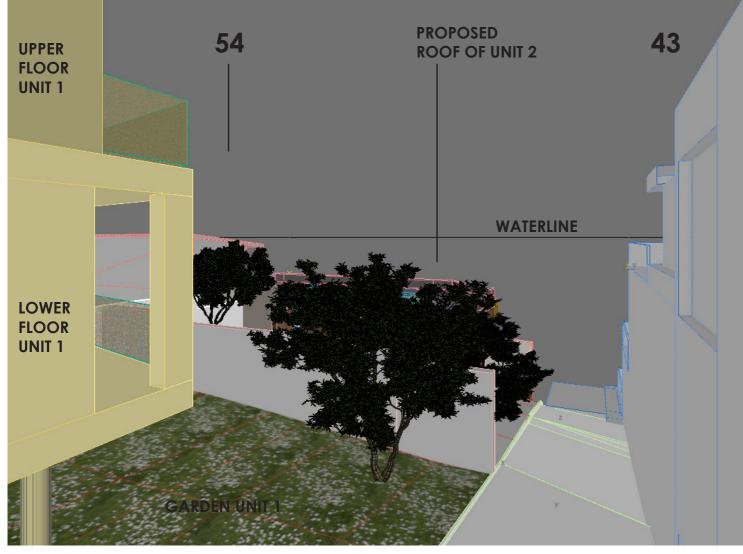
PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

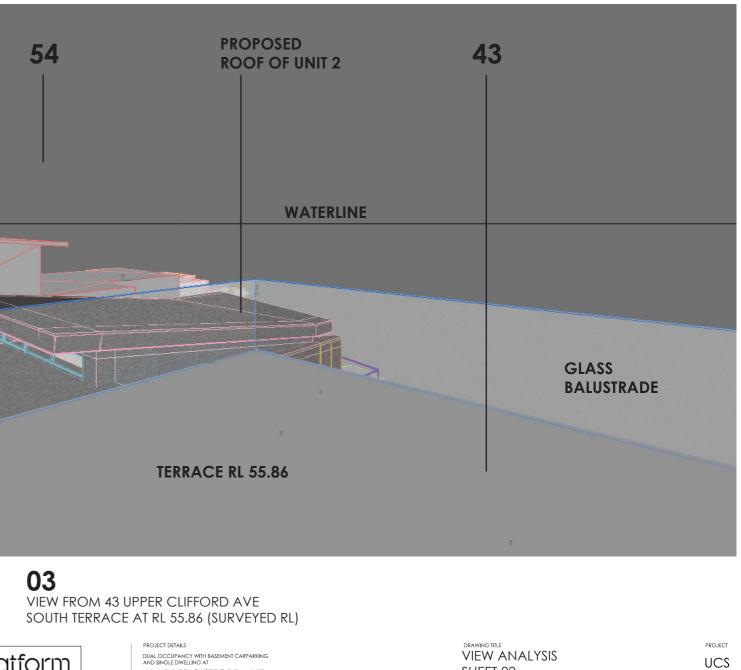
VIEW ANALYSIS SHEET 01		PROJECT UCS
SCALE	STATUS	REVISION
NTS	DA	А











SHEET 02 SCALE

NTS

STATUS

DA

02 VIEW FROM 43 UPPER CLIFFORD AVE EAST FACING BAY WINDOW AT SILL RL 56.35 (SURVEYED RL)

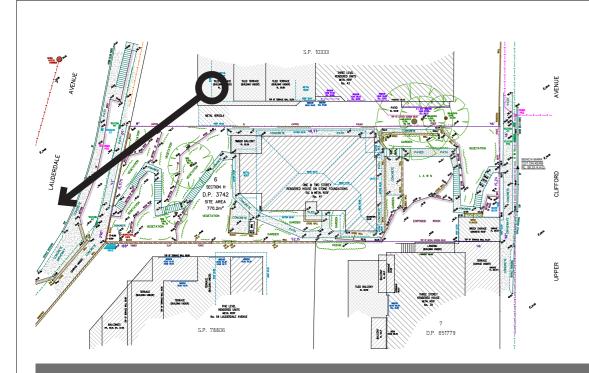


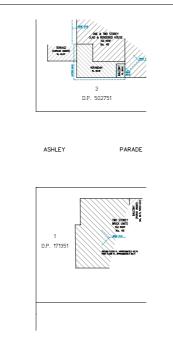
DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

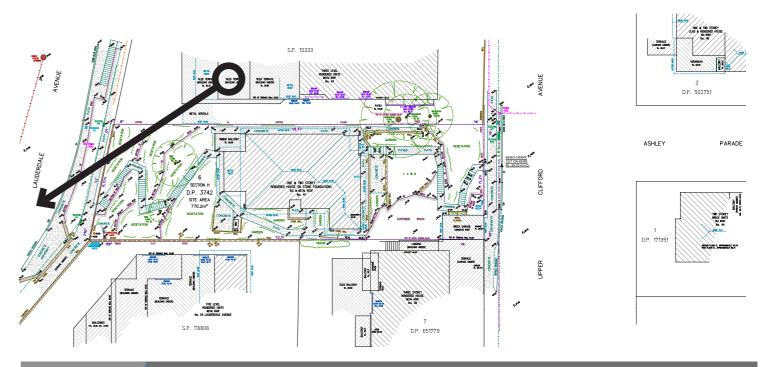
CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088

REVISION

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LAUDERDALE AVE 54 TOP FLOOR **UNIT 2 TERRACE** WATERLINE GLASS BALUSTRADE **TERRACE RL 52.33**

04

VIEW FROM 43 UPPER CLIFFORD AVE SOUTH TERRACE AT RL 52.33 (SURVEYED RL)

05 VIEW FROM 43 UPPER CLIFFORD AVE SOUTH TERRACE AT RL 49.33 (ESTIMATED RL)



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWIELING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

TOP FLOOR

UNIT 2 TERRACE

CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088

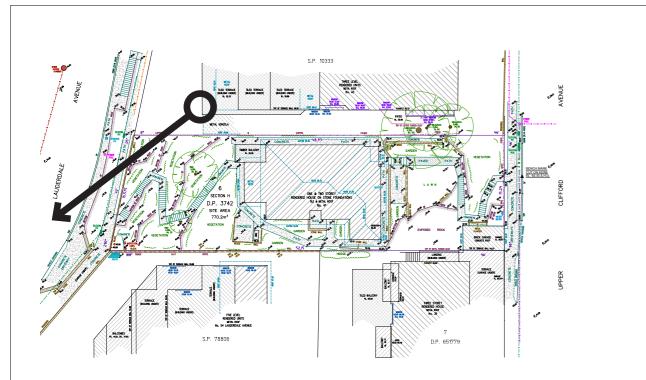
TERRACE RL 49.33

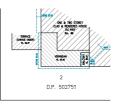


Suite 503, 39 East Esplanade Manly 2095 p. 02 9976 6666 abn. 74602856157 reminated architect Bidle Cauch Rev No. 838

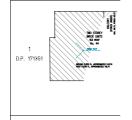


VIEW ANALYSIS SHEET 03		PROJECT
SCALE	STATUS	REVISION
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ASHLEY PARADE



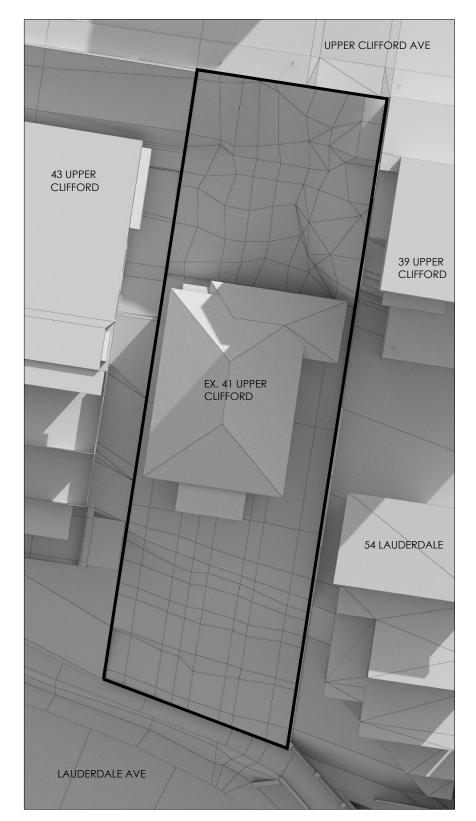


06 VIEW FROM 43 UPPER CLIFFORD AVE WINDOW OF THE SOUTH BEDROOM ON THE BOTTOM LEVEL

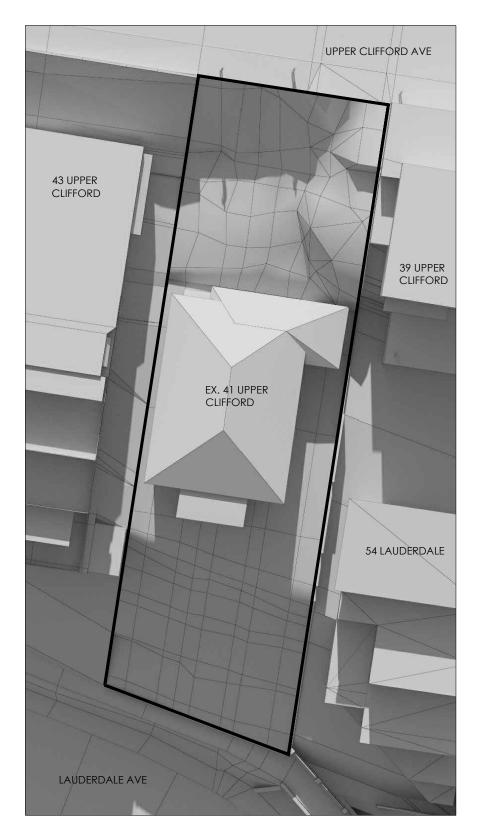


PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

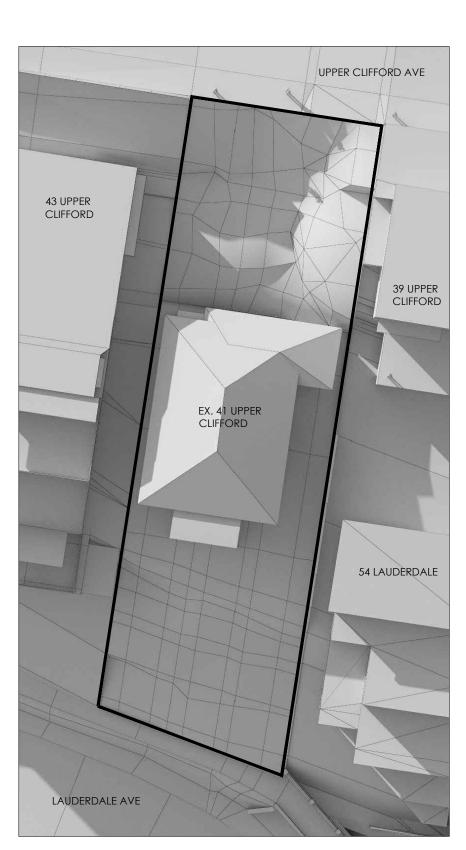
drawing title VIEW ANALYSIS SHEET 04		PROJECT UCS
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EXISTING HOUSE 21st JUNE 12pm



EXISTING HOUSE 21st JUNE 3pm



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

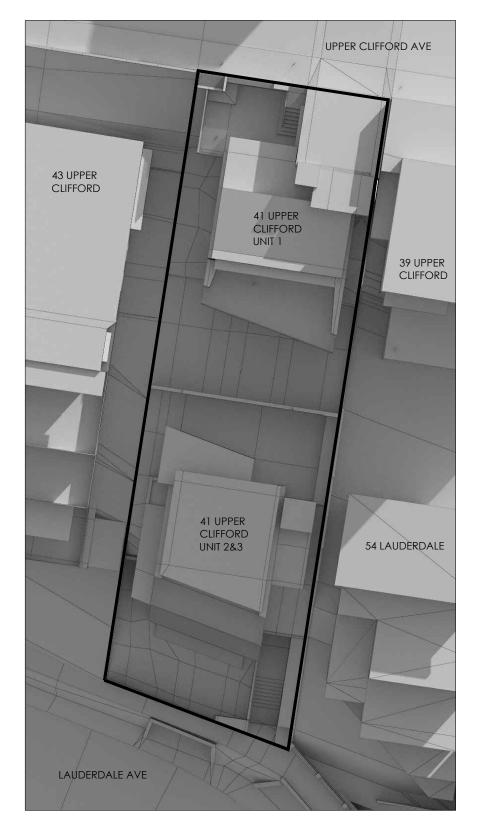
CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088

	drawing title		
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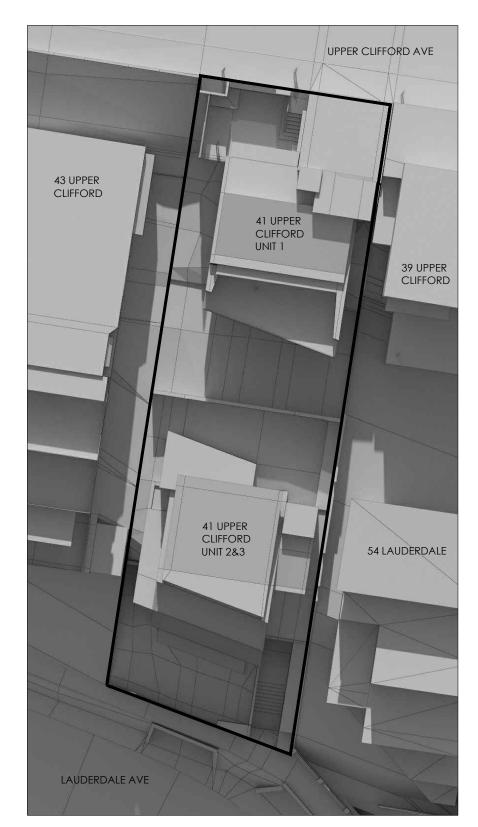
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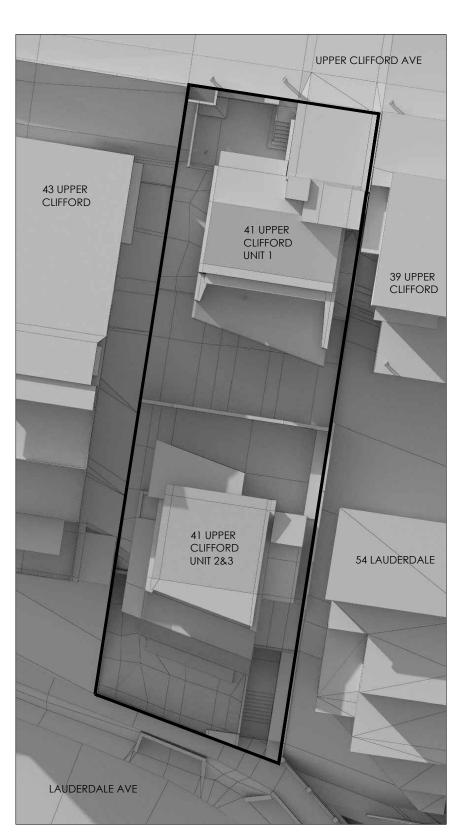
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PROPOSED DEVELOPMENT 21st JUNE 9am



PROPOSED DEVELOPMENT 21st JUNE 12pm



PROPOSED DEVELOPMENT 21st JUNE 3pm

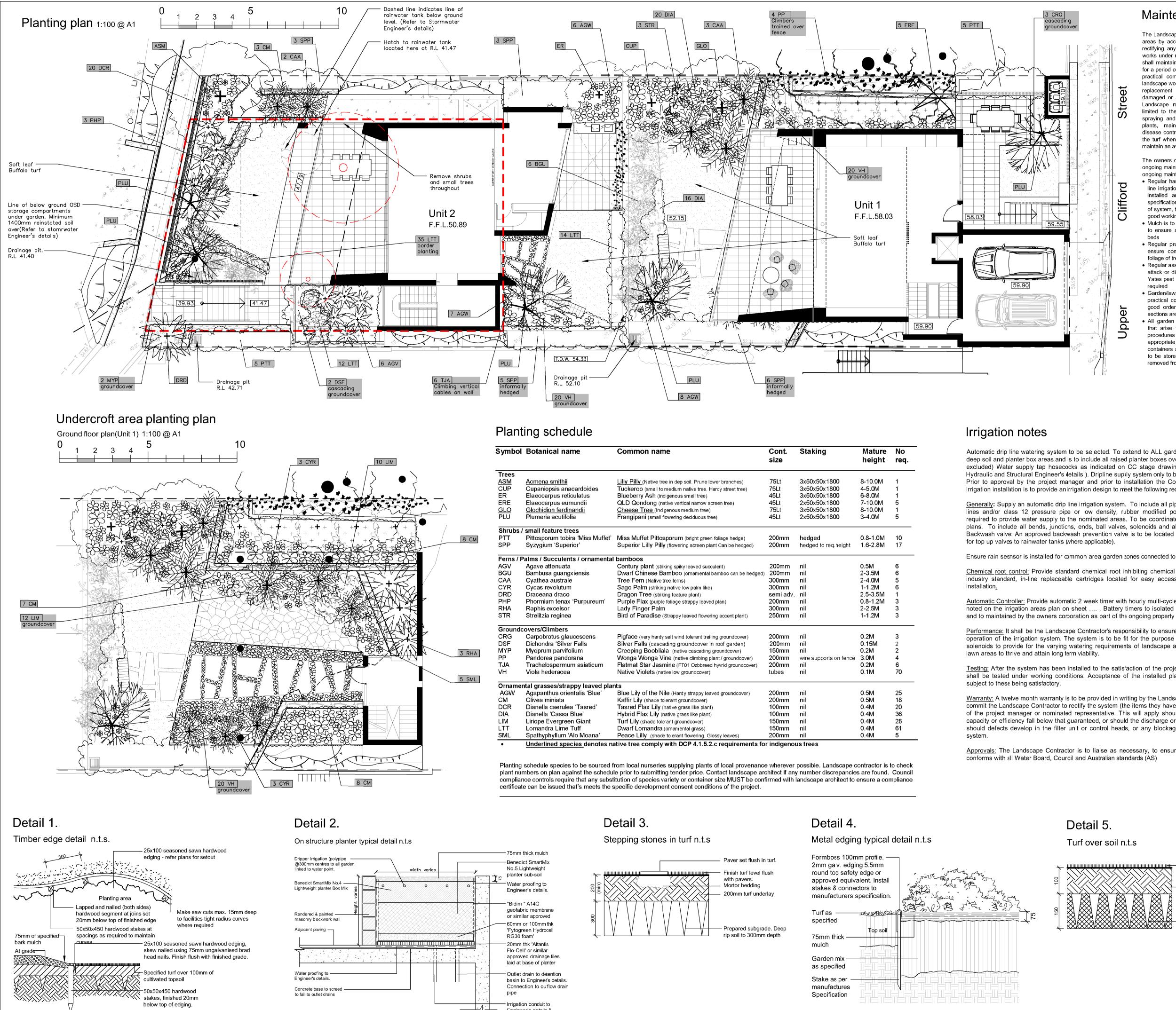




PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

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Engineer's details & specifications

nical name	Common name	Cont. size	Staking	Mature height	No req
na smithii	Lilly Pilly (Native tree in dep soil. Prune lower branches)	75Lt	3x50x50x1800	8-10.0M	1
niopsis anacardoides	Tuckeroo (small to medium native tree. Hardy street tree)	75Lt	3x50x50x1800	4-5.0M	1
carpus reticulatus	Blueberry Ash (indigenous small tree)	45Lt	3x50x50x1800	6-8.0M	1
carpus eumundii	QLD Qondong (native vertical narrow screen tree)	45Lt	2x50x50x1800	7-10.0M	5
idion ferdinandii	Cheese Tree (Indigenous medium tree)	75Lt	3x50x50x1800	8-10.0M	1
eria acutifolia	Frangipani (small flowering deciduous tree)	45Lt	2x50x50x1800	3-4.0M	5
feature trees					
oorum tobira 'Miss Muffet'	Miss Muffet Pittosporum (bright green foliage hedge)	200mm	hedged	0.8-1.0M	10
ium 'Superior'	Superior Lilly Pilly (flowering screen plant Can be hedged)	200mm	hedged to req.height	1.6-2.8M	17
Succulents / ornamental					
e attenuata	Century plant (striking spiky leaved succulent)	200mm	nil	0.5M	6
usa guangxiensis	Dwarf Chinese Bamboo (ornamental bamboo can be hedged)	200mm	nil	2-3.5M	6
ea australe	Tree Fern (Native tree ferns)	300mm	nil	2-4.0M	5
revolutum	Sago Palm (striking native low palm like)	300mm	nil	1-1.2M	6
ana draco	Dragon Tree (striking feature plant)	semi adv.		2.5-3.5M	1
nium tenax 'Purpureum'	Purple Flax (purple foliage strappy leaved plan)	200mm	nil	0.8-1.2M	3
s excelsor	Lady Finger Palm	300mm	nil	2-2.5M	3
zia reginea	Bird of Paradise (Strappy leaved flowering accent plant)	250mm	nil	1-1.2M	3
Climbers					
brotus glaucescens	Pigface (very hardy salt wind tolerant trailing groundcover)	200mm	nil	0.2M	3
ndra 'Silver Falls	Silver Falls (cascading groundcover in roof garden)	200mm	nil	0.15M	2
um parvifolium	Creeping Boobliala (native cascading groundcover)	150mm	nil	0.2M	2
orea pandorana	Wonga Wonga Vine (native climbing plant / groundcover)	200mm	wire supports on fence	3.0M	4
elospermum asiaticum	Flatmat Star Jasmine (FT01 Ozbbreed hyvrid groundcover)	200mm	nil	0.2M	6
nederacea	Native Violets (native low groundcover)	tubes	nil	0.1M	70
isses/strappy leaved pla					
inthus orientalis 'Blue'	Blue Lily of the Nile (Hardy strappy leaved groundcover)	200mm	nil	0.5M	25
miniata	Kaffir Lily (shade tolerant groundcover)	200mm	nil	0.5M	18
lla caerulea 'Tasred'	Tasred Flax Lily (native grass like plant)	100mm	nil	0.4M	20
lla 'Cassa Blue'	Hybrid Flax Lily (native grass like plant)	100mm	nil	0.4M	36
e Evergreen Giant	Turf Lily (shade tolerant groundcover)	150mm	nil	0.4M	28
ndra Lime Tuff	Dwarf Lomandra (ornamental grass)	150mm	nil	0.4M	61
yphyllum 'Alo Moana'	Peace Lilly (shade tolerant flowering. Glossy leaves)	200mm	nil	0.4M	5

Automatic drip line watering system to be selected. To extend to ALL garden areas nominated on the deep soil and planter box areas and is to include all raised planter boxes over slab. (all lawn areas to be excluded) Water supply tap hosecocks as indicated on CC stage drawings.(To be coordinated with Hydraulic and Structural Engineer's details). Dripline supply system only to be iincorporated. Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropeyline reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, juncticns, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source

Ensure rain sesnsor is installed for common area garden zones connected to timers

Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet Battery timers to isolated planter boxes is acceptable and to maintained by the owners corporation as part of the ongoing property maintenanace.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be

<u>Warranty</u>: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system

Maintenance schedule

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twenty six (26) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the turf when it is established at regular intervals to maintain an average height of 50mm.

The owners of the residence are responsible for the ongoing maintenance and viability of the gardens and ongoing maintenance shall include the following:

- Regular hand watering of gardens if installed drip line irrigation system is turned off. Irrigation to be installed and maintained as per manufacturers specifications including regular checks for function of system, to check for leaks and to ensure general good working operation.
- Mulch is to be regularly topped up every 6 months to ensure an even 75mm coverage in all garden
- Regular pruning of plants is to be undertaken to ensure continued uniform growth of canopy and foliage of trees and shrubs.
- Regular assessment of plants for evidence of insect attack or disease. Appropriate pest oil, white oil of Yates pest spray or equivalent is to be employed if
- Garden/lawn edging to be inspected regularly after practical completion to ensure it is maintained in good order. Replace where required if defective sections are discovered
- All garden refuse, rubbish and associated items. that arise from the regular garden maintenance procedures are to be collected and stored in appropriate general waste or green waste containers as is appropriate. Excess waste unable to be stored in Council waste containers is to be removed from the site is a timely manner.

Turf laid as indicated on plan. Thoroughly water in. 100mm turf underlay

supplied by A.N.L.

Prepared subgrade. Deep rip soil to 150mm depth

General construction notes

1. Site preparation

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or armoring where necessary. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any

2. Soil preparation

All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker. Apply at least 200mm depth good quality garden soil mix to all garden planting areas. To comply with AS 4419 Turfed areas as noted to be laid over 100mm min. good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. To be worked in with rotary hoe except where tree root damage would otherwise occur. In such situations care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees and to comply with the requirements of the Arborist's report. Where planting is to occur in existing soil profiles ensute soil conditioners and compots worked into the top 200mm profile. To comply with AS 4454:1999.

3. New plantings

Newly planted trees and large shrubs should be secured to stakes with hessian ties to prevent rocking by wind. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Also shallow soils in certain locations may affect planting heights. Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

4. Planter boxes & waterproofing.

All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric or similar approved. (see planter drainage detail this drawing package) Refer Engineer's details for ALL structural, drainage and installation details whatsoever for planter box construction. All internal planter slab levels to have mortar screed to fall to drainage outlets as nominated by the Stormwater Engineering details. All planting containers to have the following soils:

- · Benedicts Smart Mix no. 4 Lightweight Planter Mix (or approved equivalent) to min. 300mm depth. To be installed over Benedicts light weight No.5 light weight sub-soil mix (or approved equivalent). To comply with AS 4419 and AS 3743
- · All planter boxes are to have automatic dripline irrigation system Connecting pipes/conduit to be cast into slab structures prior to slab pour to be coordinated with the Structural Engineer's plans.
- Landscape contractor to install all planter box fill material and plant material after other site works are completed to ensure no deterioration of waterproof membrane. To be confirmed by Engineers and project manager to confirm the integrity of the engineer's specified waterproofing of the planter boxes at time of soil and plant installation.

5. Mulching

All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454

6. Fertliser All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser

7. Staking To those plants indicated on the planting schedules provide: hardwood stakes as nominated and driven into ground to a depth able to achieve rigid support. No staking in raised planters to avoid damaging waterproofing installation

8. Lawn edging All ground level garden beds adjacent to site boundary or paved areas to have edging as noted on the details plan.

9. Turfing Turfed areas to be to be laid over 100mm good quality turf underlay over existing soil which is to be deep ripped to 200mm depth prior to installation. See details sheet

10. Structural All structural details whatsoever to Engineer's details.



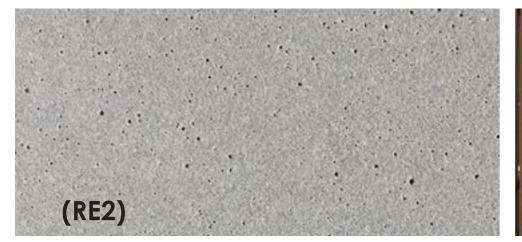


STANDING SEAM COPPER / COPPER-LOOK CLADDING OR SIMILAR

VERTICAL GAP ARCHITECTURAL CLADDING (COMPOSITE / FC); CHARCOAL COLOUR

(CL2)

(RE1)

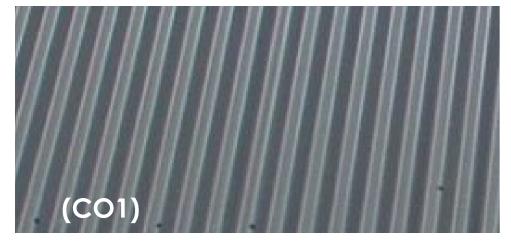


PIGMENTED CEMENT RENDER W/ COARSE GRAIN; MID TONE NATURAL COLOUR IE. DULUX TIMELESS GREY OR SIMILAR



PIGMENTED CEMENT RENDER W/ COARSE GRAIN; MID TONE NATURAL COLOUR IE. DULUX TIMELESS GREY OR SIMILAR





METAL ROOFING; MEDIUM GREY COLOUR IE. COLORBOND BASALT **OR SIMILAR**



DRY STACK SANDSTONE CLADDING



PROJECT DETAILS DUAL OCCUPANCY WITH BASEMENT CARPARKING AND SINGLE DWELLING AT 41 UPPER CLIFFORD AVE FAIRLIGHT NSW 2094

CLIENT CARL OSCAR PETERSON AND HEATON FAMILY INVESTMENTS PTY LTD, 643 MILITARY ROAD MOSMAN NSW 2088



PIGMENTED CEMENT RENDER W/ FINE GRAIN; SOFT TONE NATURAL COLOUR IE. DULUX LIME WHITE QUARTER OR SIMILAR

POWDERCOATED METAL FASCIAS AND LINING, STAINLESS STEEL / ALUMINIUM SUBSTRATE; CHARCOAL COLOUR

DRAWING TITLE			
EXTERNAL FINISHES SCHEDULE			
SCALE	STATUS	REVISION	
NTS	DA	В	



