



**STATEMENT OF ENVIRONMENTAL EFFECTS
(INCORPORATING A SITE ANALYSIS)**

FOR

PROPOSED ALTERATIONS AND ADDITIONS

AT

**1 PRINCE CHARLES ROAD,
FRENCHS FOREST NSW 2086**

PREPARED FOR:

MR. & MRS. BARIOL

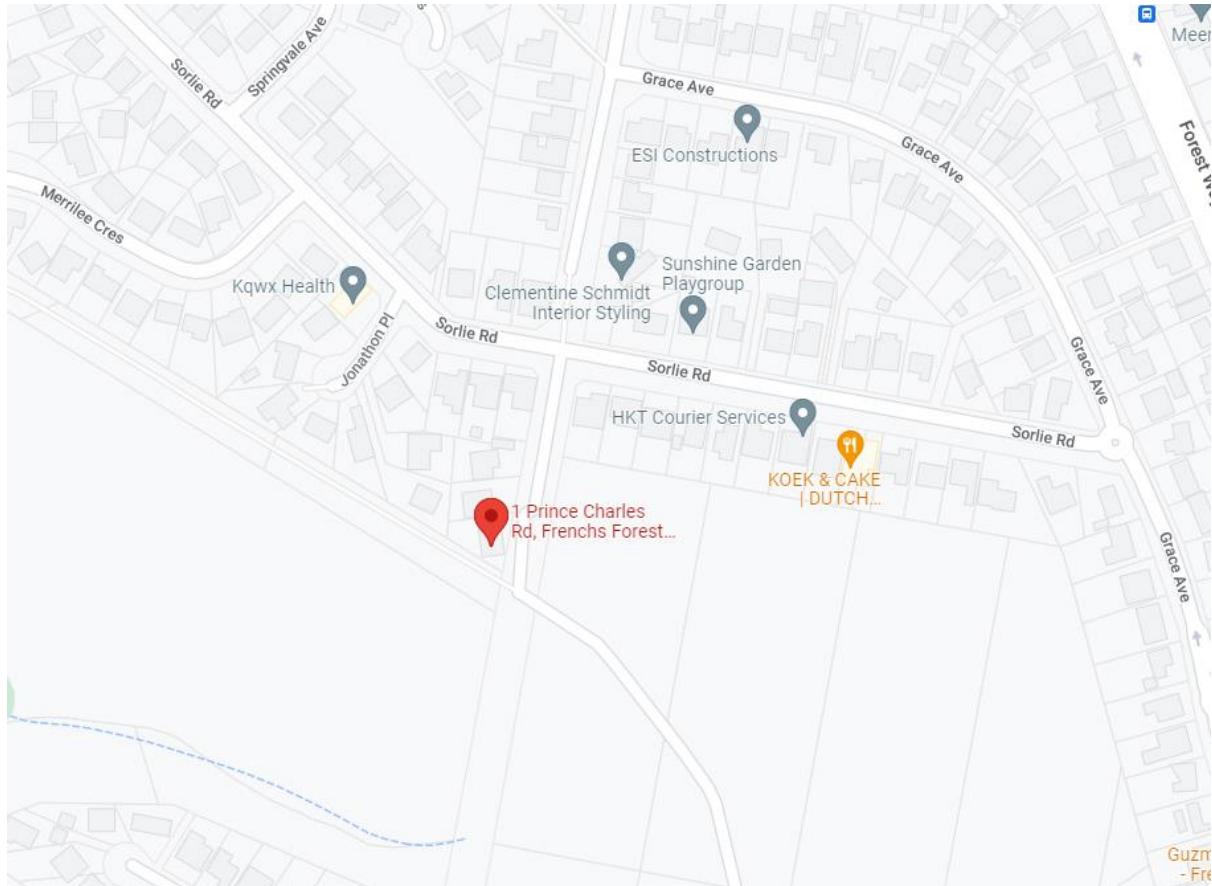
MAY 2022

BY

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INTRODUCTION

This Statement of Environmental Effects and Site Analysis accompanies plans prepared by Immaculate Homes being drawing No. 21096, sheets DA01 - DA09 (inclusive), dated October 2021, for submission to Northern Beaches Council as a Development Application for proposed Alterations and Additions at 1 Prince Charles Road, Frenchs Forest NSW 2086.



*Locality Map For 1 Prince Charles Road, Frenchs Forest NSW 2086
(Image Obtained from www.google.com.au/maps)*

The statement examines the plans taking from the relevant matters of the Northern Beaches Council's:-
Warringah Local Environmental Plan 2011
Warringah Development Control Plan 2011

SITE ANALYSIS

PROPERTY DESCRIPTION

The subject site is a wedge /shape allotment, being Lot 1; DP 234788 with the total Site Area 698.7m².

32.70m Fronting Prince Charles - Eastern boundary
35.575m to the Northern side boundary
9.155m to the Western rear boundary
35.355m to the Southern side boundary

Physical Description

The subject property is located at the end of Prince Charles Road, which is a Cul-de-sac and the property is access by a private concrete driveway that leads down form Prince Charles Road to a locked gate that access the water pipe line. The subject property is located approximately 650 metres from Forestway Shopping Centre and nestled into the nature surrounding bushland.

The property is located in a Bushfire prone area, a R2 Low Density Residential zoning and is in an Area B Landslip Area.

Prince Charles Road run in a North to South and the property is located on the Western side of the private access driveway (also running in a North to South direction).

To the North there is an elevated two-storey single dwelling with a single attached Carport to the Northern side of the structure, accessed by a concrete driveway form Prince Charles Road. This dwelling is of a brick veneer construction with a tiled roof.

To the South adjacent to the property is the water pipeline and on the other side of the pipeline is the natural bushland that runs down into the valley.

The Western rear boundary of the subject property adjoins a battle-axe property which is accessed from Jonathon Place.

To North is the private access driveway and on the other side of it the natural bushland runs up to Forestway Shopping Centre.

The subject property's topography slopes from the North to South, with a cross fall of 8.63 metres and slopes from the rear North Eastern corner to the South Western corner, with a cross fall of 5.14 metres.

The existing single dwelling on the property is a single storey structure with a Double Garage located under the main dwelling (to the Southern end of the dwelling), utilizing the fall of the land to achieve the Garaging. The Double Garage is access from the private driveway off Prince Charles, by a pebblecrete concrete driveway. There is no internal access between the floors.

The dwelling is of brick veneer construction with a smooth painted cement render finish and a corrugated *Colorbond* metal roof. The Colorbond fascia guttering has gutter guard installed.

The dwelling structure has been excavated into the land to the Northern end of the structure, to achieve a level area to gain pedestrian access into the dwelling. This level platform area is access from Prince Charles Road by a number of steps and landings.

The rear of the dwelling there is an attached timber Covered Alfresco Area, which extends to the North as a timber Deck leading to a timber set of stairs leading down to the lower yard area and another set of stairs leading up to a detached timber Gazebo with a corrugated *Colorbond* metal roof.



Plate 1 - Showing subject dwelling as view from street level. Private concrete access driveway and timber Pedestrian access landing and stairs to the dwelling.



Plate 2 – Showing timber Pedestrian access landing and stairs to the dwelling leading down form Prince Charles Road (Cul-de-sac).



Plate 3 - Showing private concrete access driveway and access to pipeline through a locked gate (viewed form the North).



Plate 4 - Showing private concrete access driveway and access to pipeline through a locked gate (viewed from the South).



Plate 5 - Showing pipeline located to the South of the subject property (viewed from the locked access gate).



Plate 6 - Showing subject dwelling as view from access stairs.



Plate 7 - Showing level tiled Pedestrian access area into dwelling.

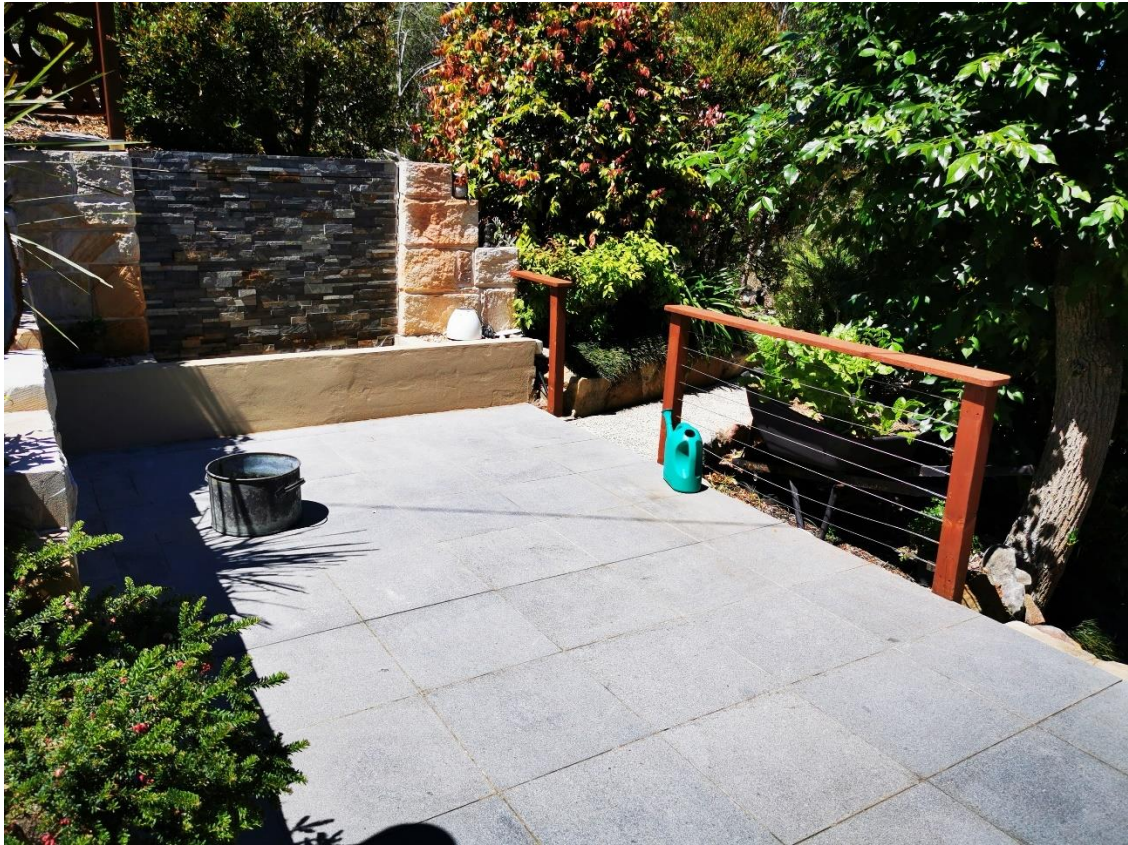


Plate 8 - Showing level tiled Pedestrian access area into dwelling.



Plate 9 - Showing Lower-level Double Garage accessed by a pebblecrete driveway from the private concrete driveway.



Plate 10 - Showing extent of existing excavation to land (Northern side of dwelling).



Plate 11 - Showing extent of existing excavation to land (Northern side of dwelling).



Plate 12 - Showing rear Covered Alfresco Area and rear Southern end of dwelling.

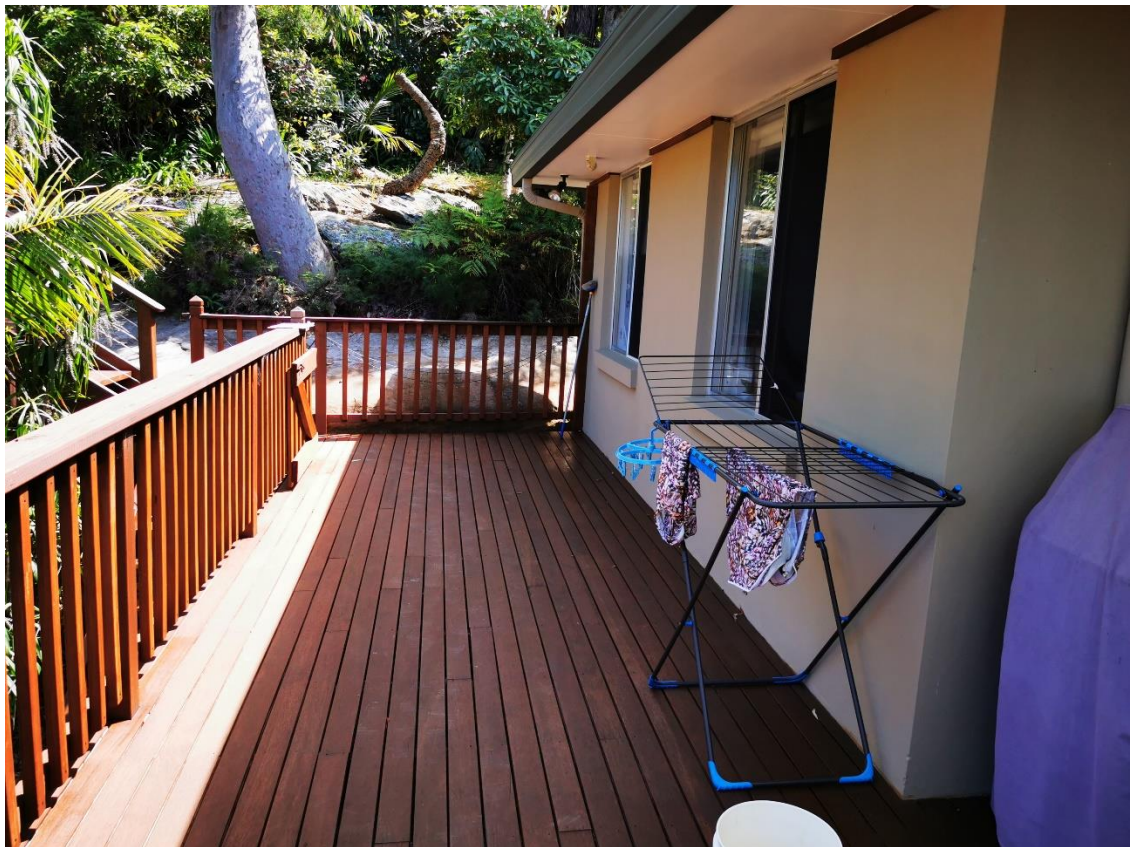


Plate 13 - Showing rear timber Deck accessing stairs to Lower yard area and raised Gazebo Area.



Plate 14 - Showing raised timber Gazebo Area and access stairs to timber Deck.



Plate 15 - Showing raised timber Gazebo Area and access stairs.



Plate 16 - Showing adjoining property to the North – 3 Prince Charles Road.



Plate 17 - Showing adjoining property to the North – 3 Prince Charles Road.

The Proposal

The proposed ground floor internal alterations including removing Coat Cupboard, Linen Cupboard and part of Bedroom 2 to create a new stair well to access proposed first floor. The removal of the existing skylight over Bathroom.

A First-Floor additions which consists of master Bedroom with En-suite and Walk-in-Robe, a Master Retreat area with direct access to a small Balcony to the South-Western corner overlooking the bushland.

Part B Built Form Controls

B1 Wall Heights

Proposed maximum ceiling height from the existing ground level are:-

North-Eastern corner is 5.72m.

North-Western corner is 6.67m.

South-Eastern corner is 6.82m.

South-Western corner is 8.2m.

Proposed South-Western corner breaches the Council's maximum ceiling height, which is due to the topography and the existing excavation of the site. This breach in the height will have very little to no negative impact to the adjoining properties, as it is situated at the lowest topographic point on Princes Charles.

Also due to the topography of the site, the existing dwelling ridge level is below the Cul-de-sac street level, thus, together with the proposed first floor structure the overall dwelling will not be seen as a dominant structure within the streetscape.

Proposed overall building height is below Council's regulation of 8.5m.

Refer Dwg No. DA06-Proposed Elevations & Section for more details.

B2 Number of Storeys

The existing dwelling is a single storey with lower floor Garage to a portion of the dwelling. The proposed additional First Floor will be located over the Ground Floor single storey level.

A maximum 2 storey is proposed with this development application.

Due to the topography of the site the existing dwelling ridge level is only partially sighted from the street level, together with the proposed first floor structure the overall dwelling will not be seen as a dominant structure within the streetscape.

B3 Side Boundary Envelope

In accordance with Warringah DCP Side Boundary Envelope map, vertical dimension at the boundary line is 4m.

The proposed first floor located toward the Northern (side) boundary and the Eastern (front) boundary.

The North-Eastern corner of the proposed First-Floor is 6.95m and the North-Western corner is 7.05m from the boundary together with the ground sloping upward toward the northern boundary the First-Floor structure is well within the side boundary envelope.

B4 Site Coverage

Site Coverage is NOT applicable to the subject site in accordance with the DCP Site Coverage map.

B5 Side Boundary Setbacks

In accordance with Warringah DCP Side Boundary Setbacks map, the side setback is 0.9m.

The North-Eastern corner of the proposed first-floor is 6.95m and the North-Western corner is 7.05m from the boundary

Refer Dwg No. DA06-Proposed Elevations & Section for more details.

B7 Front Boundary Setbacks

In accordance with Warringah DCP the Front Boundary Setbacks Map, minimum front setback is 6.5m.

To the Eastern side front boundary, the proposed first floor setbacks are 3.85m to the South-Eastern corner and 5.965m to the North-Eastern corner.

The front setback breached Council's minimum setback, however, the breach in the front setback will have very little negative impact impose to the streetscape or the adjoining properties for the reasons listed as follows: -

- The subject site is the last property on the street and on the down slope of the road toward the bushland.
- Prince Charles Rd is a Cul-de-sac which stop prior to the subject site where the site is access via a private driveway down to the parking amenity.
- The subject site had been excavated and constructed below street level, where the existing dwelling ridge level is well below the street.
- Existing dwelling front setback is already breached the minimum setback which does not appears to be dominating the streetscape or compromised the view sharing.
- The proposed first-floor ridge level is only 1.47m above the subject site's road opening level (lower spot level 111.82).

The small proposed breach in the setback will barely be notice and overall dwelling will not compromise the openness of the streetscape when view from street level.

B9 Rear Boundary Setbacks

In accordance with the Rear Boundary Setbacks Map, minimum rear setback is 6.0m.

Proposed western rear boundary is 7.765m.

Part C Siting Factors

C1 Subdivision

NOT applicable.

C2 Traffic, Access and Safety

Subject site located within a Cul-de-sac quiet street where the road is mainly serving local traffic. Existing pedestrian and vehicles access arrangement will remain unaltered with this development application.

C3 Parking Facilities

Existing double garage will remain unaltered. The subject site provides the required off-street car parking spaces. The proposed alterations and additions do not include parking facility as part of the development submission.

C4 Stormwater

The proposed first-floor addition is located above existing dwelling footprint with small projection to all side walls.

The small added floor area will increase the stormwater runoff, however, the added portion of the first-floor area situated above the existing ground floor paving, deck and hard surfaces, as the result, the stormwater runoff will remain unaltered and will remain connected to the existing stormwater system.

C5 Erosion and Sedimentation

Refer Erosion and Sediment control plan drawing No. DA02 for more details.

C6 Building over or adjacent to Constructed Council Drainage Easements

NOT applicable.

C7 Excavation and Landfill

The proposal does not require Excavation nor Landfill.

C8 Demolition and Construction

Refer Waste Management Plan submitted with this development application for more details.

C9 Waste Management

Refer Waste Management Plan submitted with this development application for more details.

Part D Design

D1 Landscaped Open Space and Bushland Setting

In accordance with the Landscaped Open Space and Bushland Map, minimum 40% of site area of Landscaped Open Space is required.

Proposed alterations and additions is within existing dwelling footprint and impervious area where existing landscaped open space will remain unaltered.

Minimum landscaped area required for the subject site is 40% of site area.
 $(0.4 \times 698.7) = 279.48\text{m}^2$

Existing landscaped area is 356.13m²

D2 Private Open Space

Minimum requirement of Private Open Space for the subject site is 60m².

Existing Alfresco and deck area – 47.3m²

Existing gazebo deck area – 29.19m²

Combination of both areas provided 76.49m² of private open space

Existing private open space will not be affected by the proposal.

D3 Noise

Proposed first-floor consists of master bedrooms retreat area. Noises generate from the first-floor will be minimal.

D4 Electromagnetic Radiation

NOT applicable.

D6 Access to Sunlight

Due to the orientation of the site and the subject dwelling structure being below street level, all shadow cast throughout the day will be down toward the bushland and within subject site.

The proposed first-floor addition will have no impact to the internal living area or the external private open space of the subject property, nor to the adjoining properties.

Refer to DWG No. DA09 – Existing/Proposed Shadow Diagrams for more details.

D7 Views

The view down toward the bushland will not be compromise by the proposed addition as the overall structure height is only 1.47m above street level. View sharing will remain unobscured by the proposal.

D8 Privacy

The proposed first-floor consists of a master bedroom, a master retreat area with direct access onto a small balcony. Windows are proposed to collect sunlight and cross ventilation.

The proposed first-floor is well below adjoining property No. 3 Prince Charles Rd floor level, and to the Western boundary the adjoining property No. 4 Jonathon Place is sited well back from the subject dwelling, together with a large tree located between 2 properties, overlooking to both adjoining properties is impossible.

Windows proposed will provide the occupants with a view to the bushland.

D9 Building Bulk

The First-Floor addition is proposed over the existing dwelling to the northern end where the side setback is relatively large due to the excavation of the site for the existing dwelling.

The subject site is on the down slope to the bushland.

The site was excavated and constructed below street level to minimise the bulkiness as view from street level.

The proposed first-floor addition with the ridge level is only 1.47m above street level where it is greatly reduced the bulk of the proposed structure.

The proposal will have very little visual impact to the adjoining properties or the streetscape.

D10 Building Colours and Materials

Proposed First-Floor external walls will be timber frame with Hardie Axon vertical cladding and painted Taubmans exterior colour – Classic Cream.

Select store feature cladding.

First-floor corrugated metal roof similar to existing in colorbond Monument. Windows and doors are aluminium frame in Charcoal colour finish, or similar to existing.

Proposed First-Floor colours scheme will blend-in with the existing dwelling.

D11 Roofs

Proposed First-Floor roof is a skillion roof style.

Proposed roof pitch is 6 degrees to minimise the overall building bulk and reduce shadow cast.

Proposed colour and material will be similar to existing dwelling.

D12 Glare and Reflection

The proposed materials use will have little to no glare or reflection.

D13 Front Fences and Front Walls

Not applicable.

D14 Site Facilities

All existing site facilities will remain unaltered.

D15 Side and Rear fences

All side and rear fences will remain unaltered.

D16 Swimming Pools and Spa Pools

Not Applicable.

D17 Tennis Courts

NOT applicable.

D18 Accessibility

NOT applicable.

D20 Safety and Security

The dwelling layout will allow for casual surveillance. Front entrance and windows to front rooms will provide the required surveillance.

Conclusion

This Statement of Environmental Effects has demonstrated that the proposed Alterations and Additions to the subject property satisfies Council's requirements under the terms of the Environmental Planning and Assessment Act 1979 (the Act), the Warringah Local Environmental Plan 2011 and the Warringah Development Control Plan 2011.

It has demonstrated that the proposal will not unreasonably impact the adjoining properties nor the overall character of the streetscaped.

It is submitted that the proposed alterations and additions to dwelling at 1 Prince Charles Road will have no adverse effect on the established built environment, and it will sit comfortably within the established neighbourhood.

Patrick Tran
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