

OLIVARES CASTRO-SYKES HOUSE

SECTION NAME	DRAWING No.	DESCRIPTION
01 DEVELOPMENT APPLICATION		
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	A03	SURVEY
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	A05	SITE ANALYSIS AND LOCATION MAP
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	A07	EXISTING DRAWINGS 2
	A08	EXISTING DRAWINGS 3
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	A12	GROUND FLOOR
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	A15	ELEVATION E2 & E3
	A16	ELEVATION E4, E5 & E6
	A17	SECTION A
	A18	SECTION B AND C
	A19	BASIX 1
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	A23	SHADOWS JUNE 21-12NOON
	A24	SHADOWS JUNE 21-3PM
	A25	LANDSCAPE CALCULATION
	A26	FINISHES SCHEDULE

GENERAL CONSTRUCTION NOTES

ROOFS:
ROOF STRUCTURE: TIMBER FRAMED
ALL ROOFS TO BE SARKED AS SPECIFIED.
ALL ROOFS CONNECTED TO STORMWATER SYSTEM.
NEW GUTTERS AND DOWNPIPES IN LOCATIONS AS SPECIFIED.

STORMWATER:
REFER TO STORMWATER DRAWINGS FOR DETAILS.

STRUCTURAL:
REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

GEOTECHNICAL:
REFER TO GEOTECHNICAL REPORT FOR DETAILS.

ARBORIST:
REFER TO ARBORIST REPORT FOR DETAILS.

INSULATION:
REFER TO SPECIFICATION FOR FLOOR, WALL, ROOF
ACOUSTIC AND THERMAL INSULATION.

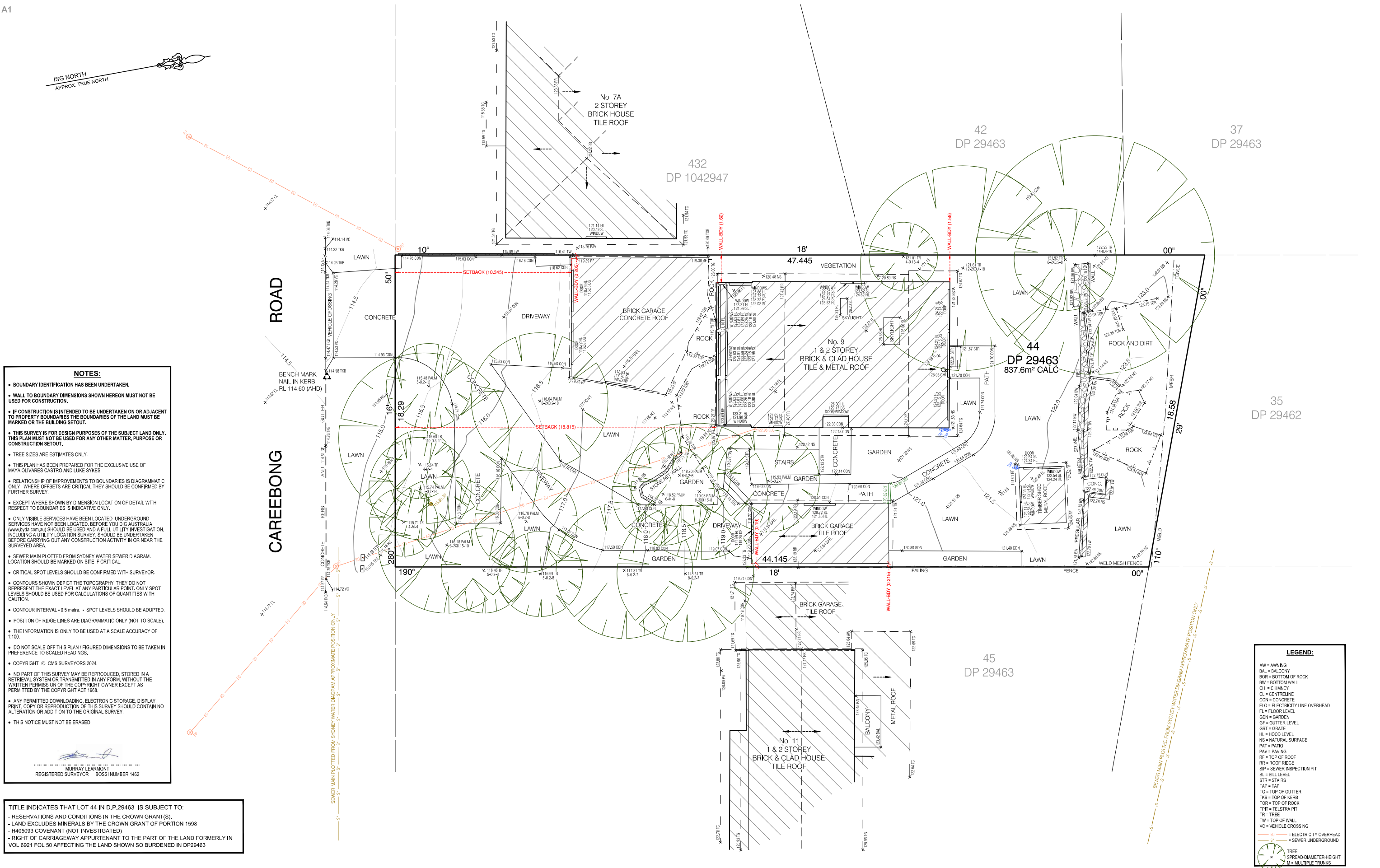
BASIX:
REFER TO BASIX FOR SUSTAINABILITY REQUIREMENTS.

DEVELOPMENT APPLICATION A



DRAGONFLY
ARCHITECTS
PTY LTD
ABN 78 158 837 962

MAYA OLIVARES CASTRO AND LUKE SYKES
9 CAREEBONG ROAD FRENCHS FOREST NSW 2086



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POWER POLE

VEHICULAR ACCESS TO SITE

PEDESTRIAN ACCESS TO SITE

CAREEBONG ROAD

CONSTRUCTION MATERIALS STORAGE AREA. FINAL LOCATION TO BE CONFIRMED WITH CONTRACTOR.

WASTE AND RECYCLED STORAGE AREA. FINAL LOCATION TO BE CONFIRMED WITH CONTRACTOR.

KEEP & PROTECT EXISTING TREES.

POWER POLE

LINE OF APPROX. SEWER. REFER TO SURVEY.

POWER POLE

BIN TO BE STORED DOWN SIDE PASSAGE. DIRECT KERBSIDE ACCESS TO REMAIN.

POWER POLE

NO CHANGE TO EXIST CROSSOVER

EXISTING DRIVEWAY

7A CAREEBONG ROAD
2 STOREY BRICK HOUSE
WITH TILE ROOF.

DA SIDE SETBACK - 0.9m WIDE

TREES TO BE REMOVED SHOWN DASHED

DOUBLE PARKING HARDSTAND

DA FRONT SETBACK - 6.5m

11,000

SETBACK

PROPOSED SECONDARY DWELLING

9.0m

SETBACK

DA SIDE SETBACK - 0.9m WIDE

NEW METAL ROOF, GUTTERS & DOWNPIPES.

6,670 SETBACK

TREES TO BE REMOVED SHOWN DASHED

DASHED LINE OF EXISTING GARAGE TO BE DEMOLISHED

KEEP & PROTECT EXISTING TREES.

5 CAREEBONG ROAD

3 CAREEBONG ROAD

SITE BOUNDARY 47.445

9 CAREEBONG ROAD
FRENCHS FOREST
NSW 2086
LOT 44, DP 29463
SITE AREA: 837.6m²

LANDING

EXISTING STAIR

NEW ROOF TO EXISTING STRUCTURE

SHED ROOF

OUTLINE OF EXTERNAL WALLS BELOW ROOFS.

SITE BOUNDARY 44.145

RETAIN EXISTING BOUNDARY FENCES

NEW METAL ROOF, GUTTERS & DOWNPIPES.

NEIGHBOURS GARAGE

11 CAREEBONG ROAD
1 AND 2 STOREY BRICK AND CLAD HOUSE
WITH TILE ROOF

12 PARNI PLACE

14 PARNI PLACE

LINE OF APPROX. SEWER. REFER TO SURVEY.

SITE PLAN NOTES:

- ALL NEW ROOFS CONNECTED TO NEW STORMWATER SYSTEM. REFER TO HYDRAULIC DRAWINGS.

- REFER TO HYDRAULIC DRAWINGS FOR SEDIMENT CONTROL DETAILS.

- KEEP & PROTECT EXISTING TREES UNLESS NOTED.

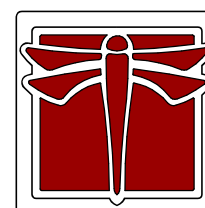
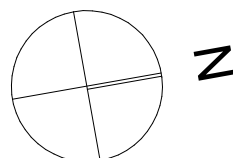
1 SITE PLAN/WASTE MANAGEMENT PLAN

Scale 1:200

DEVELOPMENT APPLICATION

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SCALE: 1:200 @ A3

DATE PRINTED: 1/04/2025

DRAWN BY: ES, CS

CLIENT: MAYA OLIVARES CASTRO AND LUKE SYKES

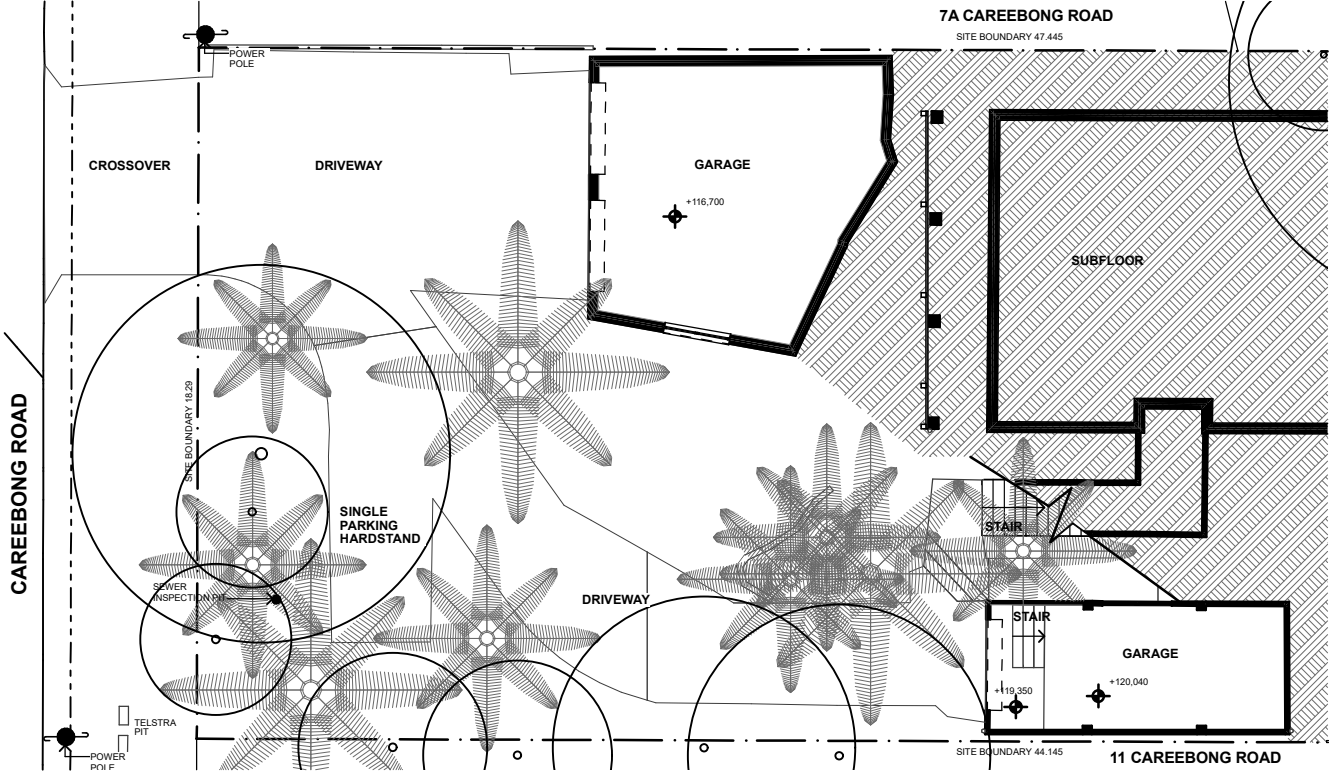
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9 CAREEBONG ROAD FRENCHS FOREST NSW 2086

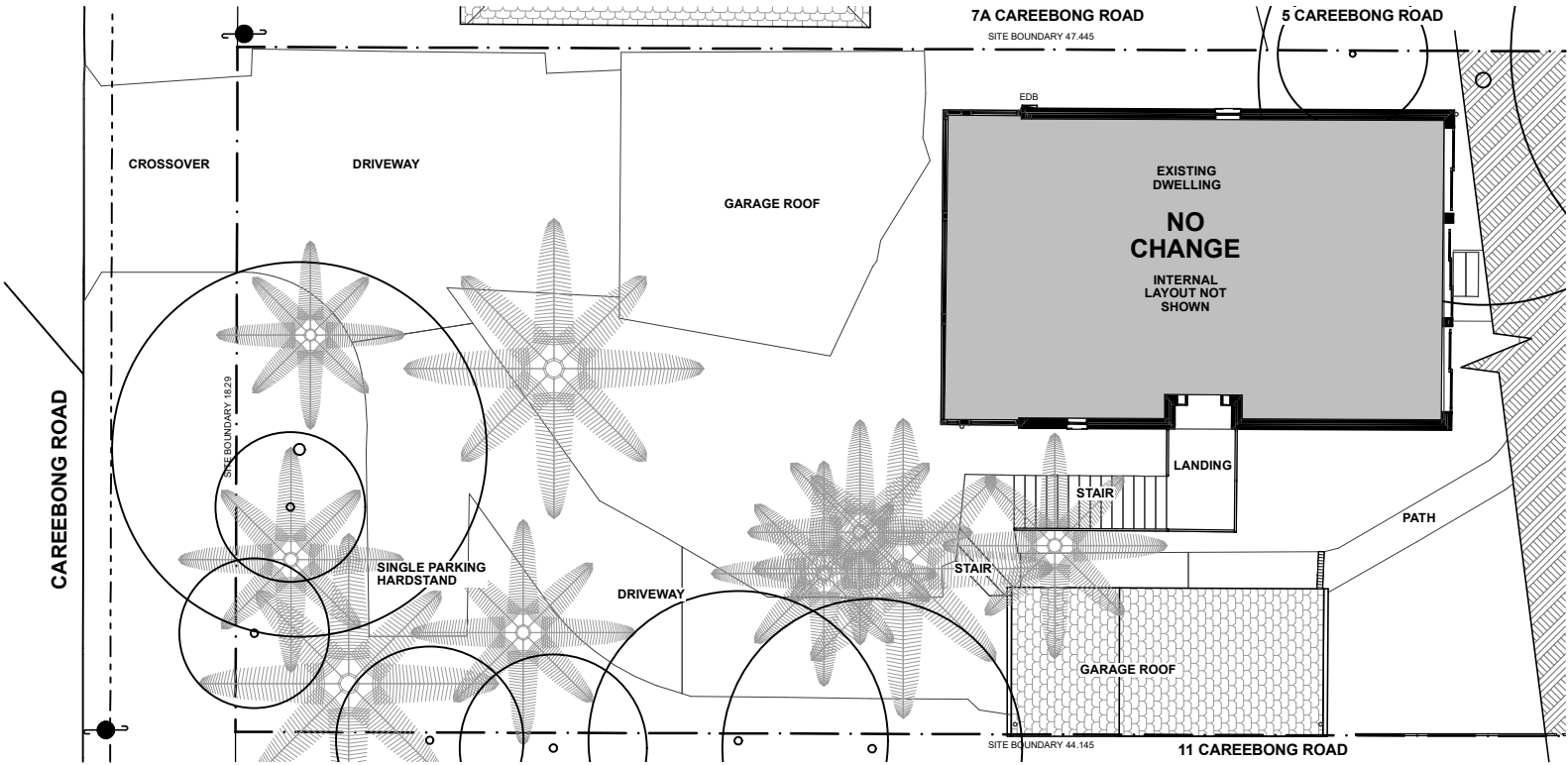
SITE PLAN/WASTE MANAGEMENT PLAN

DFA2408-A04

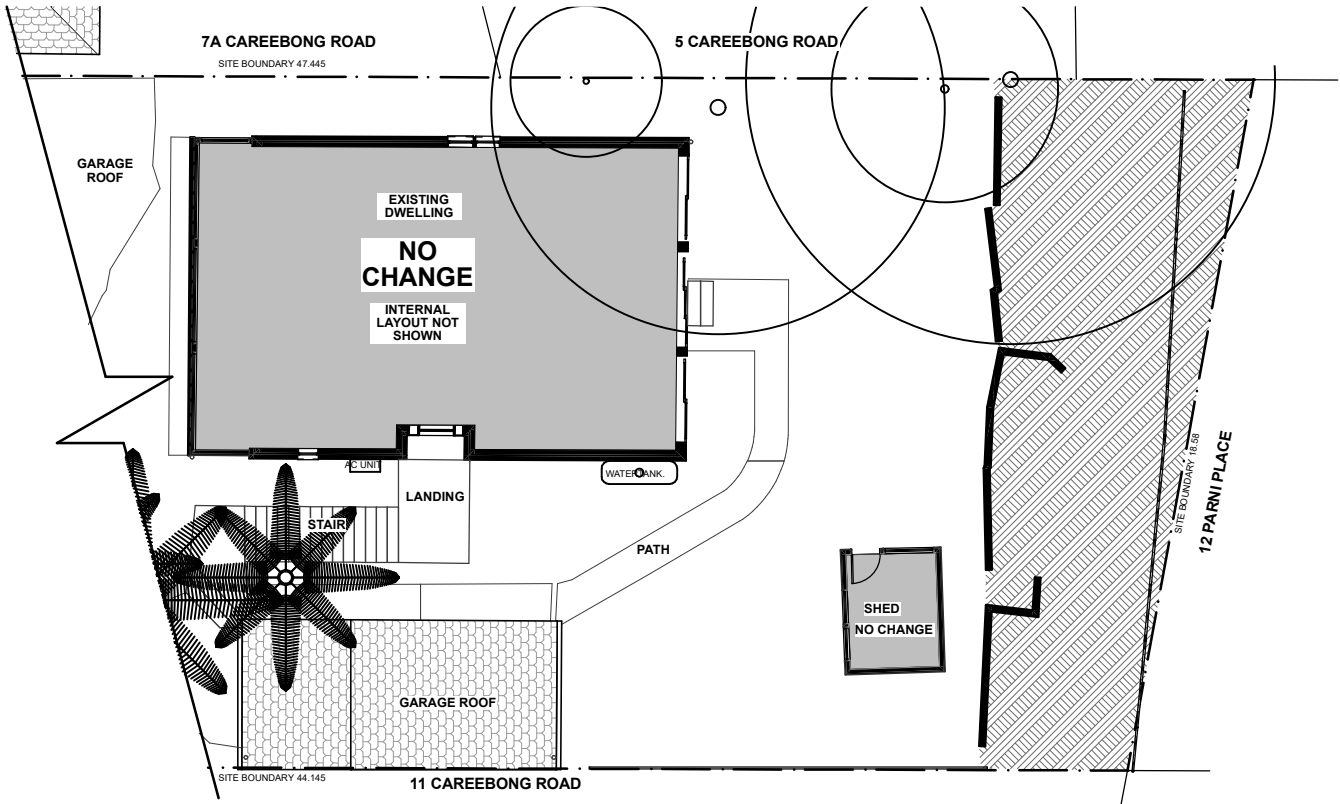
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1 STUDIO/PARKING LEVEL
Scale 1:200



2 LOWER LEVEL
Scale 1:200



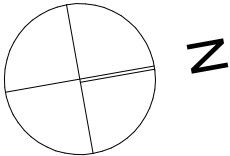
3 GROUND LEVEL
Scale 1:200

A	DEVELOPMENT APPLICATION	1/04/2025
ID	DESCRIPTION	DATE

DEVELOPMENT
APPLICATION

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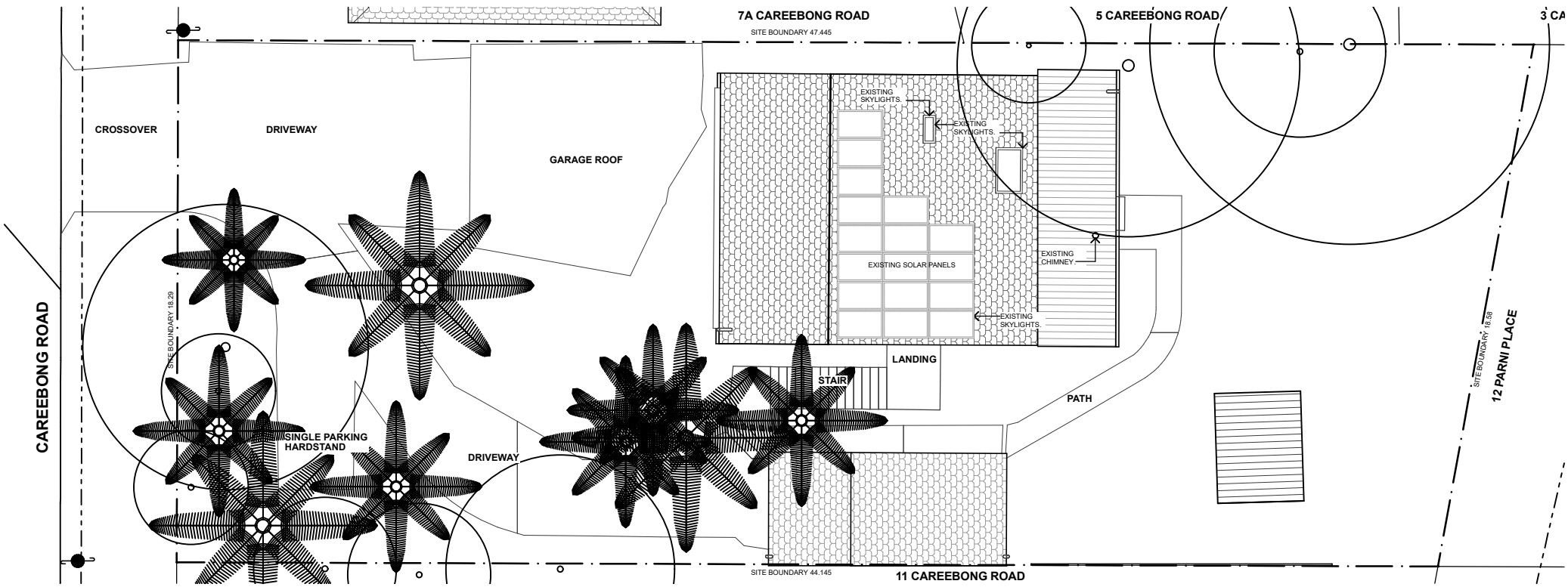
SCALE : 1:200 @ A3
DATE PRINTED : 1/04/2025
DRAWN BY : ES, CS
CLIENT: MAYA OLIVARES CASTRO
AND LUKE SYKES

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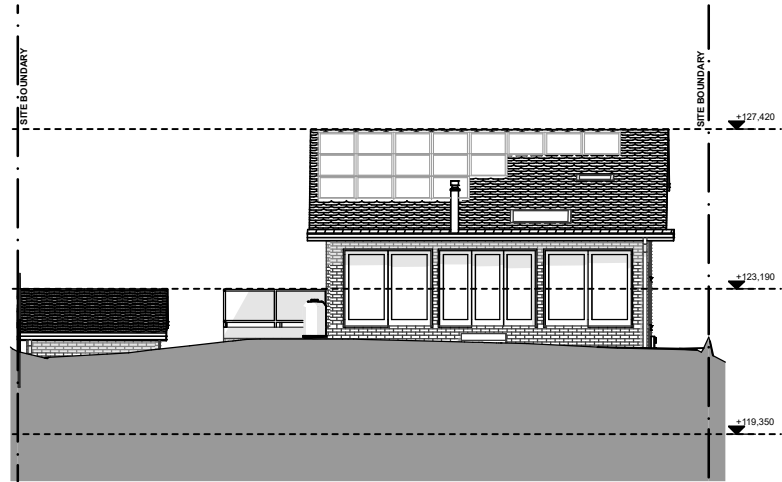
9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086

EXISTING DRAWINGS 1

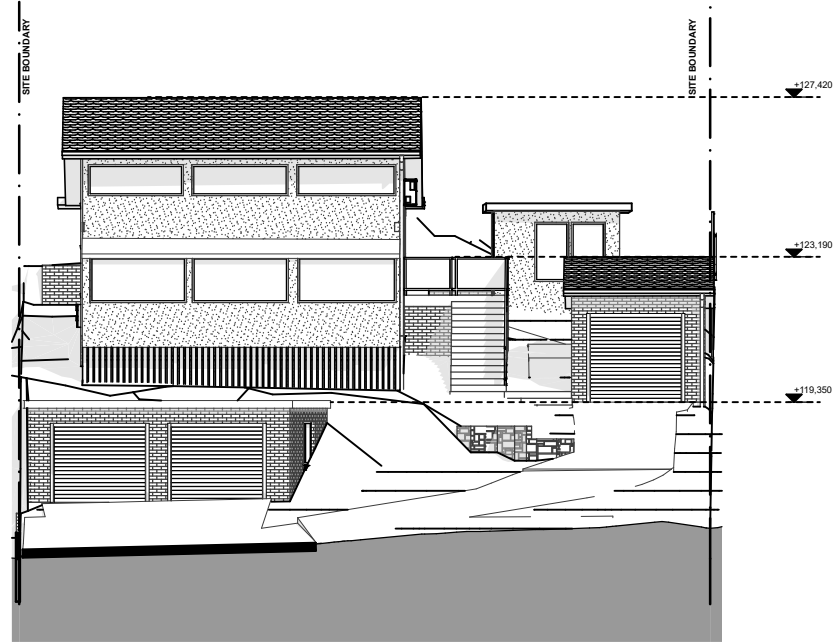
DFA2408-A06



1 ROOF PLAN
- Scale 1:200



3 EXISTING ELEVATION E3 (NORTH)
- Scale 1:200



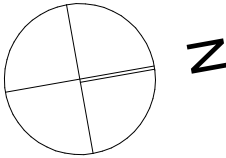
2 EXISTING ELEVATION E1 (SOUTH)
- Scale 1:200

A	DEVELOPMENT APPLICATION	1/04/2025
ID	DESCRIPTION	DATE

DEVELOPMENT
APPLICATION

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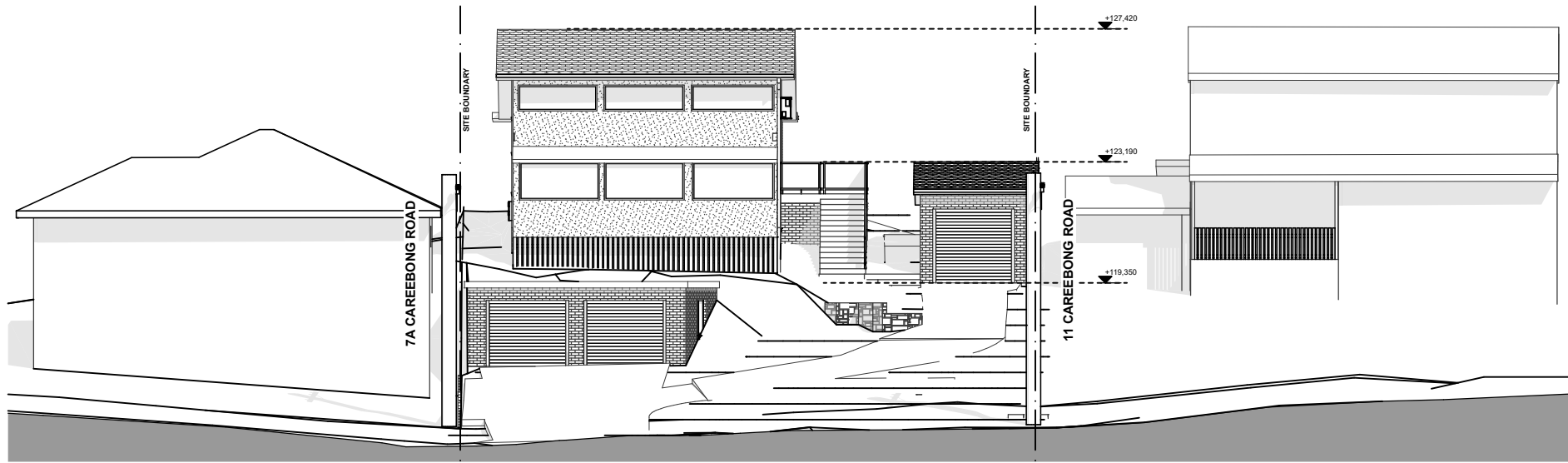
DRAGONFLY
ARCHITECTS
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9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086

EXISTING DRAWINGS 2

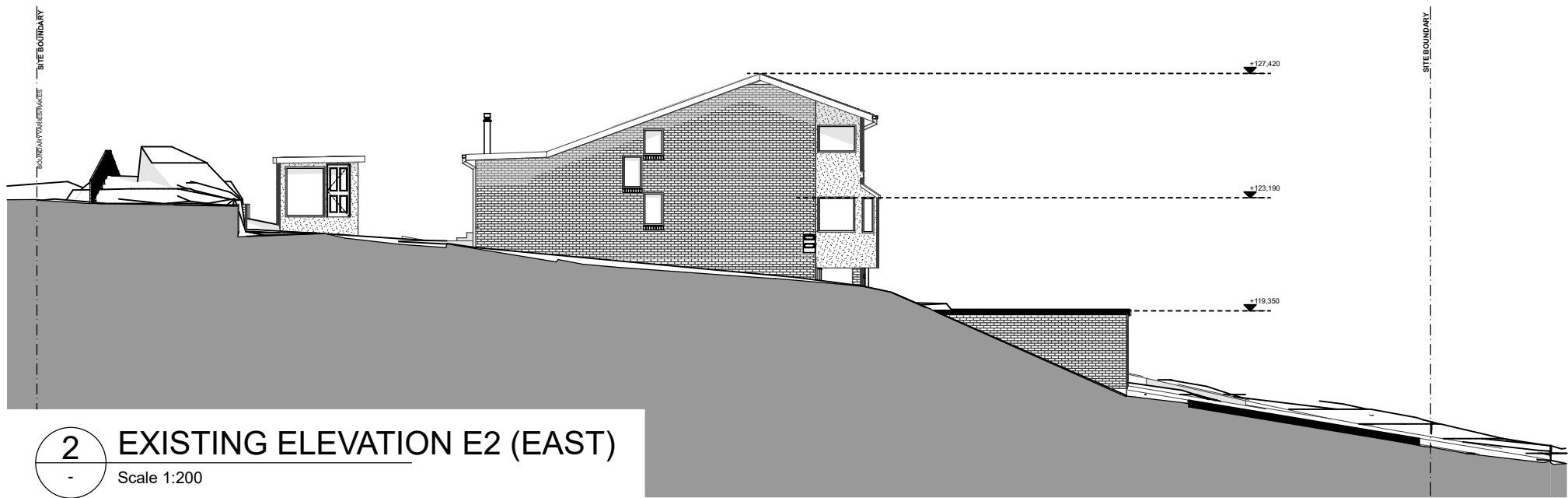
DFA2408-A07



1 EXISTING STREET ELEVATION E5 (SOUTH)
Scale 1:200



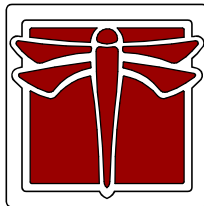
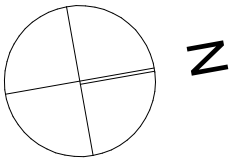
3 EXISTING ELEVATION E4 (WEST)
Scale 1:200



2 EXISTING ELEVATION E2 (EAST)
Scale 1:200

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EXISTING DRAWINGS 3

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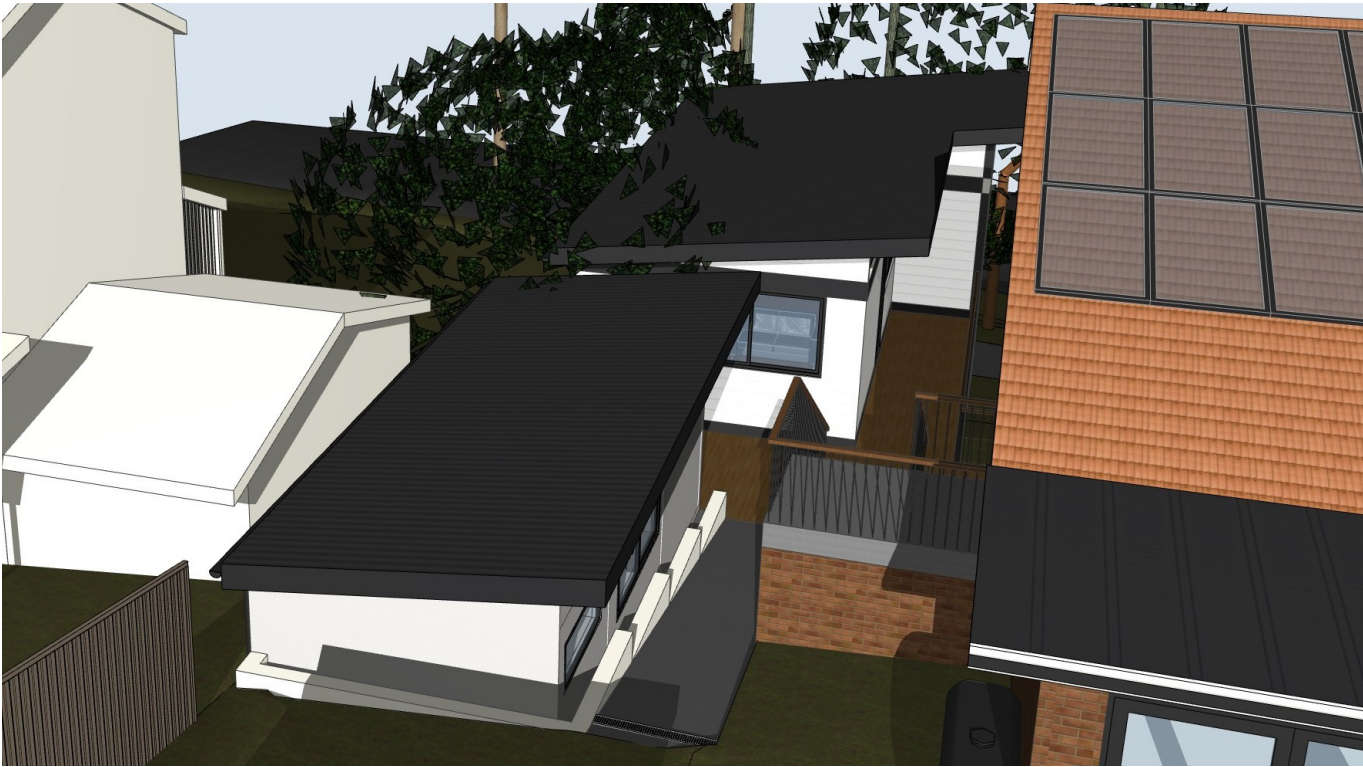
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1 FRONT VIEW 1



2 FRONT VIEW 2



3 REAR VIEW 1

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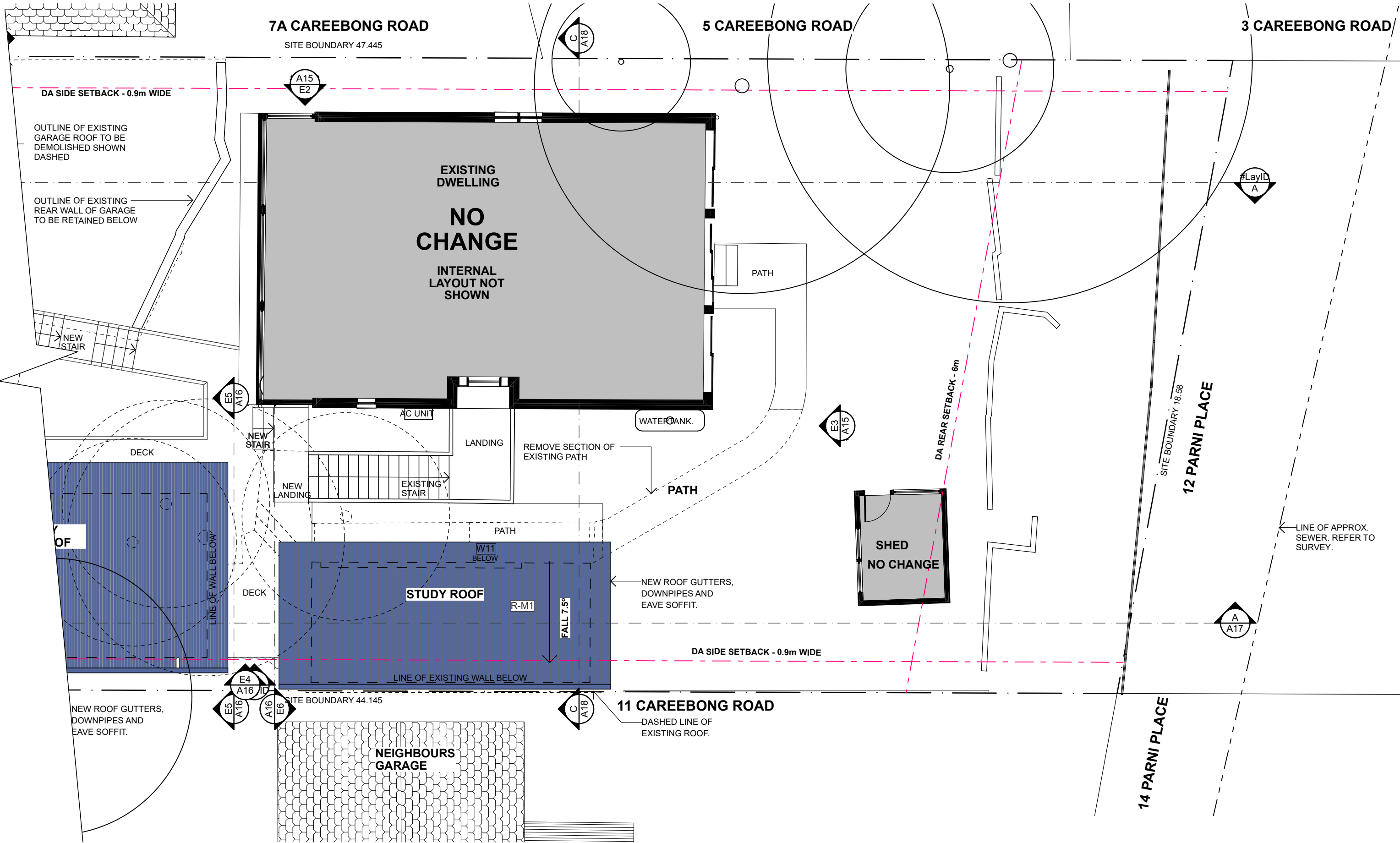
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**9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086**

PERSPECTIVES

DFA2408-A09

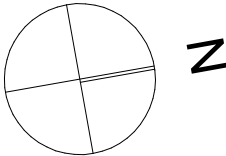


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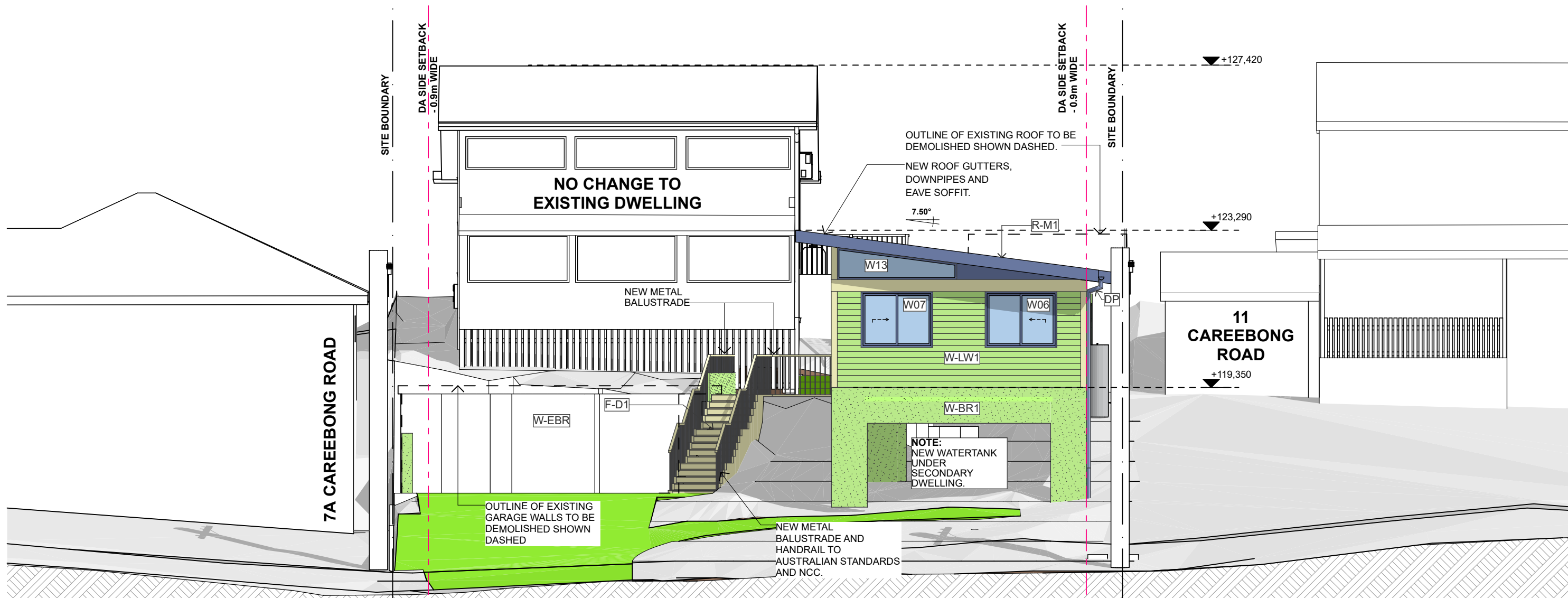
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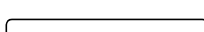

9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086

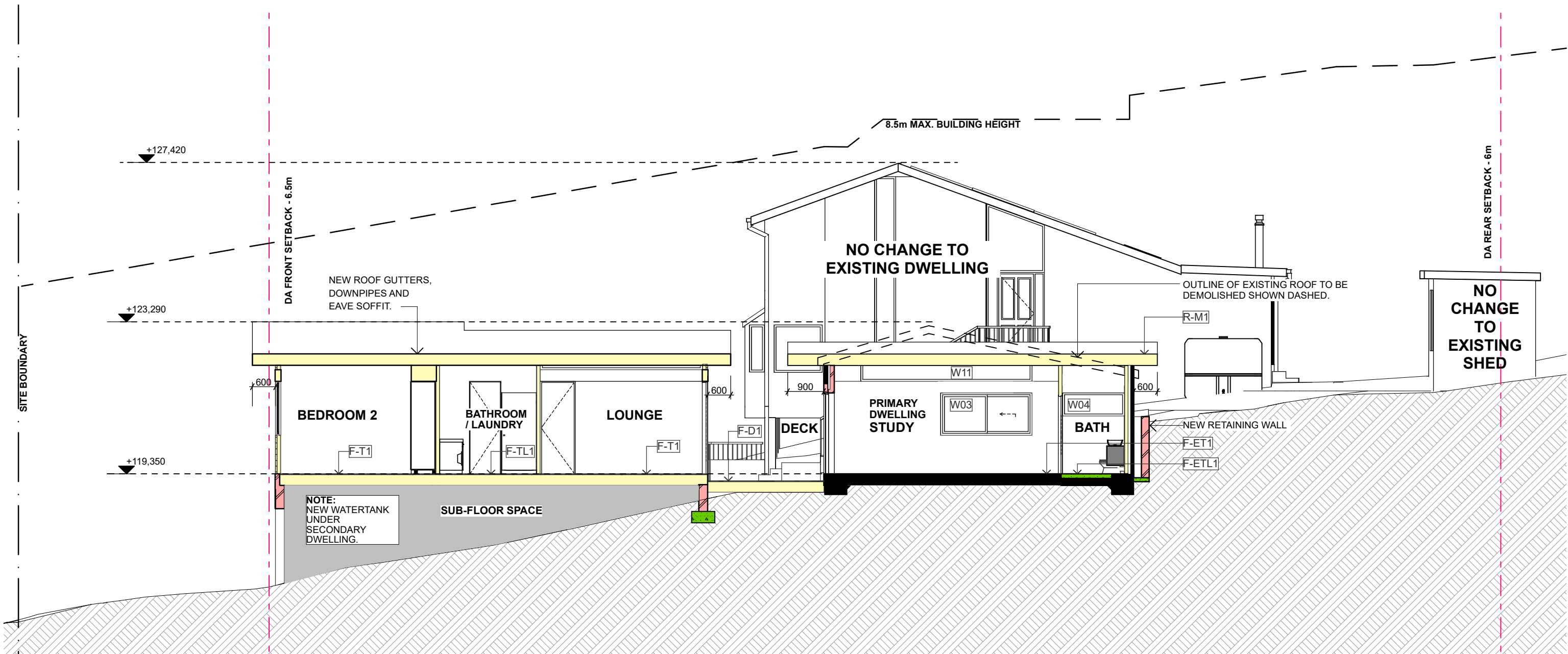
GROUND FLOOR

DFA2408-A12



1 STREET ELEVATION E1 (SOUTH)
Scale 1:100

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1 SECTION A
Scale 1:100

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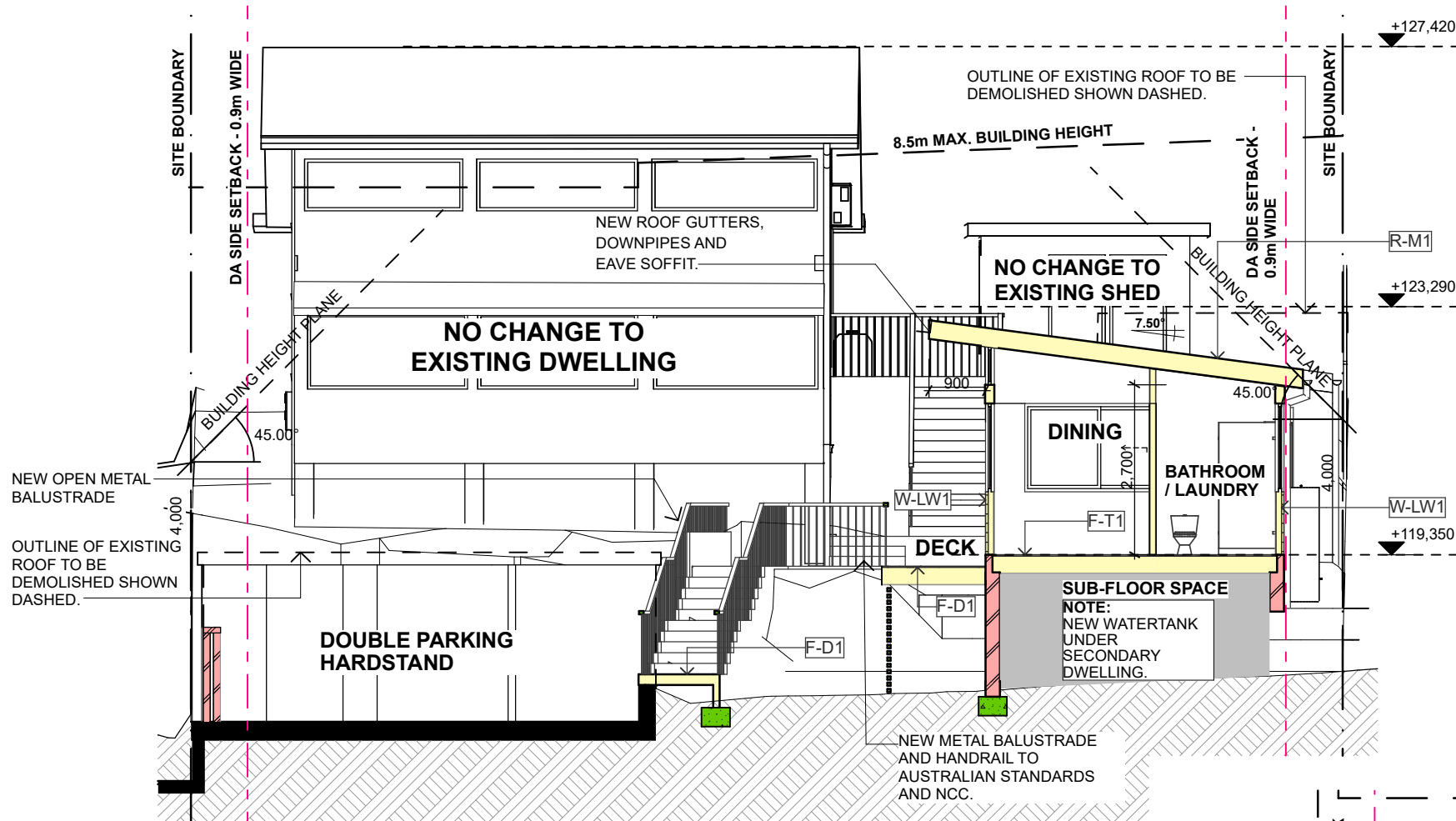
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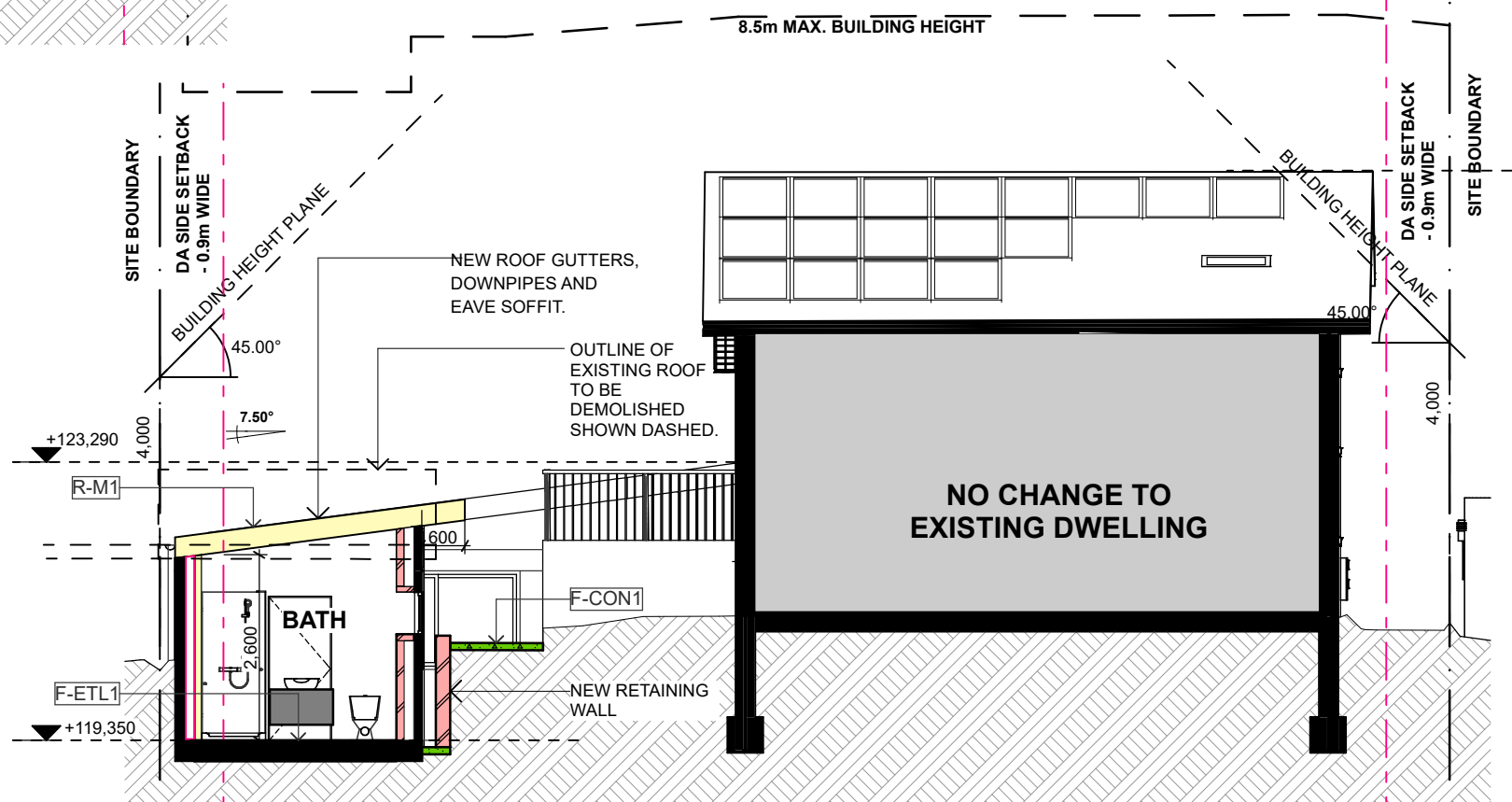
9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086

SECTION A

DFA2408-A17



1 SECTION B
Scale 1:100



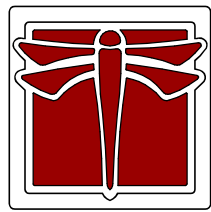
2 SECTION C
Scale 1:100

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9 CAREEBONG ROAD FRENCHS
FOREST NSW 2086

SECTION B AND C

DFA2408-A18

Project summary		
Project name	Granny Flat Project	
Street address	9 CAREEBONG Road FRENCHS FOREST 2086	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP29463	
Lot no.	44	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	46	Target 40
Thermal Performance	Pass	Target Pass
Energy	100	Target 68
Materials	20	Target n/a

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 330 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7,5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 122,07 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓ ✓	✓ ✓

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Description of project

Project address	
Project name	Granny Flat Project
Street address	9 CAREEBONG Road FRENCHS FOREST 2086
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan DP29463
Lot no.	44
Section no.	-
Project type	
Project type	dwelling house (detached) - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m²)	838
Roof area (m²)	114
Conditioned floor area (m²)	100,0
Unconditioned floor area (m²)	0,0
Total area of garden and lawn (m²)	339
Roof area of the existing dwelling (m²)	135
Number of bedrooms in the existing dwelling	3

Assessor details and thermal loads		
NatHERS assessor number	n/a	
NatHERS certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/ m²·year)	n/a	
Area adjusted heating load (MJ/ m²·year)	n/a	
Project score		
Water	46	Target 40
Thermal Performance	Pass	Target Pass
Energy	100	Target 68
Materials	20	Target n/a

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - suspended floor above garage, hard wood; frame: timber - H2 treated softwood.	93,16	nil;foil-foam composite board	nil	
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	all external walls	3,00 (or 3,50 including construction);foil-foam composite board + reflective foil in the cavity	nil	wall colour: Light (solar absorptance < 0,48)
external garage wall: concrete panel;plasterboard; frame: timber - H2 treated softwood.	0	foil-foam composite board	nil	

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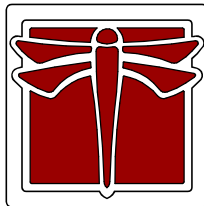
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9 CAREEBONG ROAD FRENCHS FOREST NSW 2086

BASIX 1

DFA2408-A19

A

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
internal wall; plasterboard; frame: timber - H2 treated softwood.	35,5	not specified	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	114,15	ceiling: 5 (up), roof: foil backed blanket ;ceiling: rockwool batts, roll or pump-in; roof: foil backed blanket.	nil	roof colour: medium (solar absorptance 0,48-0,59); ceiling area fully insulated
Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.			
Note	• If the additional ceiling insulation listed in the table above is greater than R3,0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.			
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.			

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Thermal Performance and Materials commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights				
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.		✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.		✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:		✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.		✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✔	✔
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.		✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).		✔	✔	✔

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W02	1400,00	2000,00	aluminium, single glazed (U-value: <=2,0, SHGC: 0.40 - 0.49)	solid overhang 610 mm, 400 mm above head of window or glazed door	2-4 m high, 2 m away
East facing					
W05	1400,00	900,00	aluminium, double glazed (U-value: <=3,0, SHGC: 0.60 - 0.74)	eave 400 mm, 50 mm above head of window or glazed door	>4 m high, 8-12 m away
South facing					

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Thermal Performance and Materials commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans				
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.		✔	✔	✔
The applicant must install at least one ceiling fan in each bedroom.		✔	✔	✔
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .		✔	✔	✔

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Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W06	1400.00	1800.00	aluminium, double glazed (U-value: <=2,0, SHGC: 0.33 - 0.40)	eave 600 mm, 900 mm above head of window or glazed door	>4 m high, 8-12 m away
W07	1400.00	1800.00	aluminium, double glazed (U-value: <=2,0, SHGC: 0.33 - 0.40)	eave 600 mm, 900 mm above head of window or glazed door	>4 m high, 8-12 m away
W13	600.00	3000.00	aluminium, double glazed (U-value: <=2,5, SHGC: 0.60 - 0.74)	eave 600 mm, 900 mm above head of window or glazed door	>4 m high, 8-12 m away
West facing					
W01	800.00	200.00	thermally broken aluminium, double glazed (U-value: <=3,0, SHGC: 0.40 - 0.49)	solid overhang 910 mm, 450 mm above head of window or glazed door	>4 m high, 5-8 m away
W03	800.00	2370.00	aluminium, double glazed (U-value: <=2,0, SHGC: 0.33 - 0.40)	eave 400 mm, 400 mm above head of window or glazed door	>4 m high, 2-5 m away
W04	600.00	1605.00	thermally broken aluminium, double glazed (U-value: <=2,0, SHGC: 0.27 - 0.33)	eave 400 mm, 400 mm above head of window or glazed door	>4 m high, 2-5 m away
W08	800.00	3360.00	thermally broken aluminium, double glazed (U-value: <=2,0, SHGC: 0.33 - 0.40)	solid overhang 910 mm, 50 mm above head of window or glazed door	>4 m high, 8-12 m away
W09	604.00	2470.00	aluminium, double glazed (U-value: <=2,5, SHGC: 0.22 - 0.27)	solid overhang 910 mm, 50 mm above head of window or glazed door	>4 m high, 8-12 m away
W10	582.00	4190.00	aluminium, double glazed (U-value: <=2,5, SHGC: 0.22 - 0.27)	solid overhang 910 mm, 50 mm above head of window or glazed door	>4 m high, 2-5 m away
W11	600.00	4400.00	thermally broken aluminium, double glazed (U-value: <=2,0, SHGC: 0.27 - 0.33)	eave 400 mm, 50 mm above head of window or glazed door	2-4 m high, 2 m away

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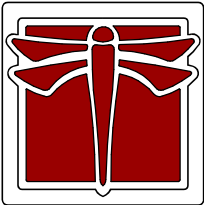
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9 CAREEBONG ROAD FRENCHS FOREST NSW 2086

BASIX 2

DFA2408-A20

A

S:\DFA\01. Projects\DFA2408-Olivares Castro-Sykes House (FB) - Geotechnical\000 CURRENT FILE\DFA2408-250312-DA01.pht

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 15 to 20 STCs or better.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 7 star (average zone)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 7 star (average zone)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 7 star (average zone)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 7 star (average zone)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, open to façade; Operation control: please select Kitchen: individual fan, ducted to façade or roof; Operation control: manual on / timer off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovoltaic system must consist of: <ul style="list-style-type: none">photovoltaic collectors with the capacity to generate at least 6.6 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing east	✔	✔	✔
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

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ID	DESCRIPTION	DATE

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DATE PRINTED : 1/04/2025
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CLIENT: MAYA OLIVARES CASTRO AND LUKE SYKES

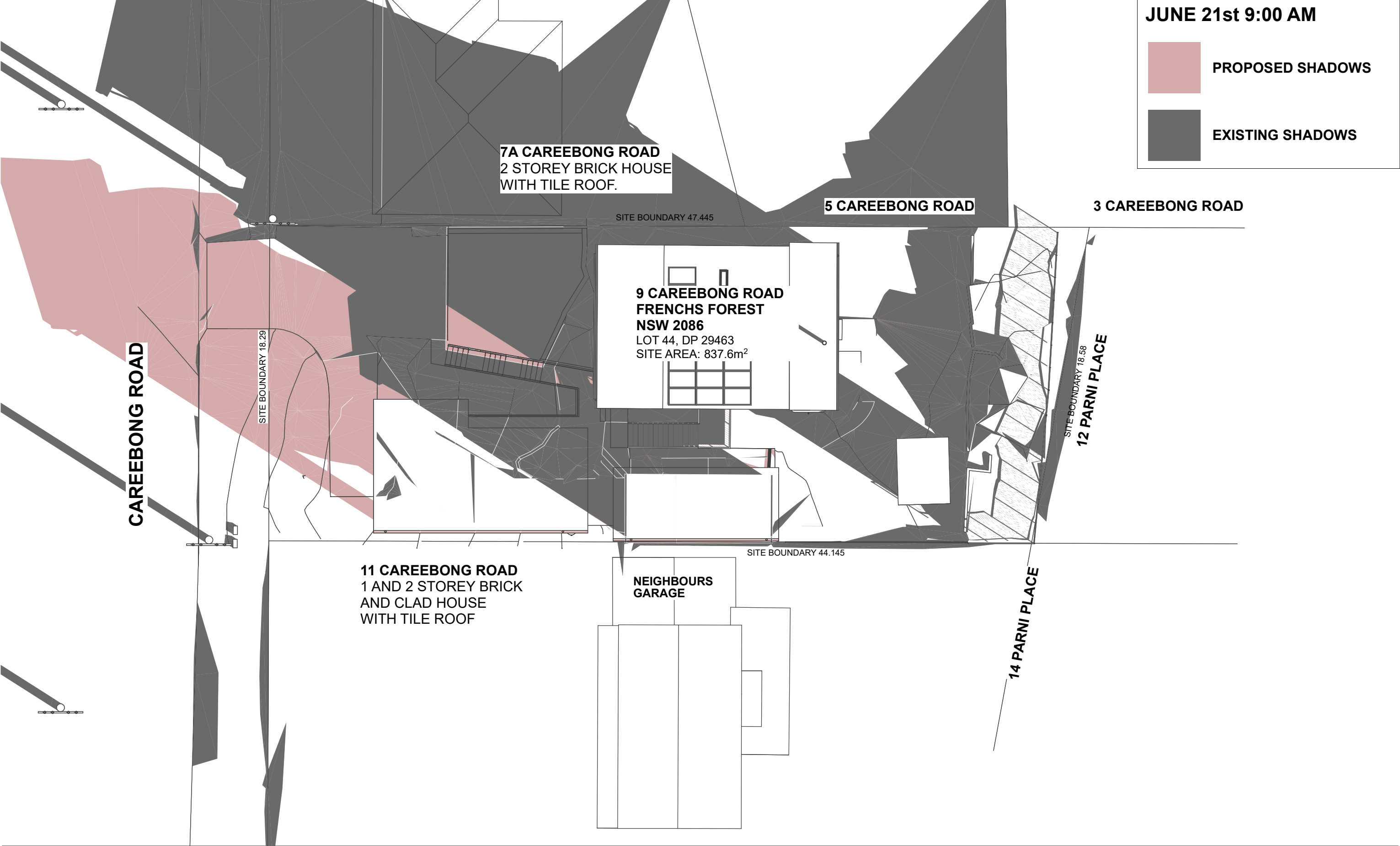
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9 CAREEBONG ROAD FRENCHS FOREST NSW 2086

BASIX 3

DFA2408-A21

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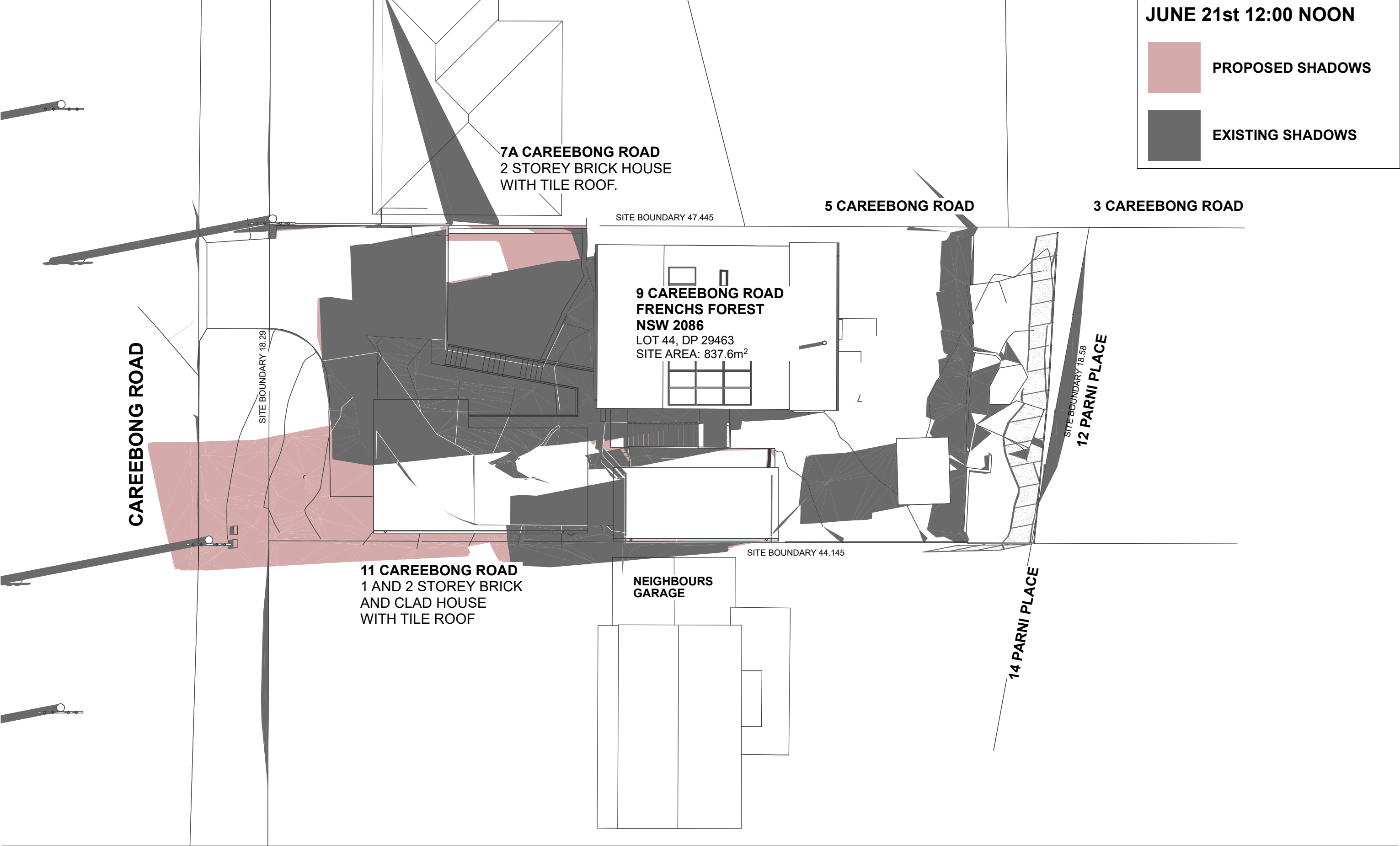
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SHADOWS JUNE 21-9AM

DFA2408-A22

A



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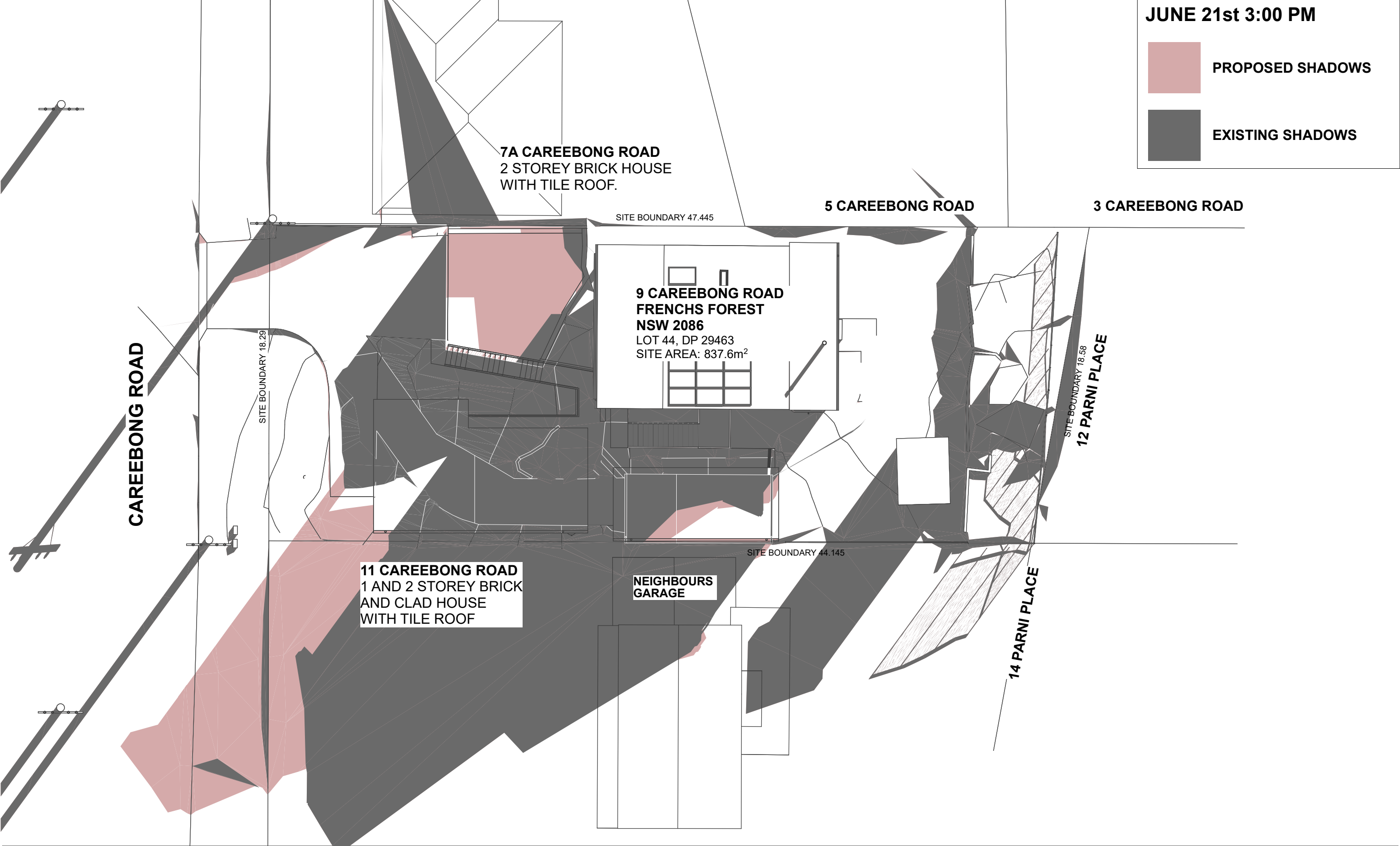
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SHADOWS JUNE 21-12NOON

DFA2408-A23

A



JUNE 21st 3:00 PM

PROPOSED SHADOWS

EXISTING SHADOWS

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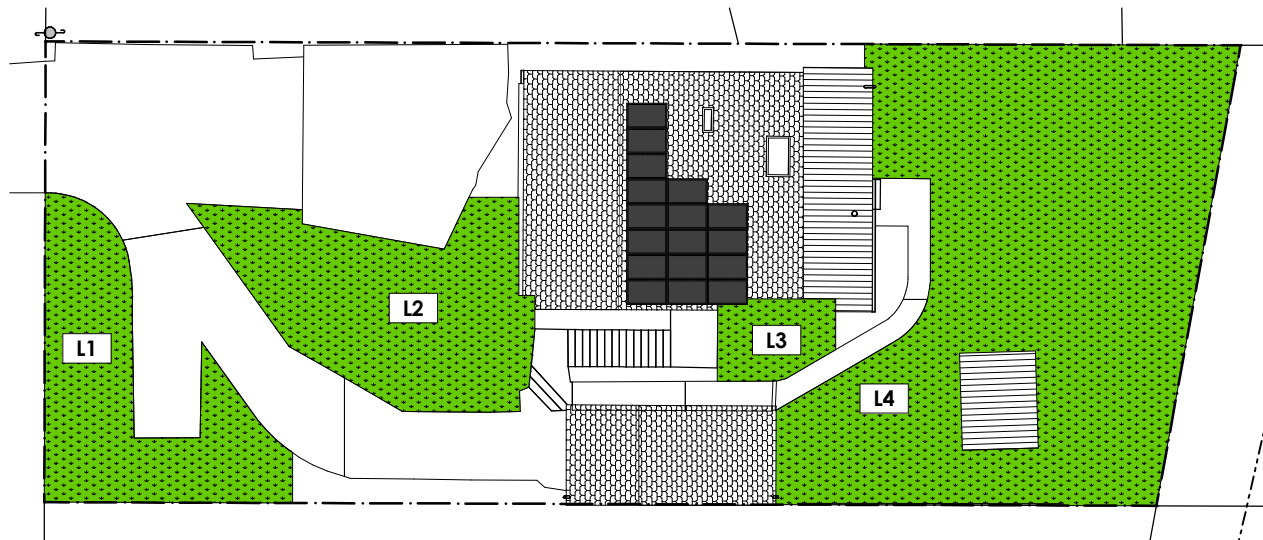
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SHADOWS JUNE 21-3PM

DFA2408-A24

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1 DA LANDSCAPE AREAS EXISTING
Scale 1:300

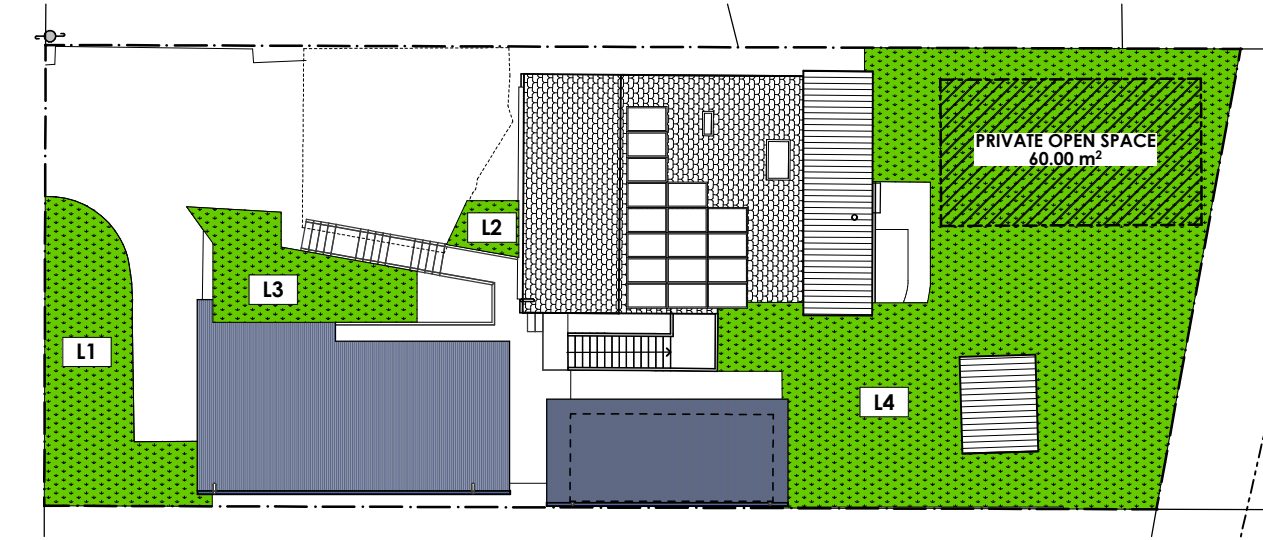
LANDSCAPE EXISTING	
NAME	AREA
L1	61.87
L2	74.93
L3	16.43
L4	234.73
	387.96 m ²
COMPLIES	

LANDSCAPE CALCULATIONS
NORTHERN BEACHES COUNCIL DCP - PART D1
NOTE: SOFT LANDSCAPE AREAS WITH MIN. DIMENSION
GREATER THAN 2,000mm

TOTAL SITE IS 837.6m²

MIN LANDSCAPE REQUIRED IS 40%
MIN. LANDSCAPE (0.40 X 837.6m²)= 335.04m²

MIN. REQUIRED SOFT LANDSCAPE = 335.04m²



2 DA LANDSCAPE AREAS PROPOSED
Scale 1:300

LANDSCAPE PROPOSED	
NAME	AREA
L1	48.51
L2	5.01
L3	26.26
L4	256.45
	336.23 m ²
COMPLIES	

PRIVATE OPEN SPACE
NORTHERN BEACHES COUNCIL DCP - PART D2

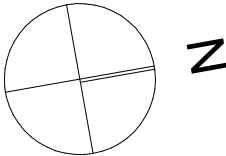
3 OR MORE BEDROOMS WITH A MIN. DIMENSION OF 5m.
MIN. REQUIRED PRIVATE OPEN SPACE = 60m²

COMPLIES

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FOREST NSW 2086

LANDSCAPE
CALCULATION

DFA2408-A25

A

METAL ROOFS
COLORBOND COLOUR
- MID-DARK GREY

EXTERNAL
LIGHTWEIGHT WALLS
PAINT - BEIGE OR
GREY TONES



DOWNPIPES &
GUTTERS
COLORBOND COLOUR
- MID-DARK GREY

WINDOWS AND DOOR
ALUMINIUM FRAMES
POWDERCOATED - MID-
DARK GREY/BEIGE OR
WHITE

EXTERNAL
RENDERED WALLS
PAINT - BEIGE OR
GREY TONES

TIMBER DECKING
HARDWOOD DECKING.

1 FRONT VIEW 1

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FINISHES SCHEDULE

DFA2408-A26

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