Project

PROPOSED NEW SINGLE DWELLING

Address

17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433

Client

PAGLIARO

Project Number

17.14

Date

23.03.2021

DRAWING LIST

-			
DA001	NEIGHBOUR NOTIFICATION PLAN 1	Α	23.03.2021
DA002	NEIGHBOUR NOTIFICATION PLAN 2	Α	23.03.2021
DA003	NEIGHBOUR NOTIFICATION PLAN 3	Α	23.03.2021
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DA703	SHADOW DIAGRAMS 21 JUNE 9 AM	Α	23.03.2021
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DA705	SHADOW DIAGRAM 21 JUNE 3 PM	Α	23.03.2021
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DA709	CUT & FILL PLAN	Α	23.03.2021
DA901	MATERIALS / WINDOW SCHEDULES	Α	23.03.2021





Single Dwelling

Certificate number: 870672S

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 130 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

· at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

BASIX Certificate Centre								
Thermal Comfort Specification Summary								
ABSA Assessor # 20322	SA Assessor # 20322 NatHERS Certificate # 0005830500							
The items specified below are those used in the above certificate, and should be cross-checked with the actual certificate								
Windows	Glass Type	Frame Type	U Value	SHGC Value				
ALM-001-01 A	Single Clear	Aluminium	6.70	0.57	To W11,W3, W21			
ALM-002-01 A	Single Clear	Aluminium	6.70	0.70	To W1, W22, W30			
ALM-004-01 A	Double Clear	Aluminium	4.80	0.59	To louvres			
ALM-003-03 A	Double Low E	Aluminium	4.30	0.47	To remaining Awning types			
V1 W-004-03 V	Double Low E	Aluminium	430	0.53	To remaining types			

NB: Screens required to windows in accordance with NCC to allow full opening and cross-flow.

	NB: Double	e Glazed could be substituted for single glazed with value tol	lerances as noted below - Sir	milar to ComfortPlus			
	Alternative products w	ith different glazing and frame types can be used if they have	e a lower U value and a SHG	C value tolerance of + or	r - 5%.		
External Wall Type		Insulation	Colour	Description			
Brick or block Retaining wall	s	None	NA	As per plans			
Brick - Face		None	Light	To Garage & Storage le	evels		
Cavity Brick		R1.5 (or total R Value 2.16)	Light	To Ground Floor			
Brick Veneer		R2.0 (or total R Value 2.56)	Light	To First Floor as per pla	ans		
FC Style Cladding on Frame	•	Sisalation+R2.5 (or total R Value 2.78)	Dark	To First Floor as per pla	ans		
Internal Wall Type		Insulation		Description			
Brick		R1.0		To the Walls of Stair A	ccess RL 85.15		
Brick		None		To Garage onto Storag	e areas, and Storage to Subfloor		
Brick		R1.5		To walls onto Garage f	rom GF		
Plasterboard + Frame		R2.0		To Laundry, WC and B	ath		
Plasterboard + Frame		None		To remainder as per pla	an		
Floor Type	Insulation	Floor Finishes		Description			
Concrete (SOG)	None	None		To Garage & Storage I	evels		
Concrete (Suspended)	R1.5	Tiles		To WC over Subfloor a	s per plan		
Concrete (Suspended)	R1.5	Timber Flooring	Timber Flooring		nd Floor over Subfloor as per plans		
Concrete (Suspended)	None	Tiles & Timber Concrete	Tiles & Timber Concrete		areas as per plan		
Framed	R2.5	Carpet & Tiles	Carpet & Tiles		der" areas		
Framed	None	Carpet, Timber & Tiles	Carpet, Timber & Tiles				
Ceiling Type		Insulation		Description			
None		None		To Garage			
None		None		To Storage areas unde	r Ground Floor		
Plasterboard		None	None		First Floor		
Plasterboard		R5.0	R5.0		To remainder as per plan		
Roof Type		Insulation	Colour	Description			
Concrete + Tiles (Terrace &	Deck)	Total R value of 0.39 Up & 0.39 Down	Medium	As per plans			
Metal Sheeting		Anticon 55 or similar	Light	As per plans			
External Shade Device	s:						
As per plans							
Additional items:							
Roof Ventilation: None			Ventilated Skyligh	hts:	N/A		
Sealed Exhaust Fans:	Yes (self closing)		Insulated Garage		Not required		
Seals to Windows: Yes - to AS2047			Approved Sealed	LED Downlights:	Yes (if downlights installed)		
Seals to doors:	Yes - to AS2047		Approved Downlight Covers: Yes (if o		Yes (if downlights installed)		
Seals to Garage door:	Not Required		Orientation to No	rth:	10°		
	NB: LED Downlights must be sealed to eliminate ventilation & approved to allow for insulation cover.						

Energy Commitments

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5

The cooling system must provide for day/night zoning between living areas and bedrooms.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5

The heating system must provide for day/night zoning between living areas and bedrooms.

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- · at least 4 of the bedrooms / study; dedicated
- · at least 3 of the living / dining rooms; dedicated
- · the kitchen; dedicated
- · all bathrooms/toilets; dedicated
- · the laundry; dedicated
- · all hallways; dedicated

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must install a fixed outdoor clothes drying line as part of the development.

The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.

URSINO **ARCHITECTS**

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

23.03.2021

NB: Builder to ensure compliance with all relevant NCC requirements

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

PAGLIARO

ADDRESS 17 MARETIMO ST BALGOWLAH, NSW 2093

LOT 6 IN DP 18433

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17.14 A

23.03.2021 DRAWING NO

DA101

BASIX REQUIREMENTS

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ABSA

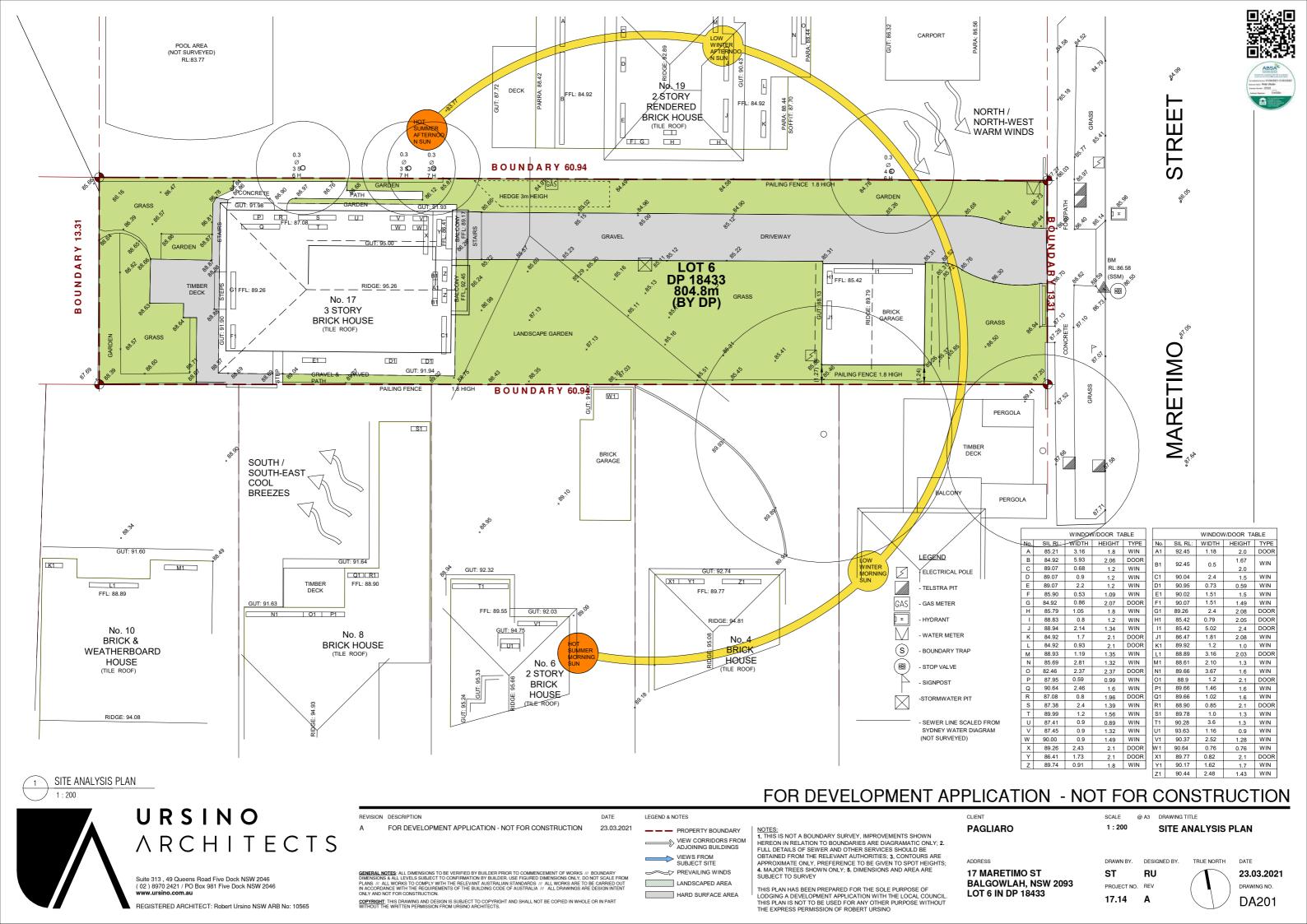
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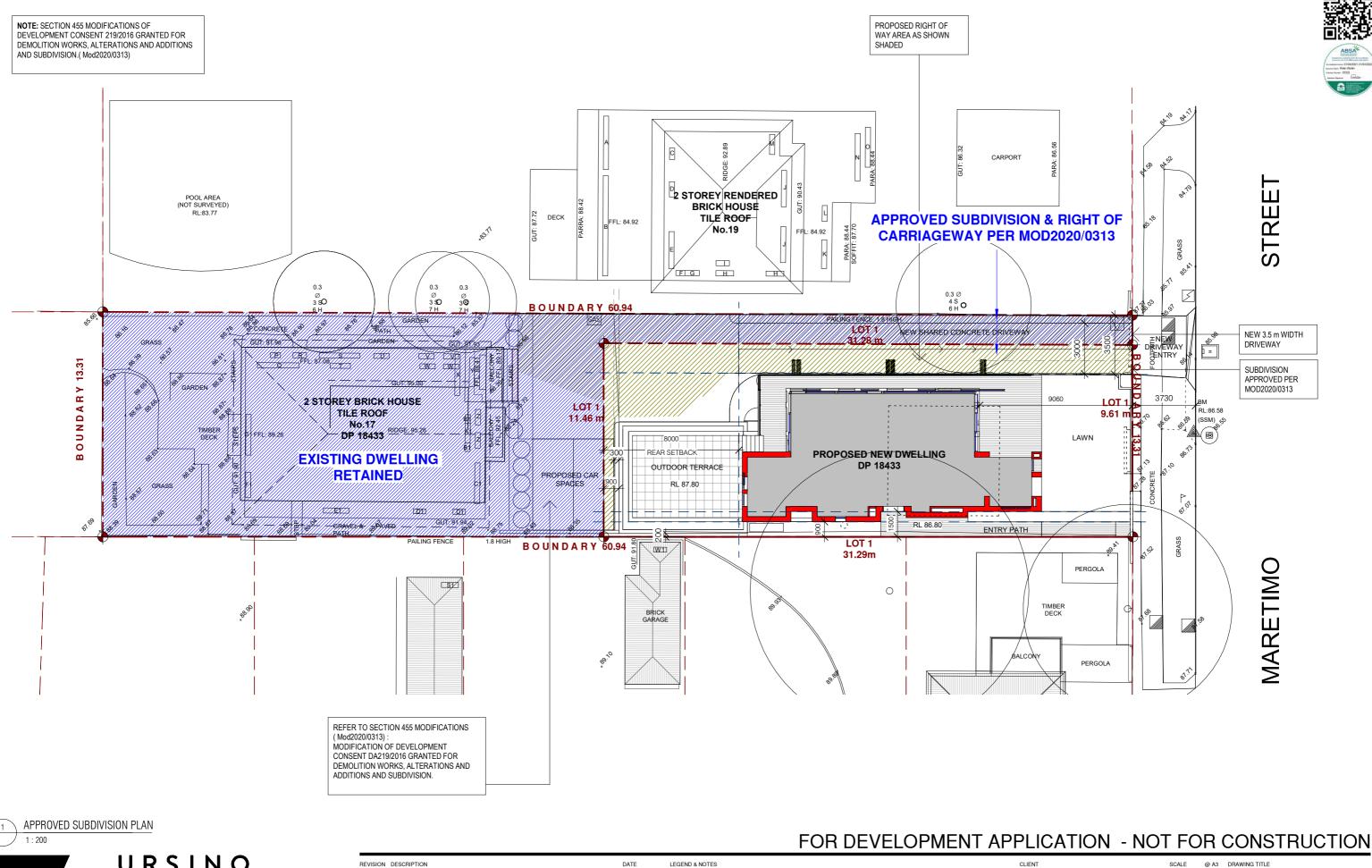
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REVISION DESCRIPTION







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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

23.03.2021

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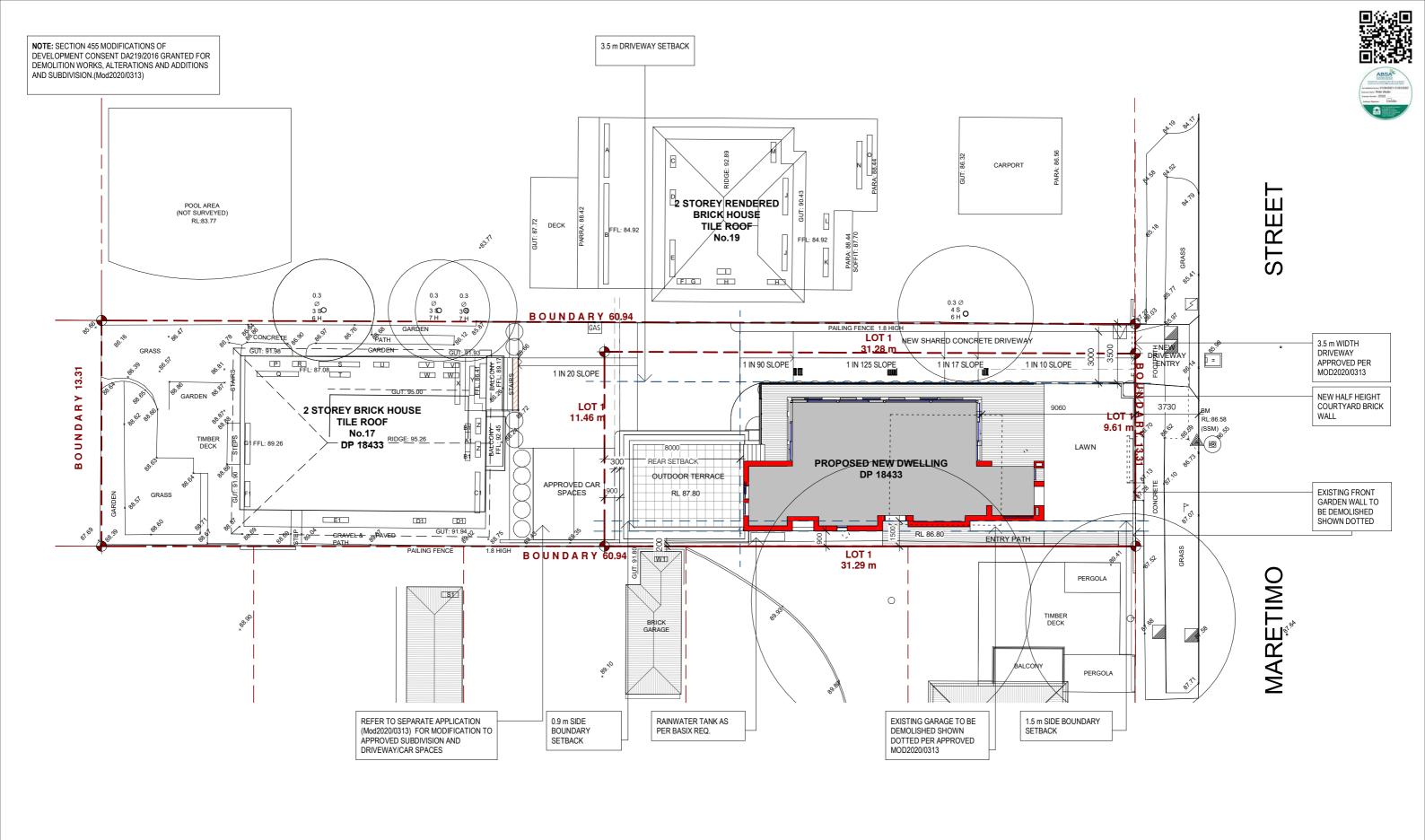
PAGLIARO APPROVED SUBDIVISION PLAN DRAWN BY. 17 MARETIMO ST ST **BALGOWLAH, NSW 2093**

LOT 6 IN DP 18433

PROJECT NO. REV 17.14

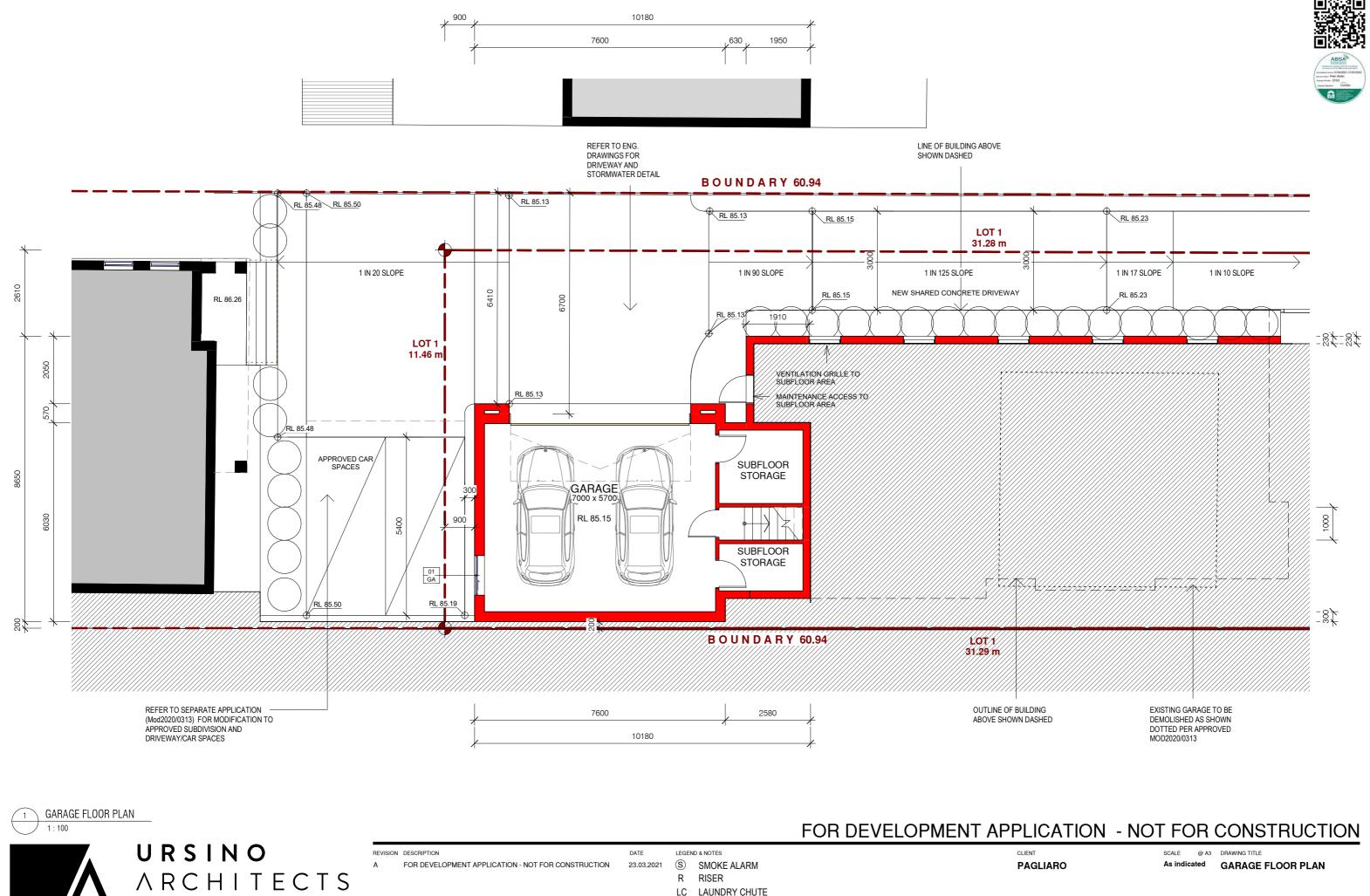
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DATE 23.03.2021 DA204





LEGEND & NOTES FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION 1:200 23.03.2021 **PAGLIARO** SITE PLAN EXISTING TREE TO BE PROPOSED NEW TREE DATE ADDRESS DRAWN BY. DESIGNED BY. TRUE NORTH GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS #// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFINANTION BY BUILDER. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE FROM PLANS #// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALAIDA STANDARDS #// ALL WORKS ARE TO BE CARRIED DUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA #// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. 17 MARETIMO ST ST RU 23.03.2021 EXISTING TREE TO BE **BALGOWLAH, NSW 2093** PROJECT NO. REV **LOT 6 IN DP 18433** 17.14 COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS. DA205





LC LAUNDRY CHUTE REF REFRIGERATOR

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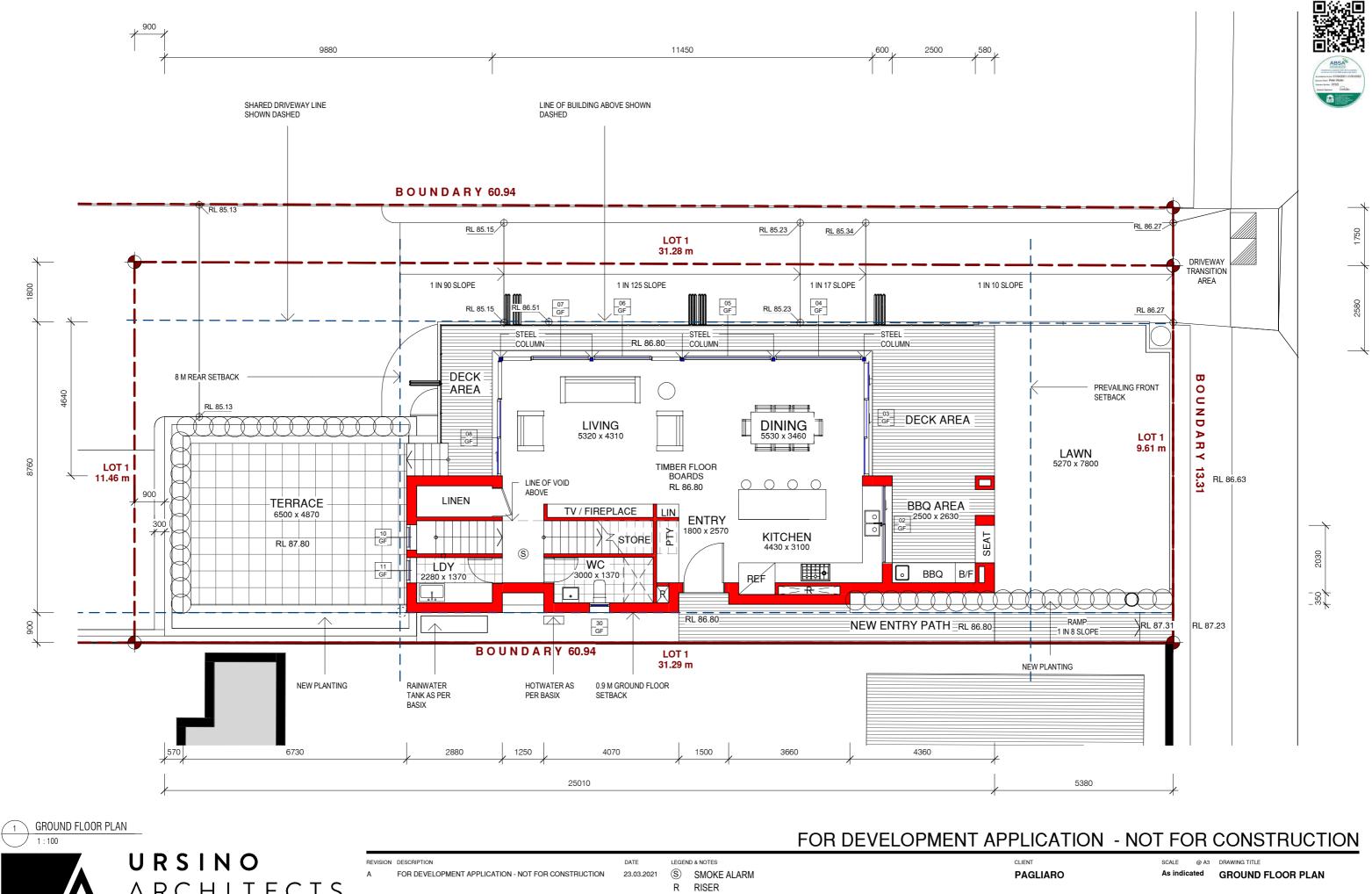
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17 MARETIMO ST

LOT 6 IN DP 18433

BALGOWLAH, NSW 2093

23.03.2021 DA301



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LC LAUNDRY CHUTE REF REFRIGERATOR

B/F BAR FRIDGE

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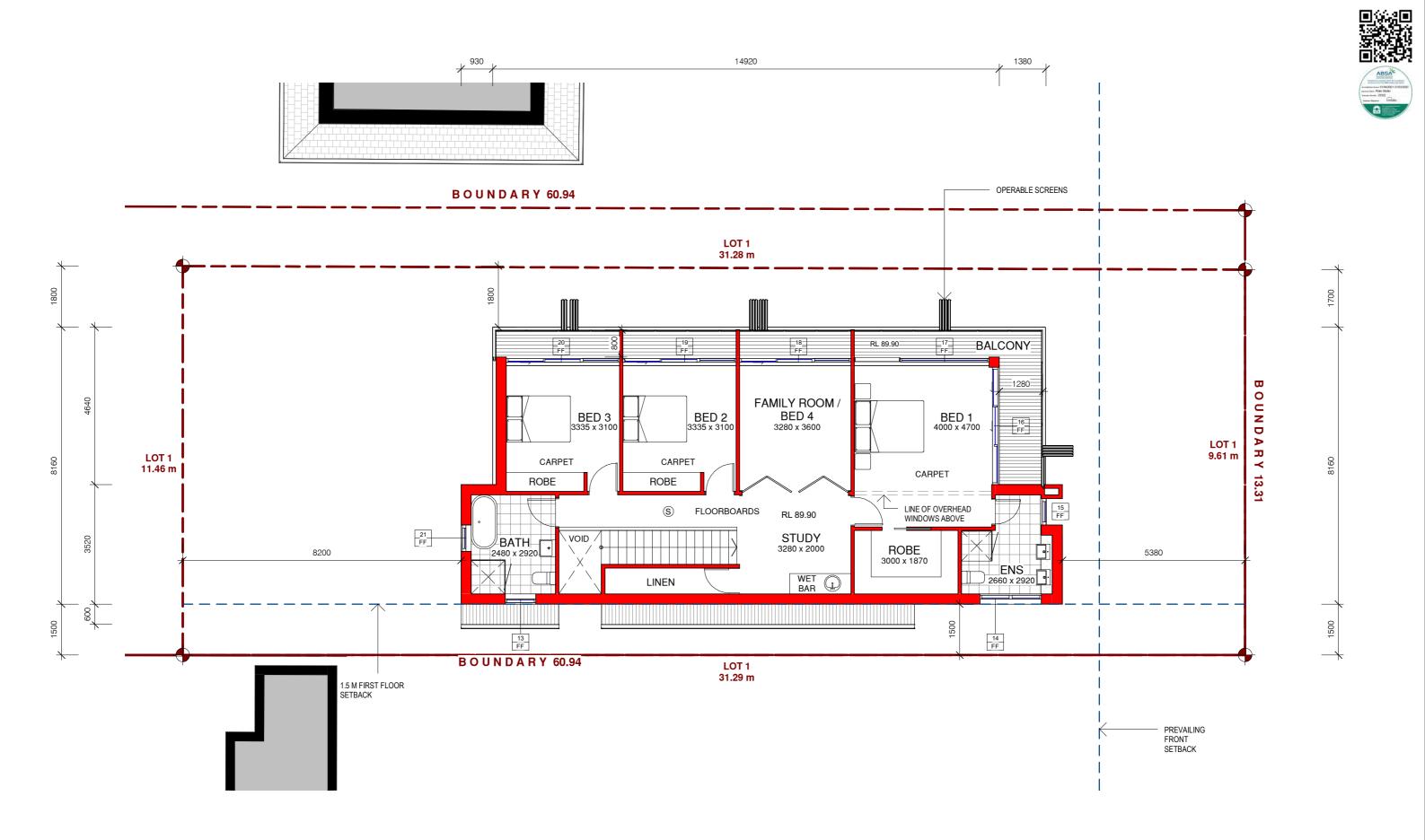
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17 MARETIMO ST **BALGOWLAH, NSW 2093 LOT 6 IN DP 18433**

ST PROJECT NO. REV 17.14

23.03.2021 DA302



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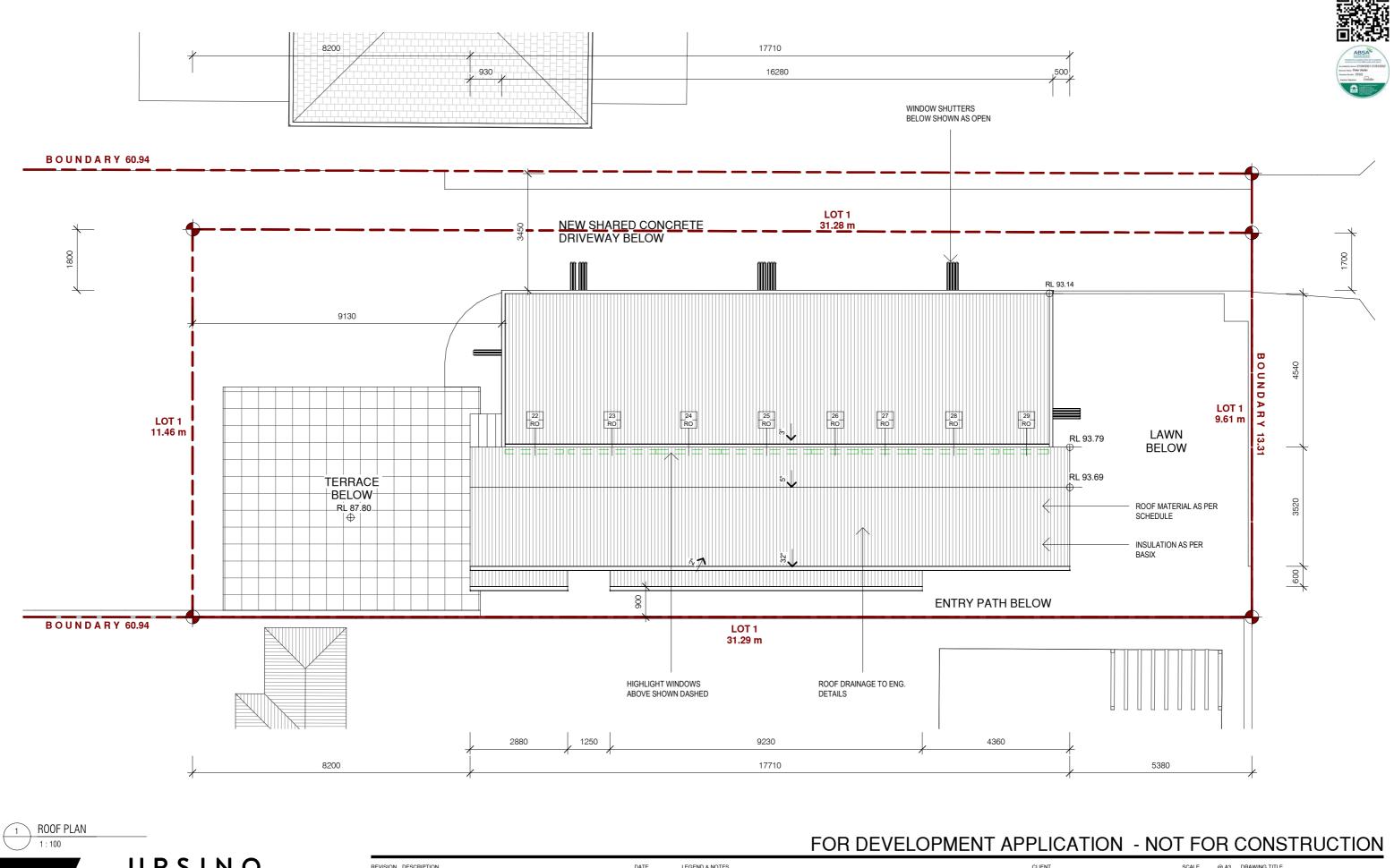


FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

17.14

DA303

LEGEND & NOTES © SMOKE ALARM FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION As indicated FIRST FLOOR PLAN 23.03.2021 **PAGLIARO** R RISER LC LAUNDRY CHUTE TRUE NORTH DATE ADDRESS DESIGNED BY. REF REFRIGERATOR GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS #// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFINATION BY BUILDER. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE FROM PUNS #// #/LL WORKS TO COMPLY WITH THE RELEVANT AUSTRALAID STANDARDS #// #/LL WORKS ARE TO BE EVENTHALED STANDARDS #// #/LL WORKS ARE TO BE EVENTHALD STANDARDS #// #/LL WORKS ARE DESIGN INTENT ONLY AND NOT FOR CONSTITUTION. 17 MARETIMO ST ST 23.03.2021 B/F BAR FRIDGE **BALGOWLAH, NSW 2093** PROJECT NO. REV **LOT 6 IN DP 18433**



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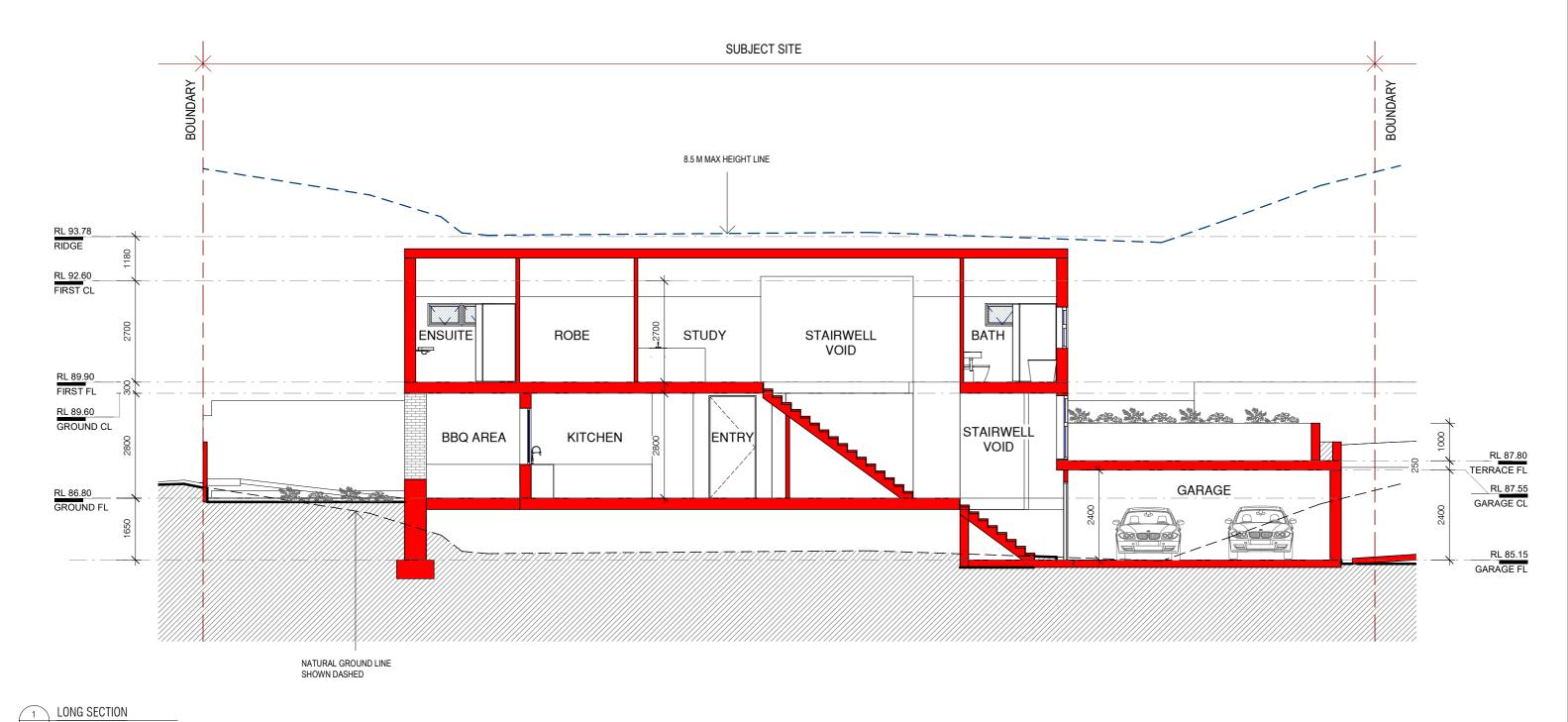


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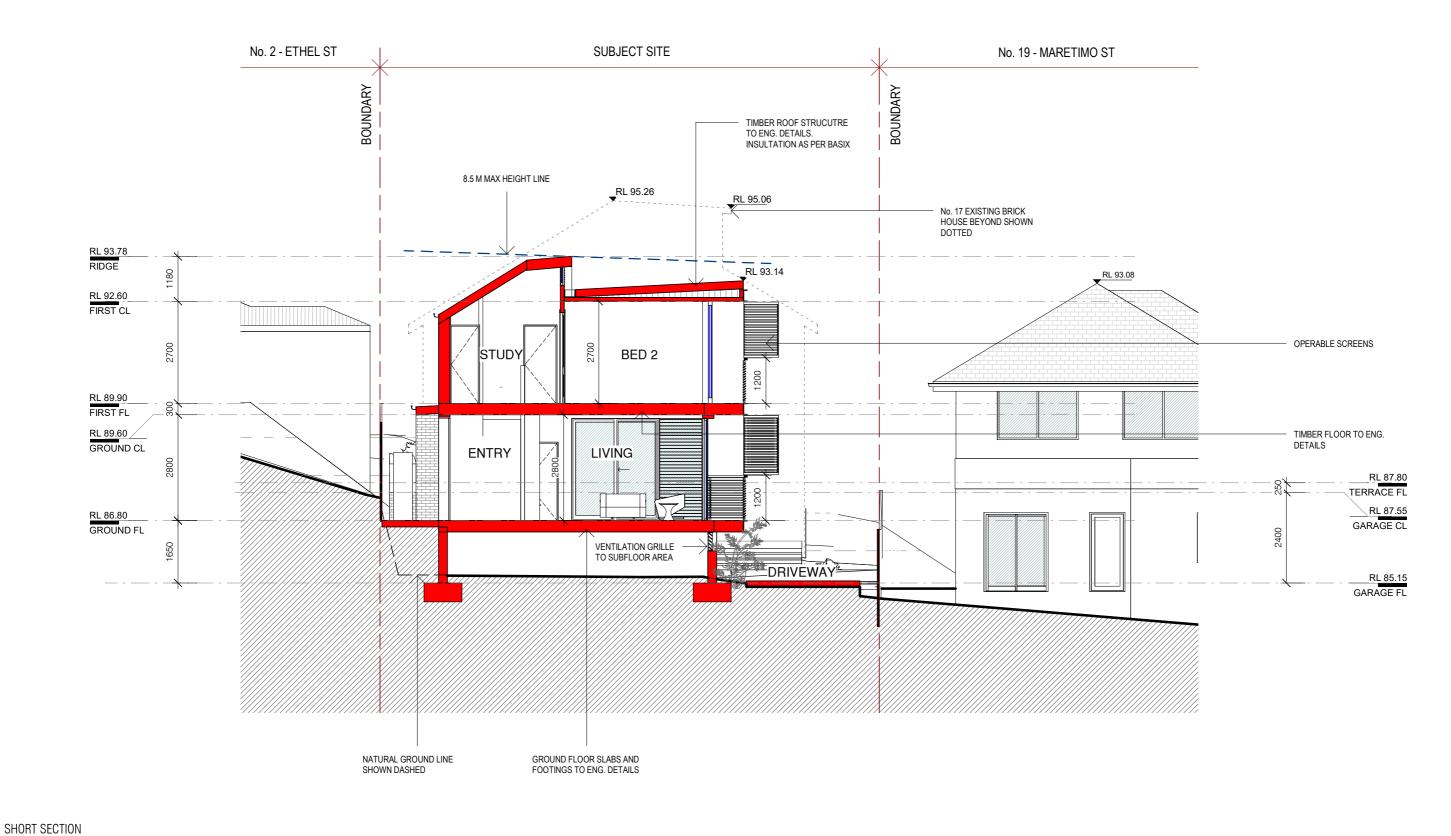






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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION 23.03.2021

LEGEND & NOTES

PAGLIARO

17 MARETIMO ST

LOT 6 IN DP 18433

BALGOWLAH, NSW 2093

ADDRESS

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

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SECTIONS 02

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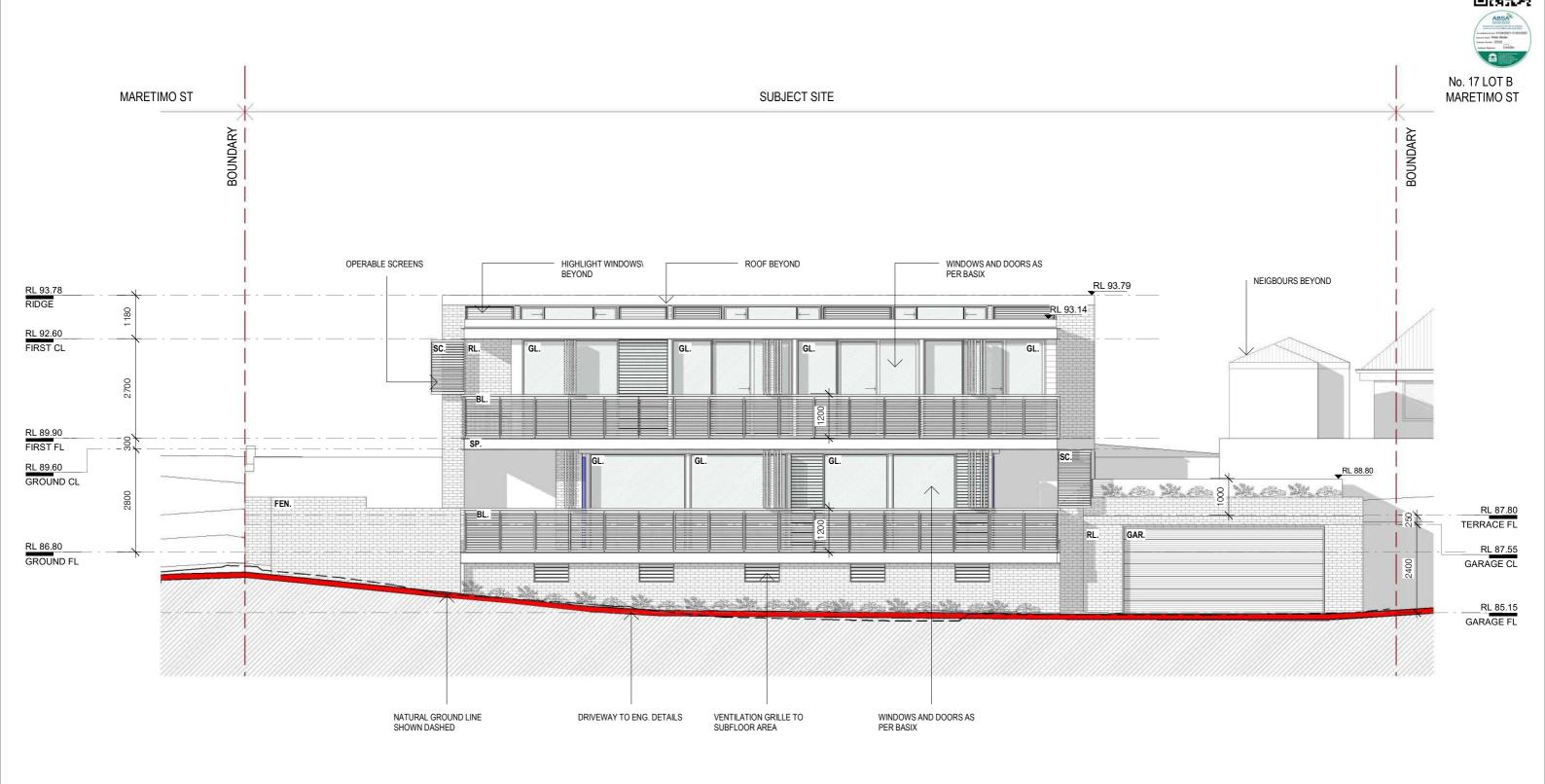
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DATE 23.03.2021 DRAWING NO. DA402

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23.03.2021

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DA501

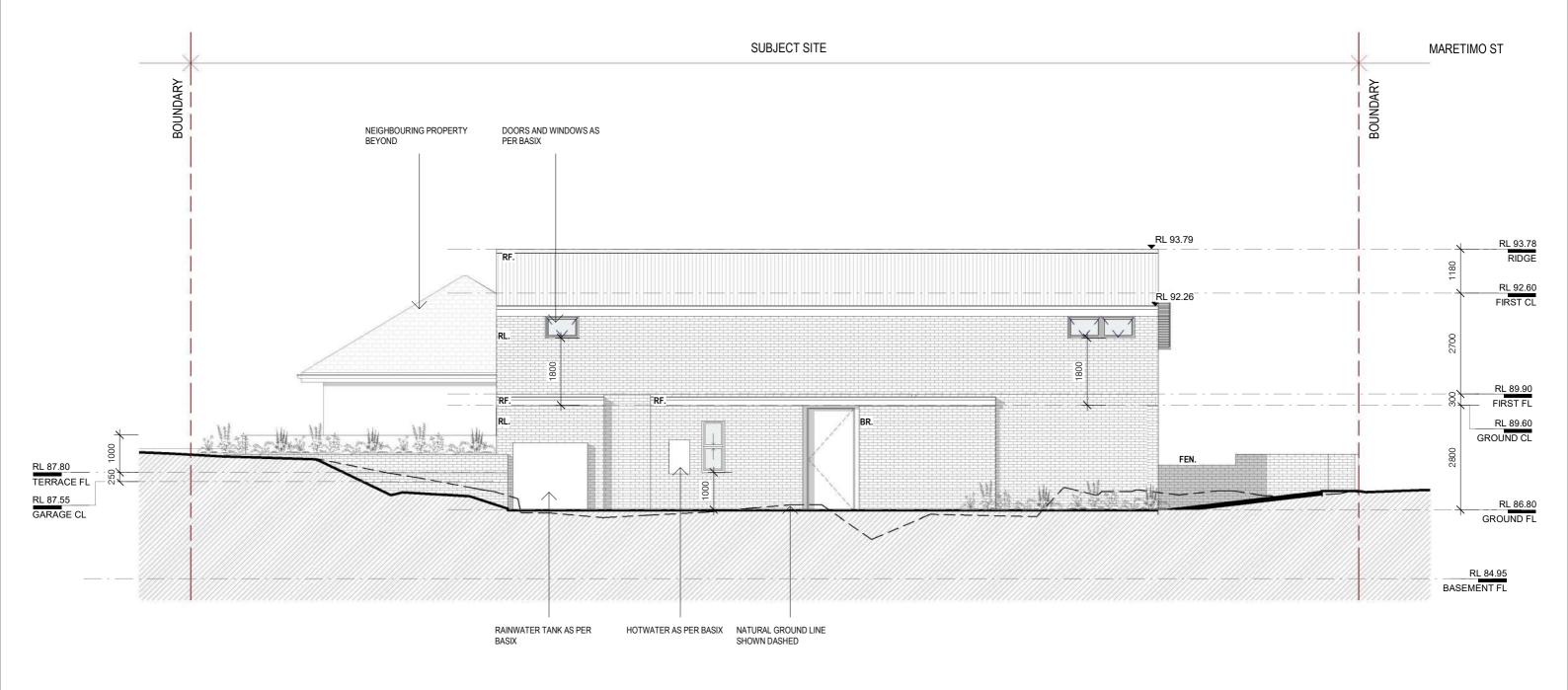
LEGEND & NOTES MATERIALS LEGEND (REFER TO DA901) FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION 23.03.2021 **PAGLIARO** BR - BRICK CL - CLADDING FR - FRAME SC - SCREENS ADDRESS BL - BALUSTRADES FEN - FENCE 17 MARETIMO ST GENERAL NOTES ALL DIMENSIONS TO BE VERHIFLD BY BUILDER PRIOR TO COMMENCEMENT OF WORKS #// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE FROM PLANS #// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS #// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE RECURREMENTS OF THE BUILDING CODE OF AUSTRALIA #// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. SP - STEEL PROFILE DE - DECKING **BALGOWLAH, NSW 2093** RF - ROOF DR - DRIVEWAY **LOT 6 IN DP 18433**

GAR - GARAGE DOOR

GL - GLASS

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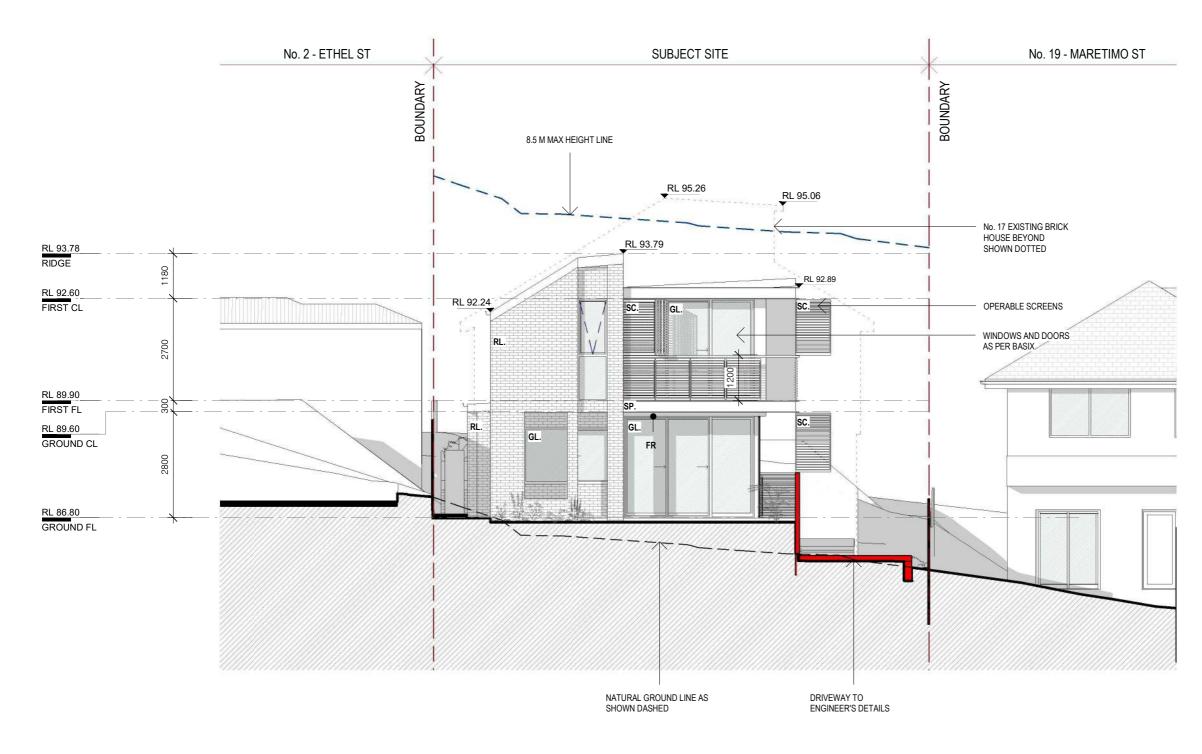






LEGEND & NOTES MATERIALS LEGEND (REFER TO DA901) FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION 23.03.2021 **PAGLIARO** 1:100 **SOUTH ELEVATION** BR - BRICK CL - CLADDING BL - BALUSTRADES FR - FRAME SC - SCREENS FEN - FENCE ADDRESS DATE DRAWN BY. DESIGNED BY. TRUE NORTH 17 MARETIMO ST BALGOWLAH, NSW 2093 ST 23.03.2021 SP - STEEL PROFILE DE - DECKING DR - DRIVEWAY PROJECT NO. REV DRAWING NO. RF - ROOF **LOT 6 IN DP 18433** GL - GLASS GAR - GARAGE DOOR 17.14 DA502 COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.







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LEGEND & NOTES MATERIALS LEGEND (REFER TO DA901)

23.03.2021

BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE GL - GLASS

FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY

GAR - GARAGE DOOR

PAGLIARO ADDRESS

LOT 6 IN DP 18433

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

17 MARETIMO ST BALGOWLAH, NSW 2093 ST 17.14

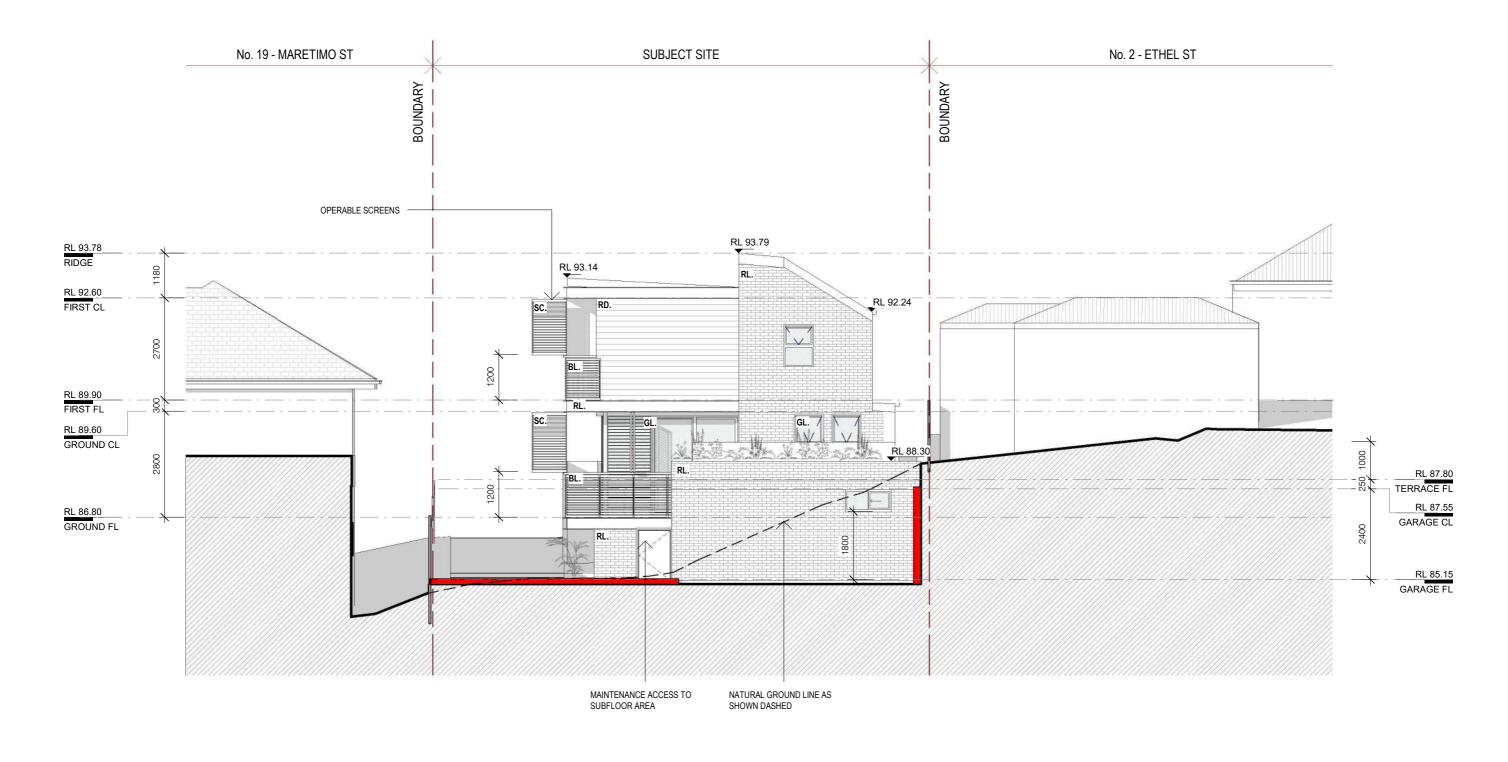
1:100 **EAST ELEVATION**

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23.03.2021 DRAWING NO. DA503

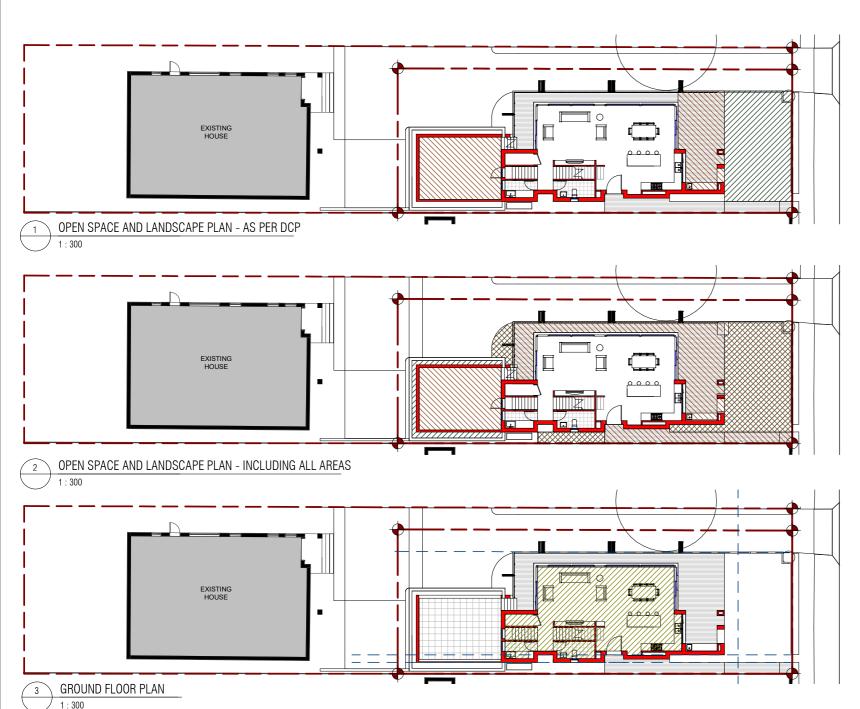
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C	REVISION A	DESCRIPTION FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	DATE 23.03.2021	LEGEND & NOTES MATERIALS LEGEND (REFER TO DA901)		CLIENT PAGLIARO	SCALE @ 1:100	@ A3 DRAWING TITLE WEST ELEVAT	ON
3	DIMENSIONS PLANS /// A IN ACCORD/ ONLY AND N COPYRIGHT	IOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS #/ B S A ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER, USE FIGURED DIMENSIONS ONLY, DO NO LL WORKS ARE COMENTY WITH THE RELEVANT AUSTRALIAN STANDARDS #/ ALL WORKS ARE TO BE ANCE WITH THE RECUIREMENTS OF THE BUILDING CODE OF AUSTRALIA #/ ALL DRAWINGS ARE DON'T FOR CONSTRUCTION. 12. THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OF THE WITHTEN PERMISSION FROM URSINO ARCHITECTS.	OT SCALE FROM E CARRIED OUT DESIGN INTENT	BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS	FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY GAR - GARAGE DOOR	ADDRESS 17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY. ST PROJECT NO. 17.14	DESIGNED BY. TRUE NORTH RU REV	23.03.2021 DRAWING NO.



FLOOR SPACE RATIO ANALYSIS

SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
ALLOWABLE FSR	0.5 : 1
/ 1220 / 1/1222 / 0/1	
ALLOWABLE GROSS FLOOR AREA	178.4 SQM
PROPOSED AREA	
GROUND FLOOR	84.2 SQM
FIRST FLOOR	94.2 SQM
TOTAL GROSS FLOOR AREA	178.4 SQM
TOTAL FSR	0.5 : 1



OPEN SPACE ANALYSIS

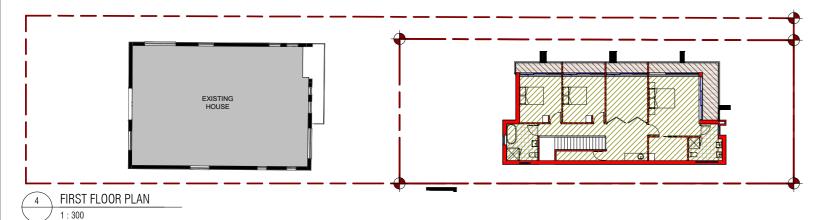
(AS PER DCP)	010	
SITE AREA		356.8 SQN
COUNCIL REQUIREMENTS		
MINIMUM TOTAL OPEN SPACE . CLASSIFIED AS AREA OS3 . MINIMUM DIMENSION OF 3 METRES	(55% OF SITE)	196.2 SQN
. MINIMUM UNBROKEN AREA OF 12SQM		
PROPOSED AREA		
ON GROUND OPEN SPACE		72.5 SQN
ABOVE GROUND OPEN SPACE		32 SQN
TOTAL OPEN SPACE	(29.3% OF SITE)	104.5 SQN

TOTAL OPEN SPACE (INCLUDING ALL AREAS)	EANALYSIS
SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
MIN. OPEN SPACE AREA	(55% OF SITE) 196.2 SQM
PROPOSED AREA	
ON GROUND OPEN SPACE	100.42 SQM
ABOVE GROUND OPEN SPACE	74 SQM
TOTAL OPEN SPACE	(51% OF SITE) 174.42 SQM

LANDSCAPED AREA ANALYSIS

(AOTER DOI)	
REQUIRED OPEN SPACE AREA	196.2 SQI
COUNCIL REQUIREMENTS	
MIN. LANDSCAPED AREA	68.67 SQI
	(35% OF TOTAL OPEN SPACE
PROPOSED AREA	
TOTAL LANDSCAPED AREA	(69% OF REQUIRED) 47 SQI

REQUIRED TOTAL OPEN SPACE AREA 196.2 S COUNCIL REQUIREMENTS MIN. LANDSCAPED AREA 68.67 S (35% OF TOTAL OPEN SPA	
MIN. LANDSCAPED AREA (35% OF TOTAL OPEN SPA PROPOSED AREA	SQN
(35% OF TOTAL OPEN SPA	
TOTAL LANDSCAPED AREA (86% OF REQUIRED) 59.1 S	SQN



FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION



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23.03.2021

OPEN SPACE AREA



GROSS FLOOR AREA

PAGLIARO

As indicated CALCULATIONS

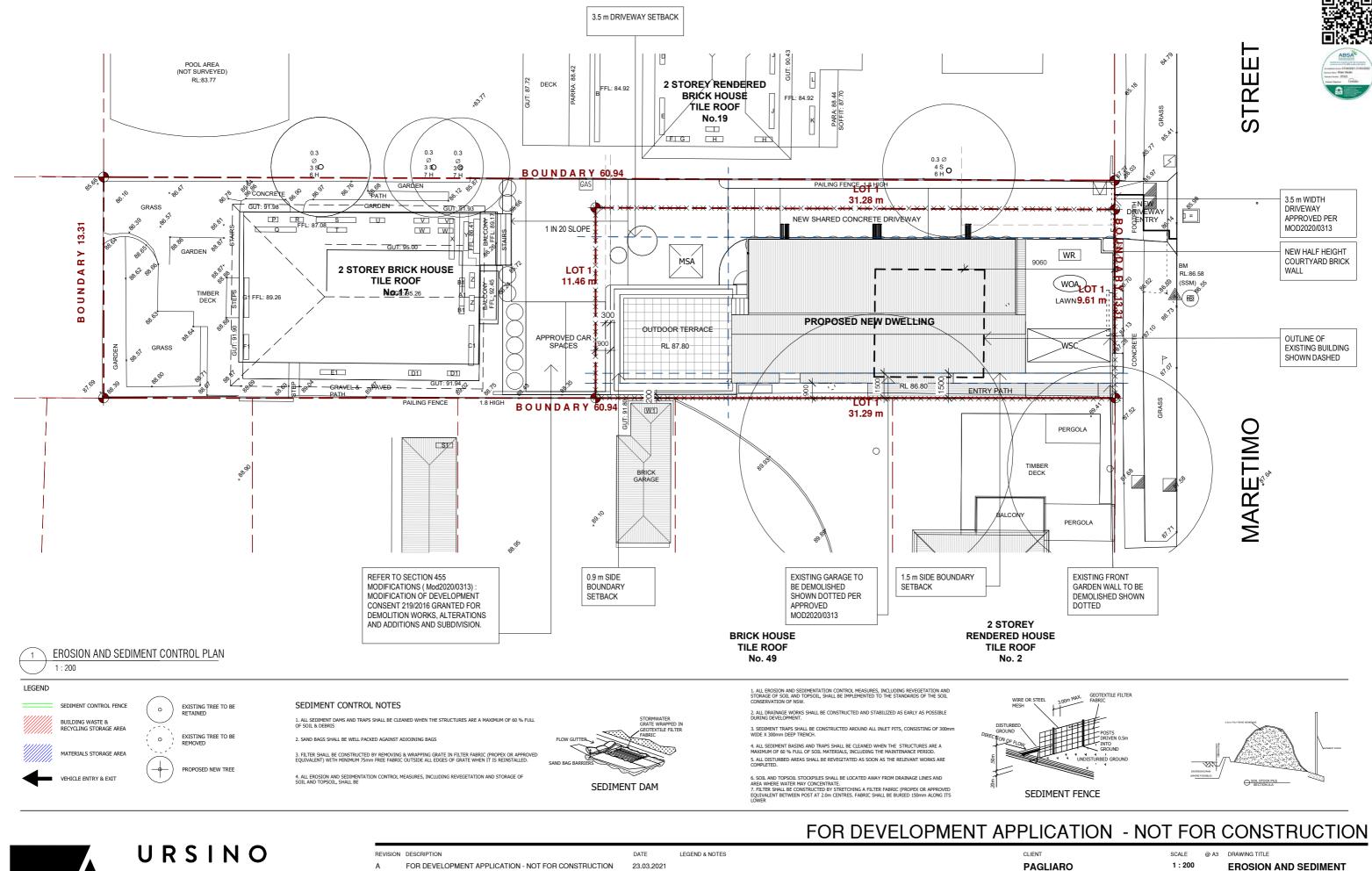
17 MARETIMO ST **BALGOWLAH, NSW 2093 LOT 6 IN DP 18433**

DESIGNED BY. ST PROJECT NO. REV 17.14

DATE TRUE NORTH 23.03.2021 DA701

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LANDSCAPED AREA



ARCHITECTS

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

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PAGLIARO

17 MARETIMO ST

LOT 6 IN DP 18433

BALGOWLAH, NSW 2093

CONTROL PLAN

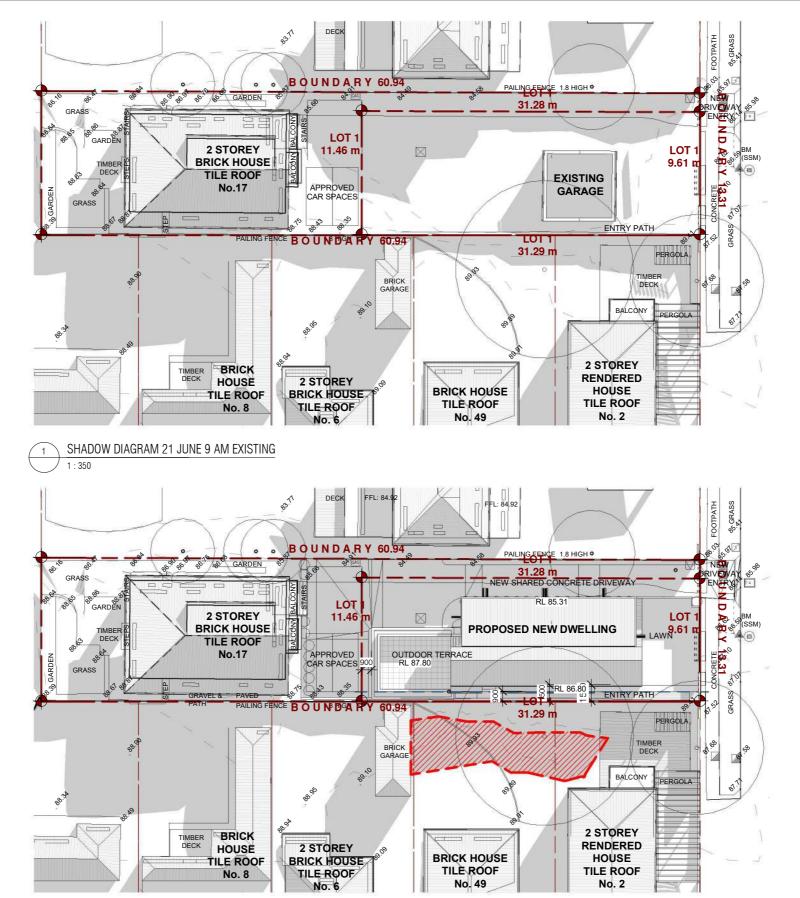
DRAWN BY. DESIGNED BY. ST PROJECT NO. REV

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TRUE NORTH

23.03.2021 DA702

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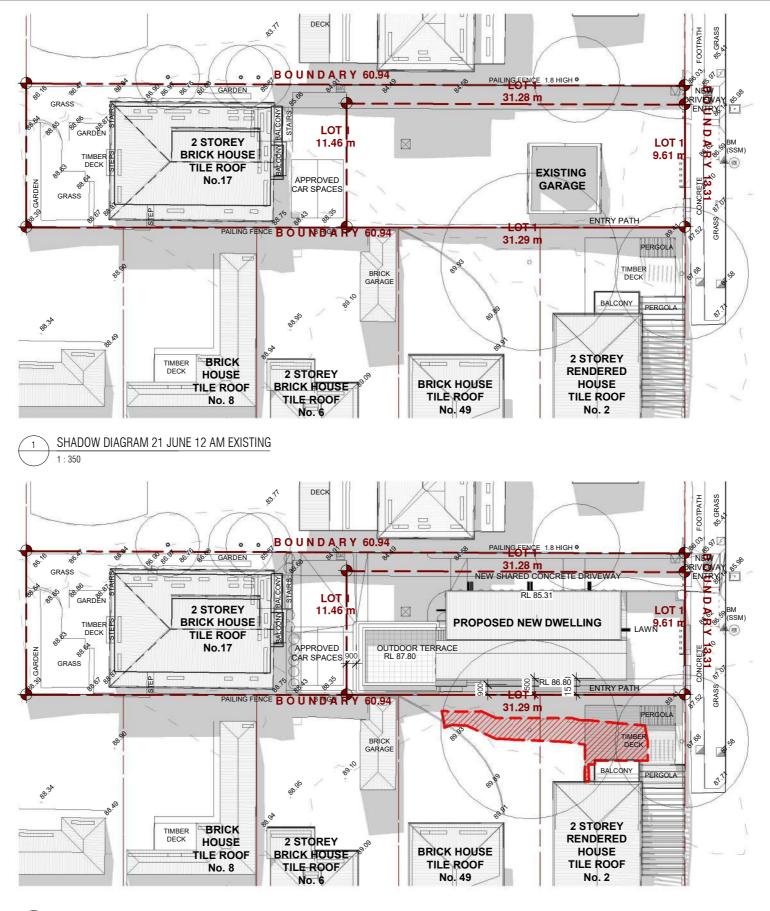




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FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION **SHADOW DIAGRAMS 21** 23.03.2021 **PAGLIARO** As indicated JUNE 9 AM ADDITIONAL SHADOW **EXISTING SHADOWS** CAST BY PROPOSED BUILDING DATE 17 MARETIMO ST ST GENERAL NOTES: ALL DIMENSIONS TO BE VERHIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS A ALL EVEILS SIGNIECT TO CORPIENATION BY BUILDER LISE FIGURED DIMENSIONS ONLY, DO NO SCALE FROM PLANS III'ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE RECUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. 23.03.2021 PROPOSED **BALGOWLAH, NSW 2093** PROJECT NO. REV INCREASE IN **LOT 6 IN DP 18433** 17.14 COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS. **DA703** SHADOW

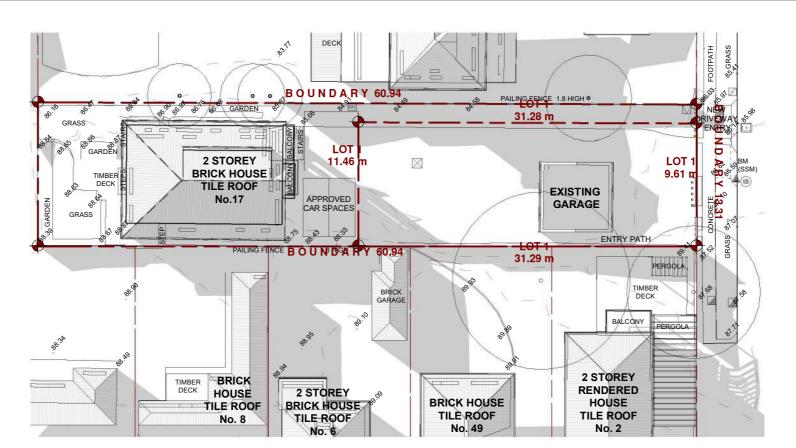




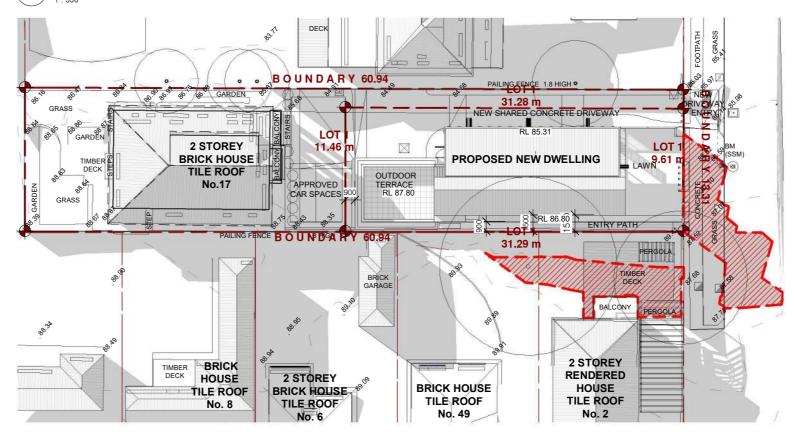
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FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION **SHADOW DIAGRAMS 21** 23.03.2021 **PAGLIARO** As indicated JUNE 12 PM ADDITIONAL SHADOW **EXISTING SHADOWS** CAST BY PROPOSED BUILDING 17 MARETIMO ST ST 23.03.2021 UNIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE FRO PLANS # ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS # ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE RECOURTEMENTS OF THE BUILDING CODE OF AUSTRALIA # ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. PROPOSED **BALGOWLAH, NSW 2093** PROJECT NO. REV INCREASE IN **LOT 6 IN DP 18433** 17.14 COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS. **DA704** SHADOW



SHADOW DIAGRAM 21 JUNE 3 PM EXISTING



SHADOW DIAGRAM 21 JUNE 3 PM PROPOSED

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PROPOSED INCREASE IN **EXISTING SHADOWS**

PAGLIARO

17 MARETIMO ST **BALGOWLAH, NSW 2093 LOT 6 IN DP 18433**

SHADOW DIAGRAM 21 JUNE As indicated 3 PM

ST

17.14

PROJECT NO. REV

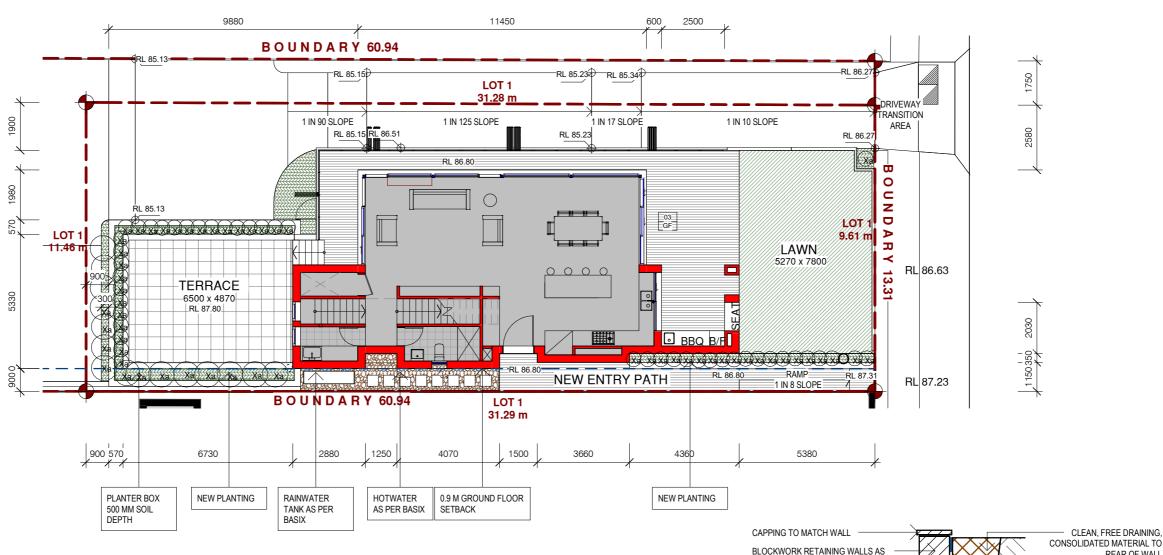
DATE 23.03.2021 **DA705**

SHADOW

BUILDING

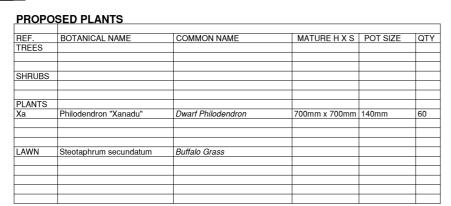
ADDITIONAL SHADOW CAST BY PROPOSED

23.03.2021





GROUND FLOOR PLAN

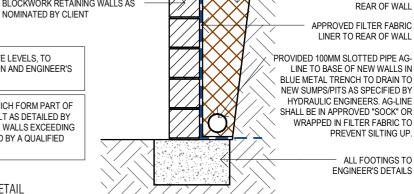




NOTE: INSTALL WALL TO SUIT SITE LEVELS, TO MANUFACTURER'S SPECIFICATION AND ENGINEER'S NOTE: ALL RETAINING WALLS WHICH FORM PART OF DRAINAGE WORKS SHALL BE BUILT AS DETAILED BY

THE HYDRAULIC ENGINEERS. ALL WALLS EXCEEDING 1M IN HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER.

RETAINING WALL DETAIL



CONCEPT LANDSCAPE PLAN NOTES

- This plan should be read in conjuction with Architectural and Civil Engineering Plans
- All retaining walls to Engineer's Details

This plan is for DA Approval Only - Not for Construction

- All noxious weeds listed in Council's weed lists & located on the site shall be continually removed and suppressed.

- The design & location of new letter boxes shall be in accordance with Australia Post's Requirements of Delivery of Mail to Residential Premises.

PAGLIARO

Bamboo textilis gracilis - Bamboo Weavers (Bt) hilodendron 'Xanadu' (Xa) Buffalo Grass

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LEGEND & NOTES TREE TO BE











PLANTING BED

17 MARETIMO ST

As indicated LANDSCAPE PLAN

DESIGNED BY. ST RU PROJECT NO. REV

DATE TRUE NORTH 23.03.2021

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

23.03.2021

PROPOSED TREE

TREE TO BE







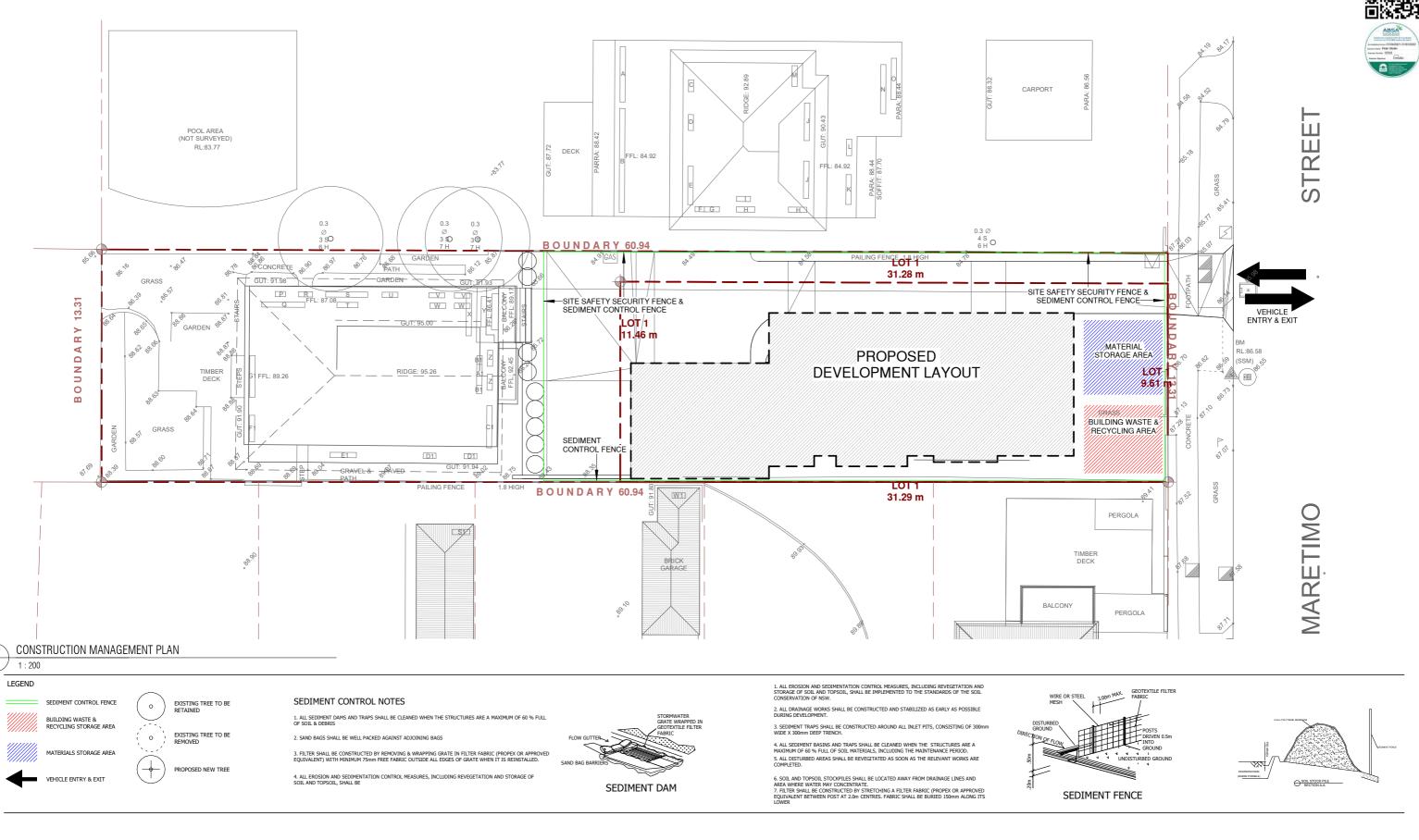
PAVED/HARD SURFACE

OUTDOOR TILES

BALGOWLAH, NSW 2093 LOT 6 IN DP 18433

17.14

DA706



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1:200 CONSTRUCTION **PAGLIARO MANAGEMENT PLAN**

17 MARETIMO ST **BALGOWLAH, NSW 2093 LOT 6 IN DP 18433**

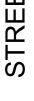
DRAWN BY. SS PROJECT NO. REV 17.14











CUT & FILL PLAN

1:200

BOUNDARY 13.31



Suite 313 , 49 Queens Road Five Dock NSW 2046 (02) 8970 2421 / PO Box 981 Five Dock NSW 2046 www.ursino.com.au

POOL AREA (NOT SURVEYED) RL:83.77

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

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Ø 3 **S**O 7 H

W W

D1

D1

Ø 3 SO

E1

GRAVEL& ANDVED —

P

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

FFL: 84.92

BOUNDARY 60.94

LOT 1

11.46 m

BOUNDARY 60.94

FIG

W1

23.03.2021

Н

PAILING FENCE 1.8 HIGH LOT 1

PROPOSED BUILDING OUTLINE

LOT 1

31.29 m

ADDRESS 17 MARETIMO ST BALGOWLAH, NSW 2093 **LOT 6 IN DP 18433**

PAGLIARO

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

APPROX FILL AREA = 25m³

TIMBER DECK

PERGOLA

BALCONY

LOT 13.31 9.61 m

1:200



CUT & FILL PLAN



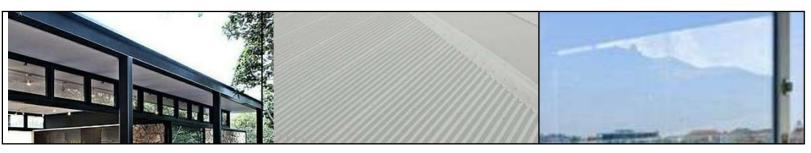
RL. RENDERED LIGHT LEXICON QUARTER

RL - LEXICON QUARTER (RENDERED LIGHT)

RD.RENDER - DARK SCYON AXON HORIZONTALLY CLADDED **MONUMENT**

BL BALUSTRADES

ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS



SP. STEEL PROFILE POWDER COATED **EXPOSED FINISH**

RF. ROOF COLOURBOND ROOFING SHEET SURFMIST

GL.GLASS



FR. FRAMES POWDER COATED MOUNMENT

SC.SCREENS ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS MONUMENT

FEN. FENCE TO MATCH RL. - RENDERED LIGHT



DE. DECKING TIMBER DECK SPOTTED GUM

DR.DRIVEWAY CONCRETE DRIVEWAY SMOOTH FINISH

GAR GARAGE DOOR ALUMINIUMUM MATT FINISH

LEGEND & NOTES

23.03.2021

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PAGLIARO

MATERIALS / WINDOW SCHEDULES

ORIENTATION

WEST

EAST

EAST

NORTH

NORTH

NORTH

NORTH

EAST

WEST

WEST

SOUTH

SOUTH

EAST

EAST

NORTH

NORTH

NORTH

EAST

ADDRESS

17 MARETIMO ST **BALGOWLAH, NSW 2093 LOT 6 IN DP 18433**

DRAWN BY. DESIGNED BY. ST PROJECT NO. REV

17.14

TRUE NORTH 23.03.2021

DA901

21 FF 780 1100 0.9 m² EAST 22 RO 1750 500 0.9 m² NORTH 23 RO 2590 500 1.3 m² NORTH 24 RO 1990 500 1.0 m² NORTH 25 RO 2665 500 1.3 m² NORTH 26 RO 1395 500 0.7 m² NORTH 27 RO 1395 500 0.7 m² NORTH 28 RO 2660 500 1.3 m² NORTH 29 RO 1395 500 0.7 m² NORTH GF 1400 30 600 0.8 m² SOUTH

WINDOW SCHEDULE

WIDTH

1200

2320

3460

2640

2640

2640

2640

3460

765

765

900

1800

780

3460

3970

3280

3335

3335

HEIGHT

600

1500

2700

2700

2700

2700

2700

2700

1700

1700

600

600

2700

2700

2700

2700

2700

2700

AREA

0.7 m²

3.5 m²

9.3 m²

7.1 m²

7.1 m²

7.1 m²

7.1 m²

9.3 m²

1.3 m²

1.3 m²

 0.5 m^2

1.1 m²

2.1 m²

9.3 m²

10.7 m²

8.9 m²

9.0 m²

9.0 m²

LEVEL

GA

GF

GF

GF

GF

GF

GF

GF

GF

GF

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NO.

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