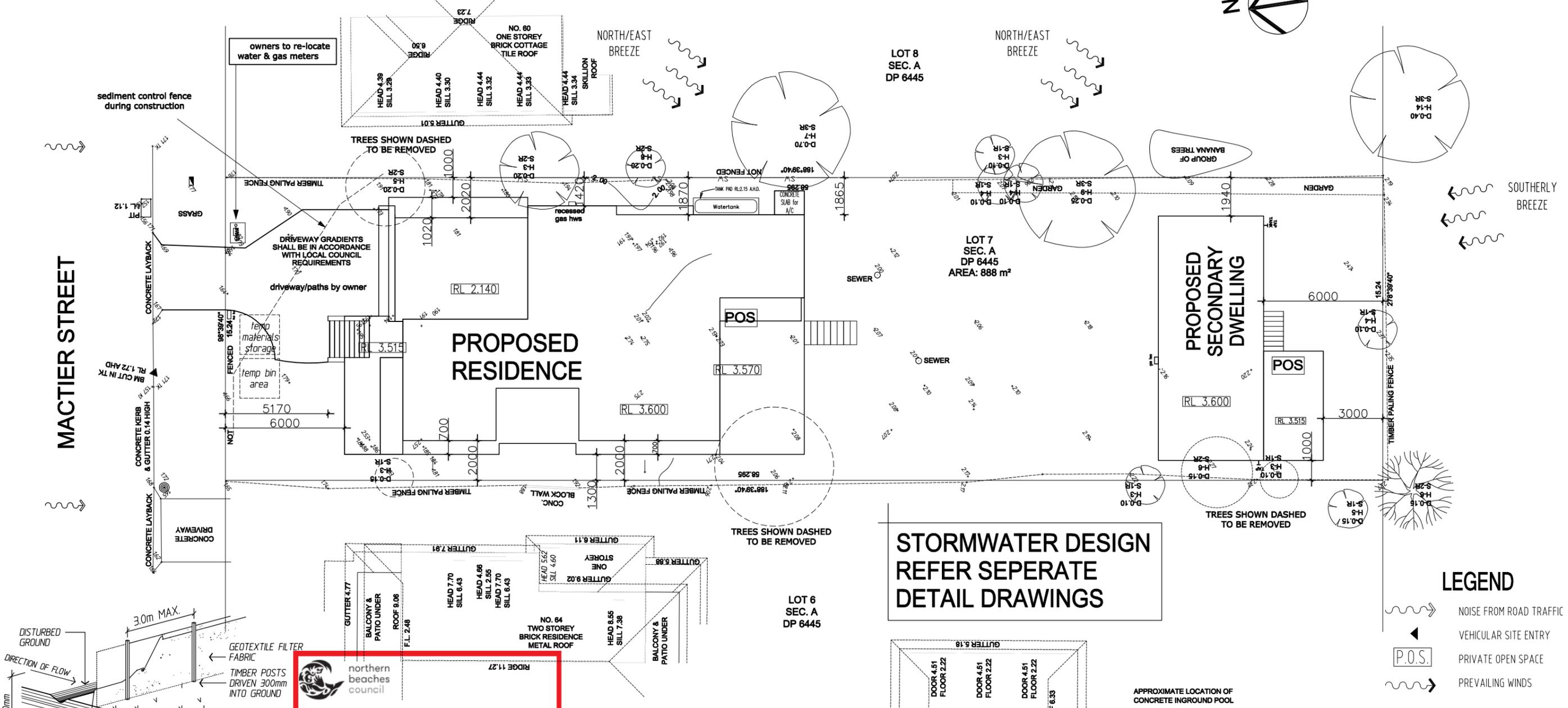


Site Area: 888m²
 Driveway/paths: 47m²
 Site Coverage: 362m² = 40.8%
 Max. building height: 8.6m

NOTE: THE OWNER HAS PROVIDED TULLIPAN HOMES WITH THE REQUIRED FINISHED FLOOR LEVELS AS SHOWN ON THE PLANS. ALL PROPOSED FLOOR LEVELS ARE SUBJECT TO COUNCIL APPROVAL.

CUSTOM

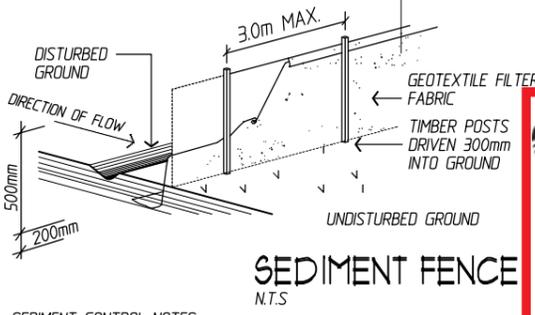


**STORMWATER DESIGN
 REFER SEPERATE
 DETAIL DRAWINGS**

LEGEND

- NOISE FROM ROAD TRAFFIC
- VEHICULAR SITE ENTRY
- PRIVATE OPEN SPACE
- PREVAILING WINDS

**SITE PLAN / ANALYSIS
 SCALE 1:200**



- SEDIMENT CONTROL NOTES**
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
 - ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 - SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 - ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 - SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 - FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

**THIS PLAN IS TO BE READ IN
 CONJUNCTION WITH
 THE CONDITIONS OF DEVELOPMENT
 CONSENT**
DA2020/0434

NATIONALWIDE HOUSE
 Average star rating 5.2
 Certificate no.: 0004683950
 Assessor Name: Daniel Warda
 Accreditation no.: 101182
 Certificate date: 18 March 2020
 Dwelling Address: 62 Mactier Street Narrabeen, NSW 2101
 www.nathers.gov.au

BOUNDARY NOTE
 BOUNDARY INFORMATION SUPPLIED BY BUILDER. CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTE
 BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK. BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

COUNCIL NOTES:
 - NO WATERWAYS, WATERCOURSES OR EXISTING DRAINAGE PROBLEMS
 - EASEMENTS SHOWN ON SITE PLAN
 - EXISTING VEGETATION SHOWN ON SITE PLAN
 - STORMWATER DISPOSED OF TO COUNCIL'S REQUIREMENTS

CAUTION:

- UTILITY SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR CONFIRMATION OF LOCATION OF SERVICES. **** DIAL BEFORE YOU DIG (CALL 1100) ****
- THE BOUNDARIES SHOWN HEREON ARE APPROXIMATE ONLY. FOR ANY CONSTRUCTION ACTIVITIES PROPOSED IN CLOSE PROXIMITY TO THE BOUNDARIES, IT IS RECOMMENDED THAT THOSE BOUNDARIES BE MARKED TO AVOID POSSIBILITY OF ENCROACHMENT.



CLIENT	A & M POPOVSKI	
JOB	PROPOSED RESIDENCE	
LOCATION	62 Mactier St Narrabeen	
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.		
SHEET	DATE	DWG No.
1 of 15	23/03/2020	7292-wd8

plan prepared by
TULLIPAN HOMES

TULLIPAN HOMES PTY LTD

Lic. No. 131446C

PH 02 4353 8644
 FAX 02 4353 8655
 www.tullipanhomes.com.au
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 Level 4, Suite 410
 1 Bryant Drive
 Tuggerah NSW 2259
 PO Box 5148
 CHITTAWAY BAY NSW 2261

00/00/00	#	REVISION

FIXING LEGEND

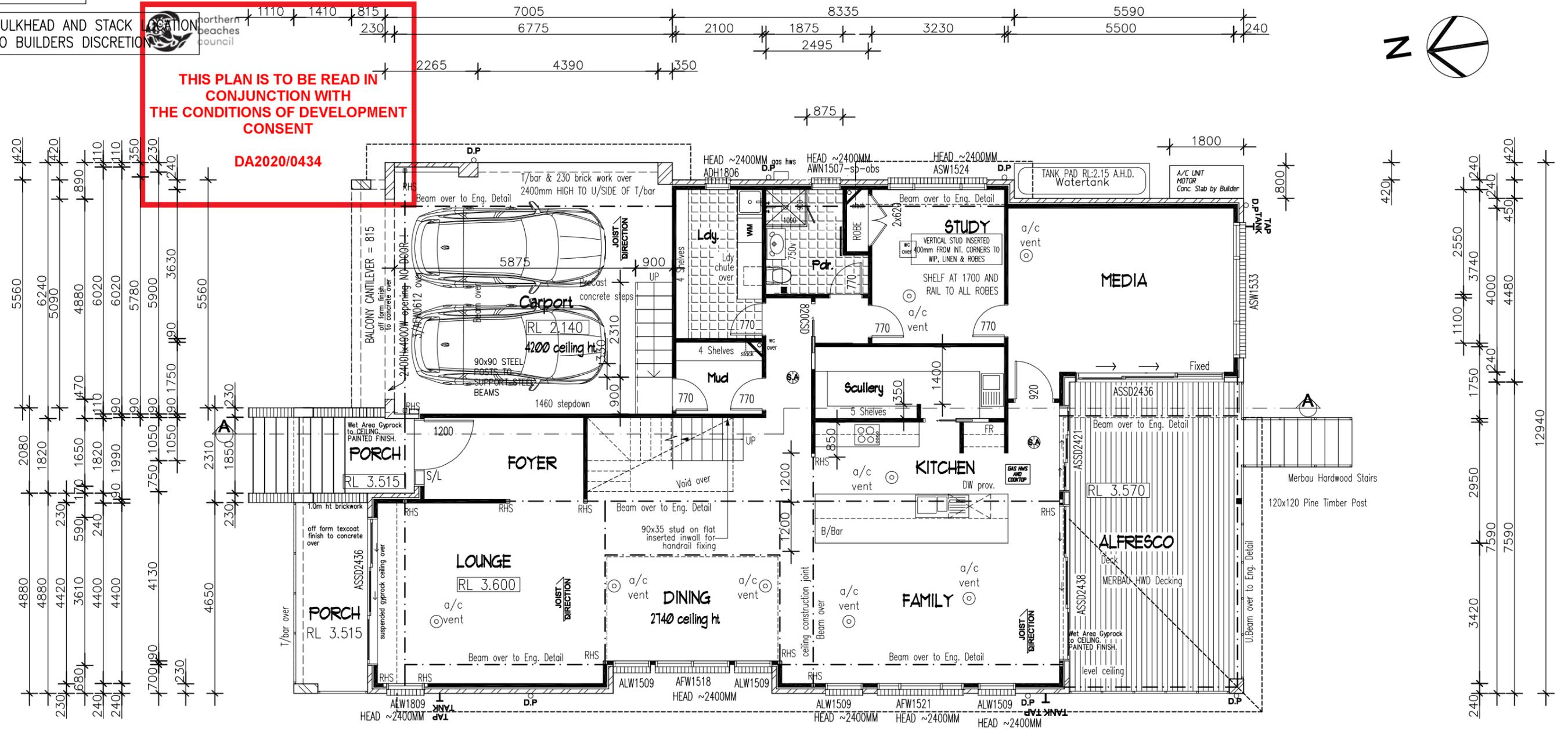
TOWEL RAIL	—
TOILET ROLL	■

BULKHEAD AND STACK TO BUILDERS DISCRETION



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0434



R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

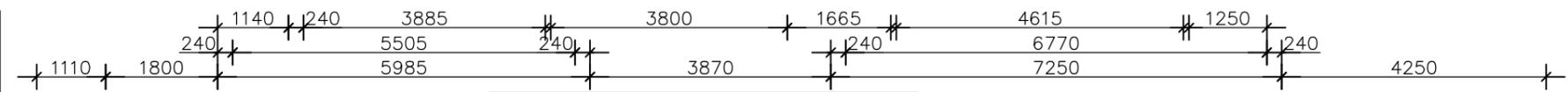
R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

air conditioning locations, "locations are intended, however may vary if the home structure dictates otherwise", this applies to all air conditioning details signed off by clients.

Certificate no.: 0004683950
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GROUND FLOOR PLAN

SCALE 1:100



AREAS:

Porch:	12.1m ²
Garage:	43.0m ²
Ground Floor:	185.8m ²
Alfresco:	32.3m ²
First Floor:	197.7m ²
Balcony:	24.1m ²
TOTAL:	495m²
	53.3 SQUARES

CLIENT	A & M POPOVSKI	
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3 of 15	23/03/2020	7292-wd8

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TULLIPAN HOMES

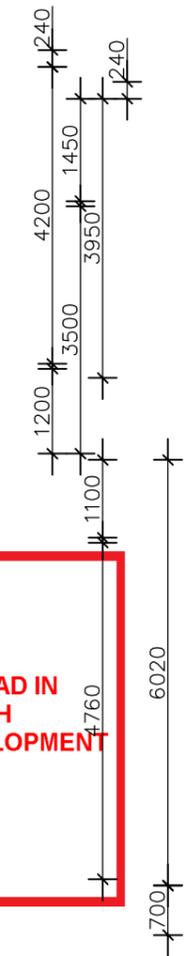
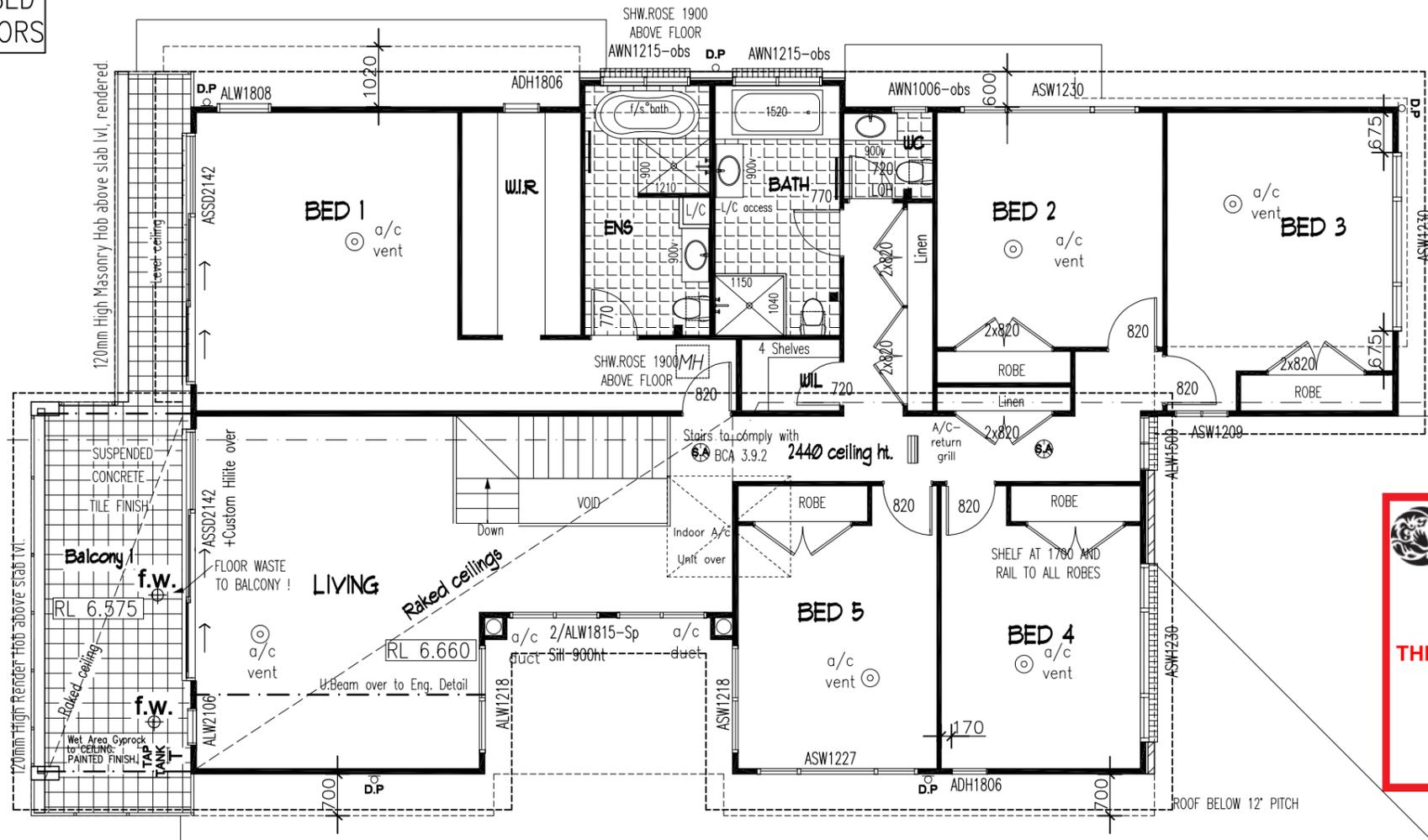
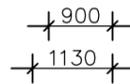
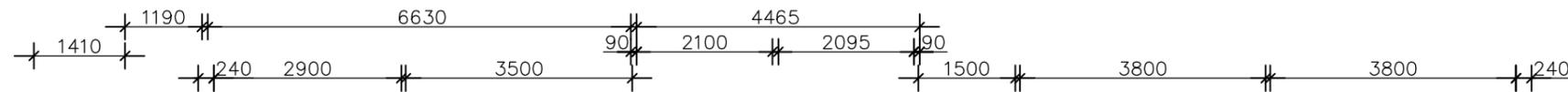
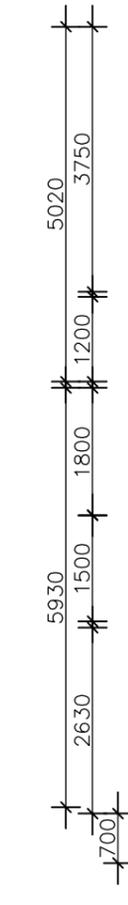
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FIXING LEGEND

TOWEL RAIL	—
TOILET ROLL	■

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

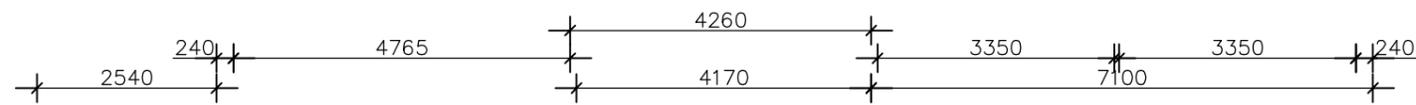
R4.0 BULK INSULATION TO BED 1, WIR & BED 3 CANTILEVERED FLOORS




 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0434

R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

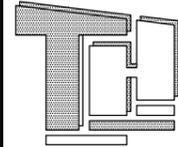


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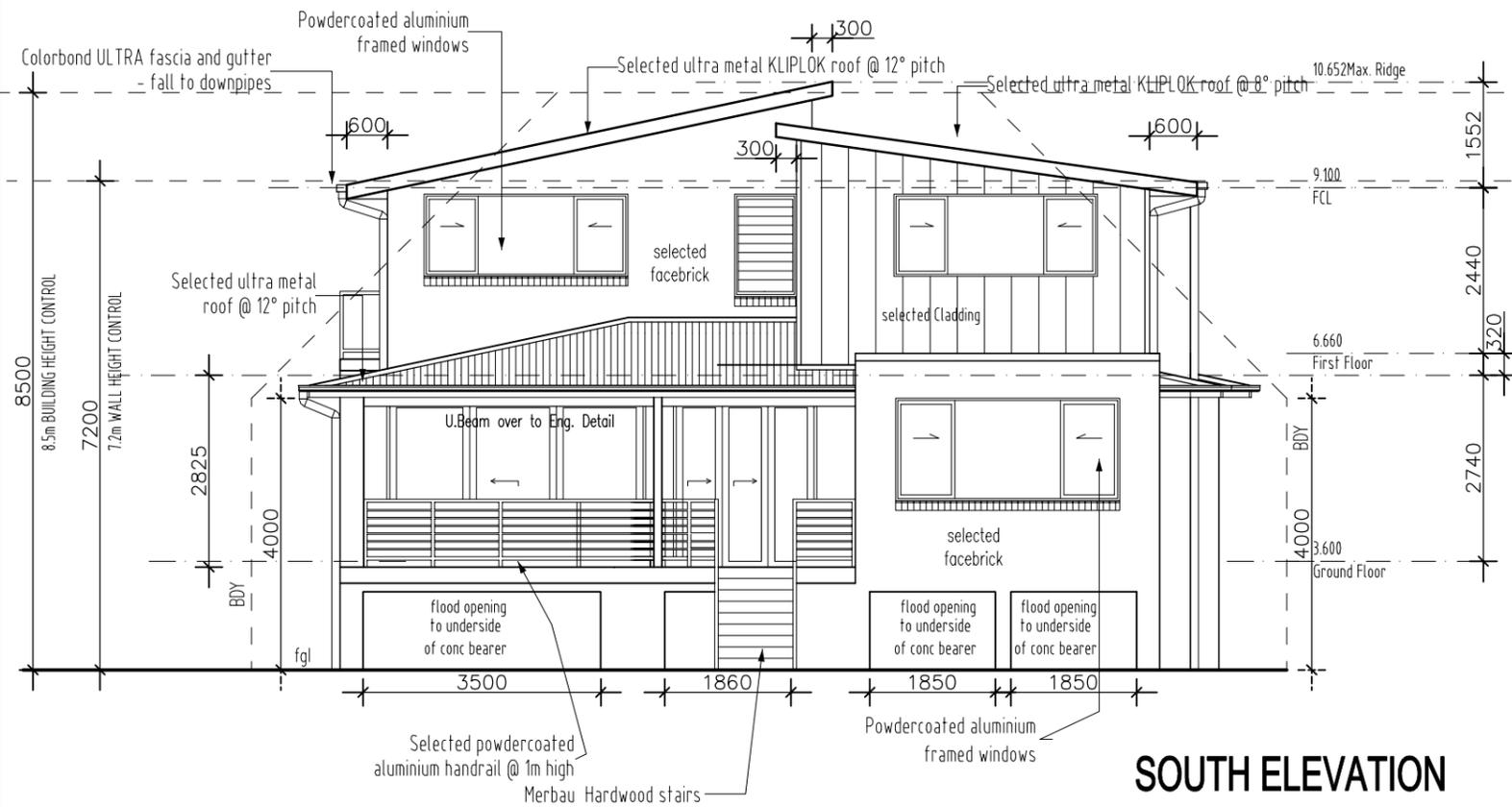
plan prepared by
TULLIPAN HOMES

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ALL GROUND FLOOR WINDOWS to be POSITIONED @ APPROX ~2400MM Head Height

EAST ELEVATION
SCALE 1:100



ALL GROUND FLOOR WINDOWS to be POSITIONED @ APPROX ~2400MM Head Height

SOUTH ELEVATION
SCALE 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0434

NATIONWIDE HOUSE
ENERGY RATING SCHEME

Average star rating: **5.2**

Certificate no.: 0004683950
Assessor Name: Daniel Warda
Accreditation no.: 101182
Certificate date: 18 March 2020
Dwelling Address: 62 MacTier Street, Narrabeen, NSW 2101
www.nathers.gov.au

00/00/00	#	REVISION

CLIENT	A & M POPOVSKI
JOB	PROPOSED RESIDENCE
LOCATION	62 Mactier St Narrabeen
- BUILDER TO CHECK ALL DETAILS AND DIMENSIONS PRIOR TO CONSTRUCTION. - FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE.	
SHEET	DATE
6 of 15	23/03/2020
DWG No.	7292-wd8

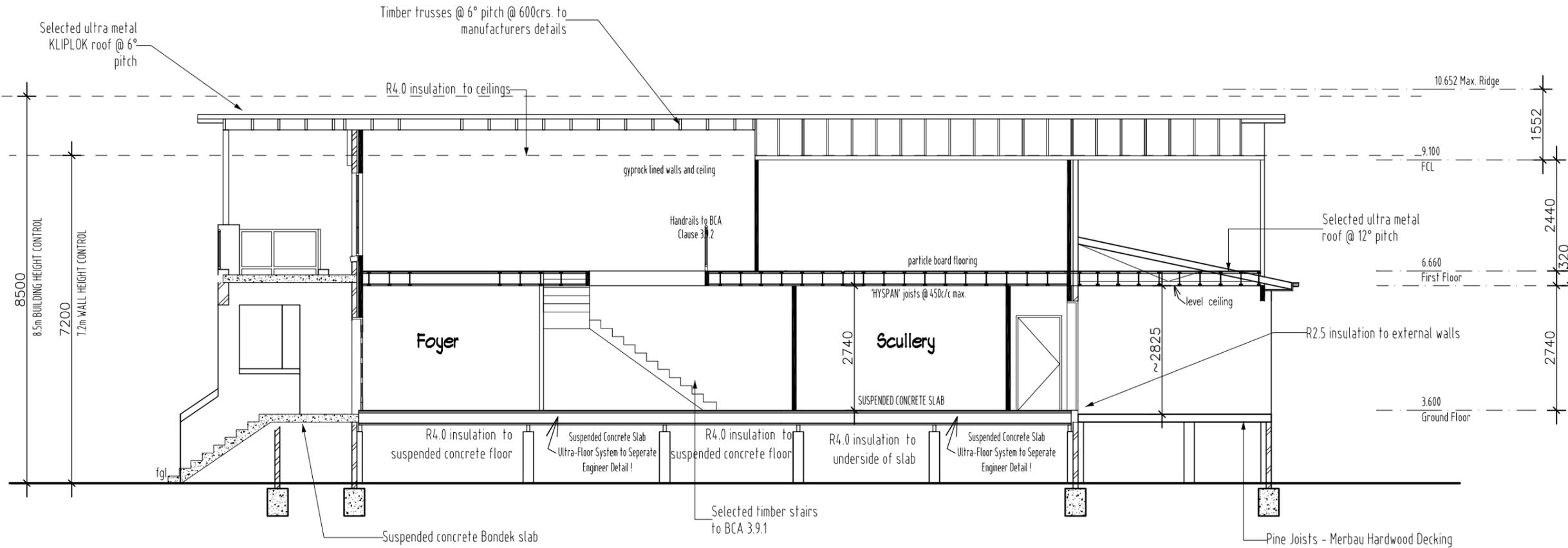
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SUSPENDED TIMBER FLOORS
 * GALVANISED ANTI-CAPPING TO BRICK PIERS & FOUNDATION WALLS
 * REINF. CONC. FOUNDATIONS TO ENGINEER'S DETAIL

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS

STAINLESS STEEL COLLARS TO ALL SLAB PENETRATIONS PERMANENT EXPOSED SLAB EDGE TERMIMESH TREATMENT AS PER SPEC.

19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS

HANDRAILS TO BCA 3.9.2

STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS

NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684

NOTE: Wet area waterproofing installation as per AS3740

Stainless steel collars to all slab penetrations permanent exposed slab edge termimesh treatment as per spec.

Where applicable structural concrete piers through fill to engs. details

R4.0 BULK INSULATION TO UNDERSIDE OF SLAB

R4.0 BULK INSULATION TO BED 1, WIR & BED 3 CANTILEVERED FLOORS

R2.5 HIGH DENSITY INSULATION TO ALL EXTERNAL WALLS

R4.0 BULK INSULATION TO ALL CEILINGS OVER LIVING AREAS (EXCL. CARPORT)

SECTION A-A

SCALE 1:100

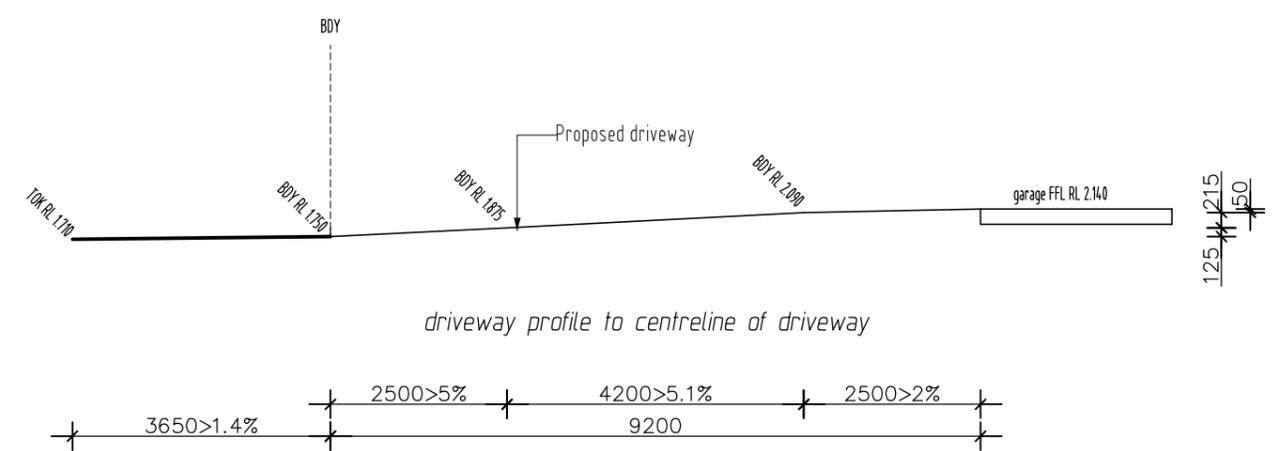
BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.18(b) BELOW FOR CONFIRMATION. BCA 3.3.18

- (b) Articulation joints must have a width not less than 10mm and be provided
- (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and
 - (ii) where the height of the wall changes by more than 20%, at the position of change in height; and
 - (iii) where openings more than 900x900mm occur, at not more than 5m centres, and positioned in line with one edge of the opening; and
 - (iv) where walls change in thickness; and
 - (v) at control or construction joints in footing slabs; and
 - (vi) at junctions of walls constructed of different masonry materials; and
 - (vii) at deep chases (rebates) for service pipes.

ENGINEER

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEERS CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT OF ANY WORKS. THESE DRAWINGS ARE TO BE THEN READ IN CONJUNCTION WITH ENGINEERS PLANS AND DOCUMENTS, WITH ENGINEERS REFERENCES TAKING PRECEDENCE.



DRIVEWAY PROFILE

SCALE 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0434

5.2 Average star rating

NATIONWIDE HOUSE ENERGY RATING SCHEME

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 Assessor Name: Daniel Warda
 Accreditation no.: 101182
 Certificate date: 18 March 2020
 Dwelling Address: 62 Mactier Street Narrabeen, NSW 2101

www.nathers.gov.au

CLIENT	A & M POPOVSKI
JOB	PROPOSED RESIDENCE
LOCATION	62 Mactier St Narrabeen

plan prepared by
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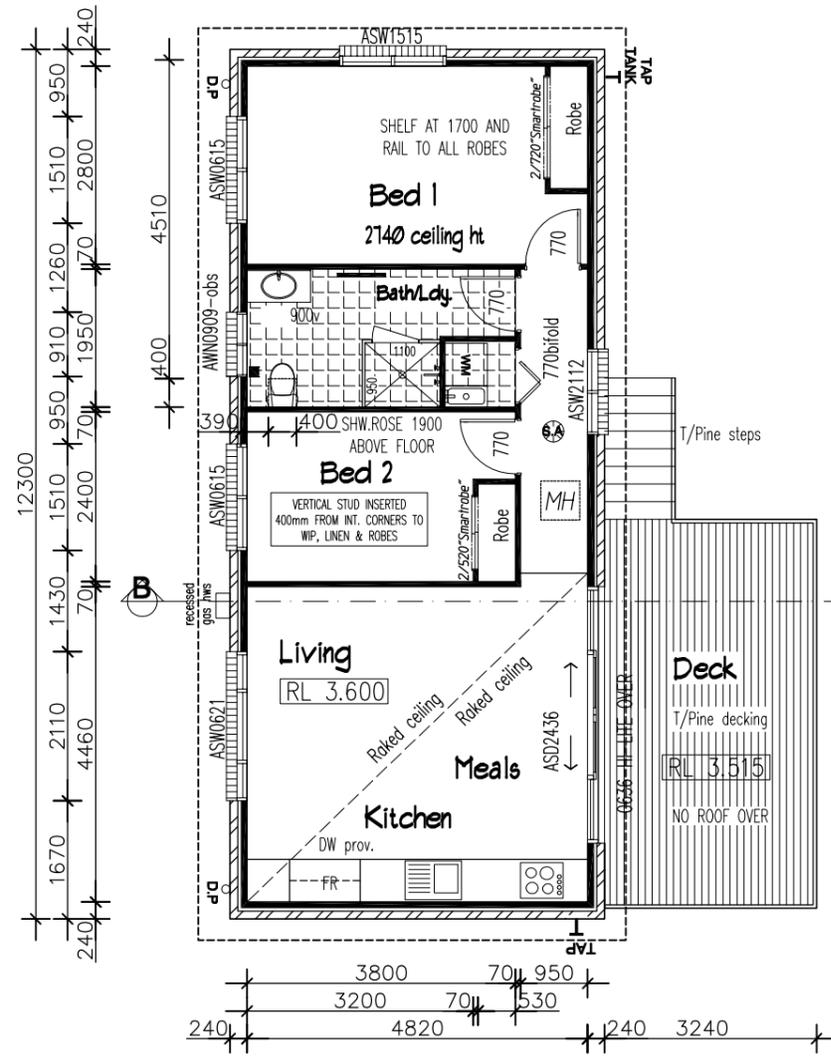
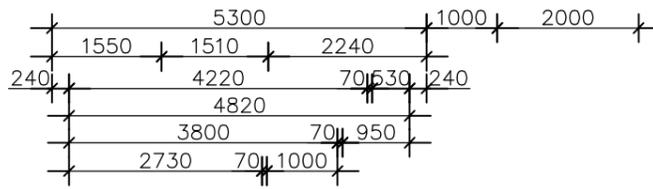
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SHEET	DATE	DWG No.
7 of 15	23/03/2020	7292-wd8

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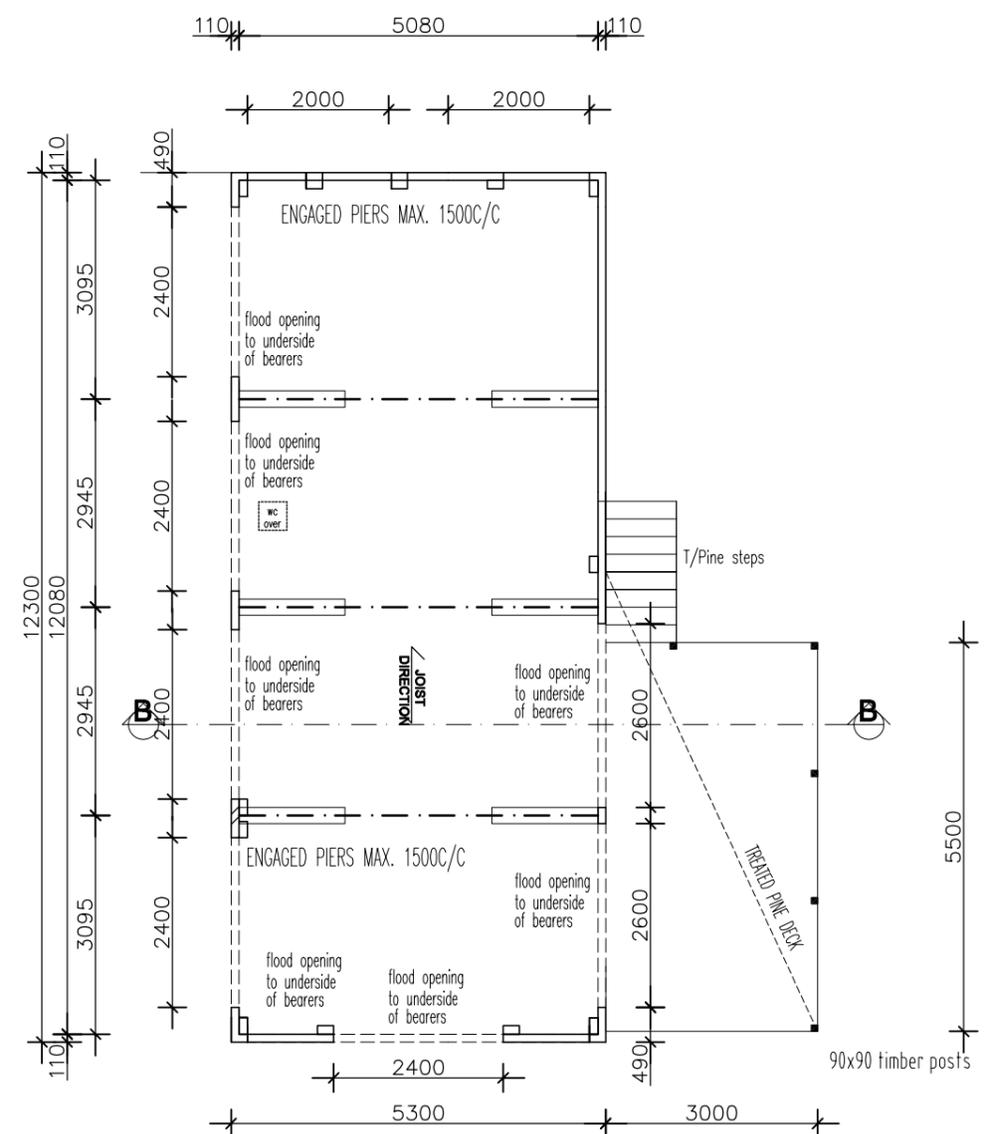
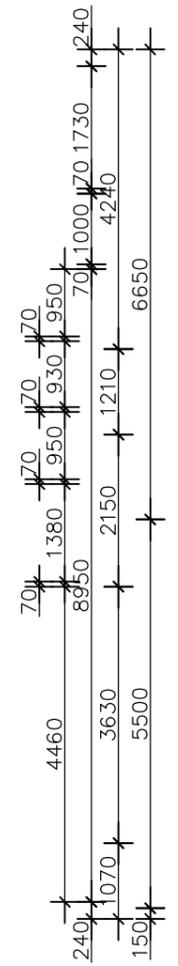
FIXING LEGEND

- TOWEL RAIL ———
- TOILET ROLL ■

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION



GROUND FLOOR PLAN (secondary dwelling)
 SCALE 1:100



SUB-FLOOR PLAN (secondary dwelling)
 SCALE 1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0434

AREAS:

Secondary Dwelling:	60.0m ²
Deck:	17.5m ²
TOTAL:	77.5m²

5.2
 Average star rating

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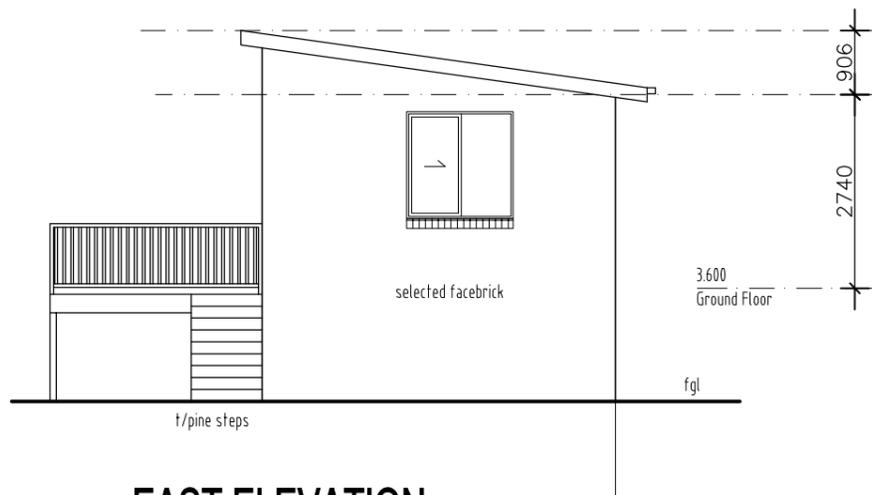
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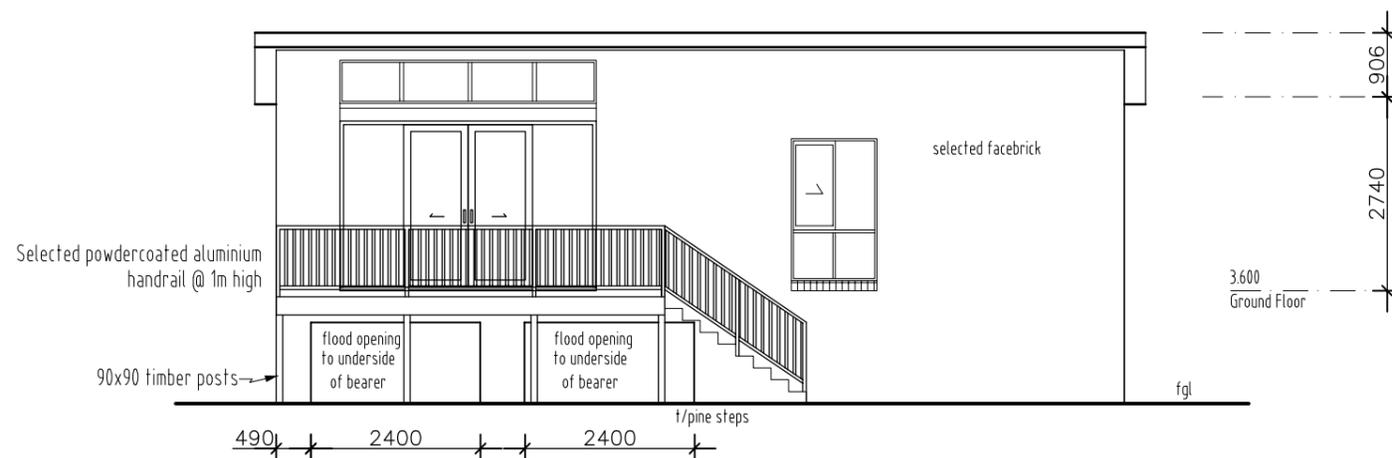


EAST ELEVATION
SCALE 1:100

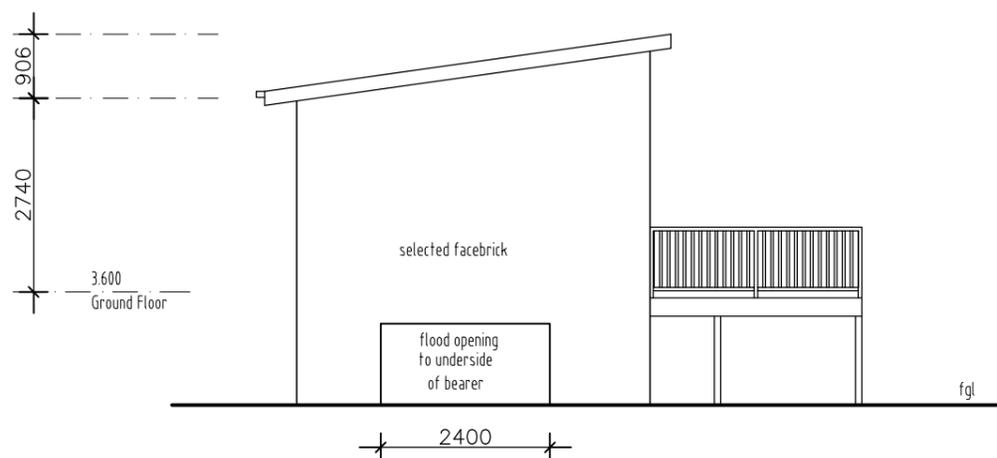

 northern
beaches
council

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SOUTH ELEVATION
SCALE 1:100

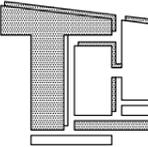


WEST ELEVATION
SCALE 1:100



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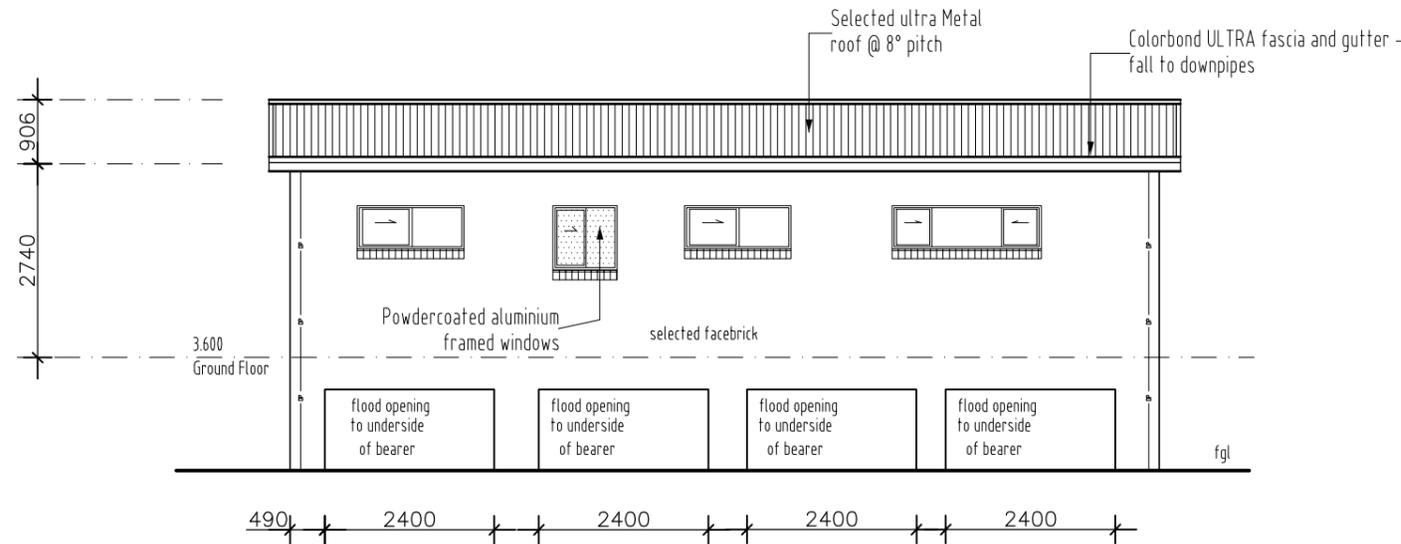


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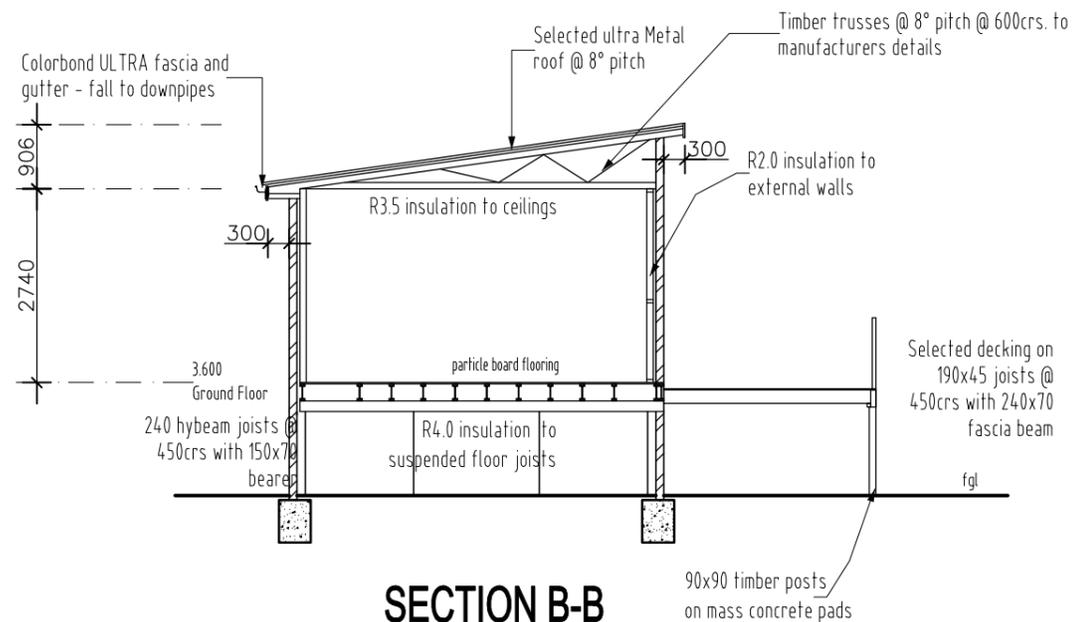


NORTH ELEVATION
SCALE 1:100



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0434



SECTION B-B
SCALE 1:100

BRICKLAYER

LOCATION OF VERTICAL CONTROL JOINTS SHOWN ON PLAN TO BE USED AS GUIDE ONLY. REFER TO BCA 3.3.1.8(b) BELOW FOR CONFIRMATION.
BCA 3.3.1.8

- (b) Articulation joints must have a width not less than 10mm and be provided
- (i) in straight, continuous walls having no openings, at not more than 6m centres and not closer than the height of the wall away from corners; and
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ENGINEER

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SUSPENDED TIMBER FLOORS
* GALVANISED ANT CAPPING TO BRICK PIERS & FOUNDATION WALLS
* REINF.CONC. FOUNDATIONS TO ENGINEER'S DETAIL

BULKHEAD AND STACK LOCATION TO BUILDERS DISCRETION

BRACING, TIE DOWN AND GLAZING DETAILS TO ENGINEERS SPECIFICATIONS

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19mm COMPRESSED FC SHEETING PLUS WET AREA WATERPROOFING INSTALLATION AS PER AS 3740 TO WET ROOMS

HANDRAILS TO BCA 3.9.2

STAINLESS STEEL WALL TIES & GALVANIZING TO ANY EXPOSED BEAMS

NOTE: BLUE H2-F TIMBER FRAMING TO COMPLY WITH AS1684

NOTE: Wet area waterproofing installation as per AS3740

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Where applicable structural concrete piers through fill to engs. details



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