

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

Project
PROPOSED NEW SINGLE DWELLING

Address
17 MARETIMO ST BALGOWLAH, NSW 2093
LOT 6 IN DP 18433

Client
PAGLIARO

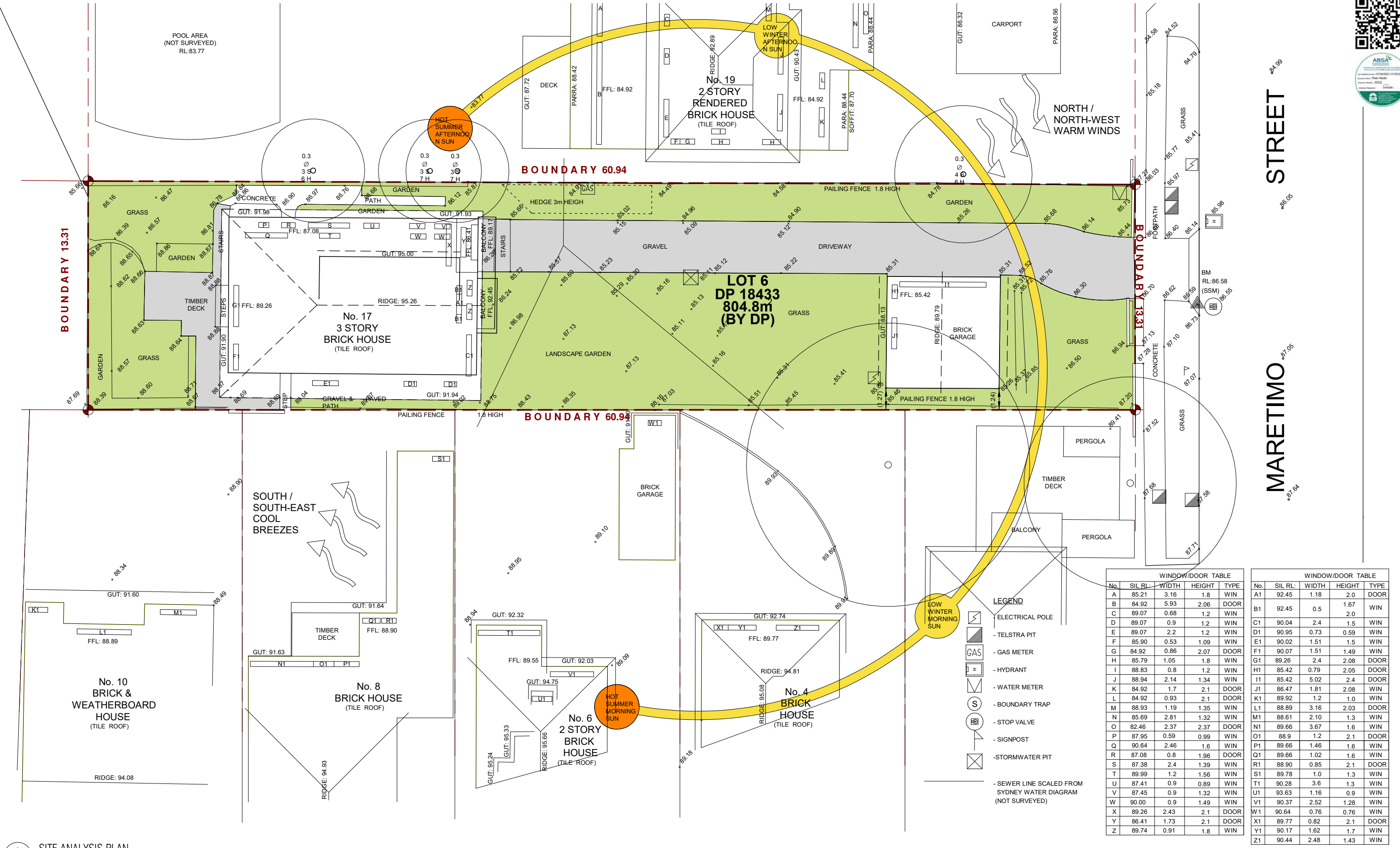
Project Number
17.14

Date
23.03.2021

DRAWING LIST

DA001	NEIGHBOUR NOTIFICATION PLAN 1	A	23.03.2021
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WINDOW/DOOR TABLE					WINDOW/DOOR TABLE				
No.	SIL RL.	WIDTH	HEIGHT	TYPE	No.	SIL RL.	WIDTH	HEIGHT	TYPE
A	85.21	3.16	1.8	WIN	A1	92.45	1.18	2.0	DOOR
B	84.92	5.93	2.06	DOOR	B1	92.45	0.5	1.67	WIN
C	89.07	0.68	1.2	WIN	C1	90.04	2.4	1.5	WIN
D	89.07	0.9	1.2	WIN	D1	90.95	0.73	0.59	WIN
E	89.07	2.2	1.2	WIN	E1	90.02	1.51	1.5	WIN
F	85.90	0.53	1.09	WIN	F1	90.07	1.51	1.49	WIN
G	84.92	0.86	2.07	DOOR	G1	89.26	2.4	2.08	DOOR
H	85.79	1.05	1.8	WIN	H1	85.42	0.79	2.05	DOOR
I	88.83	0.8	1.2	WIN	I1	85.42	5.02	2.4	DOOR
J	88.94	2.14	1.34	WIN	J1	86.47	1.81	2.08	WIN
K	84.92	1.7	2.1	DOOR	K1	89.92	1.2	1.0	WIN
L	84.92	0.93	2.1	DOOR	L1	88.89	3.16	2.03	DOOR
M	88.93	1.19	1.35	WIN	M1	88.61	2.10	1.3	WIN
N	85.69	2.81	1.32	WIN	N1	89.66	3.67	1.6	WIN
O	82.46	2.37	2.37	DOOR	O1	88.9	1.2	2.1	DOOR
P	87.95	0.59	0.99	WIN	P1	89.66	1.46	1.6	WIN
Q	90.64	2.46	1.6	WIN	Q1	89.66	1.02	1.6	WIN
R	87.08	0.8	1.96	DOOR	R1	88.90	0.85	2.1	DOOR
S	87.38	2.4	1.39	WIN	S1	89.78	1.0	1.3	WIN
T	89.99	1.2	1.56	WIN	T1	90.28	3.6	1.3	WIN
U	87.41	0.9	0.89	WIN	U1	93.63	1.16	0.9	WIN
V	87.45	0.9	1.32	WIN	V1	90.37	2.52	1.28	WIN
W	90.00	0.9	1.49	WIN	W1	90.64	0.76	0.76	WIN
X	89.26	2.43	2.1	DOOR	X1	89.77	0.82	2.1	DOOR
Y	86.41	1.73	2.1	DOOR	Y1	90.17	1.62	1.7	WIN
Z	89.74	0.91	1.8	WIN	Z1	90.44	2.48	1.43	WIN

1 SITE ANALYSIS PLAN
1 : 200

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Suite 313 , 49 Queens Road Five Dock NSW 2046
(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<div><div>--- PROPERTY BOUNDARY</div><div>→ VIEW CORRIDORS FROM ADJOINING BUILDINGS</div><div>→ VIEWS FROM SUBJECT SITE</div><div>→ PREVAILING WINDS</div><div>LANDSCAPED AREA</div><div>HARD SURFACE AREA</div></div>

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS. /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS. /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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NOTES:
1. THIS IS NOT A BOUNDARY SURVEY, IMPROVEMENTS SHOWN HEREON IN RELATION TO BOUNDARIES ARE DIAGRAMATIC ONLY; 2. FULL DETAILS OF SEWER AND OTHER SERVICES SHOULD BE OBTAINED FROM THE RELEVANT AUTHORITIES; 3. CONTOURS ARE APPROXIMATE ONLY, PREFERENCE TO BE GIVEN TO SPOT HEIGHTS; 4. MAJOR TREES SHOWN ONLY; 5. DIMENSIONS AND AREA ARE SUBJECT TO SURVEY

THIS PLAN HAS BEEN PREPARED FOR THE SOLE PURPOSE OF LODGING A DEVELOPMENT APPLICATION WITH THE LOCAL COUNCIL. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESS PERMISSION OF ROBERT URSINO

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE
1 : 200

DRAWING TITLE
SITE ANALYSIS PLAN

DRAWN BY
ST

DESIGNED BY
RU

PROJECT NO.
17.14

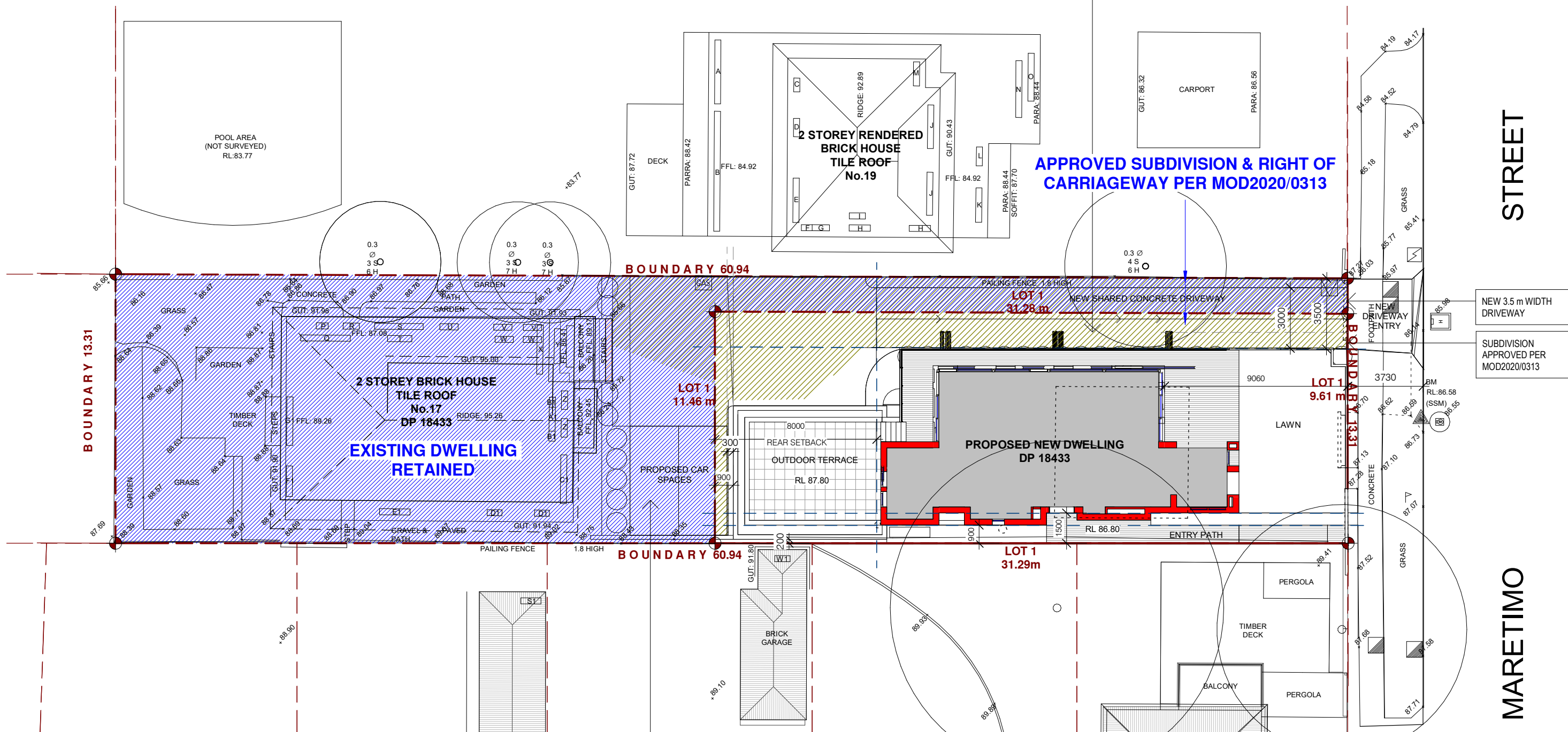
REV
A

TRUE NORTH

DATE
23.03.2021

DRAWING NO.
DA201

NOTE: SECTION 455 MODIFICATIONS OF DEVELOPMENT CONSENT 219/2016 GRANTED FOR DEMOLITION WORKS, ALTERATIONS AND ADDITIONS AND SUBDIVISION. (Mod2020/0313)



REFER TO SECTION 455 MODIFICATIONS (Mod2020/0313):
MODIFICATION OF DEVELOPMENT
CONSENT DA219/2016 GRANTED FOR
DEMOLITION WORKS, ALTERATIONS AND
ADDITIONS AND SUBDIVISION.

1 APPROVED SUBDIVISION PLAN
1 : 200



REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

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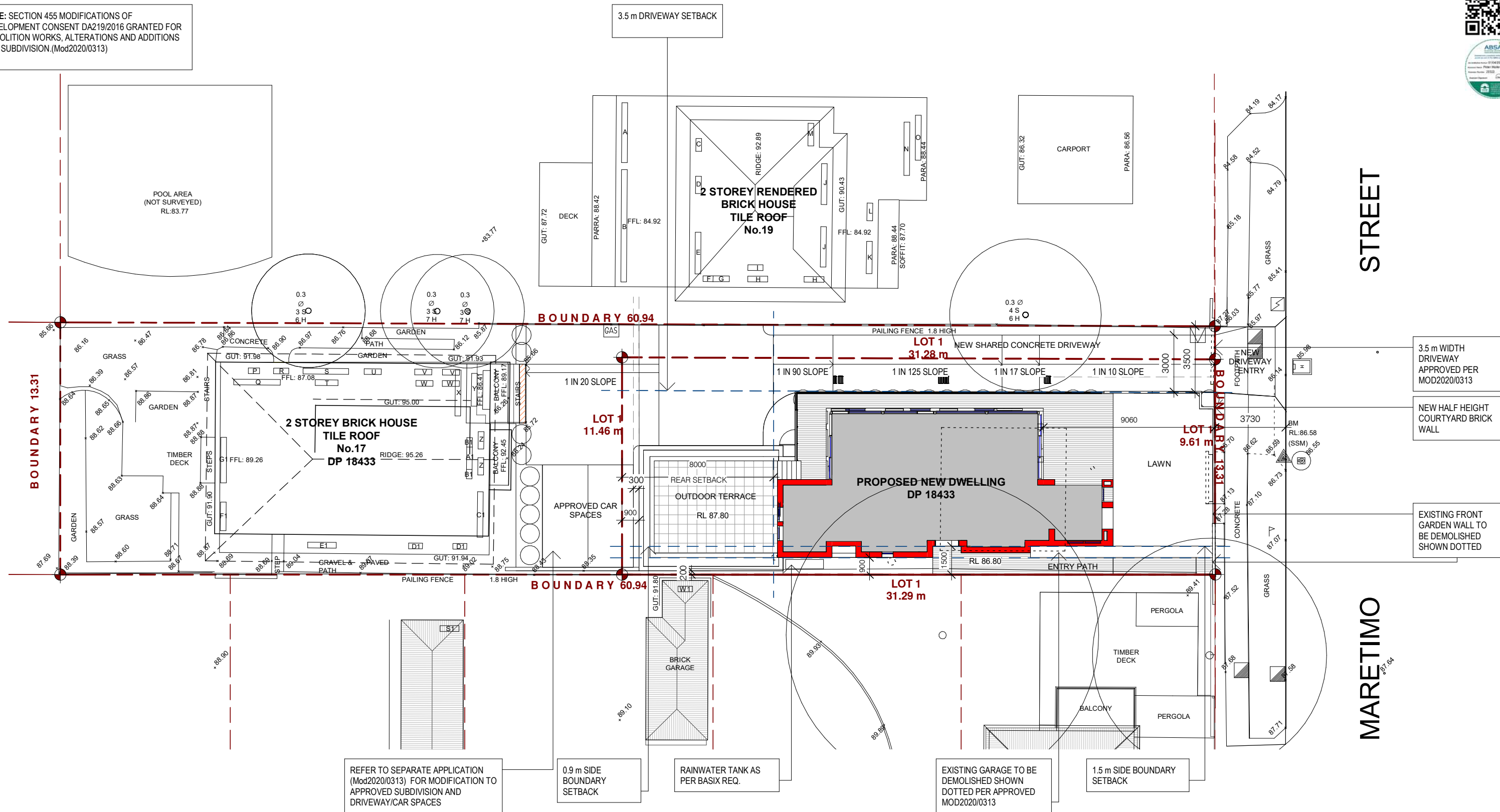
CLIENT
PAGLIARO
SCALE
1 : 200
DRAWING TITLE
APPROVED SUBDIVISION PLAN

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

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ST
DESIGNED BY.
RU
PROJECT NO.
17.14
REV
A
TRUE NORTH

DATE
23.03.2021
DRAWING NO.
DA204

NOTE: SECTION 455 MODIFICATIONS OF DEVELOPMENT CONSENT DA219/2016 GRANTED FOR DEMOLITION WORKS, ALTERATIONS AND ADDITIONS AND SUBDIVISION.(Mod2020/0313)



1 SITE PLAN
1 : 200



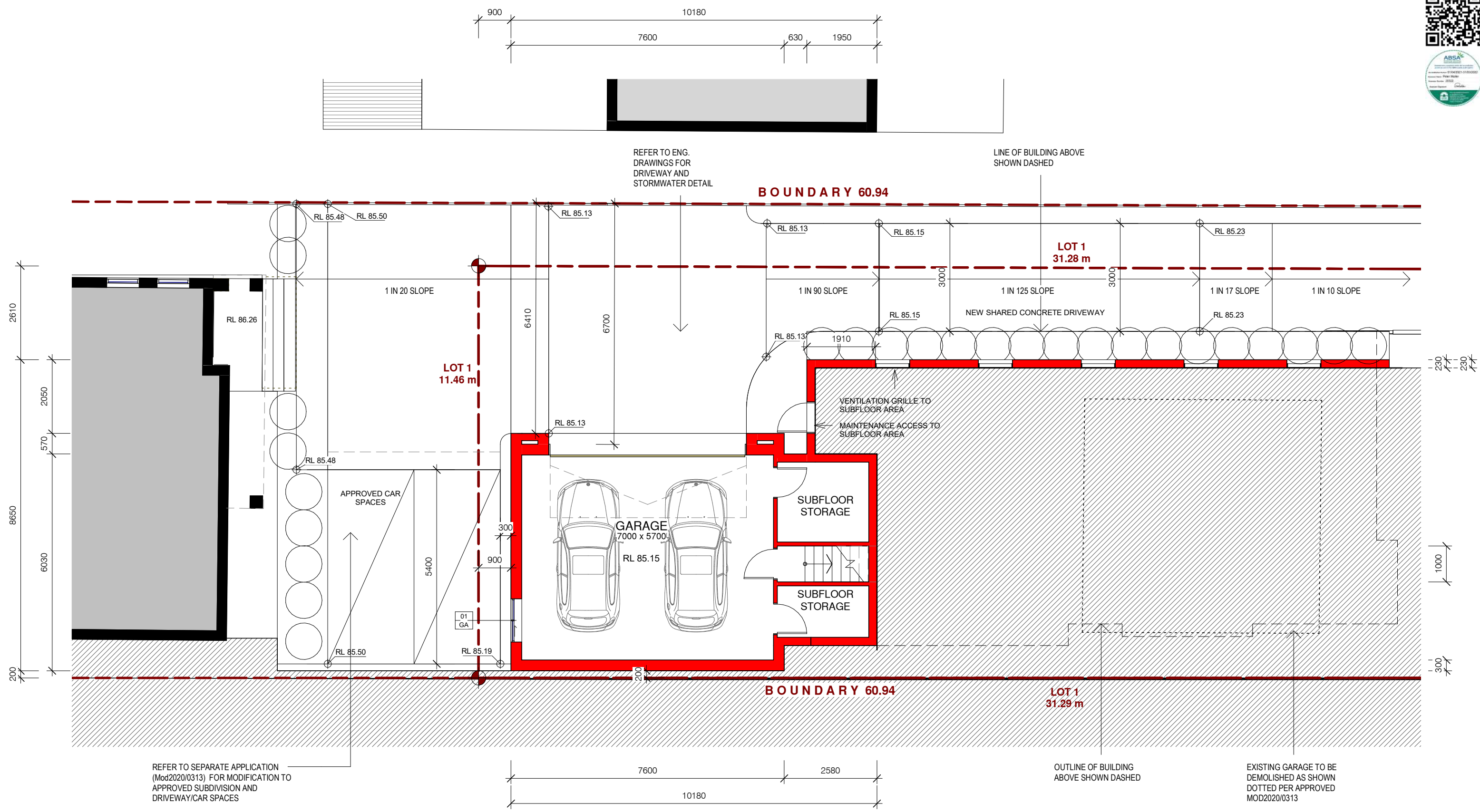
REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 200		SITE PLAN
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
PROJECT NO.	REV	DATE	DRAWING NO.
17.14	A	23.03.2021	DA205



1 GARAGE FLOOR PLAN
1 : 100

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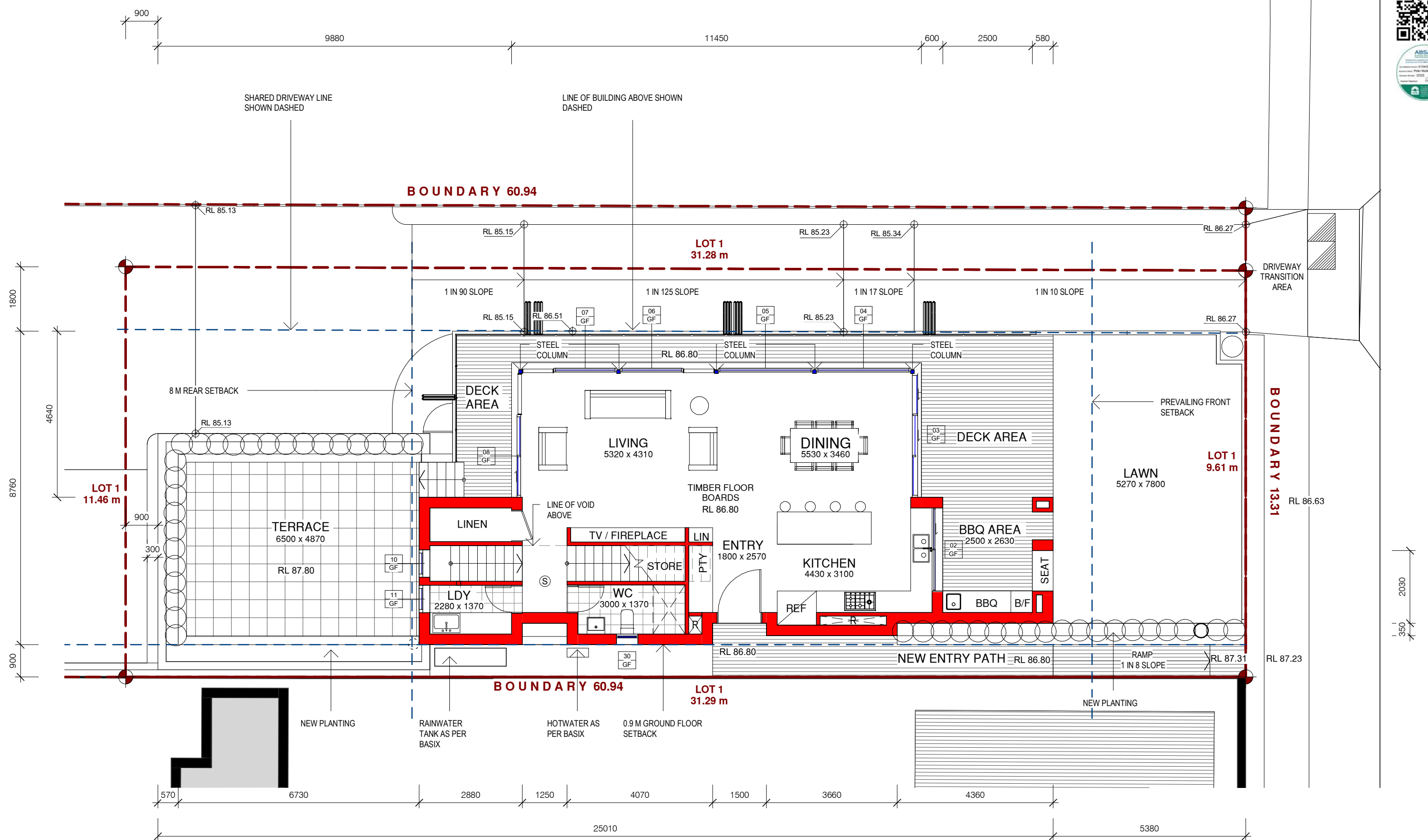
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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	(S) SMOKE ALARM R RISER LC LAUNDRY CHUTE REF REFRIGERATOR B/F BAR FRIDGE	PAGLIARO	As indicated		GARAGE FLOOR PLAN

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS. /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS. /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.	CLIENT ADDRESS 17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	DRAWN BY: ST DESIGNED BY: RU PROJECT NO. REV 17.14 A	TRUE NORTH DATE 23.03.2021 DRAWING NO. DA301
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1 GROUND FLOOR PLAN
1 : 100

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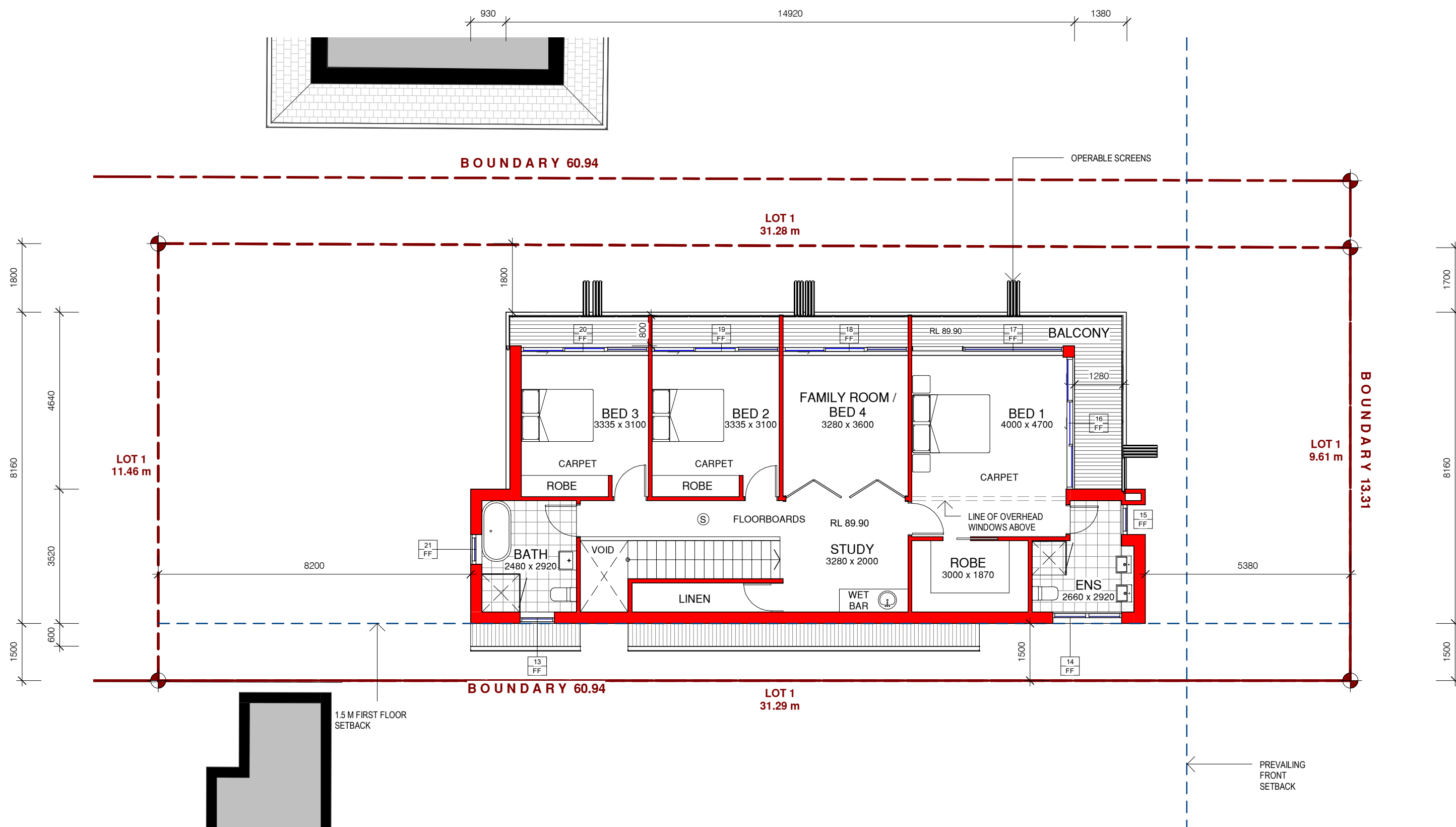
- LEGEND & NOTES
- Ⓢ SMOKE ALARM
 - R RISER
 - LC LAUNDRY CHUTE
 - REF REFRIGERATOR
 - B/F BAR FRIDGE

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	As indicated		GROUND FLOOR PLAN

ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU		23.03.2021

PROJECT NO.	REV	DATE
17.14	A	DA302



1 FIRST FLOOR PLAN
1 : 100



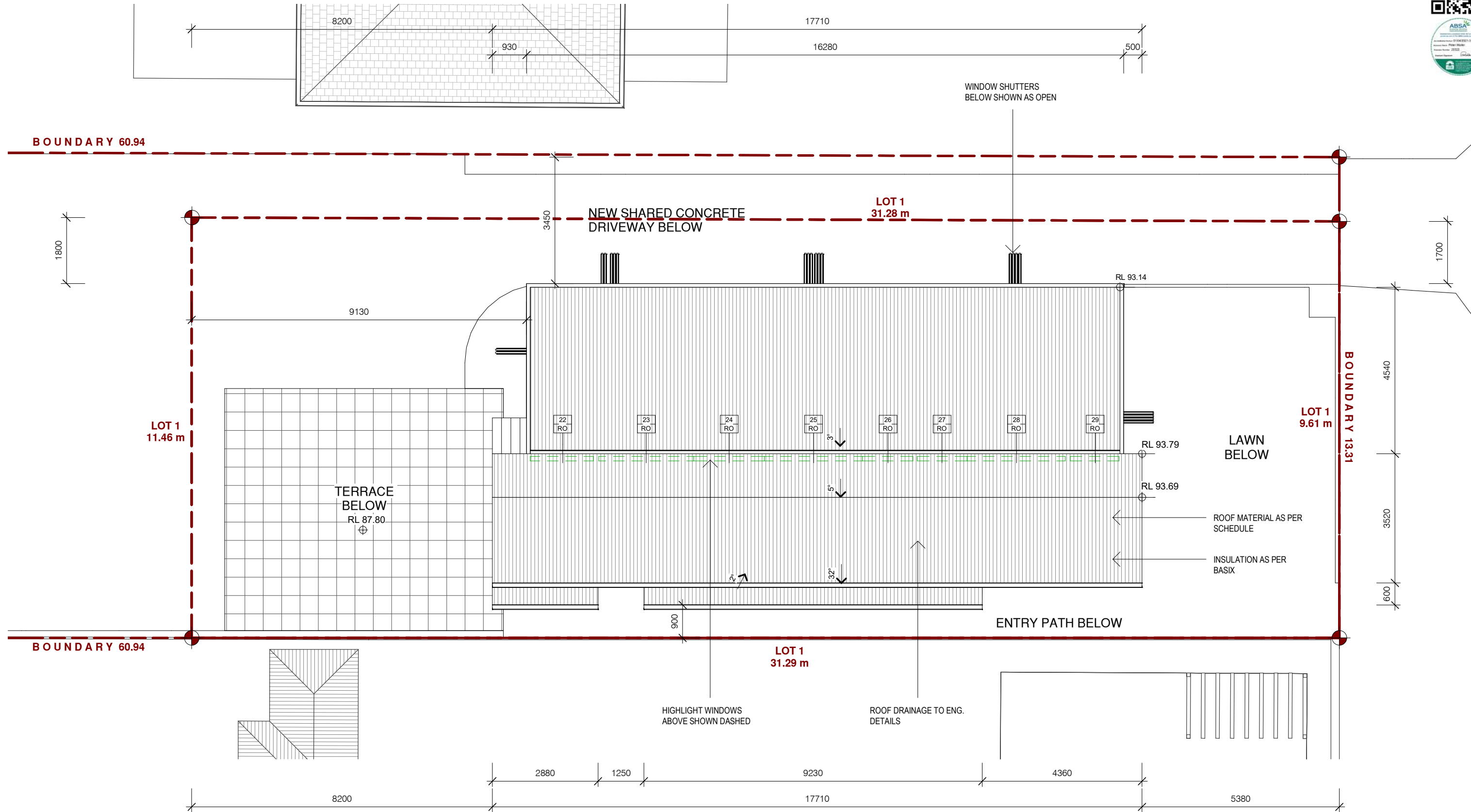
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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	(S) SMOKE ALARM R RISER LC LAUNDRY CHUTE REF REFRIGERATOR B/F BAR FRIDGE	PAGLIARO	As indicated		FIRST FLOOR PLAN	
<p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p> <p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p>				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
				17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU		23.03.2021
					PROJECT NO.	REV		DRAWING NO.
					17.14	A		DA303



1

ROOF PLAN

1 : 100

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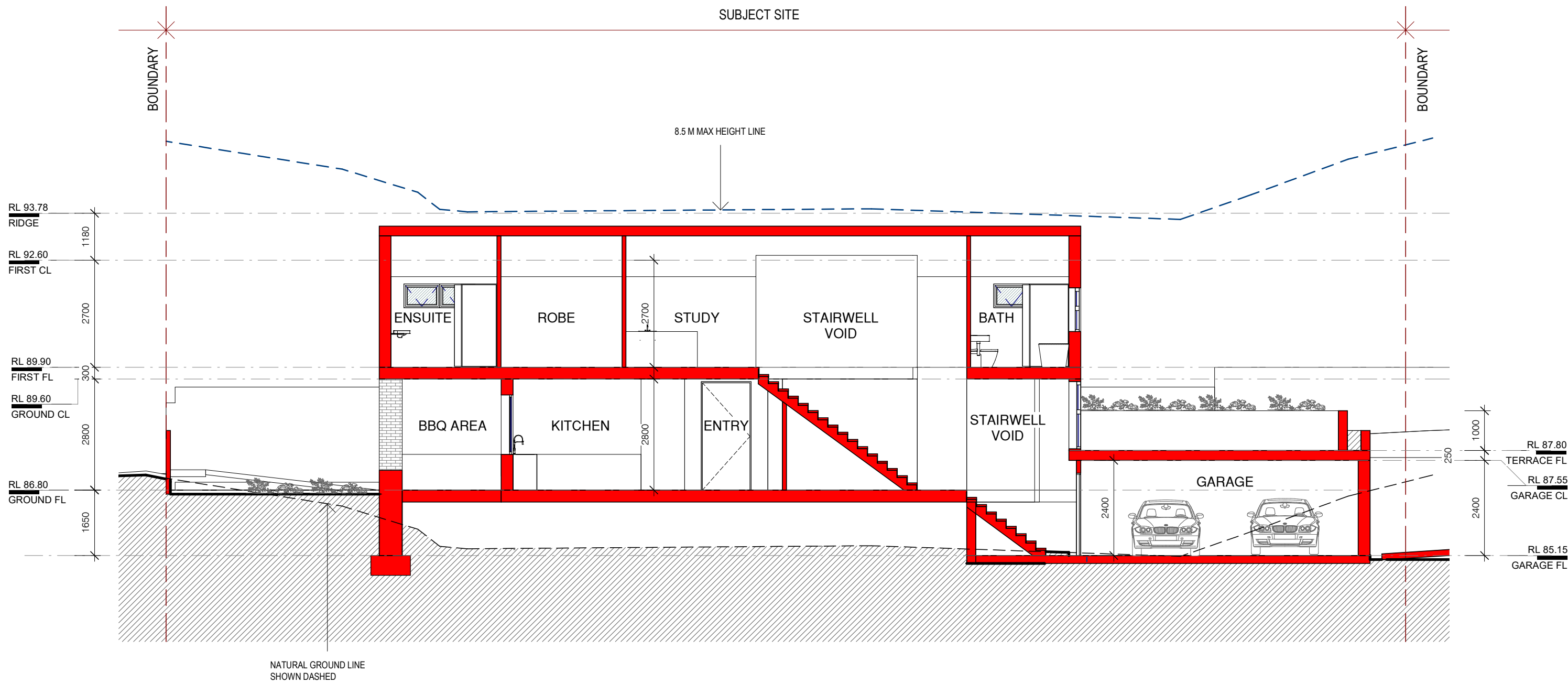
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REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO	1 : 100		ROOF PLAN
				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
				17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
					PROJECT NO.	REV	DATE
					17.14	A	23.03.2021
							DRAWING NO.
							DA304

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1 LONG SECTION
1 : 100



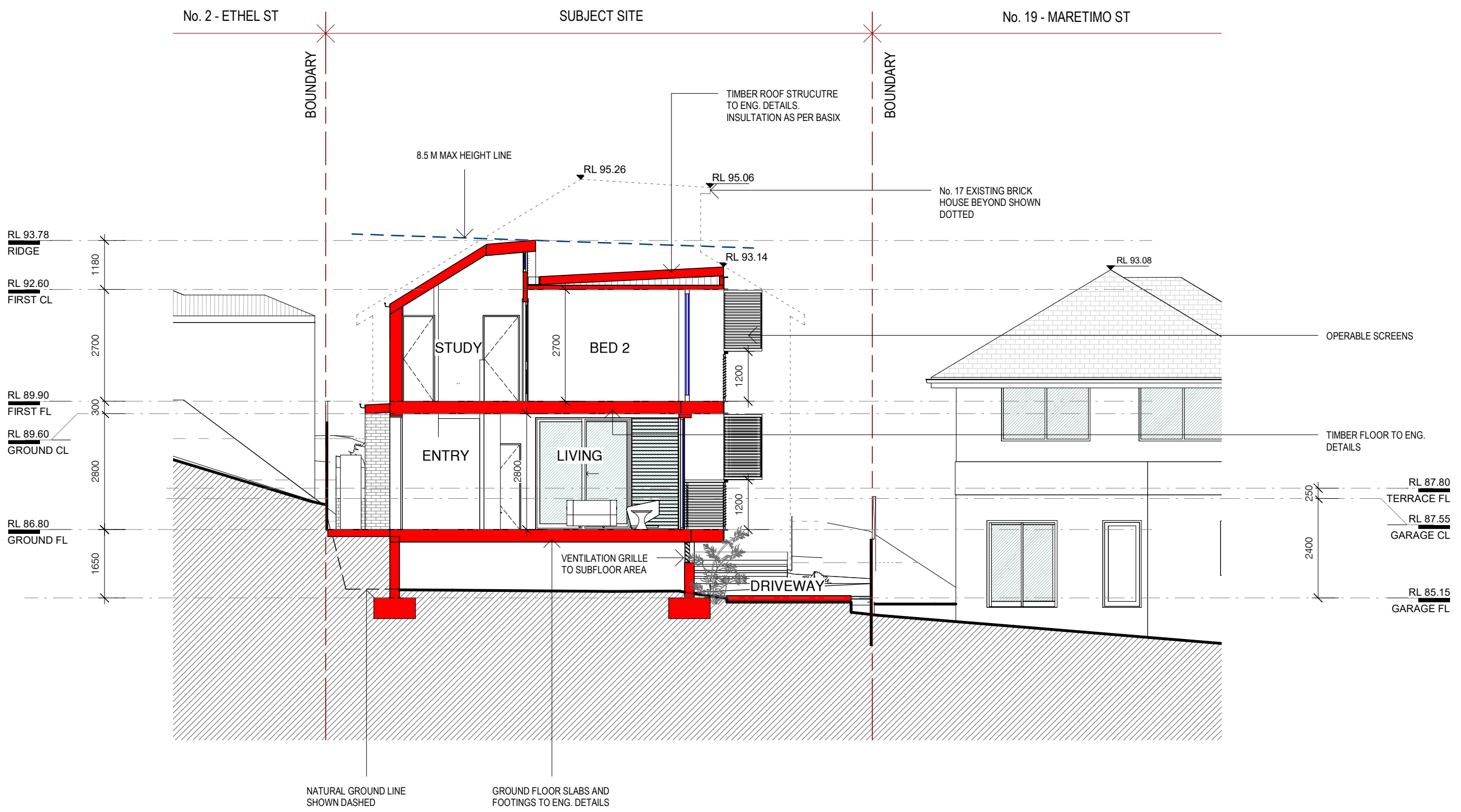
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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO	1 : 100		SECTIONS 01
<p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p> <p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p>				<p>ADDRESS</p> <p>17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433</p> <p>DRAWN BY. ST PROJECT NO. 17.14</p> <p>DESIGNED BY. RU A</p> <p>TRUE NORTH DATE 23.03.2021</p> <p>DRAWING NO. DA401</p>			



1 SHORT SECTION
1:100



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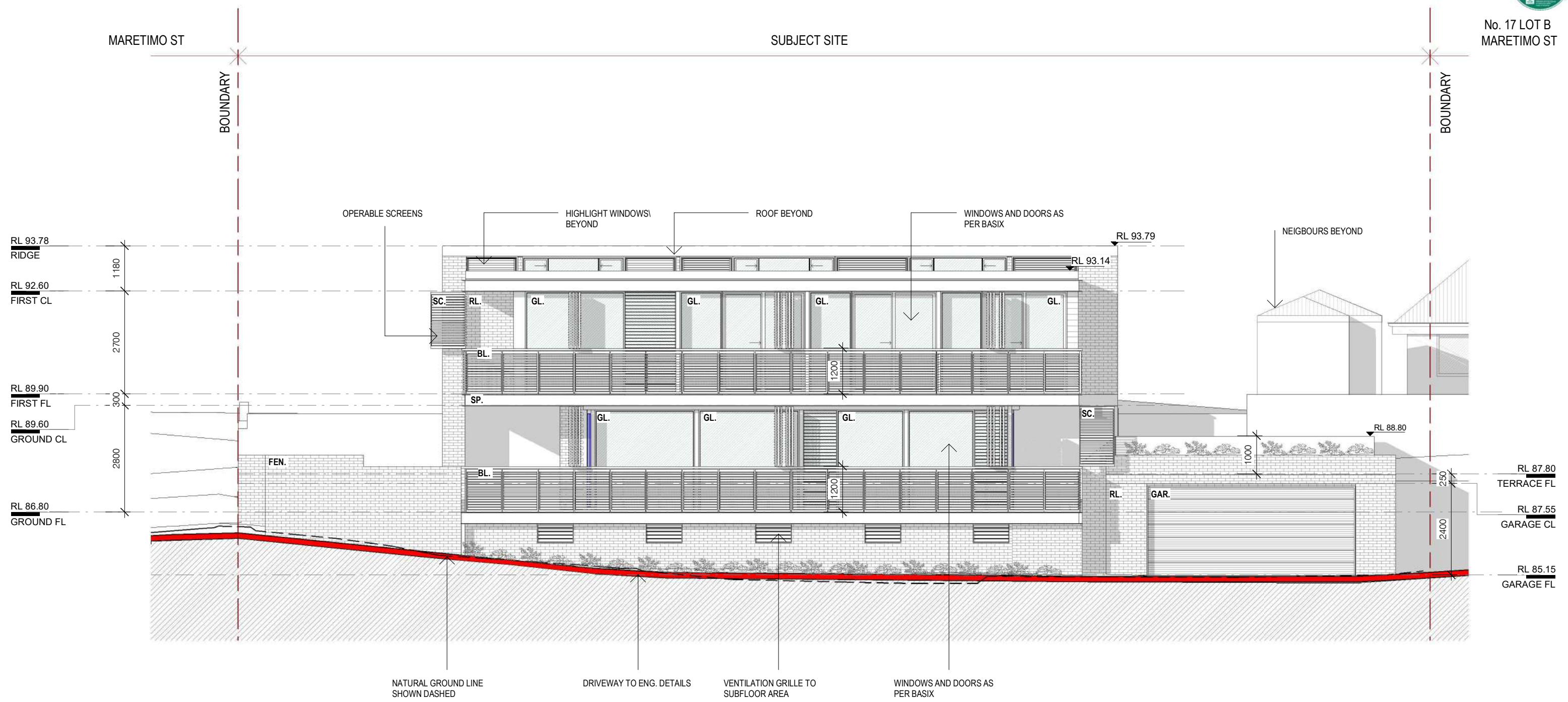
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REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		PAGLIARO	1 : 100		SECTIONS 02	
<p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p> <p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p>				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
				17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU		23.03.2021
				PROJECT NO.	REV		DRAWING NO.	
				17.14	A		DA402	



No. 17 LOT B
MARETIMO ST



1

NORTH ELEVATION

1 : 100

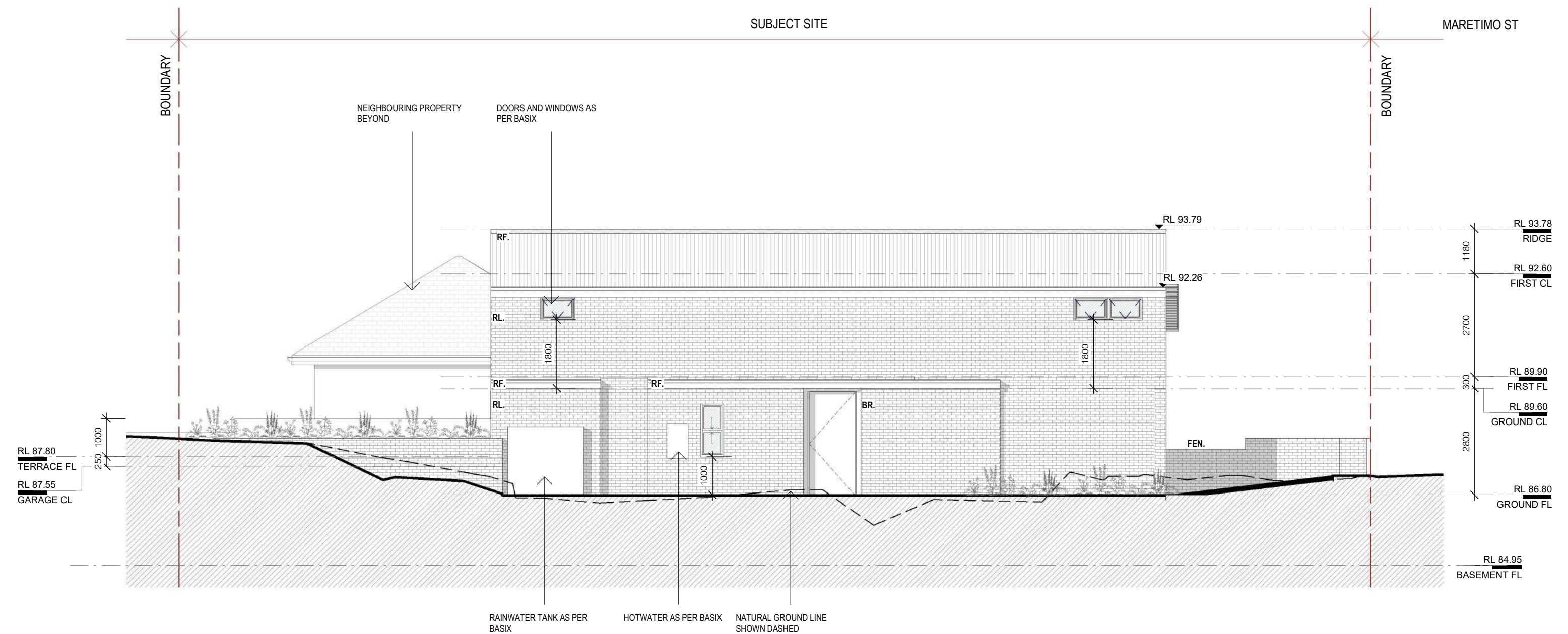
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REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<u>MATERIALS LEGEND</u> <u>(REFER TO DA901)</u>	PAGLIARO	1 : 100		NORTH ELEVATION	
<div><div>BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS</div><div>FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY GAR - GARAGE DOOR</div></div>				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
<p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p> <p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p>				17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU		23.03.2021
					PROJECT NO.	REV		DRAWING NO.
					17.14	A		DA501



1

SOUTH ELEVATION

1 : 100

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ARCHITECTS

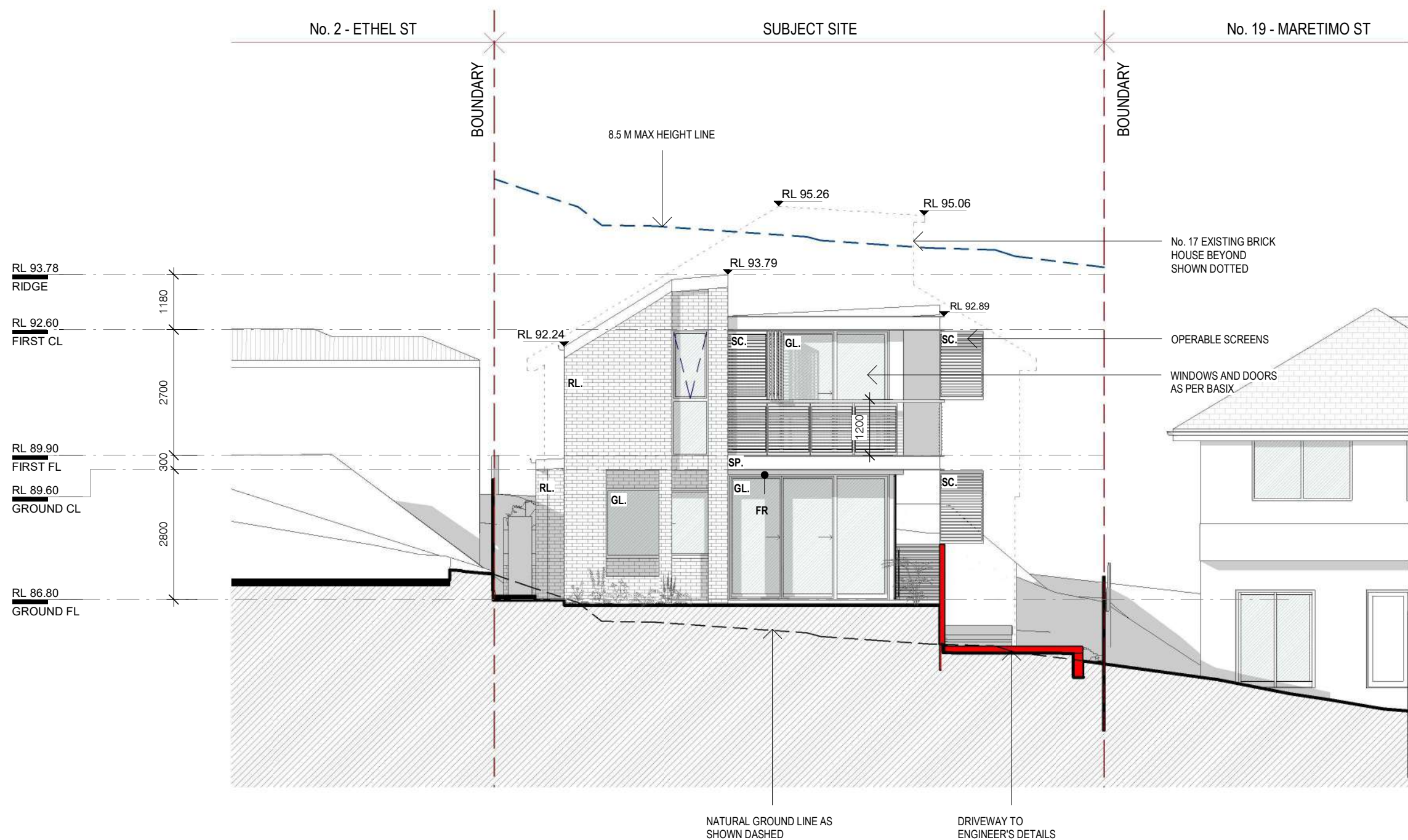
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A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	MATERIALS LEGEND (REFER TO DA901) BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS

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FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	1 : 100		SOUTH ELEVATION
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
	PROJECT NO.	REV	DATE
	17.14	A	23.03.2021
			DRAWING NO.
			DA502



1 EAST ELEVATION
1 : 100



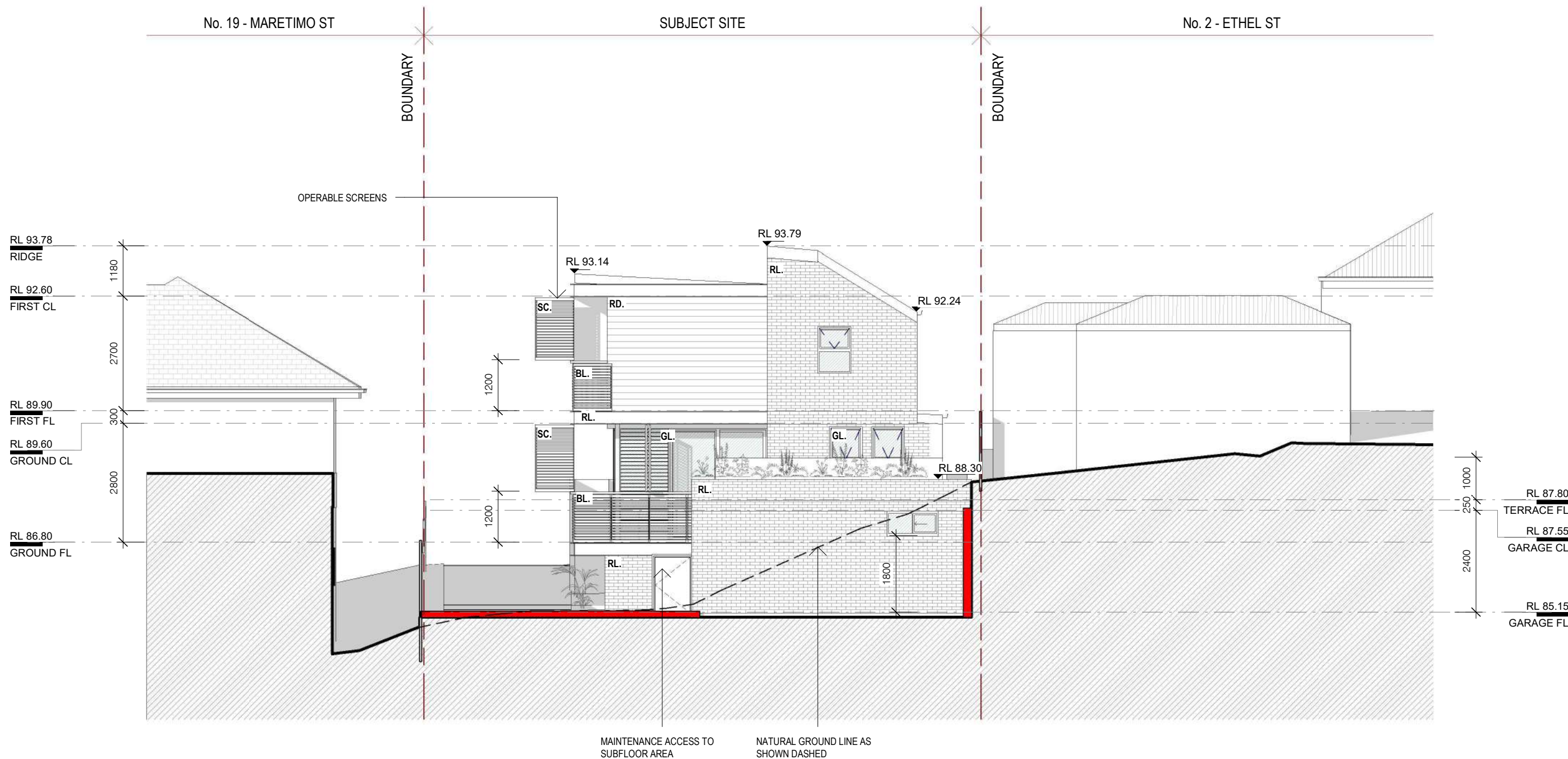
URSINO
ARCHITECTS

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(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

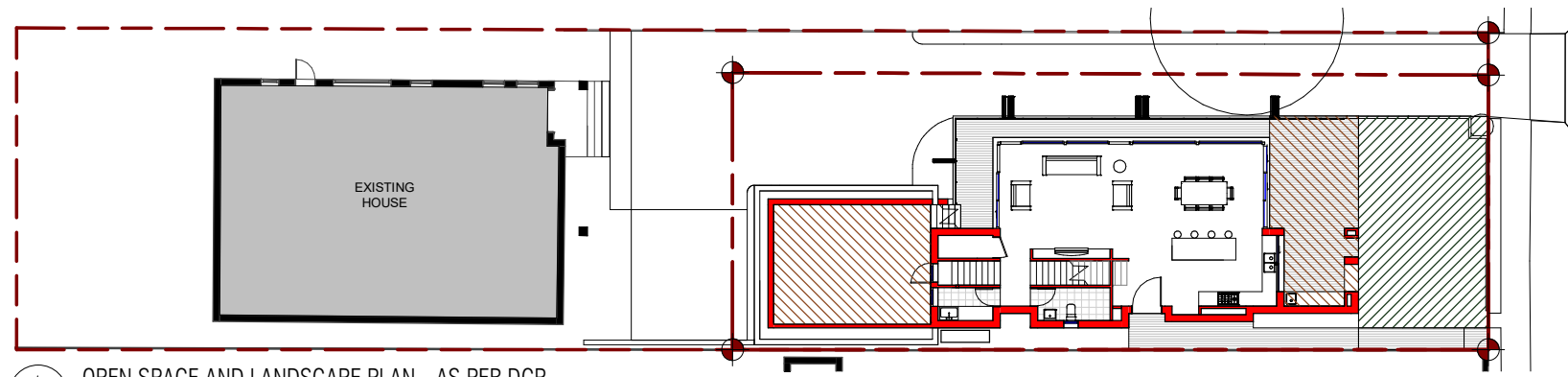
FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<u>MATERIALS LEGEND</u> <u>(REFER TO DA901)</u>	PAGLIARO	1 : 100		EAST ELEVATION	
<div><div>BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS</div><div>FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY GAR - GARAGE DOOR</div></div>				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
<div><div>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</div></div>				17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU		23.03.2021
					PROJECT NO.	REV		DRAWING NO.
					17.14	A		DA503

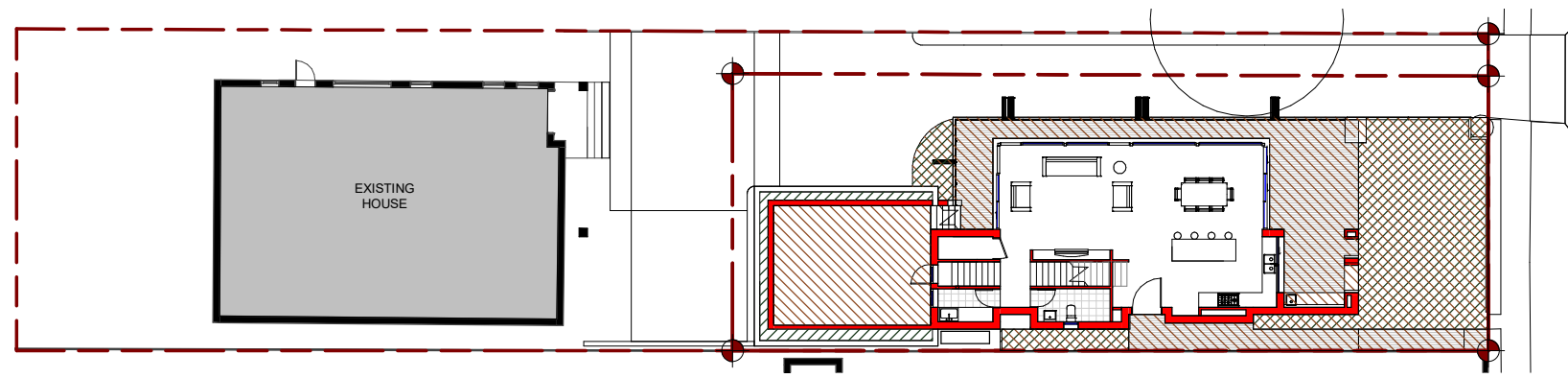


FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

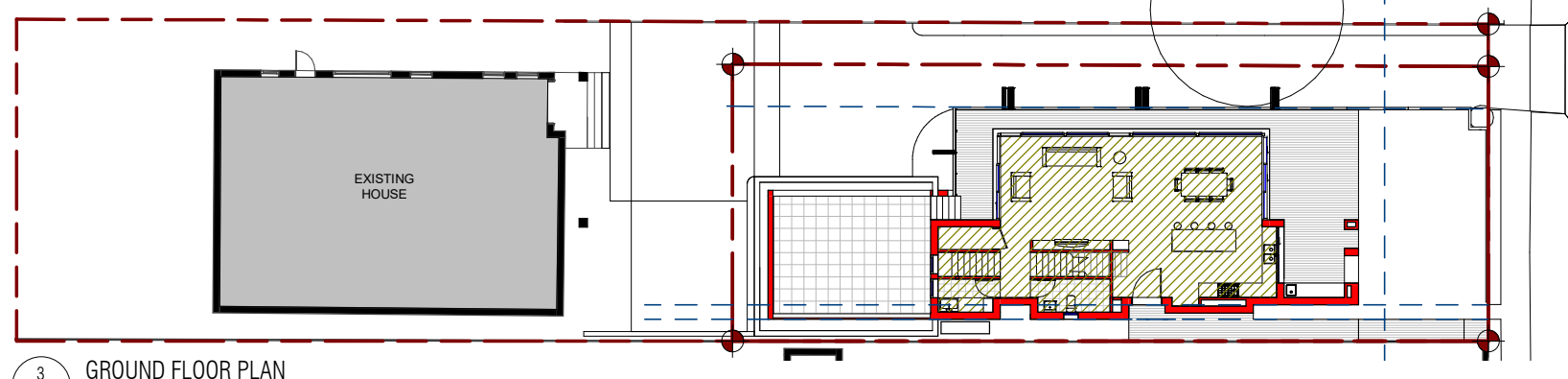
REVISION	DESCRIPTION	DATE	LEGEND & NOTES	CLIENT	SCALE	@ A3	DRAWING TITLE	
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<u>MATERIALS LEGEND</u> (REFER TO DA901)	PAGLIARO	1 : 100		WEST ELEVATION	
<div><div>BR - BRICK CL - CLADDING BL - BALUSTRADES SP - STEEL PROFILE RF - ROOF GL - GLASS</div><div>FR - FRAME SC - SCREENS FEN - FENCE DE - DECKING DR - DRIVEWAY GAR - GARAGE DOOR</div></div>				ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH	DATE
<div><div>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION. COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</div><div>17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433</div></div>				ST	RU			23.03.2021
				PROJECT NO.	REV		DRAWING NO.	
				17.14	A		DA504	



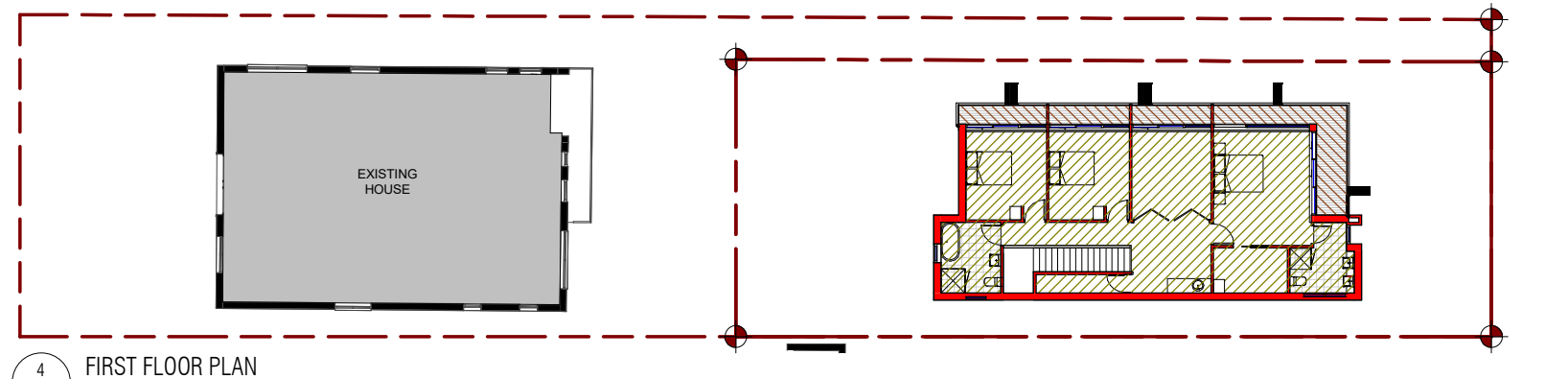
1 OPEN SPACE AND LANDSCAPE PLAN - AS PER DCP
1 : 300



2 OPEN SPACE AND LANDSCAPE PLAN - INCLUDING ALL AREAS
1 : 300



3 GROUND FLOOR PLAN
1 : 300



4 FIRST FLOOR PLAN
1 : 300

FLOOR SPACE RATIO ANALYSIS

SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
ALLOWABLE FSR	0.5 : 1
ALLOWABLE GROSS FLOOR AREA	178.4 SQM
PROPOSED AREA	
GROUND FLOOR	84.2 SQM
FIRST FLOOR	94.2 SQM
TOTAL GROSS FLOOR AREA	
TOTAL FSR	0.5 : 1

OPEN SPACE ANALYSIS

(AS PER DCP)	
SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
MINIMUM TOTAL OPEN SPACE	(55% OF SITE) 196.2 SQM
. CLASSIFIED AS AREA OS3 . MINIMUM DIMENSION OF 3 METRES . MINIMUM UNBROKEN AREA OF 12SQM	
PROPOSED AREA	
ON GROUND OPEN SPACE	72.5 SQM
ABOVE GROUND OPEN SPACE	32 SQM
TOTAL OPEN SPACE	
(29.3% OF SITE) 104.5 SQM	

LANDSCAPED AREA ANALYSIS

(AS PER DCP)	
REQUIRED OPEN SPACE AREA	196.2 SQM
COUNCIL REQUIREMENTS	
MIN. LANDSCAPED AREA	68.67 SQM
(35% OF TOTAL OPEN SPACE)	
PROPOSED AREA	
TOTAL LANDSCAPED AREA	(69% OF REQUIRED) 47 SQM

TOTAL OPEN SPACE ANALYSIS

(INCLUDING ALL AREAS)	
SITE AREA	356.8 SQM
COUNCIL REQUIREMENTS	
MIN. OPEN SPACE AREA	(55% OF SITE) 196.2 SQM
PROPOSED AREA	
ON GROUND OPEN SPACE	100.42 SQM
ABOVE GROUND OPEN SPACE	74 SQM
TOTAL OPEN SPACE	
(51% OF SITE) 174.42 SQM	

LANDSCAPED AREA ANALYSIS

(INCLUDING ALL AREAS)	
REQUIRED TOTAL OPEN SPACE AREA	196.2 SQM
COUNCIL REQUIREMENTS	
MIN. LANDSCAPED AREA	68.67 SQM
(35% OF TOTAL OPEN SPACE)	
PROPOSED AREA	
TOTAL LANDSCAPED AREA	(86% OF REQUIRED) 59.1 SQM

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION




URSINO ARCHITECTS


Suite 313 , 49 Queens Road Five Dock NSW 2046
(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565


REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	



OPEN SPACE AREA




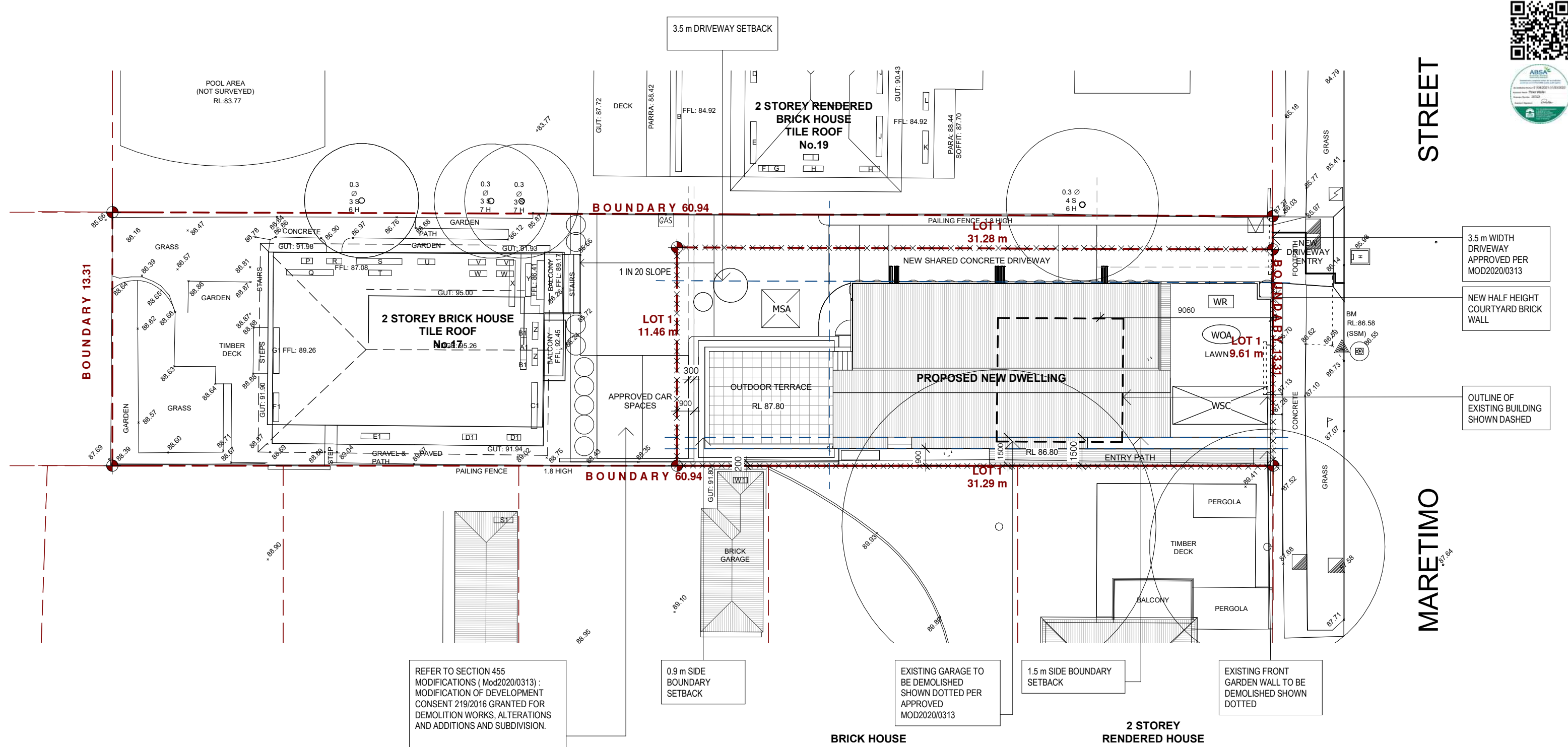
GROSS FLOOR AREA



LANDSCAPED AREA

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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	As indicated		CALCULATIONS
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
	PROJECT NO.	REV	DATE
	17.14	A	23.03.2021
			DRAWING NO.
			DA701



1 EROSION AND SEDIMENT CONTROL PLAN
1 : 200

LEGEND

- SEDIMENT CONTROL FENCE
- BUILDING WASTE & RECYCLING STORAGE AREA
- MATERIALS STORAGE AREA
- VEHICLE ENTRY & EXIT
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED NEW TREE

SEDIMENT CONTROL NOTES

- ALL SEDIMENT DAMS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL & DEBRIS
- SAND BAGS SHALL BE WELL PACKED AGAINST ADJOINING BAGS
- FILTER SHALL BE CONSTRUCTED BY REMOVING & WRAPPING GRATE IN FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) WITH MINIMUM 75mm FREE FABRIC OUTSIDE ALL EDGES OF GRATE WHEN IT IS REINSTALLED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE

SEDIMENT DAM

SEDIMENT FENCE

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE
1 : 200

DRAWN BY.
ST

DESIGNED BY.
RU

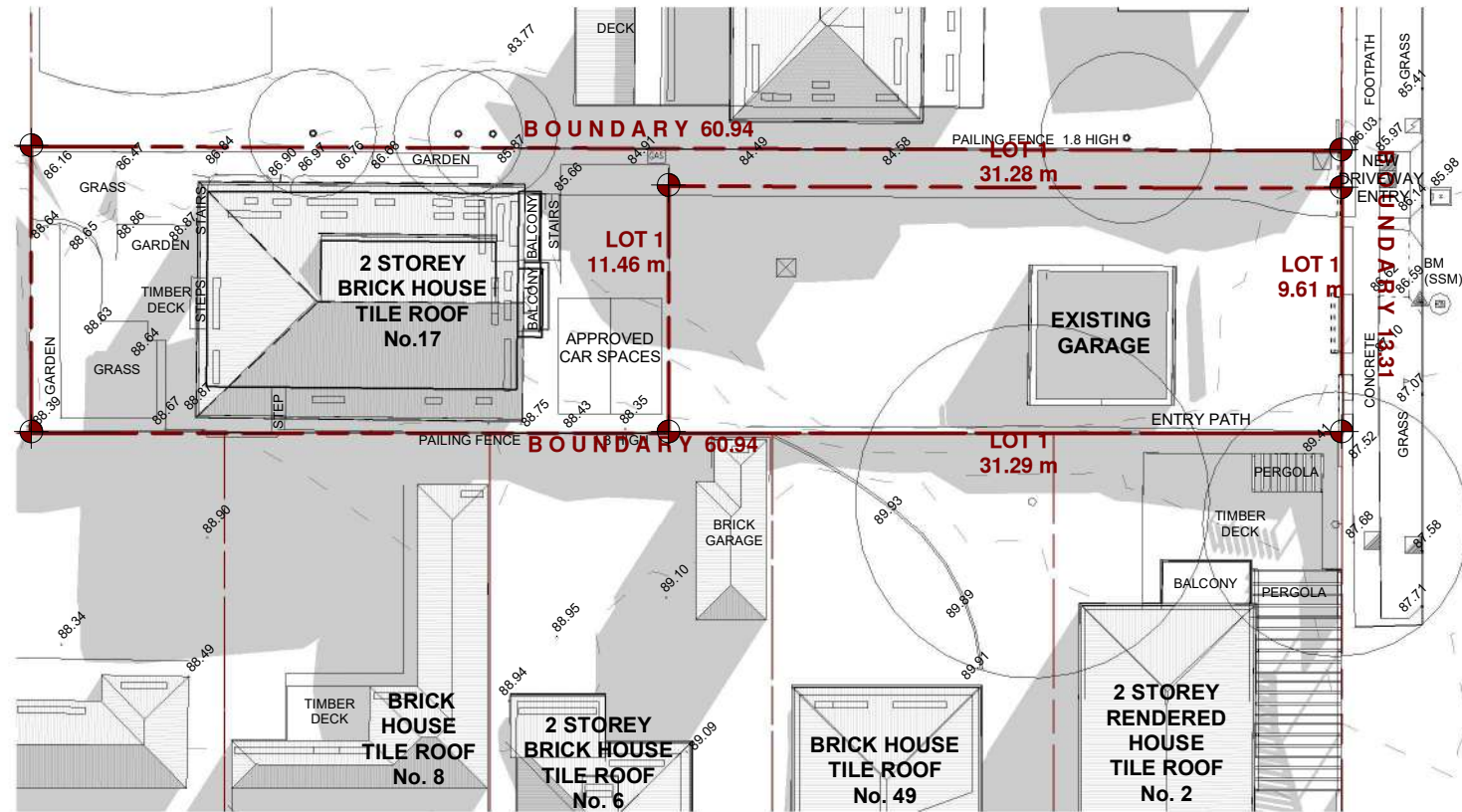
PROJECT NO.
17.14

TRUE NORTH

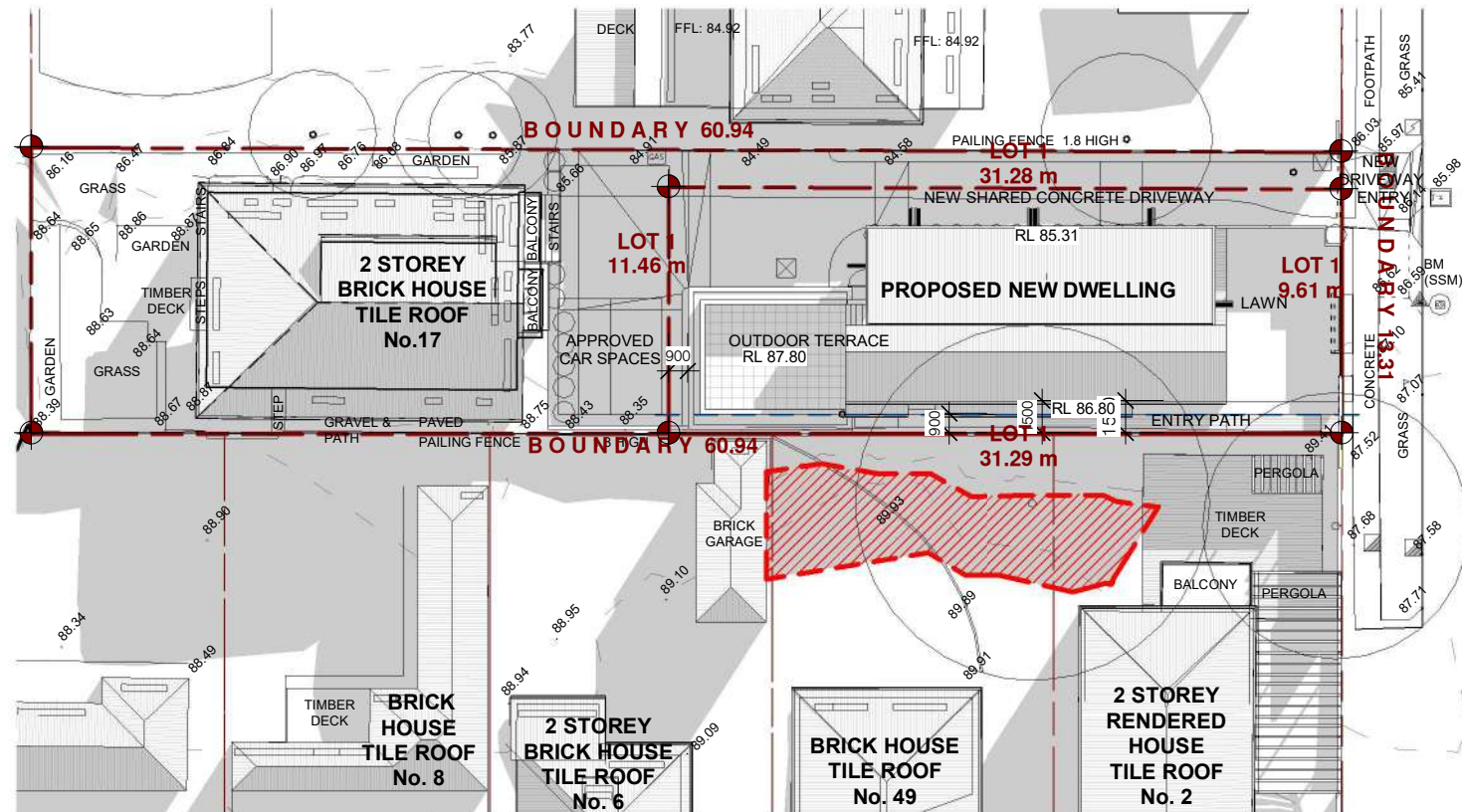
DATE
23.03.2021

DRAWING NO.
DA702

DRAWING TITLE
EROSION AND SEDIMENT CONTROL PLAN



1 SHADOW DIAGRAM 21 JUNE 9 AM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 9 AM PROPOSED
1 : 350

FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	DATE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021

LEGEND & NOTES



ADDITIONAL SHADOW
CAST BY PROPOSED
BUILDING



PROPOSED
INCREASE IN
SHADOW



EXISTING SHADOWS

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS. /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS. /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS. /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA. /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE @ A3
As indicated

DRAWING TITLE
**SHADOW DIAGRAMS 21
JUNE 9 AM**

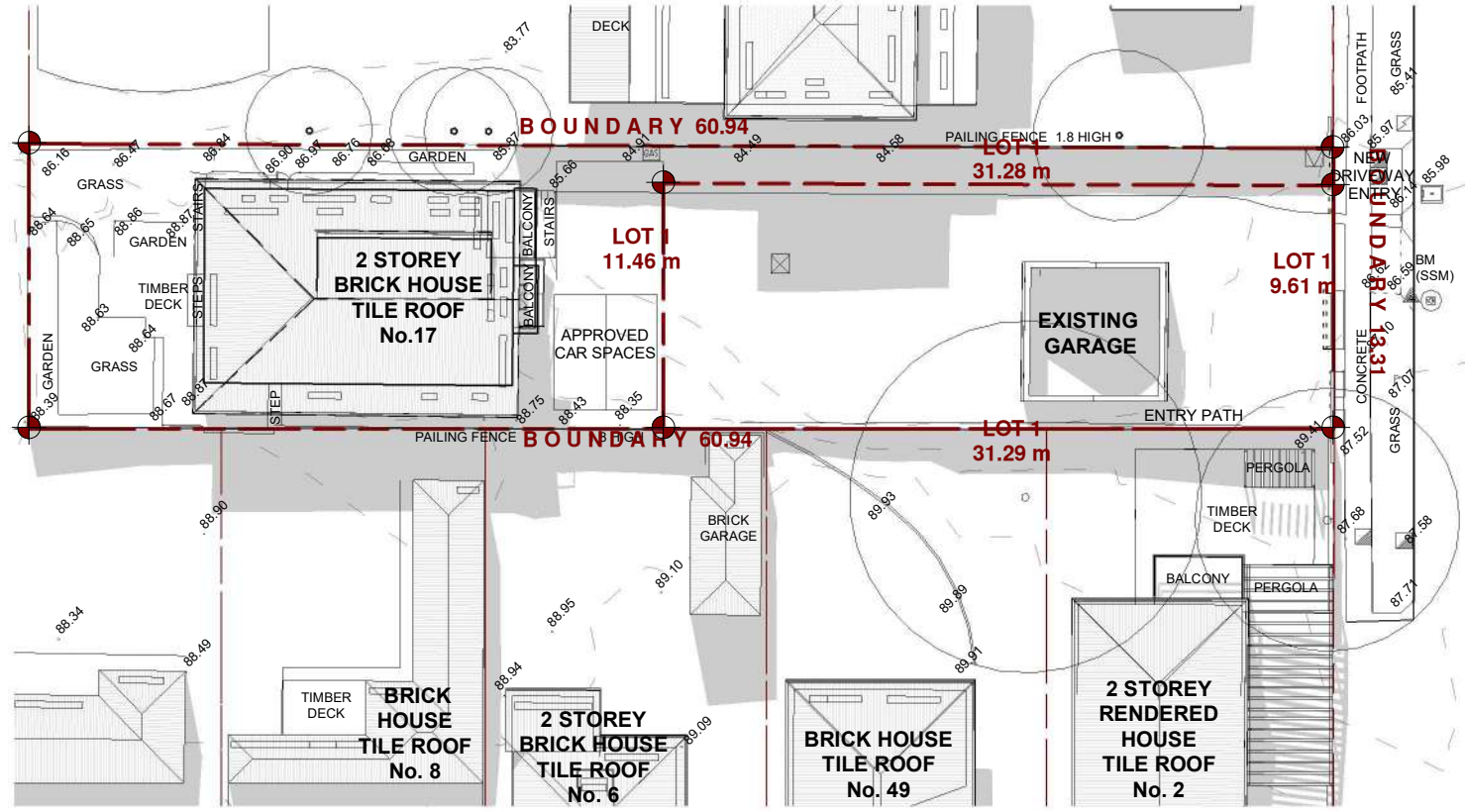
DRAWN BY. **ST**
PROJECT NO. **17.14**

DESIGNED BY. **RU**
REV **A**

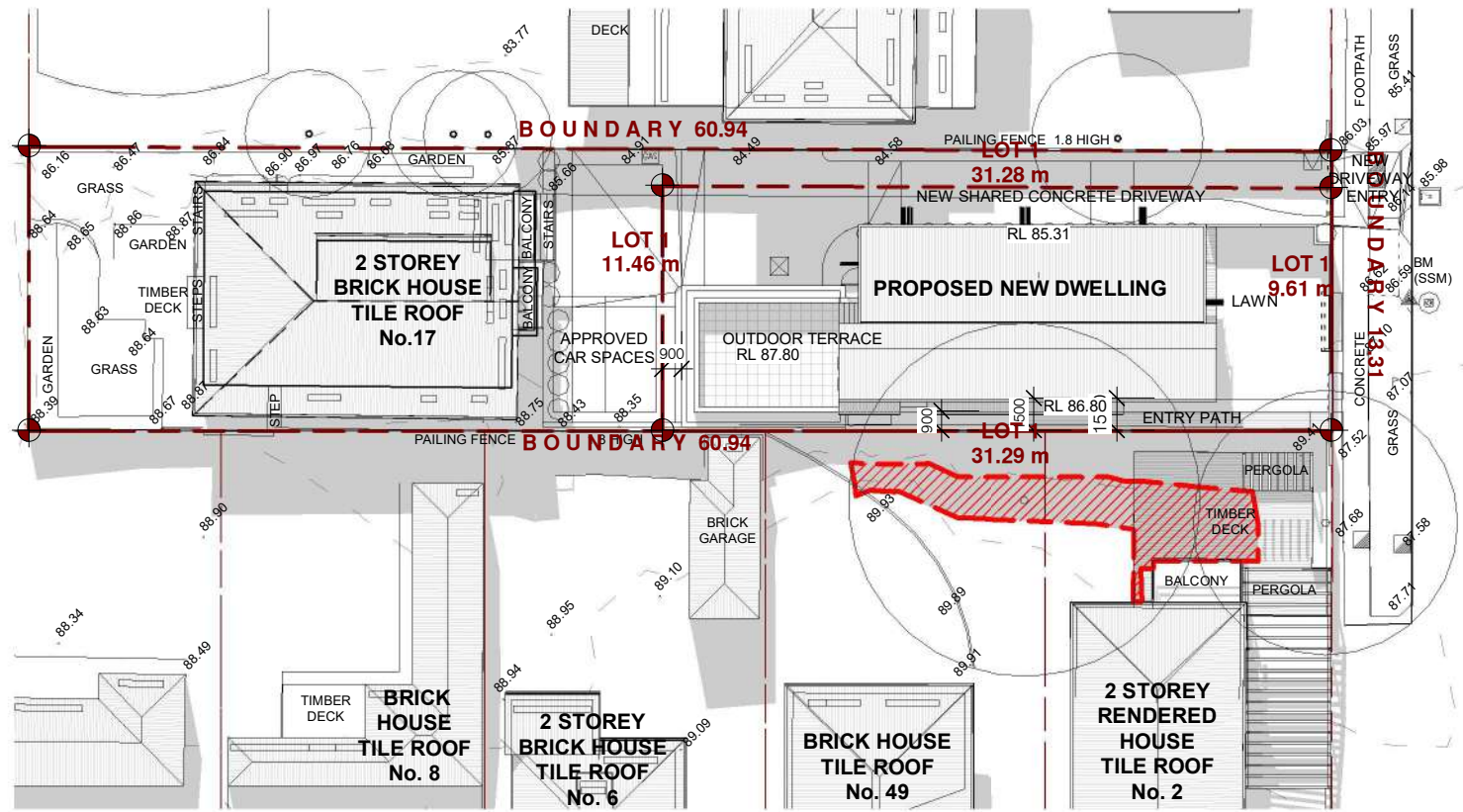
TRUE NORTH

DATE
23.03.2021

DRAWING NO.
DA703



1 SHADOW DIAGRAM 21 JUNE 12 AM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 12 AM PROPOSED
1 : 350




FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION



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
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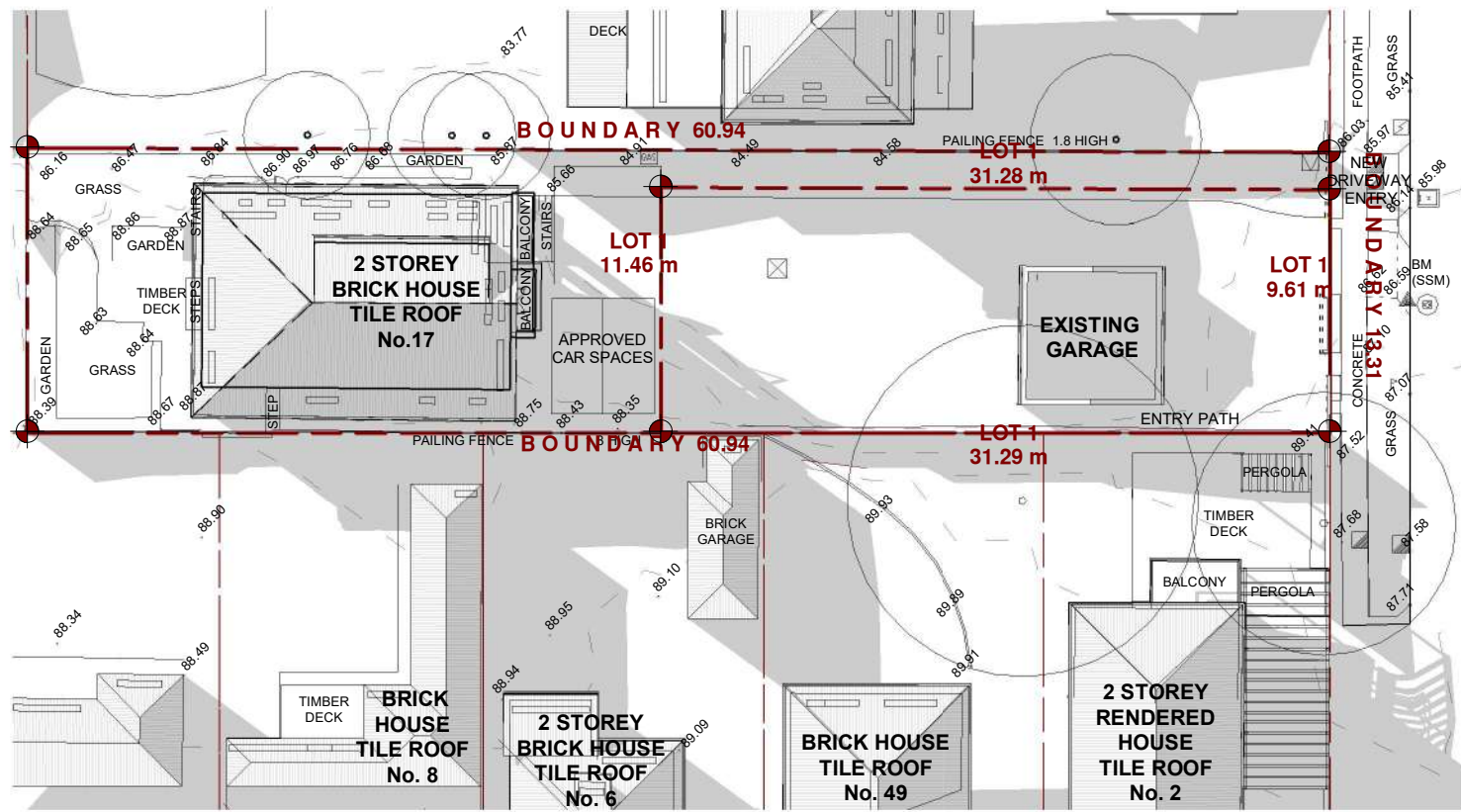
REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	<div><div> ADDITIONAL SHADOW CAST BY PROPOSED BUILDING</div><div> PROPOSED INCREASE IN SHADOW</div><div> EXISTING SHADOWS</div></div>

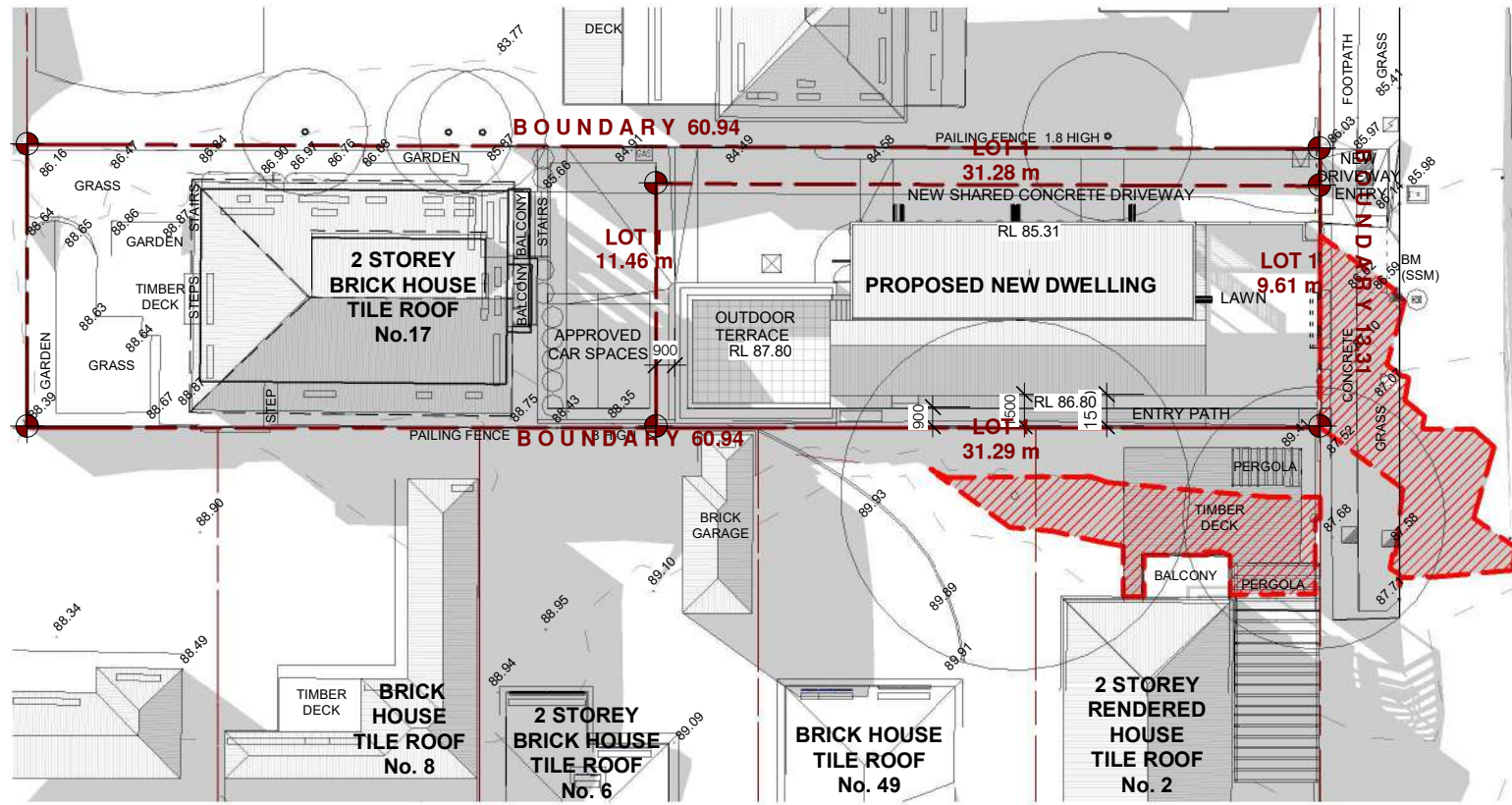
GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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CLIENT	SCALE	@ A3	DRAWING TITLE
PAGLIARO	As indicated		SHADOW DIAGRAMS 21 JUNE 12 PM
ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
	PROJECT NO.	REV	DATE
	17.14	A	23.03.2021
			DRAWING NO.
			DA704



1 SHADOW DIAGRAM 21 JUNE 3 PM EXISTING
1 : 350



2 SHADOW DIAGRAM 21 JUNE 3 PM PROPOSED
1 : 350





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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

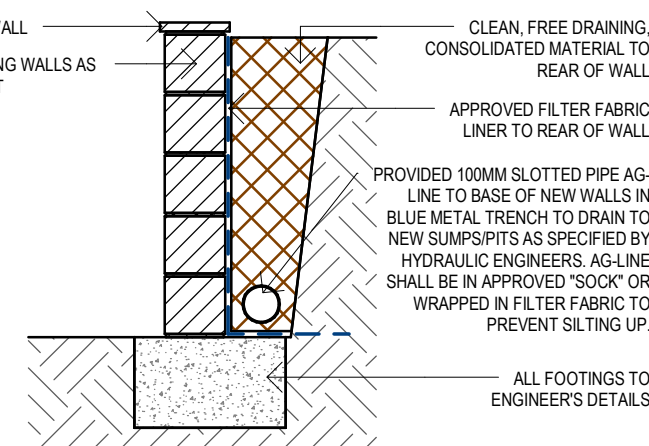
REVISION	DESCRIPTION	DATE	LEGEND & NOTES		CLIENT	SCALE	@ A3	DRAWING TITLE
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021		ADDITIONAL SHADOW CAST BY PROPOSED BUILDING		EXISTING SHADOWS		
<p>GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.</p> <p>COPYRIGHT: THIS DRAWING AND DESIGN IS SUBJECT TO COPYRIGHT AND SHALL NOT BE COPIED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION FROM URSINO ARCHITECTS.</p>				PROPOSED INCREASE IN SHADOW				
					ADDRESS	DRAWN BY.	DESIGNED BY.	TRUE NORTH
					17 MARETIMO ST BALGOWLAH, NSW 2093 LOT 6 IN DP 18433	ST	RU	
						PROJECT NO.	REV	DATE
						17.14	A	23.03.2021
								DRAWING NO.
								DA705



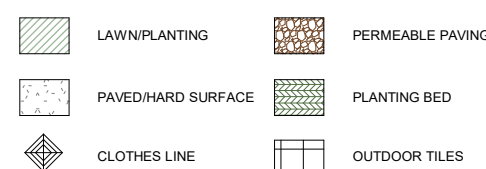
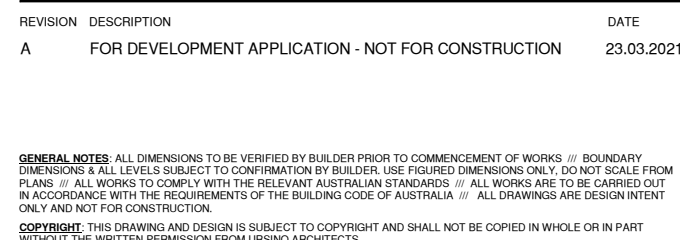
REF.	BOTANICAL NAME	COMMON NAME	MATURE H X S	POT SIZE	QTY
TREES					
SHRUBS					
PLANTS					
Xa	Philodendron "Xanadu"	<i>Dwarf Philodendron</i>	700mm x 700mm	140mm	60
LAWN	Sieotaphrum secundatum	<i>Buffalo Grass</i>			



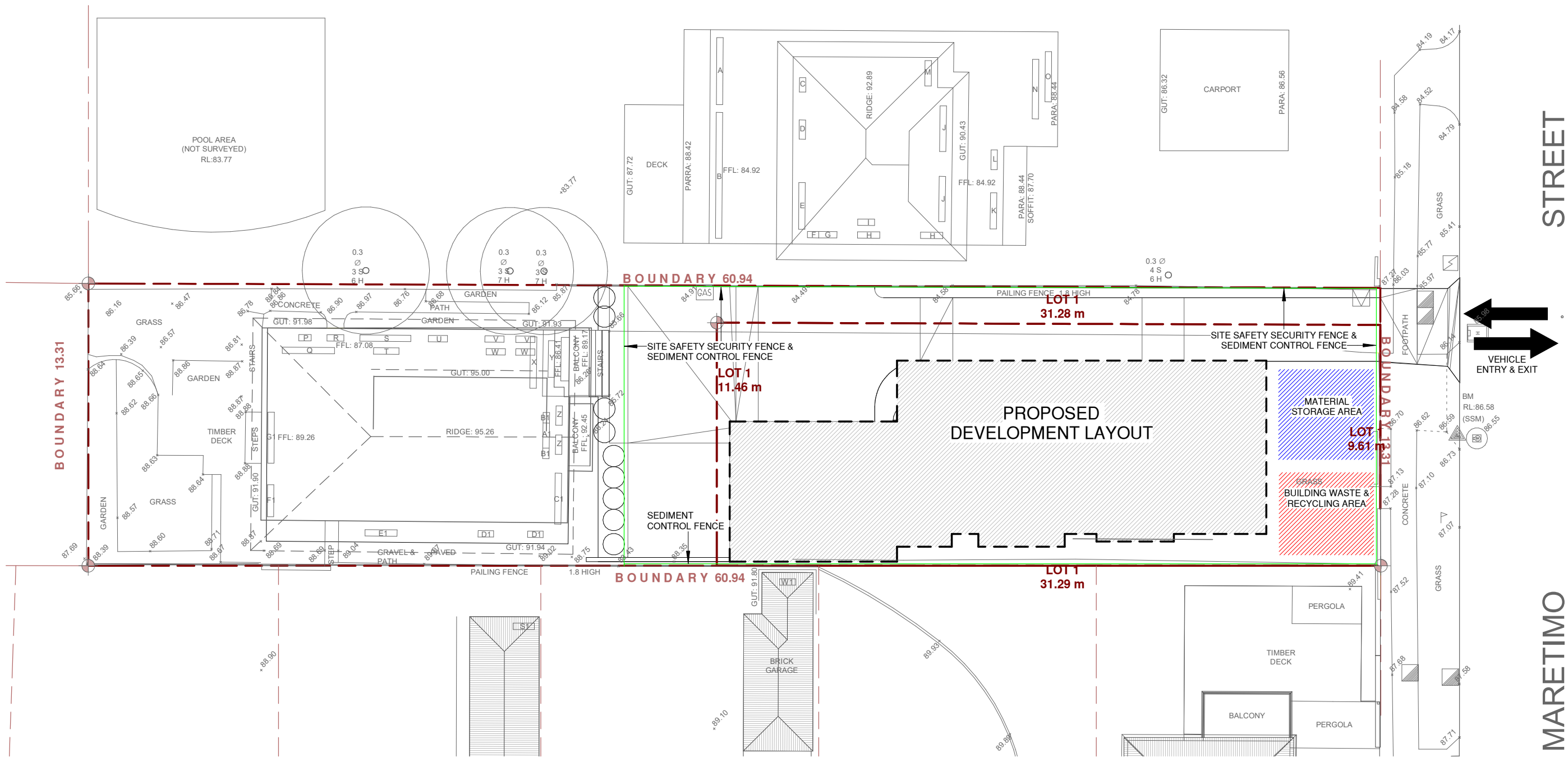
NOTE: ALL RETAINING WALLS WHICH FORM PART OF DRAINAGE WORKS SHALL BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEERS. ALL WALLS EXCEEDING 1M IN HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER.



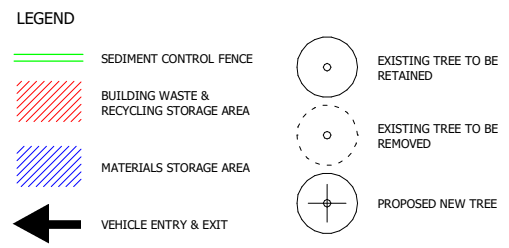
- All noxious weeds listed in Council's weed lists & located on the site shall be continually removed and suppressed.
- The design & location of new letter boxes shall be in accordance with Australia Post's Requirements of Delivery of Mail to Residential Premises.



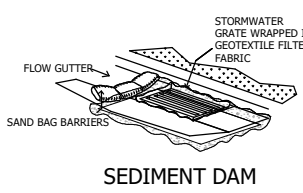
DRAWN BY. DESIGNED BY. TRUE NORTH DATE
ST RU **23.03.2021**
 PROJECT NO. REV DRAWING NO.
17.14 A DA706



1 CONSTRUCTION MANAGEMENT PLAN
1 : 200



- SEDIMENT CONTROL NOTES**
1. ALL SEDIMENT DAMS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL & DEBRIS
 2. SAND BAGS SHALL BE WELL PACKED AGAINST ADJOINING BAGS
 3. FILTER SHALL BE CONSTRUCTED BY REMOVING & WRAPPING GRATE IN FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) WITH MINIMUM 75mm FREE FABRIC OUTSIDE ALL EDGES OF GRATE WHEN IT IS REINSTALLED.
 4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE



1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 2.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER



FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

URSINO ARCHITECTS

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REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

GENERAL NOTES: ALL DIMENSIONS TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORKS /// BOUNDARY DIMENSIONS & ALL LEVELS SUBJECT TO CONFIRMATION BY BUILDER. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM PLANS /// ALL WORKS TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS /// ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA /// ALL DRAWINGS ARE DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.

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CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE
1 : 200

DRAWING TITLE
**CONSTRUCTION
MANAGEMENT PLAN**

DRAWN BY.
SS

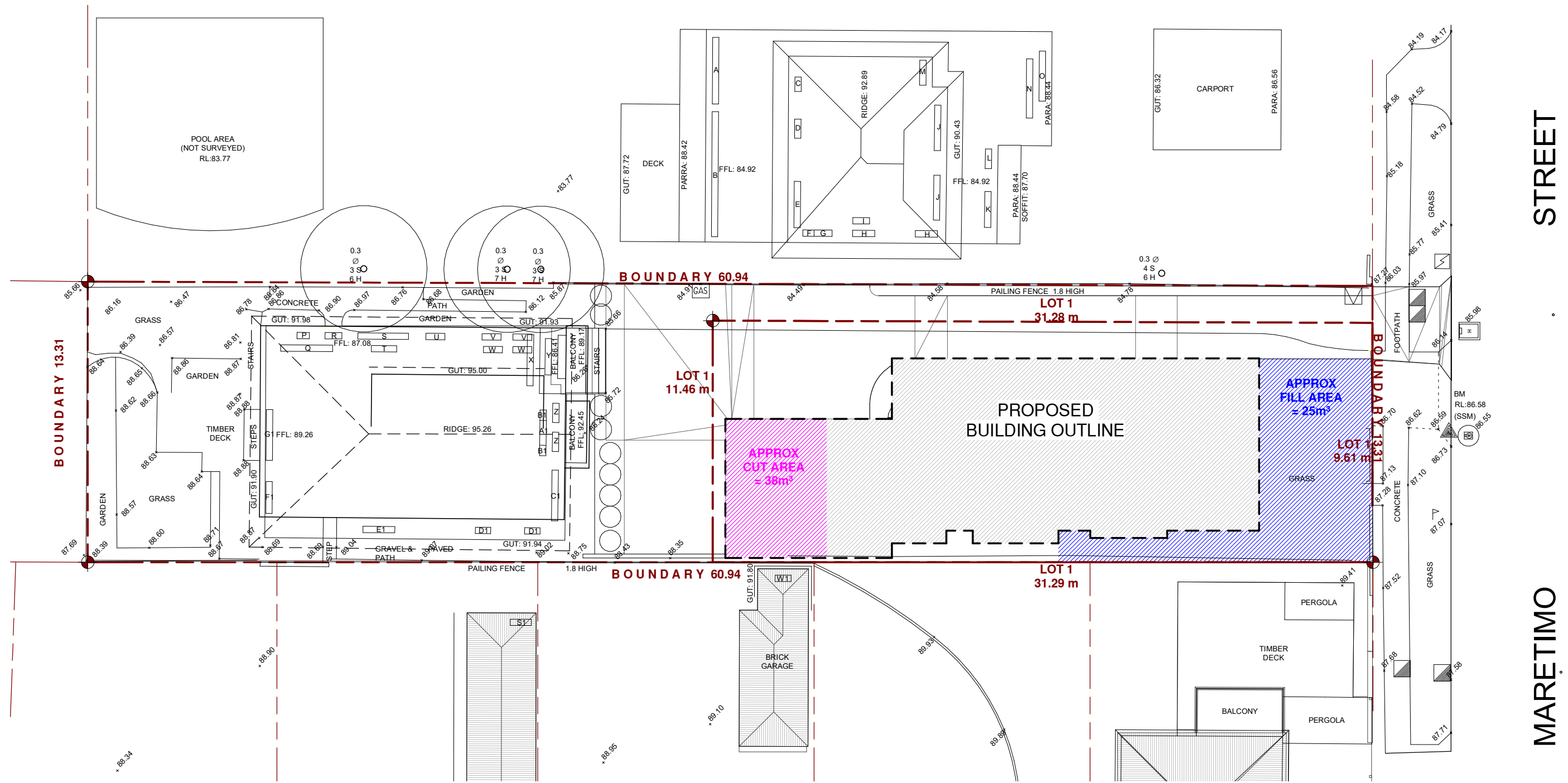
DESIGNED BY.
RU

PROJECT NO.
17.14

TRUE NORTH

DATE
23.03.2021

DRAWING NO.
DA708



1 CUT & FILL PLAN
1 : 200



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ARCHITECTS

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(02) 8970 2421 / PO Box 981 Five Dock NSW 2046
www.ursino.com.au

REGISTERED ARCHITECT: Robert Ursino NSW ARB No: 10565

REVISION	DESCRIPTION	DATE	LEGEND & NOTES
A	FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION	23.03.2021	

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FOR DEVELOPMENT APPLICATION - NOT FOR CONSTRUCTION

CLIENT
PAGLIARO

ADDRESS
**17 MARETIMO ST
BALGOWLAH, NSW 2093
LOT 6 IN DP 18433**

SCALE
1 : 200

DRAWING TITLE
CUT & FILL PLAN

DRAWN BY.
SS

DESIGNED BY.
RU

PROJECT NO.
17.14

REV
A

TRUE NORTH

DATE
23.03.2021

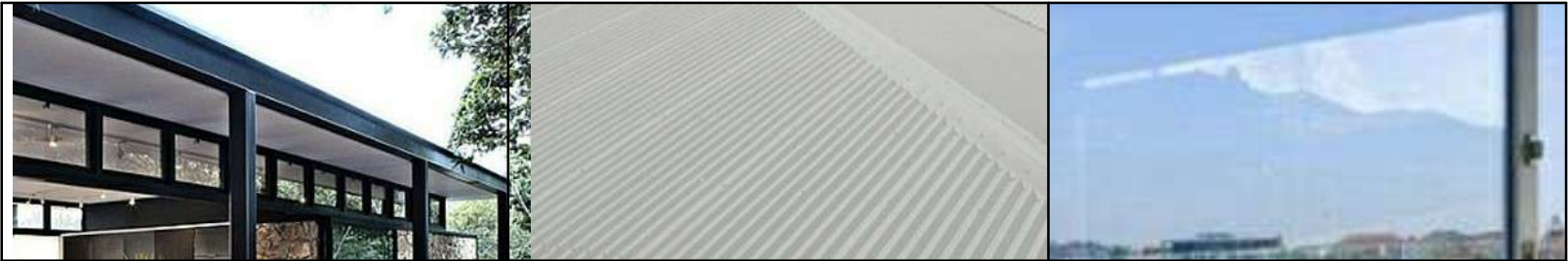
DRAWING NO.
DA709



RL. RENDERED LIGHT
LEXICON QUARTER
RL - LEXICON QUARTER (RENDERED LIGHT)

RD. RENDER - DARK
SCYON AXON HORIZONTALLY CLADDED
MONUMENT

BL. BALUSTRADES
ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS
MONUMENT



SP. STEEL PROFILE
POWDER COATED
EXPOSED FINISH

RF. ROOF
COLOURBOND ROOFING SHEET
SURFMIST

GL. GLASS



FR. FRAMES
POWDER COATED
MOUNMENT

SC. SCREENS
ALUMINIUM OR ALUMINIUM (TIMBER) BATTENS
MONUMENT

FEN. FENCE
TO MATCH RL. - RENDERED LIGHT



DE. DECKING
TIMBER DECK
SPOTTED GUM

DR. DRIVEWAY
CONCRETE DRIVEWAY
SMOOTH FINISH

GAR. GARAGE DOOR
ALUMINIUMUM
MATT FINISH

WINDOW SCHEDULE					
NO.	LEVEL	WIDTH	HEIGHT	AREA	ORIENTATION
01	GA	1200	600	0.7 m²	WEST
02	GF	2320	1500	3.5 m²	EAST
03	GF	3460	2700	9.3 m²	EAST
04	GF	2640	2700	7.1 m²	NORTH
05	GF	2640	2700	7.1 m²	NORTH
06	GF	2640	2700	7.1 m²	NORTH
07	GF	2640	2700	7.1 m²	NORTH
08	GF	3460	2700	9.3 m²	EAST
10	GF	765	1700	1.3 m²	WEST
11	GF	765	1700	1.3 m²	WEST
13	FF	900	600	0.5 m²	SOUTH
14	FF	1800	600	1.1 m²	SOUTH
15	FF	780	2700	2.1 m²	EAST
16	FF	3460	2700	9.3 m²	EAST
17	FF	3970	2700	10.7 m²	NORTH
18	FF	3280	2700	8.9 m²	NORTH
19	FF	3335	2700	9.0 m²	NORTH
20	FF	3335	2700	9.0 m²	EAST
21	FF	780	1100	0.9 m²	EAST
22	RO	1750	500	0.9 m²	NORTH
23	RO	2590	500	1.3 m²	NORTH
24	RO	1990	500	1.0 m²	NORTH
25	RO	2665	500	1.3 m²	NORTH
26	RO	1395	500	0.7 m²	NORTH
27	RO	1395	500	0.7 m²	NORTH
28	RO	2660	500	1.3 m²	NORTH
29	RO	1395	500	0.7 m²	NORTH
30	GF	600	1400	0.8 m²	SOUTH

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