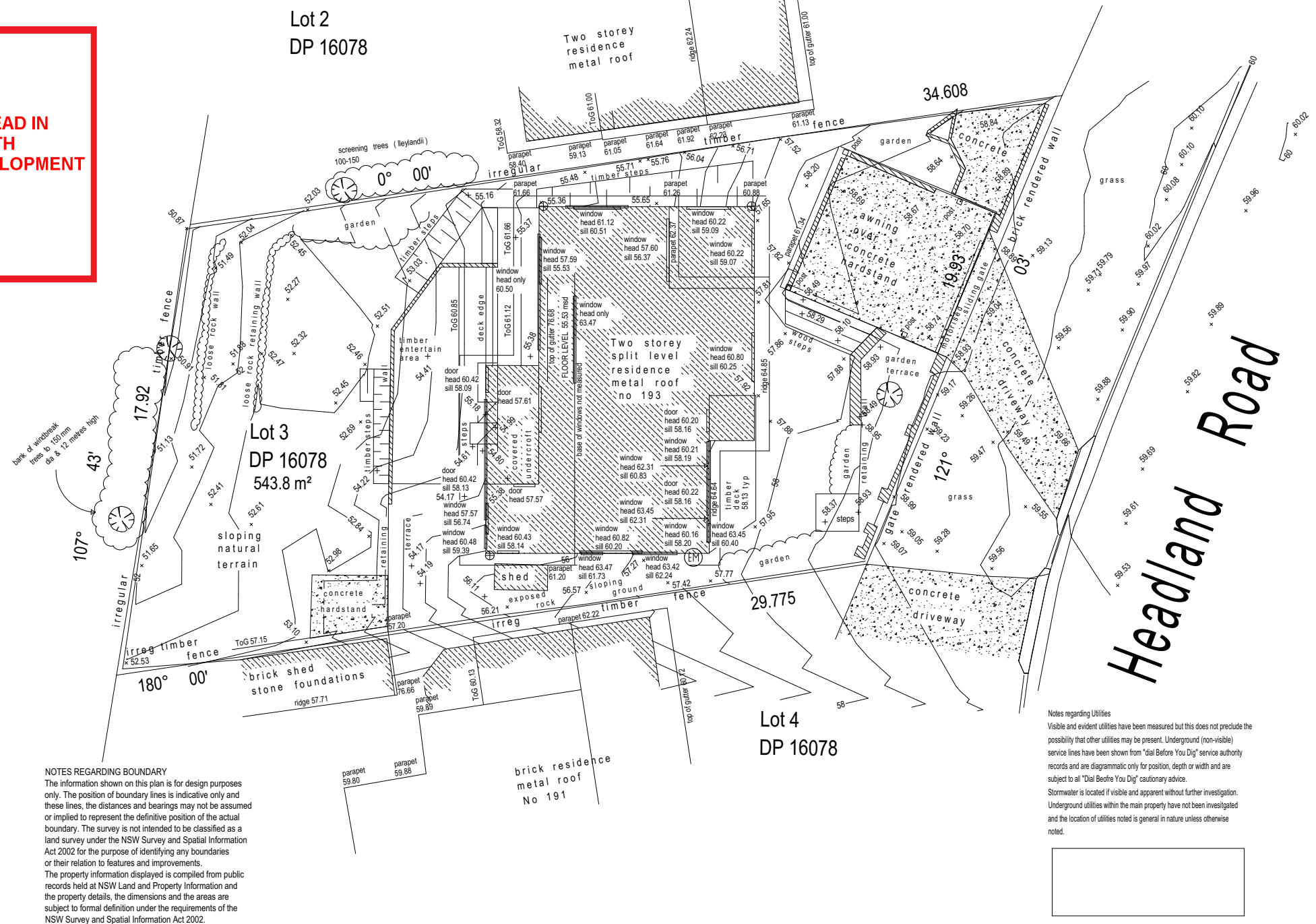


 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0739**



notes

- \* these notes form an integral part of the plans and must be shown at all times on any full or partial display or reproduction of the plans in digital or hardcopy format in a legible manner.
- \* levels to AHD, azimuth is MGA - grid is MGA plane
- \* no attempt has been made to define boundaries by title.
- \* all pipe sizes are approximate and pipe locations are indicative.
- \* tree heights (h !!) are indicative.
- \* scale 1:100 @ a1,

amendments

Sheet 1 of 1  
drawing no.p464602


Project:  
Plan showing features  
and structures.  
193 Headland Road  
North Curl Curl  
project reference: 4646

Client:  
Rob Warren  
193 Headland Road  
North Curl Curl

Unit 2  
27 Chiltern Road  
Ingleside, NSW, 2101  
Telephone 612 9956 6003

Builder to Check and Confirm all  
Measurements Prior to  
Commencement

**DA APPLICATION  
ONLY  
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**BUILDING  
DESIGNERS  
AUSTRALIA NSW**

Project North



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Client:  
Rob Warren

Project Name:  
**Alterations & Additions**  
193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078  
Drawing Title:  
**Site Plans - Survey Plan**

Scale: **A3 as noted**  
Status: **DA**  
Project No.  
**RP0118WAR**

Date: 28/06/2019  
Checked By: GBJ  
Drawing No.  
**DA1002**



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0739

Lot 2  
DP 16078

Two storey  
residence  
metal roof

Site Area  
A: 543.80 m<sup>2</sup>

Lot 3  
DP 16078  
543.8 m<sup>2</sup>

Ex. Impervious Area  
A: 299.40 m<sup>2</sup>

Lot 4  
DP 16078

### Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area



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Email : gregg@rapidplans.com.au

**bd&A** BUILDING  
DESIGNERS  
AUSTRALIA NSW

#### NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

#### Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

#### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

#### Basix

Basix Certificate Number A322880\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



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Client  
Rob Warren  
Project Name  
**Alterations and Additions**  
193 Headland Road, North Curl Curl  
2099

Lot 3 D.P. 16078

Drawing Title:

Site Plans - Landscape Open Space Plan

Landscape Open Space Plan

Scale: A3 as noted Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA1010

#### NOTES REGARDING BOUNDARY

The information shown on this plan is for information only. The position of boundary lines, the distances and or implied to represent the boundary. The survey is not a land survey under the NSW Survey Act 2002 for the purpose of identifying or their relation to features and records held at NSW Land and the property details, the dimensions and area are approximate and are not subject to formal definition under NSW Survey and Spatial Information Act 2002.

#### Note:

Total Open Landscape Area for the property will remain the same.

Description	Area (m2)	Percentage
Site Area	543.8m2	100%
Exist. Open Landscape Area	244.35m2	45%
Exist. Impervious Area	299.45m2	55%
Proposed Open Landscape Area	244.35m2	45%
Proposed Impervious Area	299.45m2	55%



#### notes

- \* these notes form an integral part of the plans and must be shown at all times on any full or partial display or reproduction of the plans in digital or hardcopy format in a legible manner.
- \* levels to AHD, azimuth is MGA - grid is MGA plane
- \* no attempt has been made to define boundaries by title.
- \* all nine sizes are approximate and nine locations are indicative.

Landscape Open Space Plan

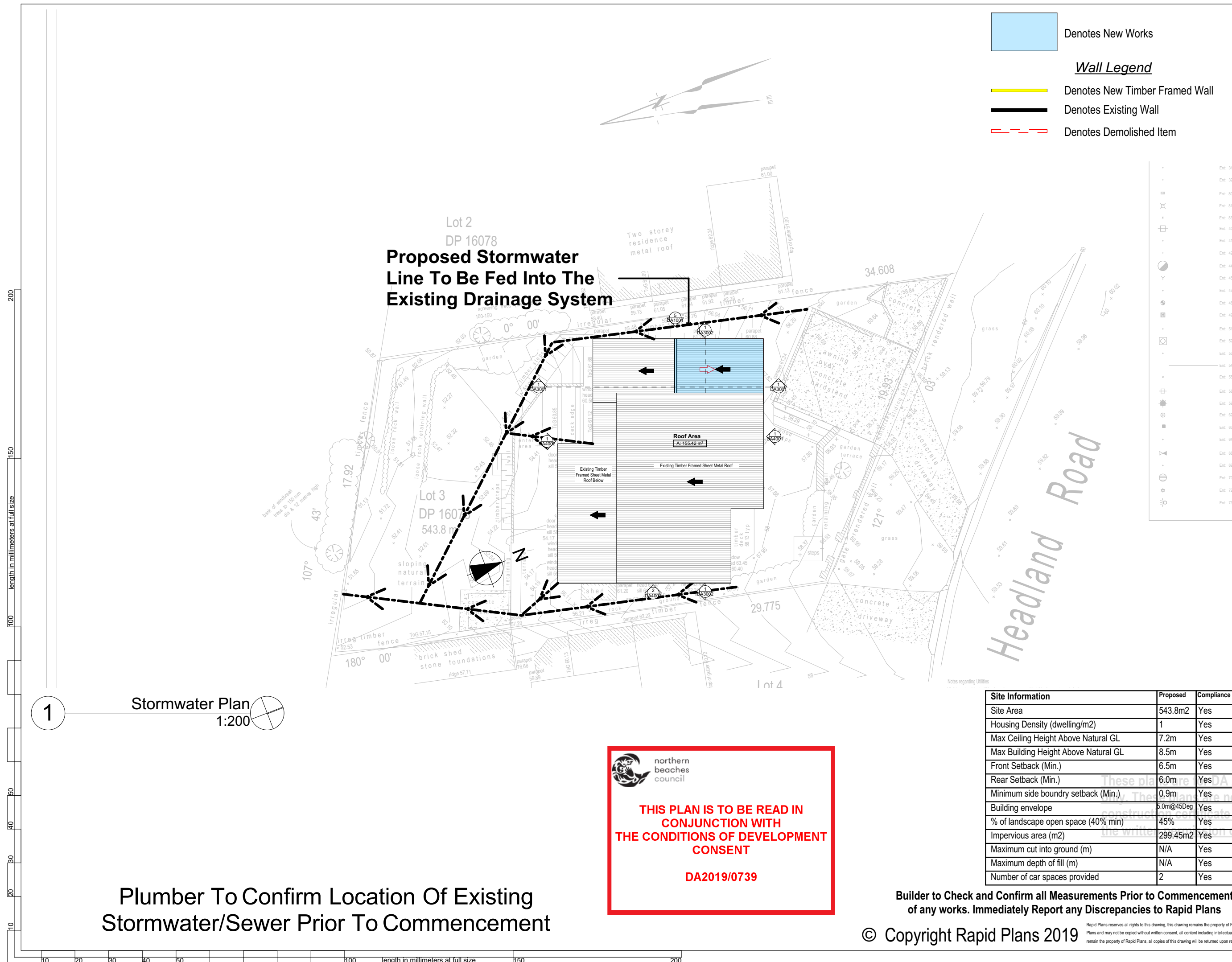
1:200

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Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



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BUILDING DESIGNERS AUSTRALIA NSW

**NOTES**

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

193 Headland Road, North Curl Curl is not considered a heritage item.

**Construction**

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls

Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation

Insulation to External Weatherboard Cladded Timber Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A322880\_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Project North**



**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

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Client

Rob Warren

Project Name

Alterations & Additions

193 Headland Road, North Curl Curl

2099

Lot 3 D.P. 16078

Drawing Title:

Site Plans - Stormwater Plan

Stormwater Plan

Scale: A3 as noted

Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No:

RP0118WAP

Drawing No.

DA1014



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0739

**Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement**

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Site Information	Proposed	Compliance
Site Area	543.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m2)	299.45m2	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0739

Denotes New Works

Wall Legend

Denotes Demolished Item



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#### NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

#### Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70  
Refer to Engineers drawings for structural details  
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Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Project North



**DA APPLICATION  
ONLY**

**NOT FOR CONSTRUCTION**

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Client

Rob Warren

Project Name

**Alterations & Additions**

193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078

Drawing Title:

Plans - Roof Plan

Roof Plan

Scale: A3 as noted Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA2004

Site Information	Proposed	Compliance
Site Area	543.8m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m <sup>2</sup> )	299.45m <sup>2</sup>	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement  
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BASIX Certificate number: A322880\_02

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Roof Plan

1:100

1



#### NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

#### Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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#### Basix

Basix Certificate Number A322880\_02  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



## DA APPLICATION ONLY NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Rob Warren  
Project Name: **Alterations & Additions**  
193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 1

North, East

Scale: A3 as noted Date: 28/06/2019

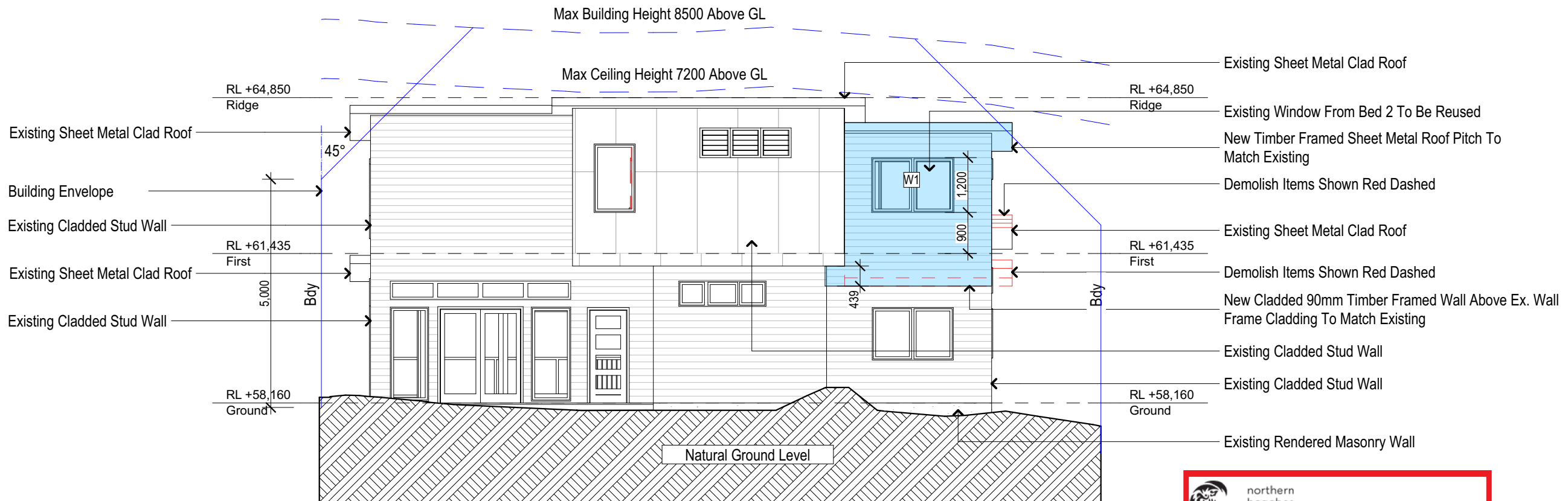
Status: DA

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA4001

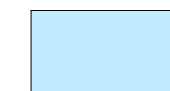


North  
1:100



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0739**



Denotes New Works

#### Wall Legend



Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	543.8m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m <sup>2</sup> )	299.45m <sup>2</sup>	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement  
of any works. Immediately Report any Discrepancies to Rapid Plans**

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1

2

East  
1:100

length in millimeters at full size

length in millimeters at full size

length in millimeters at full size



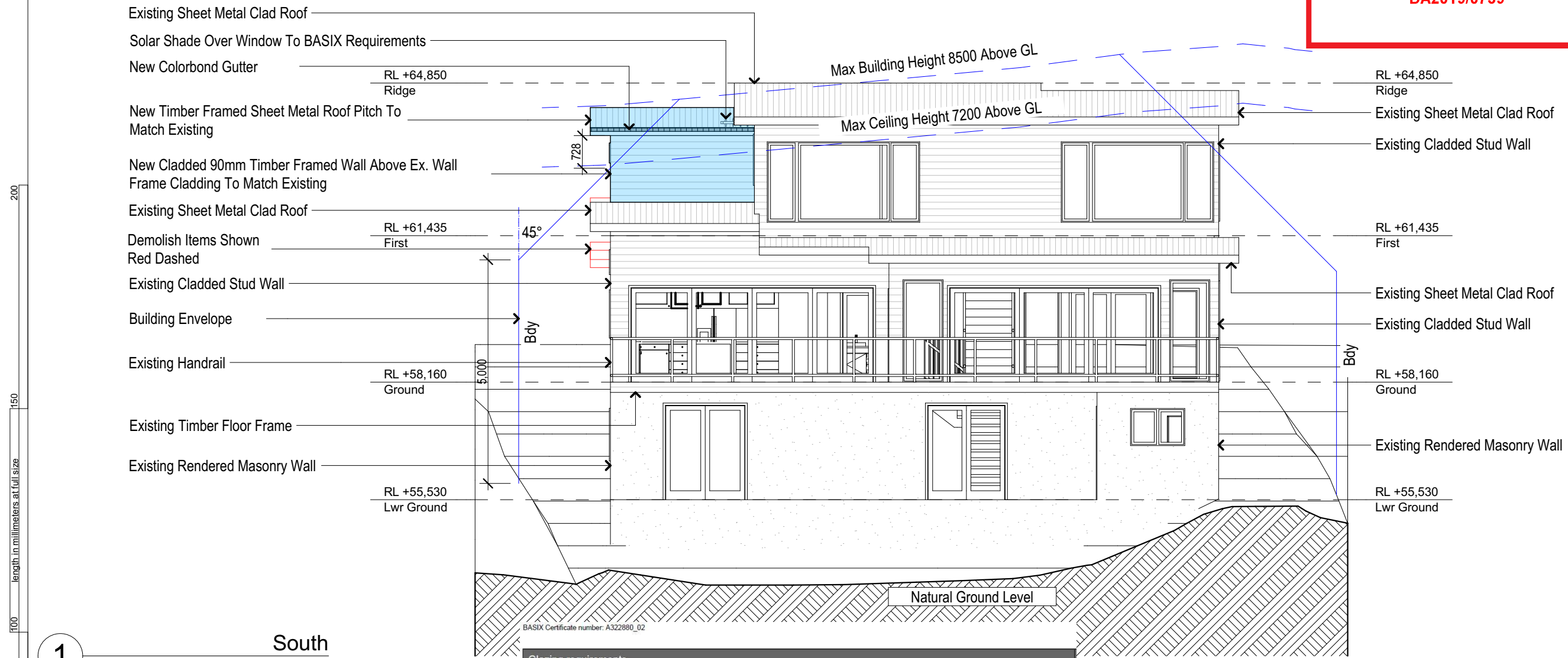
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CONJUNCTION WITH  
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CONSENT**

**DA2019/0739**

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**BUILDING  
DESIGNERS  
AUSTRALIA NSW**



**NOTES**  
193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

**Construction**  
Timber Framed Floors, Weatherboard Cladded Timber Framed Walls.  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation.  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
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Glazing to BCA and AS01288-2047.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basix**  
Basix Certificate Number A322880\_02.  
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The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	1.06	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Site Information	Proposed	Compliance
Site Area	543.8m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m <sup>2</sup> )	299.45m <sup>2</sup>	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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Project North

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

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Client  
Rob Warren

Project Name  
**Alterations & Additions**

193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 2

South

Scale: A3 as noted

Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No: RP0118WAP

Drawing No: DA4002



#### NOTES

193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

#### Construction

Timber Framed Floors, Weatherboard Cladded Timber Framed Walls.  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation.  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS01288-2047.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

#### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

#### Basix

Basix Certificate Number A322880\_02.  
All Plans to be read in conjunction with Basix Certificate.  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



## DA APPLICATION ONLY

### NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Rob Warren  
Project Name: Alterations & Additions  
193 Headland Road, North Curl Curl 2099  
Lot 3 D.P.16078

Drawing Title:

Elevations - Elevations 3

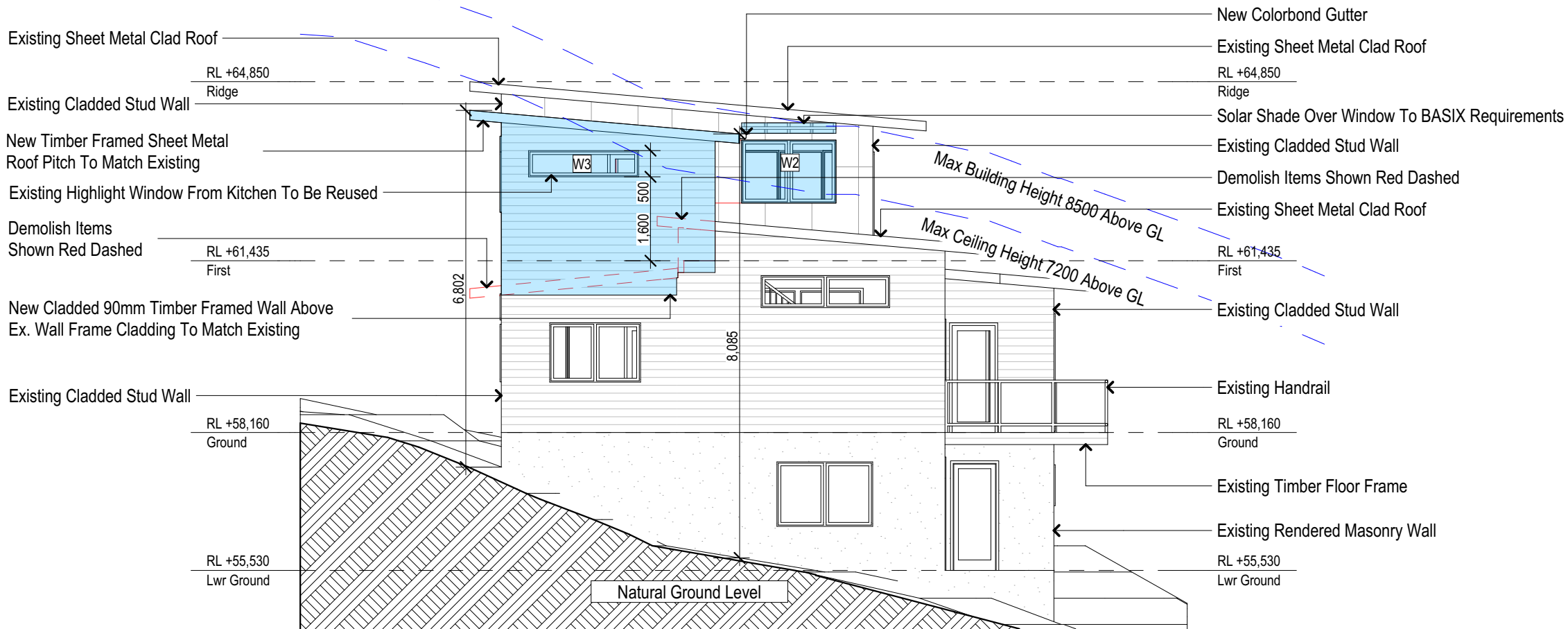
West

Scale: A3 as noted Date: 28/06/2019

Status: DA Checked By: GBJ

Project No: RP0118WAP Drawing No.

DA4003



BASIX Certificate number: A322880\_02

#### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

#### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	N	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	W	2.16	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	1.06	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2019/0739**

Denotes New Works

#### Wall Legend

Denotes Demolished Item

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

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**NOTES**  
193 Headland Road, North Curl Curl is zoned R2 - Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.  
193 Headland Road, North Curl Curl is not considered a heritage item.

**Construction**  
Timber Framed Floors, Weatherboard Cladded Timber Framed Walls  
Roof Sheet Metal Clad Timber Frame to have R1.24 Insulation  
Insulation to External Weatherboard Cladded Timber Framed Walls R1.70  
Refer to Engineers drawings for structural details  
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Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Project North



## DA APPLICATION ONLY

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Client  
Rob Warren  
Project Name  
**Alterations and Additions**  
193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078

Drawing Title:

Sunstudy - Perspective

Perspective North, Perspective East, Perspective South

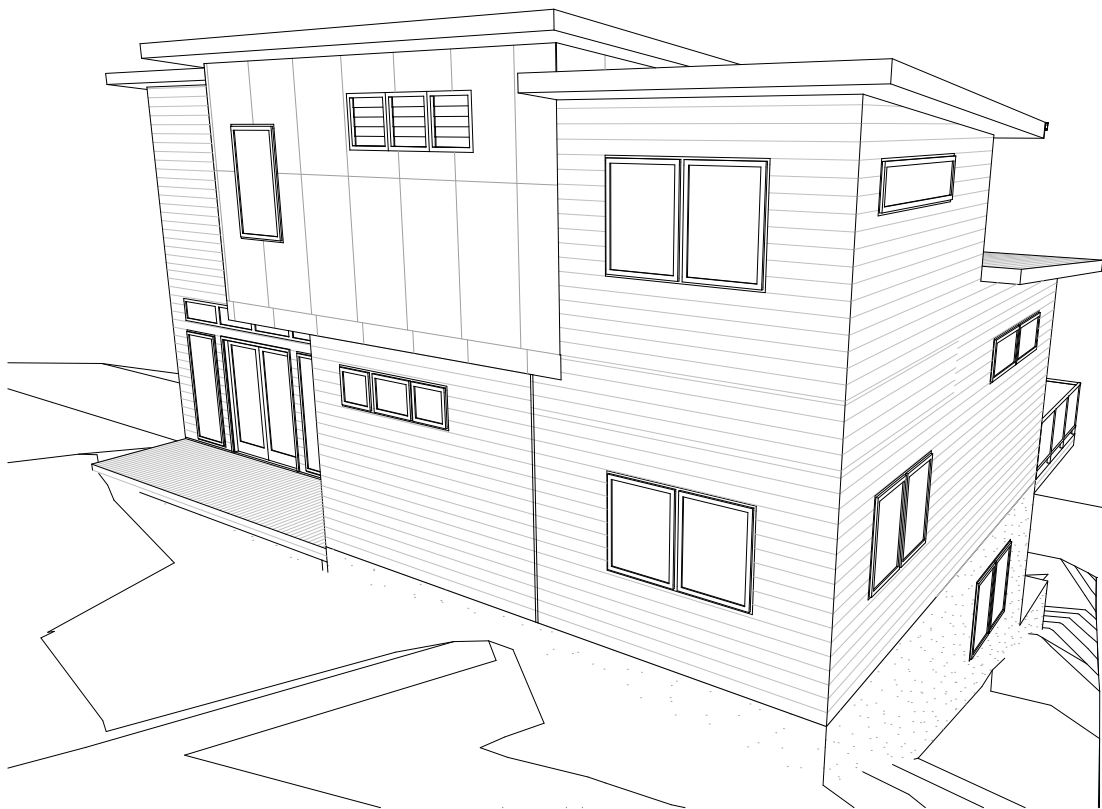
Status: DA A3 as noted Date: 28/06/2019

Checked By: GBJ

Project No:

Drawing No.

RP0118WAP DA5001



1

Perspective North  
1:50

2

Perspective East  
1:50



3

Perspective South  
1:50



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2019/0739**

Site Information	Proposed	Compliance
Site Area	543.8m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	5.0m@45Deg	Yes
% of landscape open space (40% min)	45%	Yes
Impervious area (m <sup>2</sup> )	299.45m <sup>2</sup>	Yes
Maximum cut into ground (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement  
of any works. Immediately Report any Discrepancies to Rapid Plans**

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Denotes Sheet Metal Roof  
(Typical). Owner To  
Confirm Type & Colour



Denotes Colorbond Gutter  
(Typical). Owner To  
Confirm Type & Colour



Denotes Horizontal Cladded Wall (Typical). Owner  
To Confirm Type & Colour



Denotes Solar Shade Awning (Typical). Owner To  
Confirm Type & Colour





northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
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THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2019/0739

Site Information	Proposed	Compliance
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Building envelope	5.0m@45Deg	Yes
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Maximum depth of fill (m)	N/A	Yes
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Rapid Plans  
Building Design and Architectural Drafting

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Email : grega@rapidplans.com.au



BUILDING  
DESIGNERS  
AUSTRALIA NSW

NOTES

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Timber Framed Walls  
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Framed Walls R1.70  
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Project North



DA APPLICATION  
ONLY

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Client  
Rob Warren

Project Name  
**Alterations & Additions**  
193 Headland Road, North Curl Curl  
2099

Lot 3 D.P.16078

Drawing Title:  
**Sunstudy - Material & Colour Sample Board**

Scale: A3 as noted

Date: 28/06/2019

Status: DA

Checked By: GBJ

Project No:

Drawing No.  
**RP0118WAPDA5002**