



ACTION PLANS

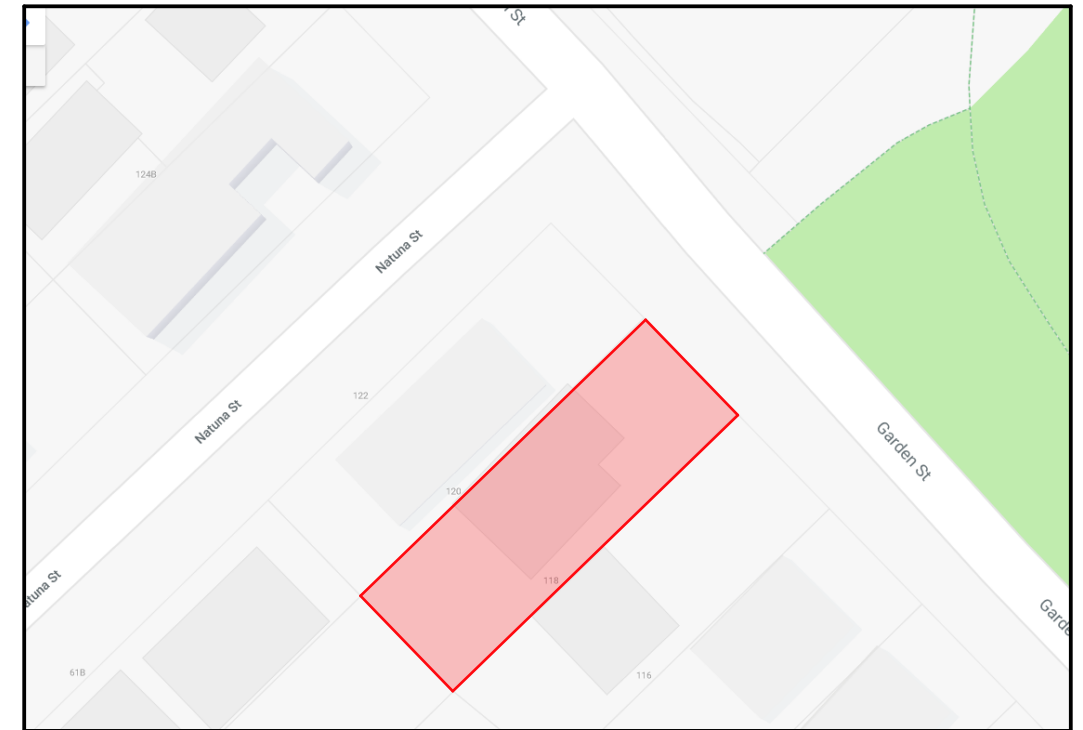
m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

DEVELOPMENT APPLICATION

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	06/02/2019
DA01	SITE ANALYSIS	06/02/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	06/02/2019
DA03	EXISTING GROUND FLOOR PLAN	06/02/2019
DA04	PROPOSED GROUND & SECONDARY DWELLING FLOOR PLAN	06/02/2019
DA05	PROPOSED CARPORT PLAN	06/02/2019
DA06	NORTH / EAST ELEVATION	06/02/2019
DA07	SOUTH / WEST ELEVATION	06/02/2019
DA08	SECONDARY DWELLING ELEVATIONS	06/02/2019
DA09	LONG / CROSS SECTION	06/02/2019
DA10	SECONDARY DWELLING SECTIONS	06/02/2019
DA11	AREA CALCULATIONS / SAMPLE BOARD	06/02/2019
DA12	WINTER SOLSTICE 9 AM	06/02/2019
DA13	WINTER SOLSTICE 12 PM	06/02/2019
DA14	WINTER SOLSTICE 3 PM	06/02/2019
DA15	BASIX COMMITMENTS - ALTERATIONS & ADDITIONS	06/02/2019
DA16	BASIX COMMITMENTS - SECONDARY DWELLING	06/02/2019

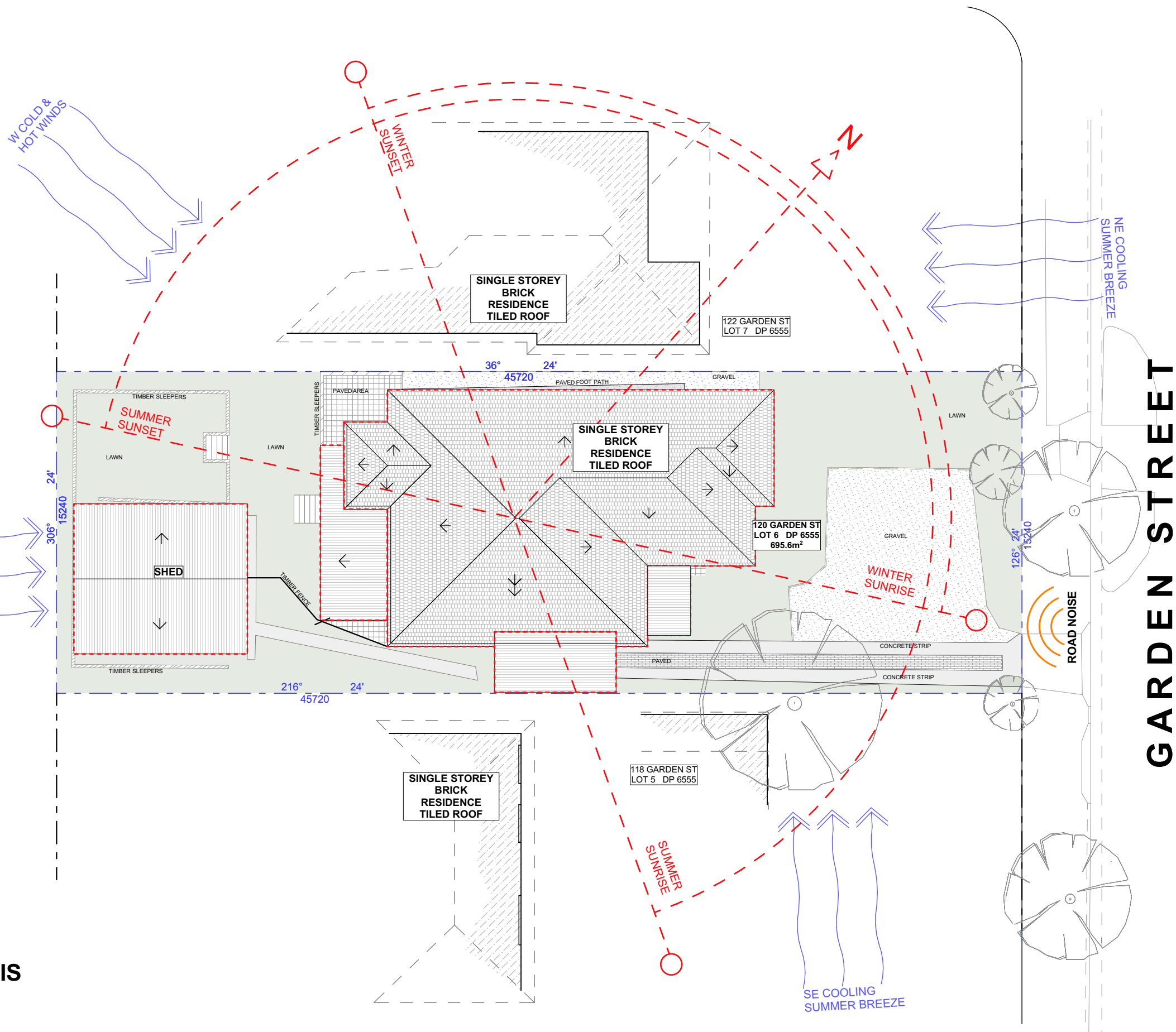
ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	120 Garden Street, NORTH NARRABEEN, 2101			
LOT & DP/SP	LOT 6 DP 6555			
COUNCIL	NORTHERN BEACHS COUNCIL (PITTWATER)			
SITE AREA	695.6m ²			
FRONTAGE	15.24m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	
	m / m ² / %	m / m ² / %	m / m ² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	
MINIMUM LOT SIZE	550m ²	695.6m ²	UNCHANGED	
FLOOR SPACE RATIO	NOT IDENTIFEID	N/A	N/A	
MAXIMUM BUILDING HEIGHT	8.5m	5.72m	UNCHANGED	
HAZARDS				
ACID SULFATE SOILS	CLASS 5	N/A	N/A	
HIGH/MED/LOW FLOOD RISK PRECINCT	LOW TO HIGH RISK	N/A	N/A	
DCP				
NUMBER OF STOREYS	1	1		
PRIMARY DWELLING SIDE BOUNDARY SETBACKS	North: 2.5m South: 1.0m	N: 1.559m (House) S: 2.901m (House)	N: 1.559m (House) S: 1.160m (House) N: 1.559m (Carport)	
PRIMARY DWELLING FRONT BOUNDARY SETBACK	6.5m	House: 12.434m	House: 12.434m Carport: 2.600m	
PRIMARY DWELLING REAR BOUNDARY SETBACK	6.5m	14.297m	14.297m	
LANDSCAPE OPEN SPACE	50% (347.8m ²)	49% (339.93m ²)	50% (347.94m ²)	
PRIVATE OPEN SPACE	Primary Dwelling: 80m ² Secondary Dwelling: 15% of floor area (5.97m ²)	139.17m ² N/A	135.25m ² 35.23m ²	
SECONDARY DWELLING SIDE BOUNDARY SETBACKS	2.5m: North 1.0m: South	N: 6.813m S: 2.404m	N: 6.813m S: 2.404m	
SECONDARY DWELLING FRONT BOUNDARY SETBACK	6.5m	37.241m	37.241m	
SECONDARY DWELLING REAR BOUNDARY SETBACK	6.5m	1.360m	1.360m	

120 GARDEN STREET, NORTH NARRABEEN, 2101



NCC & AS COMPLIANCES SPECIFICATIONS

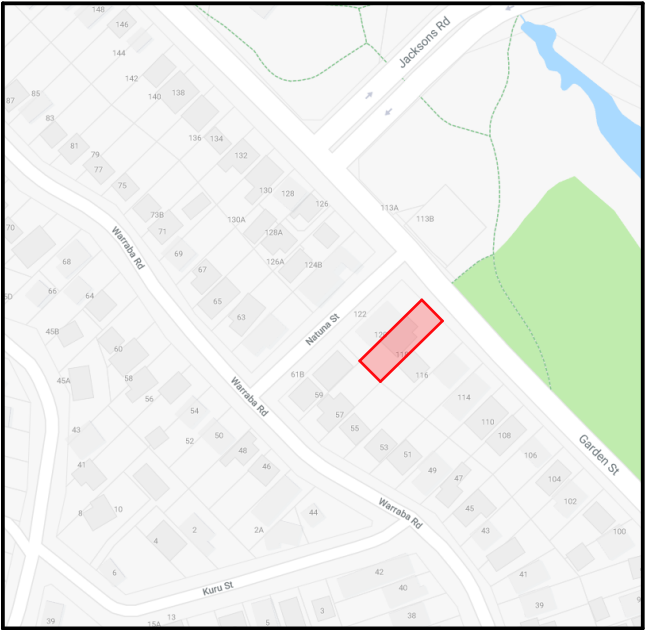
- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
 - SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
 - TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
 - FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
 - SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
 - FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
 - GLAZING - PART 3.6 OF NCC INCLUDING AS1288
 - FIRE SEPARATION - PART 3.7.1 OF NCC
 - SMOKE ALARMS - PART 3.7.2 OF NCC
 - HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
 - MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
 - LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
 - VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
 - SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
 - BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
 - FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
 - ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
 - SITE CLASSIFICATION AS TO AS 2870
 - ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
 - ALL CONCRETE WORK TO COMPLY WITH AS 3600
 - ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
 - ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
 - ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
 - ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



STREET VIEW



AERIAL MAP



LOCATION VIEW

SITE ANALYSIS
1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND

	NEW FLOOR AREA		CONCRETE
	NEW WET FLOOR AREA		BRICKWORK
	METAL ROOFING		METAL
	TILED ROOFING		EXISTING
	TIMBER		DEMOLISHED

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA01

DATE

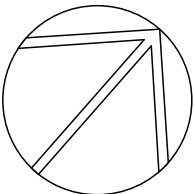
06 February 2019

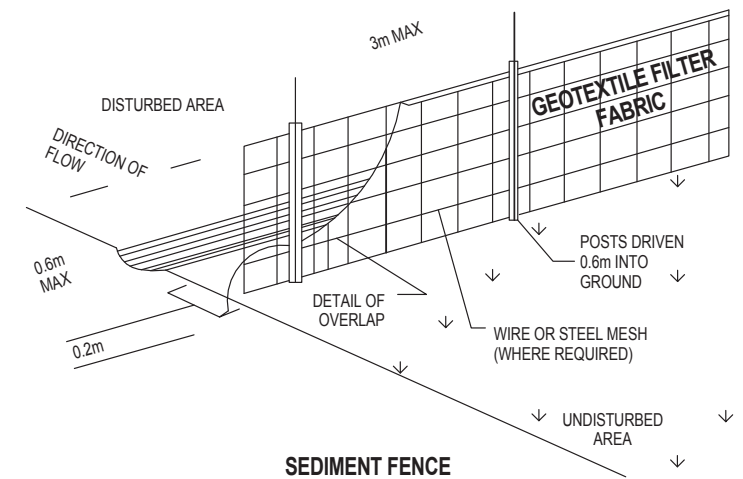
DRAWING NAME

SITE ANALYSIS

SCALE

1:200 @A3

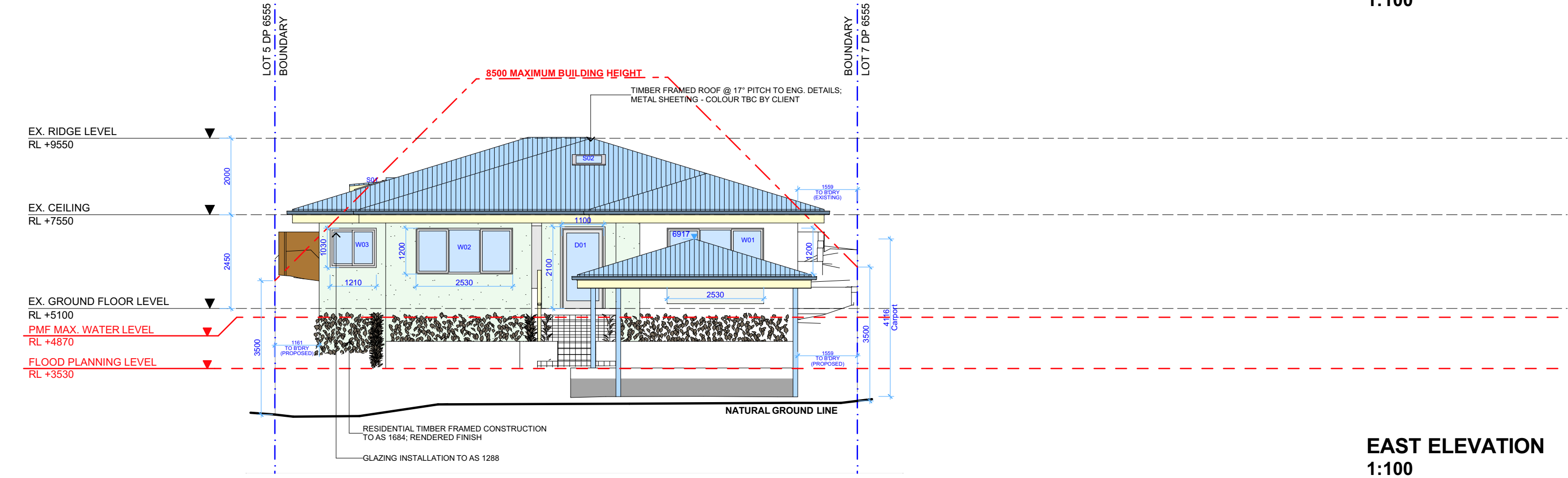
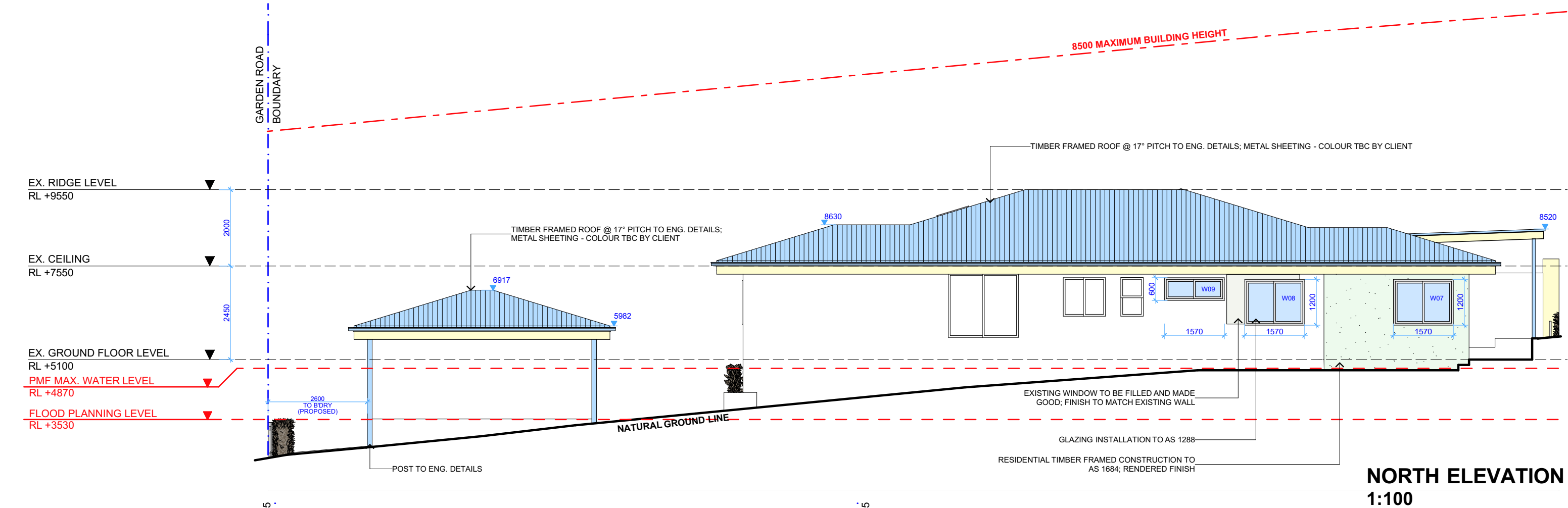




GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.



m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND

	TIMBER		METAL ROOFING
	WEATHERBOARD		TILED ROOFING
	FACE BRICKWORK		RENDER
	METAL		EXISTING
	CONCRETE		

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA06

DATE

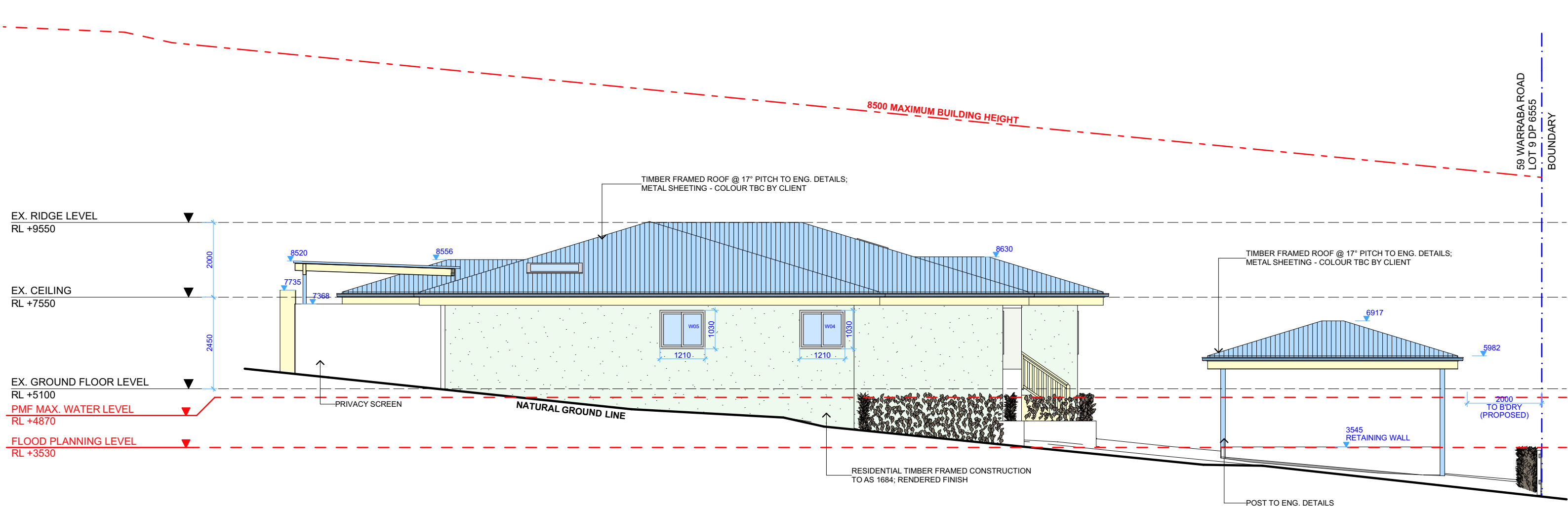
06 February 2019

DRAWING NAME

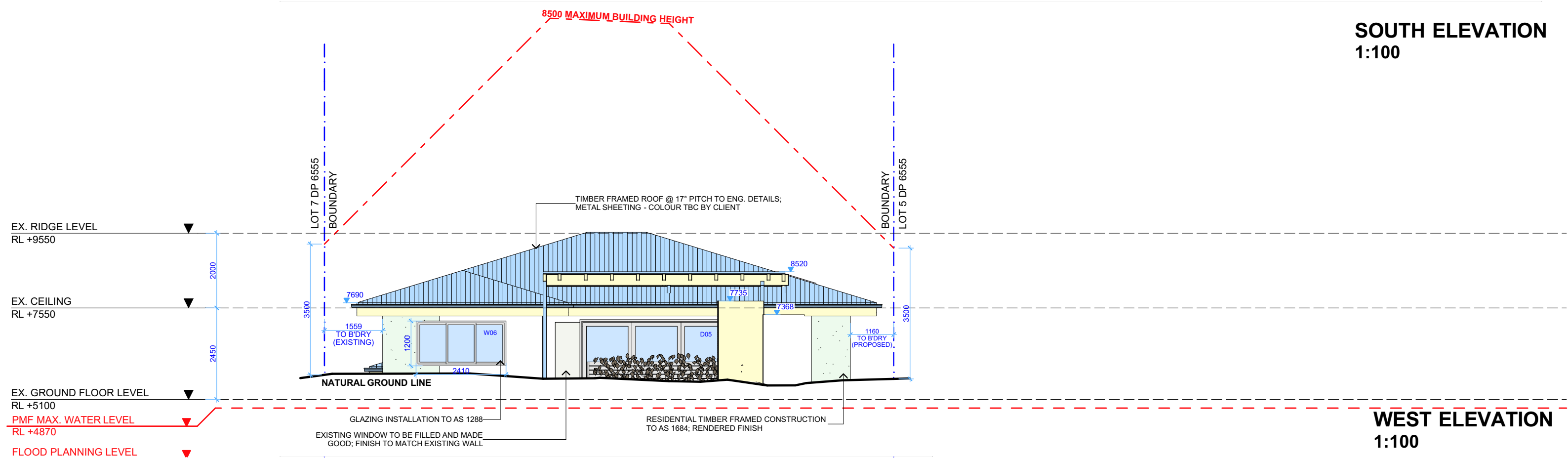
NORTH / EAST ELEVATION

SCALE

1:100 @A3



SOUTH ELEVATION
1:100



WEST ELEVATION
1:100



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND

	TIMBER		METAL ROOFING
	WEATHERBOARD		TILED ROOFING
	FACE BRICKWORK		RENDER
	METAL		EXISTING
	CONCRETE		

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA07

DATE

06 February 2019

DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A3

LANDSCAPE REQUIREMENTS

SITE AREA: 695.6m²

- Landscaped Area - General: 50% (347.8m²)

Existing: 49% (339.93m²)

Proposed:50% (347.94m²)
- 6% Landscaped Variations (41.74m²)

Proposed: 6% (41.74m²)
- Building Footprint

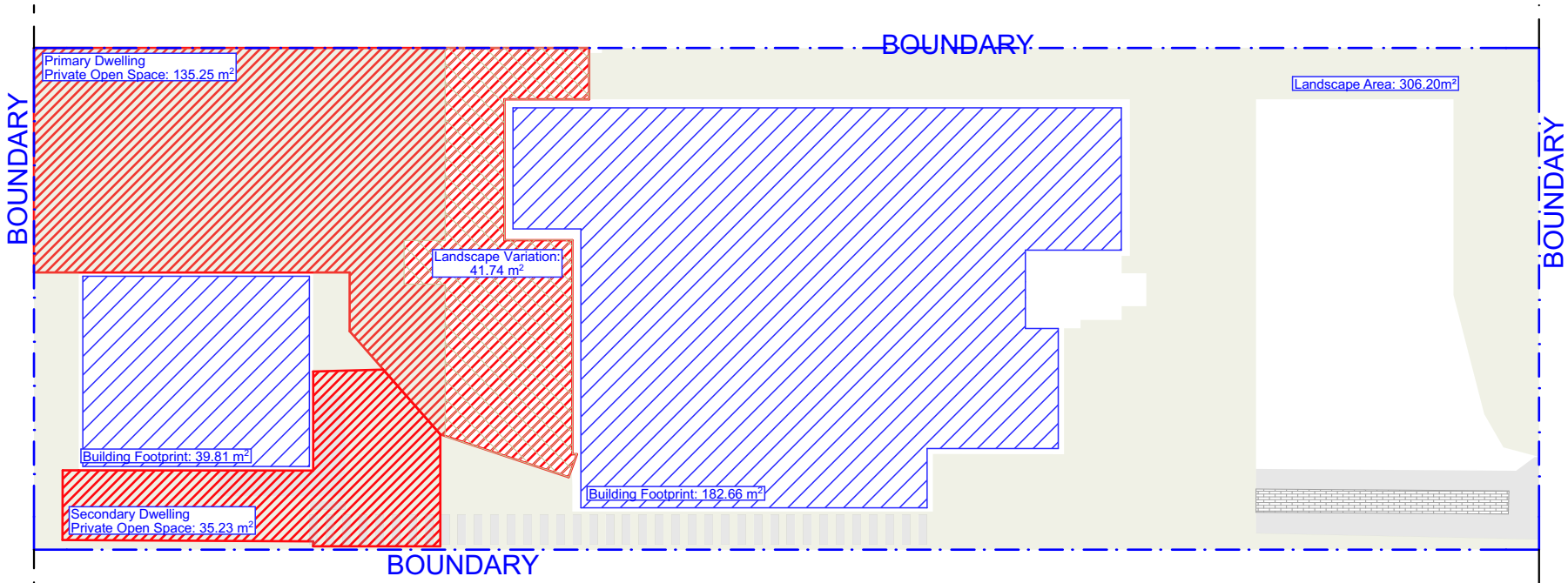
Primary Dwelling: 184.34m²

Secondary Dwelling: 39.81m²
- Private Open Space: Primary Dwelling: 80m² per dwelling & Secondary Dwelling 15% of floor area

Existing Primary Dwelling: 80m² per dwelling (139.17m²)

Proposed Primary Dwelling: 80m² per dwelling (135.25m²)

Secondary Dwelling: 15% of floor area: 5.97m² (35.23m²)



AREA CALCULATIONS
1:200



WHERE REPLACING DOORS AND WINDOWS
WALL TO BE FIXED AND MATCH EXISTING



RENDERED WALL TO MATCH EXISTING

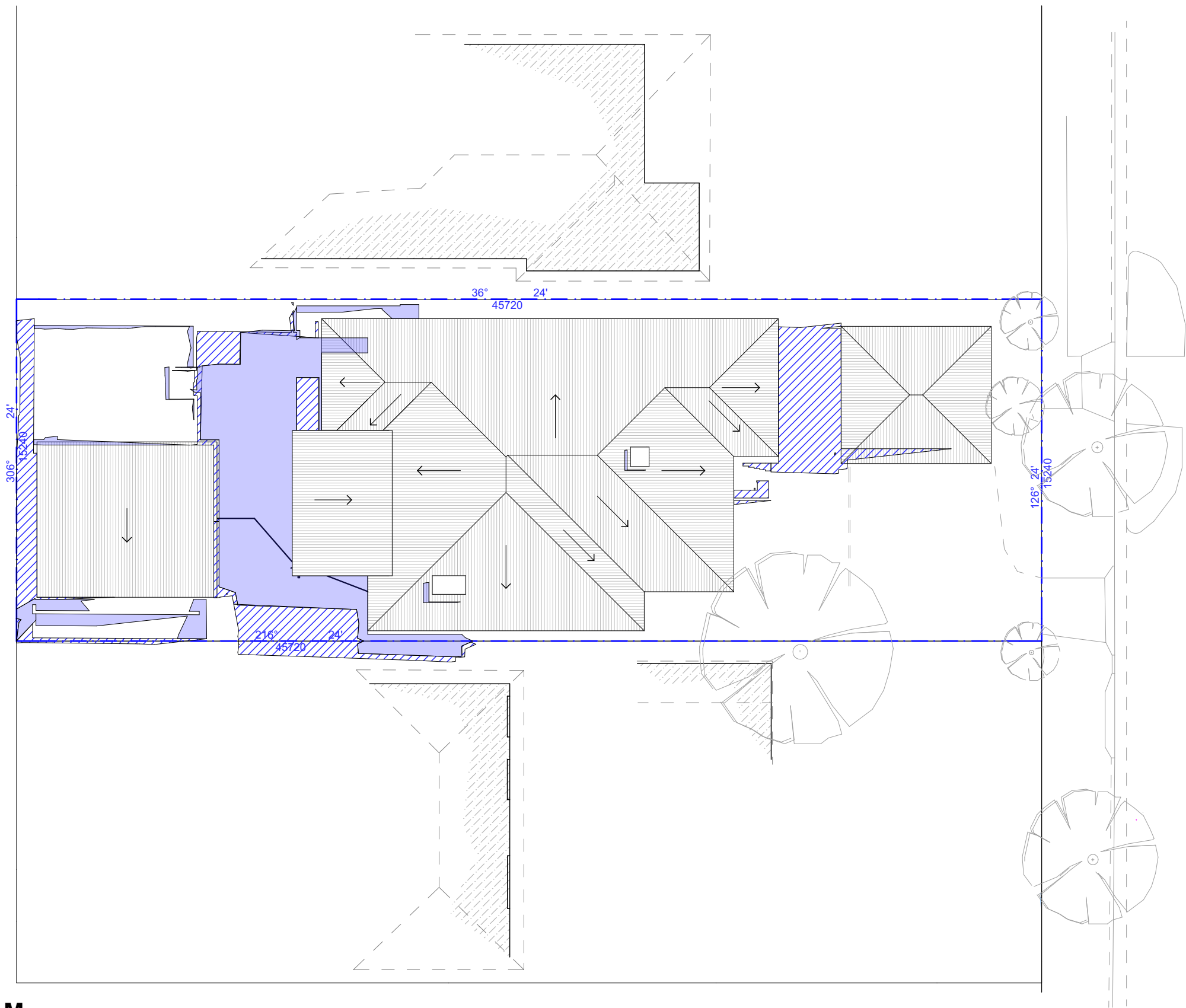


ALUMINIUM FRAMED WINDOWS
BY STEGBAR



FIXED SKYLIGHT WINDOWS
BY VELUX

SAMPLE BOARD



WINTER SOLSTICE 9 AM
1:200






ACTION PLANS
m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND

-  EXISTING SHADOWS
-  PROPOSED SHADOWS
-  NEIGHBOURING SHADOWS

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA12

DATE

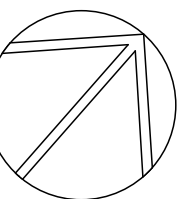
06 February 2019

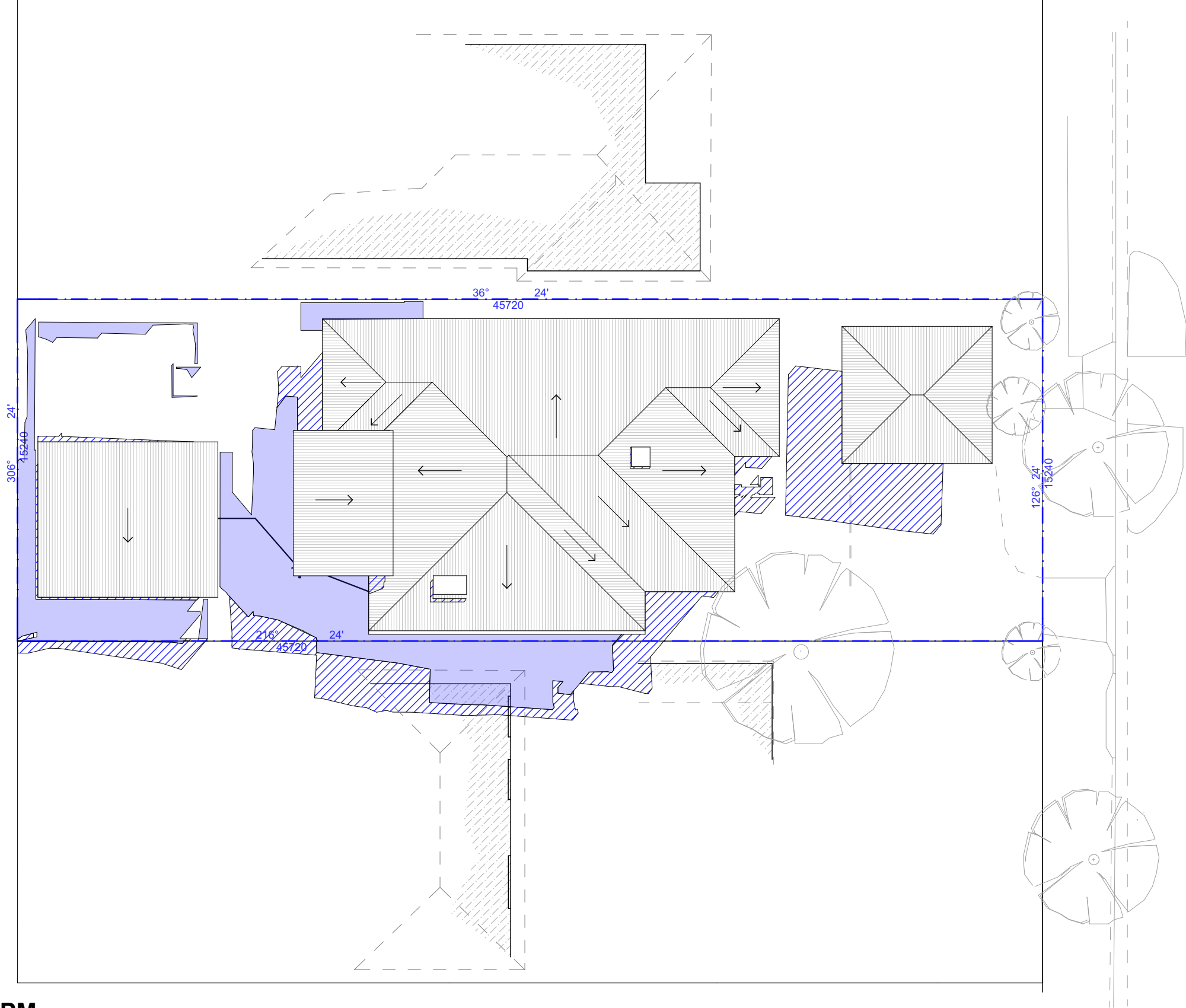
DRAWING NAME

WINTER SOLSTICE 9 AM

SCALE

1:200 @A3





WINTER SOLSTICE 12 PM
1:200



ACTION PLANS

m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOWS
- NEIGHBOURING SHADOWS

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA13

DATE

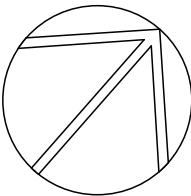
06 February 2019

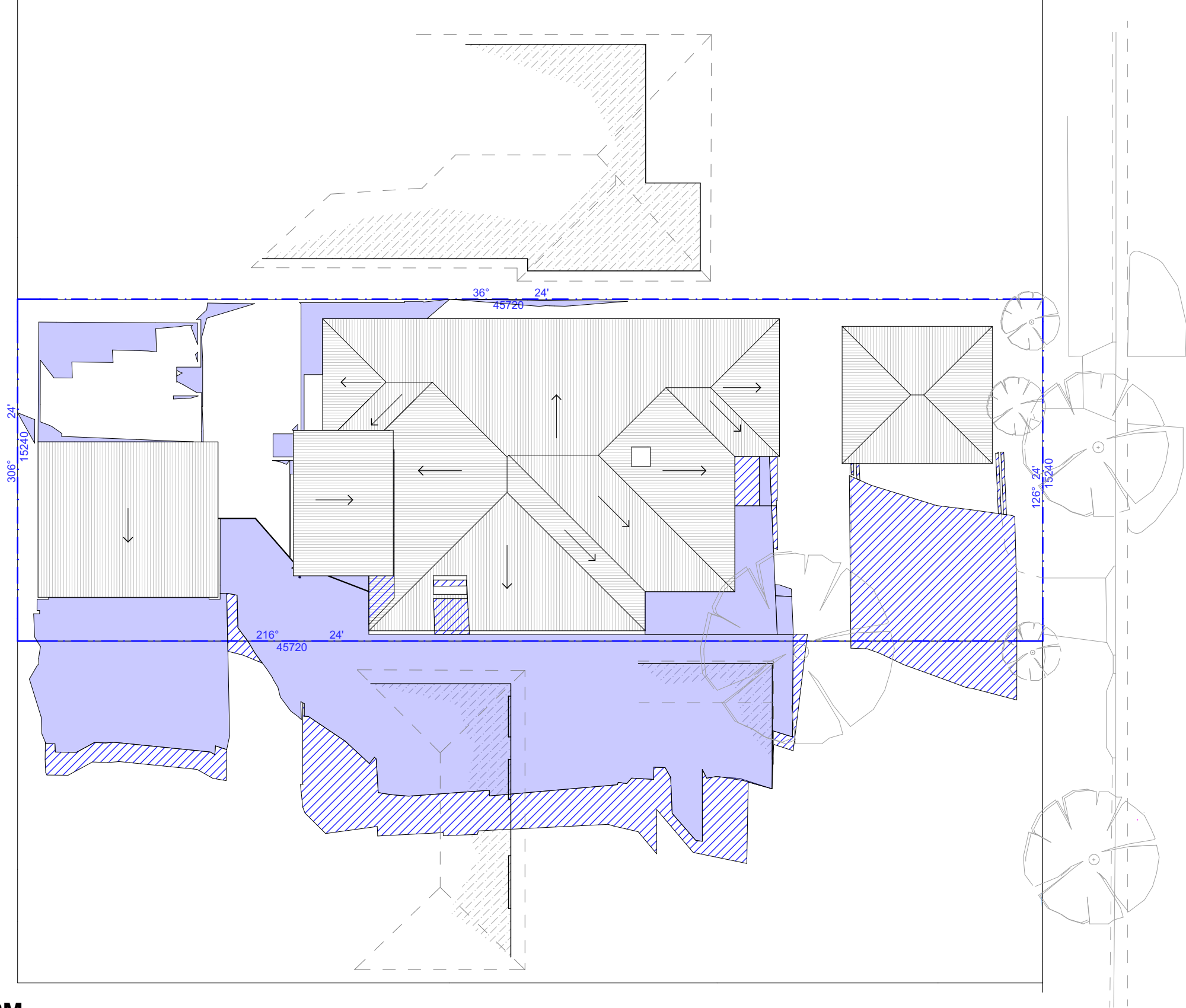
DRAWING NAME

WINTER SOLSTICE 12 PM

SCALE

1:200 @A3





WINTER SOLSTICE 3 PM
1:200



ACTION PLANS
m: 0426 957 518
e:operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.
All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

- LEGEND**
- EXISTING SHADOWS
 - PROPOSED SHADOWS
 - NEIGHBOURING SHADOWS

CLIENT
Ben & Prue Scully

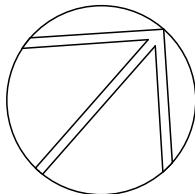
PROJECT ADDRESS
No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.
DA14

DATE
06 February 2019

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



Certificate number: A334985

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 23, November 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	120 Garden St North Narrabeen -Job 457
Street address	120 Garden Street North Narrabeen 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 6555
Lot number	6
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

REV.	DATE	COMMENTS	DRWN
A	27/11/18	DA - REVIEW SET	RNA
B	05/12/18	DA - REVIEW SET REV A	RNA
C	01/02/19	DA - SUBMISSION	RNA

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.

All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.

Do no scale on drawings. Use figured dimensions.

LEGEND

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p>							✓	✓	✓
							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	E	3.036	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W2	E	3.036	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W3	E	1.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			
W4	S	1.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	S	1.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W6	W	2.89	0	0	eave/verandah/ pergola/ balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W7	N	1.88	0	0	eave/verandah/ pergola/ balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	N	1.88	0	0	eave/verandah/ pergola/ balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W9	N	0.94	0	0	eave/verandah/ pergola/ balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D1	E	2.16	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D5	W	5.42	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.29	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S2	0.75	no shading	aluminium, moulded plastic single clear, (or U-value:			

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
			6.21, SHGC: 0.808)			



ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA15

DATE _____

06 February 2019

DRAWING NAME

BASIX COMMITMENTS - ALTERATIONS & ADDITIONS

SCALE

@A3