

STORMWATER TO HYDRAULIC ENG'S DETAILS

SITE DETAILS	
LOT NUMBER:	9
DP NUMBER:	1206507
AREAS	
SITE AREA:	695.60m2
FIRST FLOOR	149.58 m ²
GROUND FLOOR	134.58 m ²
GARAGE	39.01 m ²
ALFRESCO	38.00 m ²
PORCH	12.13 m ²
BALCONY	7.67 m ²
Grand total	380.97 m ²

DRIVEWAY:	46.24m2
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PRIVATE OPEN SPACE:	328.00m2
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PROJECT DETAILS:	
GROUND & FIRST FLOOR LIVING TOTAL:	284.16m2
ROOF AREA:	277.00m2
NO. OF BEDROOMS:	5

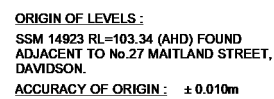
LANDSCAPE:	
LANDSCAPED OPEN SPACE:	333.38m2 = 47.92%

STORMWATER:
RAINWATER TANK SIZE: = 3000 litre
ROOF AREA CONNECTED TO RAINWATER
TANK: 36.10% MIN MIN-3,000m2 (to eng's details)
RAINWATER USES: GARDEN/TOILET/LAUNDRY

SITE NOTES & CONDITIONS:

- HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.
- EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER
- EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.
- EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.
- WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.
- DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST
- FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE
- ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER

- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS



**ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS**

**TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009**

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

— POSITION OF 3000L "THE EVOLUTION SERIES MKII" ABOVE GROUND RAIN WATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO TOILETS, WASHING MACHINE & EXTERNAL GARDEN TAPS.



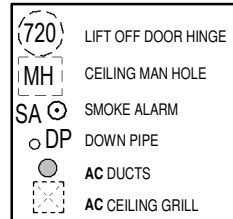
northern
beaches
council

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2021/0084

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A	PFD+SV1. (HT)	13.10.20			CLIENT: MR & MRS DAWKINS	JOB NO: 17471	DATE: 20.11.20
B	VARY A (EC)	20.11.20			ADDRESS: LOT 14, No 21 MAITLAND STREET DAVIDSON NORTHERN BEACHES COUNCIL	DRAWN: HT	CHECKED: .
C	VARY C (SB)	02.12.20				SCALE: As indicated	SHEET NO: 01
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LEGENDS

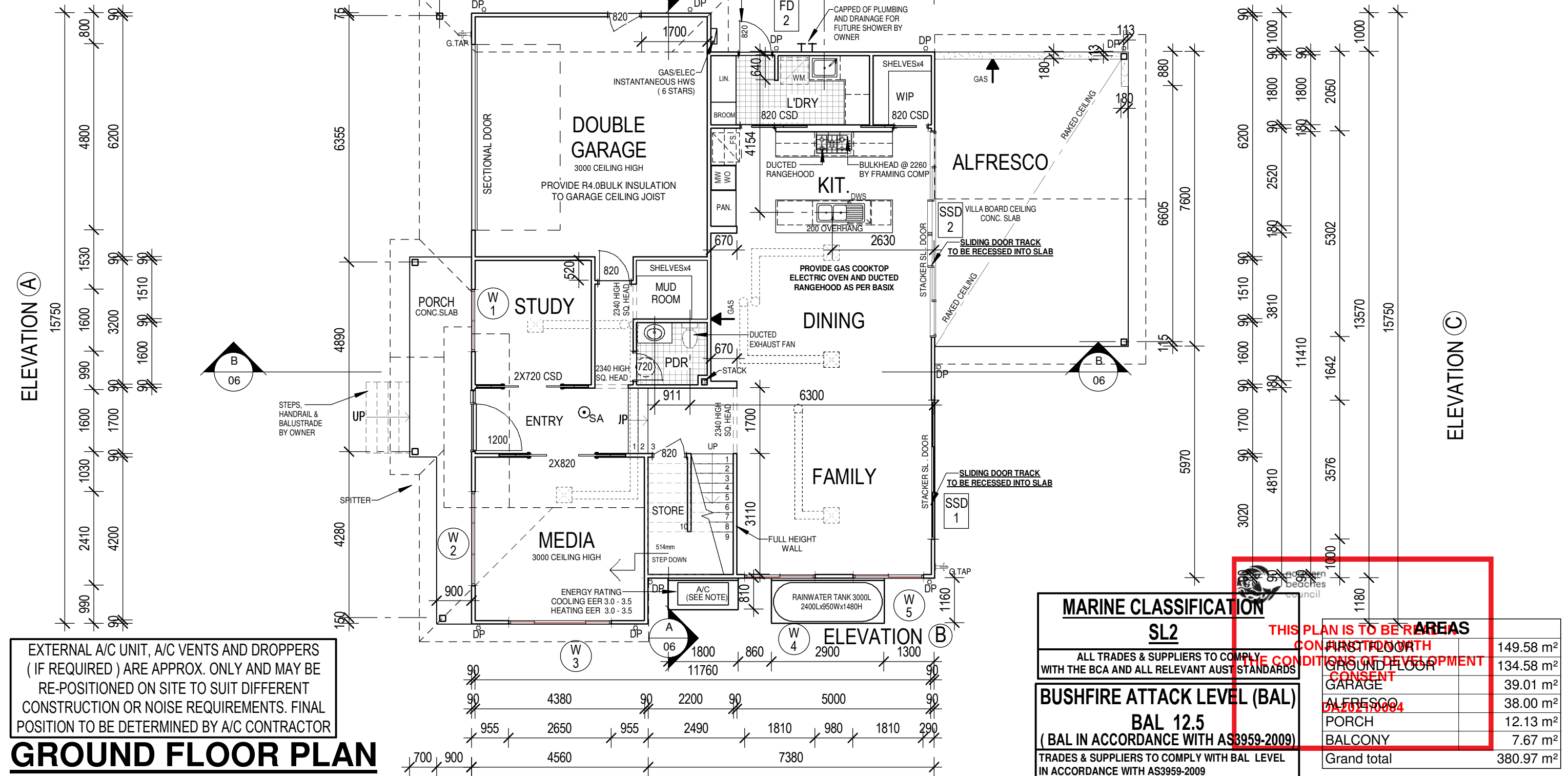


PROVIDE **5kw** SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

SEAMLESS FINISH

ALL WET AREA FLOORS
TO BE RECESSED 50mm

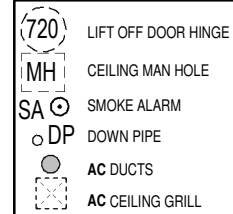
BASIX
ALL PLANS TO BE READ IN
CONJUNCTION WITH THE BASIX
CERTIFICATE AND ITS SCHEDULE OF
COMMITMENTS, WHICH ARE TO BE
COMPLIED WITH IN FULL



EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS
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LEGENDS



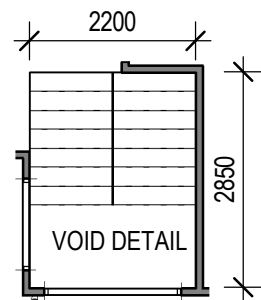
SEAMLESS FINISH

ALL WET AREA FLOORS
TO BE RECESSED 50mm

ELEVATION (B)

BASIX

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ELEVATION (A)

ELEVATION (C)

MARINE CLASSIFICATION
SL2

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS



PROVIDE 5kw SOLAR PV SYSTEM
SOLAR PANELS AND THEIR LOCATION
TO BE INSTALLED AS PER MANUFACTURERS
RECOMMENDATIONS AND GUIDELINES

THIS PLAN IS TO BE READ IN
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BUSHFIRE ATTACK LEVEL (BAL)

BAL 12.5

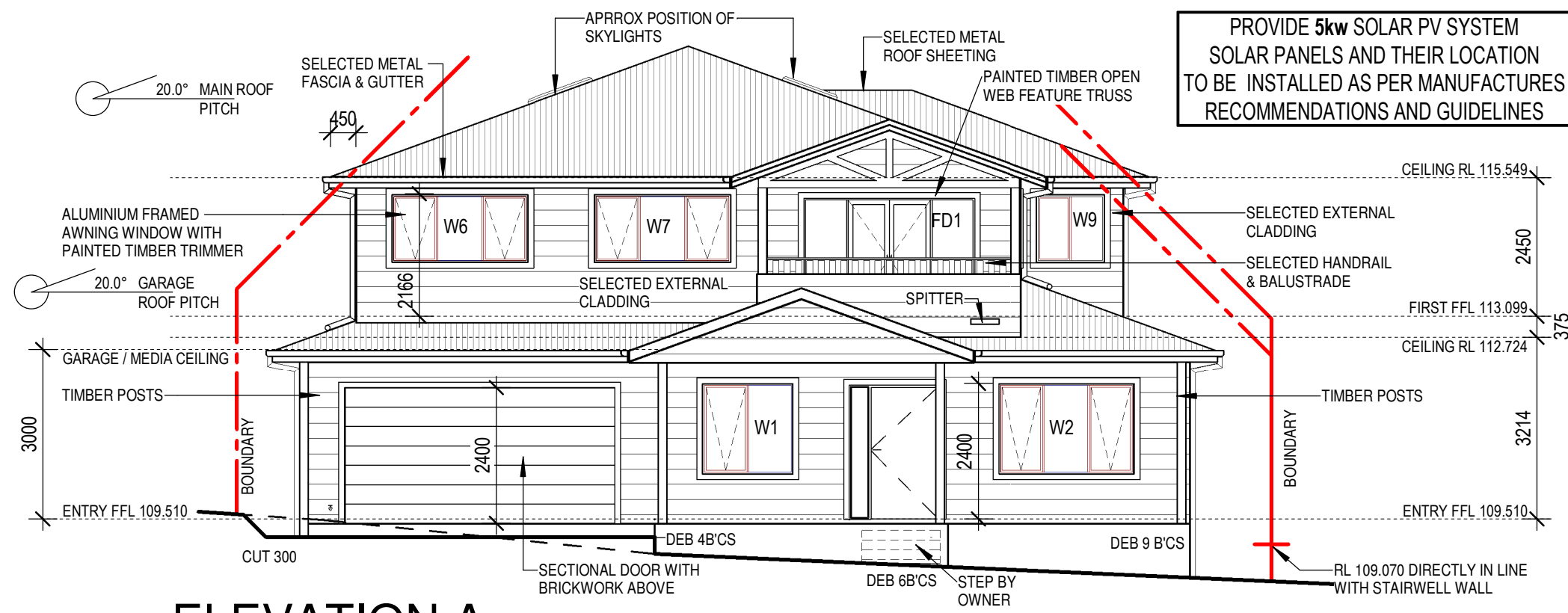
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009

FIRST FLOOR PLAN

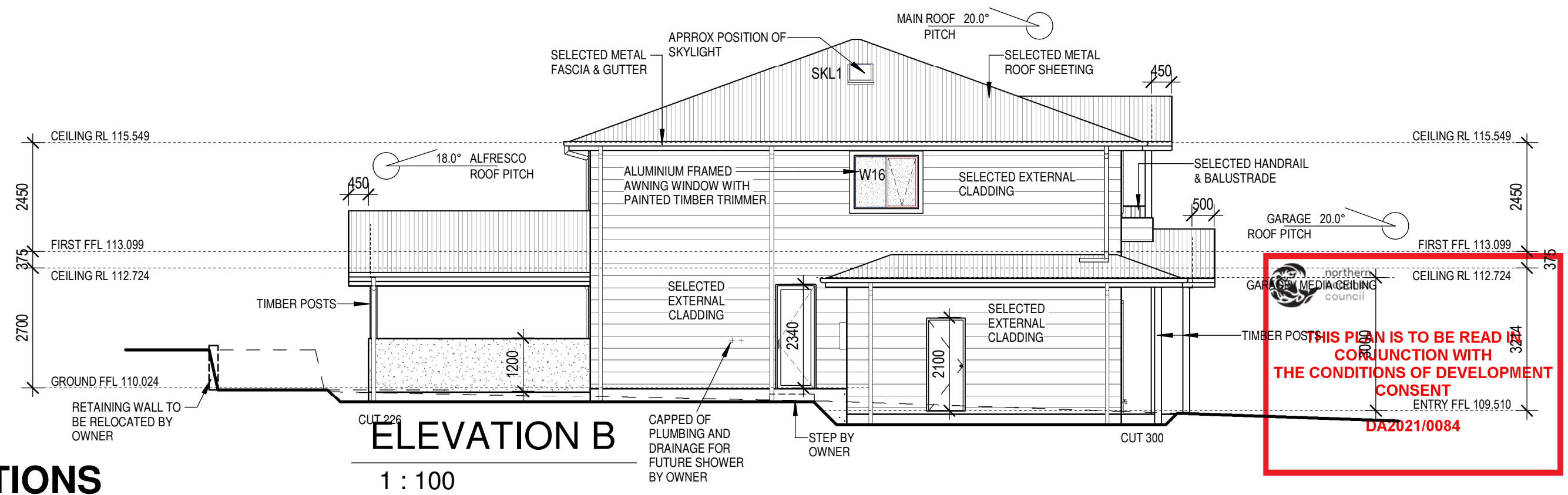
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NOTE
SEE ELEVATION FOR ALL
WINDOW HEAD HEIGHTS

ELEVATION A
1 : 100



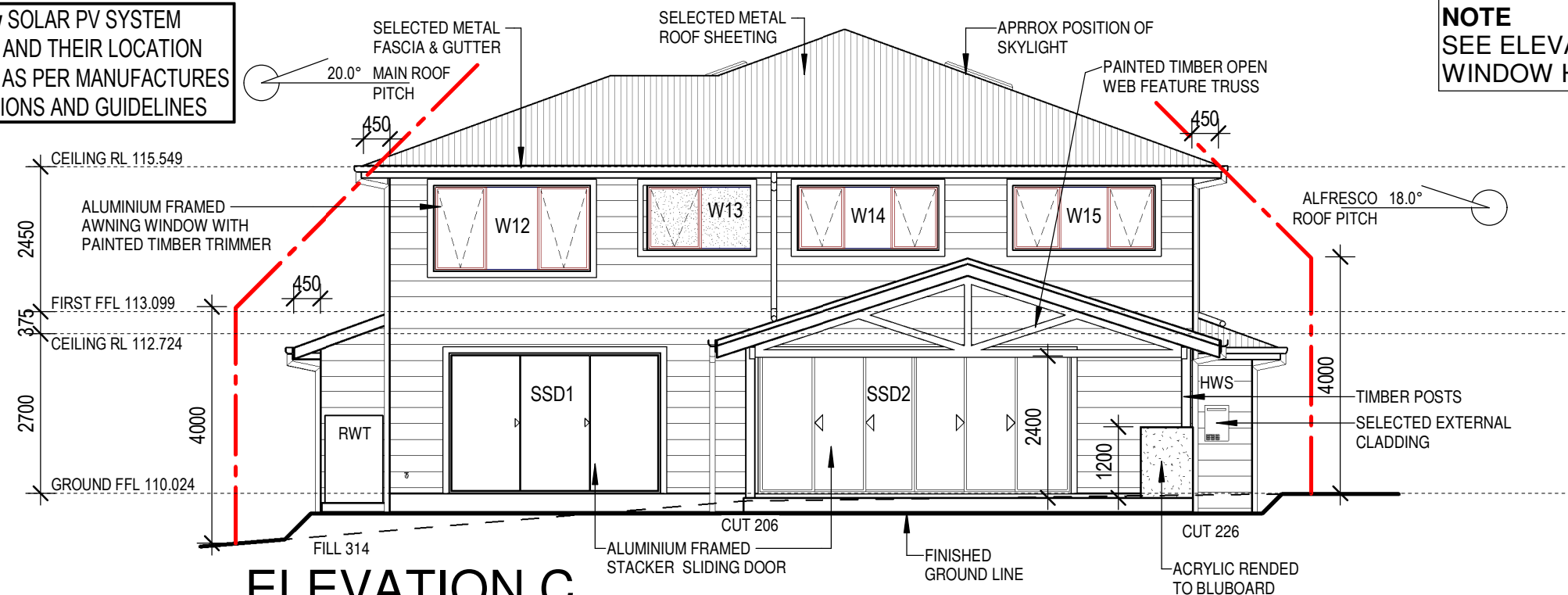
ELEVATION B
1 : 100

ELEVATIONS

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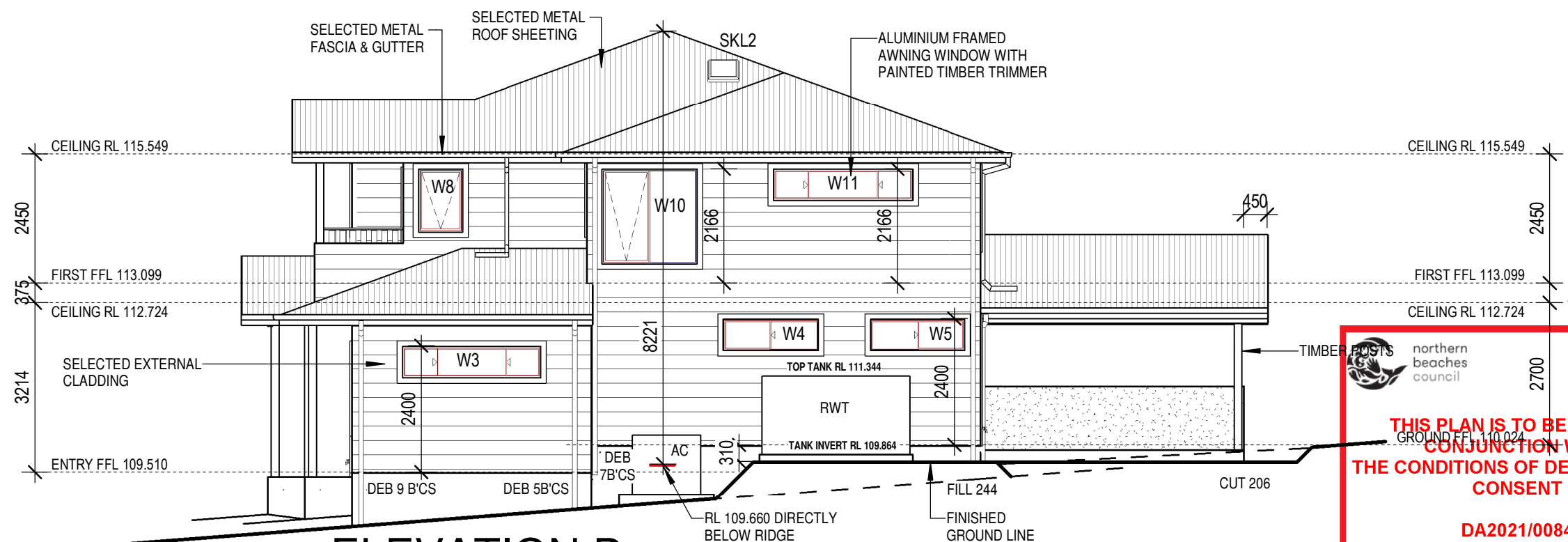
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SOLAR PANELS AND THEIR LOCATION
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RECOMMENDATIONS AND GUIDELINES

NOTE
SEE ELEVATION FOR ALL
WINDOW HEAD HEIGHTS



ELEVATION C

1 : 100



ELEVATION D

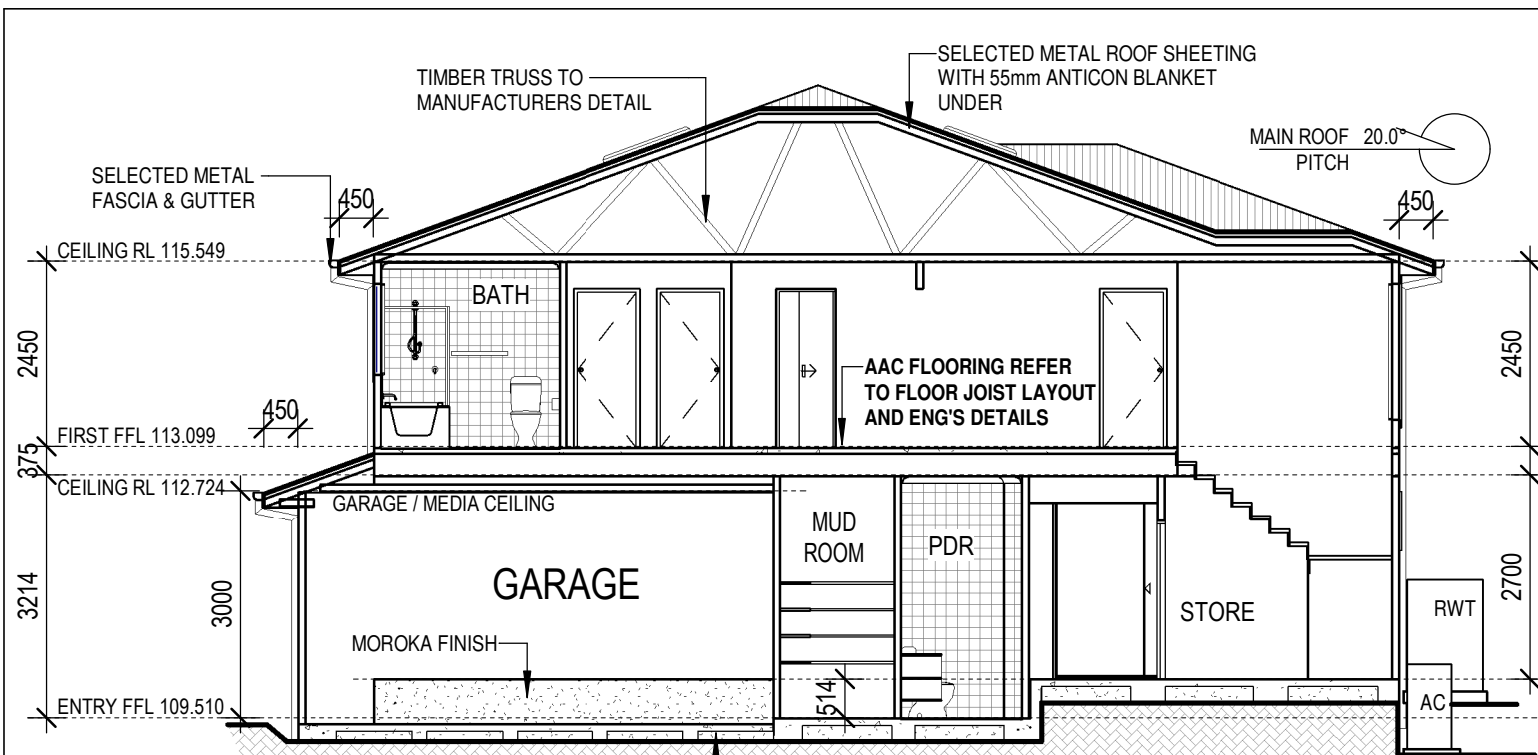
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DA2021/0084

ELEVATIONS

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NOTE: SKIRTING & CORNICE THROUGHOUT
NOTE: PLASTERBOARD LINING TO ALL STUD WALLS & CEILINGS

Section AA

1 : 100

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS (IF REQUIRED) ARE APPROX. ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT DIFFERENT CONSTRUCTION OR NOISE REQUIREMENTS. FINAL POSITION TO BE DETERMINED BY A/C CONTRACTOR

NOTE:

Windows typically with standard glass - Awning Uw 6.35 & SHGC 0.64, Sliding Uw 6.42 & SHGC 0.76, Bifold door Uw 6.12 & SHGC 0.76, Double hung Uw 6.24 & SHGC 0.74, Sliding doors and stacking doors Uw 6.25 & SHGC 0.72

GENERAL NOTES:

- PROVIDE GRANITGARD PEST CONTROL SYSTEM OR SIMILAR TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 CEILING INSULATION TO ROOF SPACE OF LIVING AREAS.
- PROVIDE R2.5 HIGH DENSITY WALL INSULATION TO AL EXTERNAL WALLS INCLUDING GARAGE.
- PROVIDE R4.0BULK INSULATION TO GARAGE CEILING JOIST
- WELS RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.
- PROVIDE SHOWERHEADS '3 STAR' RATED (>7.5 BUT <=9 L/min) IN ALL SHOWERS.
- WELS RATED TOILET CISTERNS REQUIRED.
- PROVIDE 3,000 LITRE WATER TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- PROVIDE WEATHER STRIPS TO ALL EXTERNAL HINGED DOORS.
- GAS/ELECTRONIC INSTANTANEOUS HOT WATER SERVICE (6 STARS)
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- PROVIDE NATURAL GAS PLUMBING FOR COOKTOP & 1 INTERNAL HEATING POINT.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS

BASIX

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SECTION/SCHEDULES

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BUSHFIRE ATTACK LEVEL (BAL)

BAL 12.5

(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL IN ACCORDANCE WITH AS3959-2009

SEAMLESS FINISH

ALL WET AREA FLOORS TO BE RECESSED 50mm

MARINE CLASSIFICATION

SL2

ALL TRADES & SUPPLIERS TO COMPLY WITH THE BCA AND ALL RELEVANT AUST STANDARDS

WINDOWS

ALL WINDOWS ON 90mm STUD WALL SYSTEM 100mm REVEALS

NOTE:

Doors typically with standard glass - Sliding doors and stacking doors Uw 6.25 & SHGC 0.72, Bifold door Uw 6.12 & SHGC 0.76

NOTE:

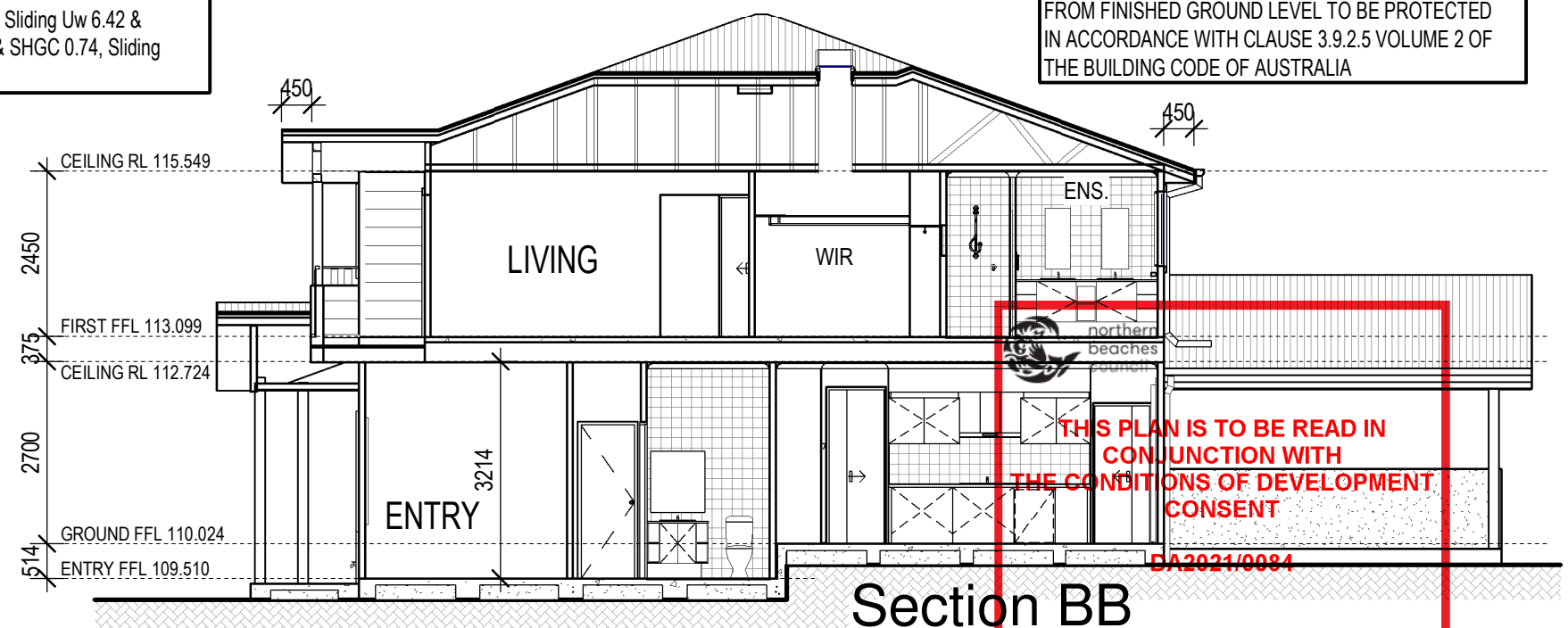
Windows typically with **double glazing** - Awning Uw 4.8 & SHGC 0.51, Sliding / fixed Uw 4.4 & SHGC 0.61, Double hung Uw 4.4 & SHGC 0.60

Window and Sl . door Schedule

wt	Window No.	Height	Width	Window Style	Glazing
W	1	1600	1600	AWNING	CLEAR-DBL GLAZED
W	2	1600	2410	AWNING	CLEAR-DBL GLAZED
W	3	600	2650	SLIDING	CLEAR-DBL GLAZED
W	4	600	1810	SLIDING	CLEAR-DBL GLAZED
W	5	600	1810	SLIDING	CLEAR-DBL GLAZED
W	6	1200	2410	AWNING	CLEAR-DBL GLAZED
W	7	1200	2410	AWNING	CLEAR-DBL GLAZED
W	8	1200	850	AWNING	CLEAR-DBL GLAZED
W	9	1200	1210	FIXED	CLEAR
W	10	1800	1810	AWNING	CLEAR
W	11	600	2650	SLIDING	CLEAR-DBL GLAZED
W	12	1457	2650	AWNING	CLEAR-DBL GLAZED
W	13	1100	1810	AWNING	OBSC.TG
W	14	1100	2410	AWNING	CLEAR-DBL GLAZED
W	15	1100	2410	AWNING	CLEAR-DBL GLAZED
W	16	1200	1450	AWNING	OBSC.TG
SSD	1	2400	3576	STACKER SL.DOOR	CLEAR
SSD	2	2400	5302	STACKER SL.DOOR	CLEAR
SKL	1	1180	550	SKYLIGHT	CLEAR-DBL GLAZED
SKL	2	980	550	SKYLIGHT	CLEAR-DBL GLAZED
FD	1	2100	3010	FRENCH DOOR	CLEAR-sidelites dbl glazed
FD	2	2340	890	FRENCH DOOR	CLEAR

NOTE:

ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m FROM FINISHED GROUND LEVEL TO BE PROTECTED IN ACCORDANCE WITH CLAUSE 3.9.2.5 VOLUME 2 OF THE BUILDING CODE OF AUSTRALIA



Section BB

1 : 100

PROPOSED RESIDENCE FOR:

CLIENT: MR & MRS DAWKINS

ADDRESS:

LOT 14, No 21 MAITLAND STREET
DAVIDSON
NORTHERN BEACHES COUNCIL

PREMIUM INCLUSIONS

JOB NO: 17471 DATE: 20.11.20

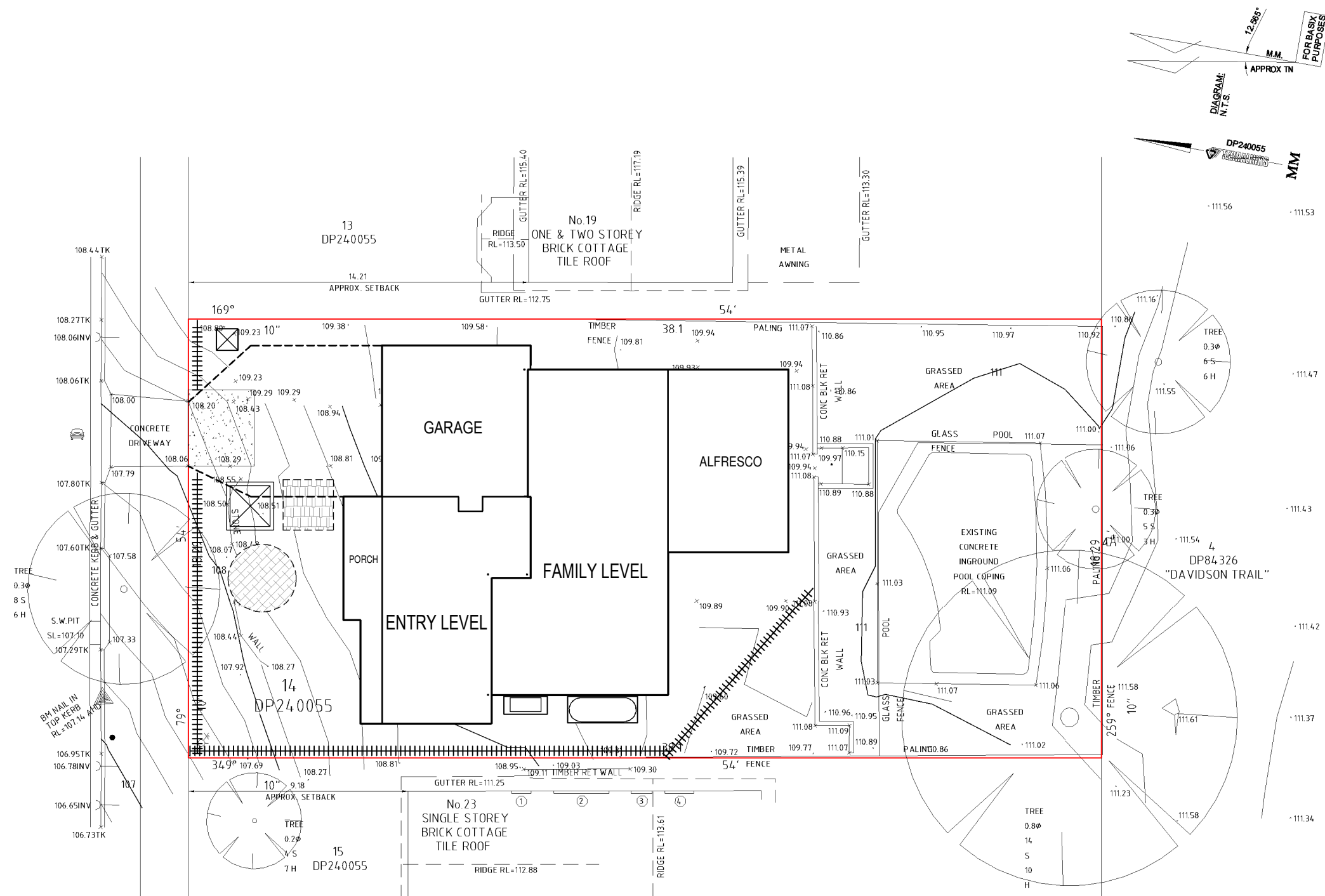
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PLEASE DISCARD ALL OTHER PLANS

DO NOT SCALE DRAWING

MAITLAND STREET



LEGEND

- Material Stockpile area.
- Waste stockpile & material sorting area.
- Storage recycling bins for segregated waste.
- Chemical toilets.
- Temporary builders d/way to E.P.A. requirements.
- Fit standard 600 high green silt fence (refer to detail).
- Trees to be removed.

NOTE: All waste materials to be taken to an approved waste disposal site.



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SOIL , SEDIMENT AND SITE MANAGEMENT PLAN

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