



PROJECT: **DEVELOPMENT APPLICATION FOR ALTERATIONS AND ADDITIONS TO RESIDENCE**

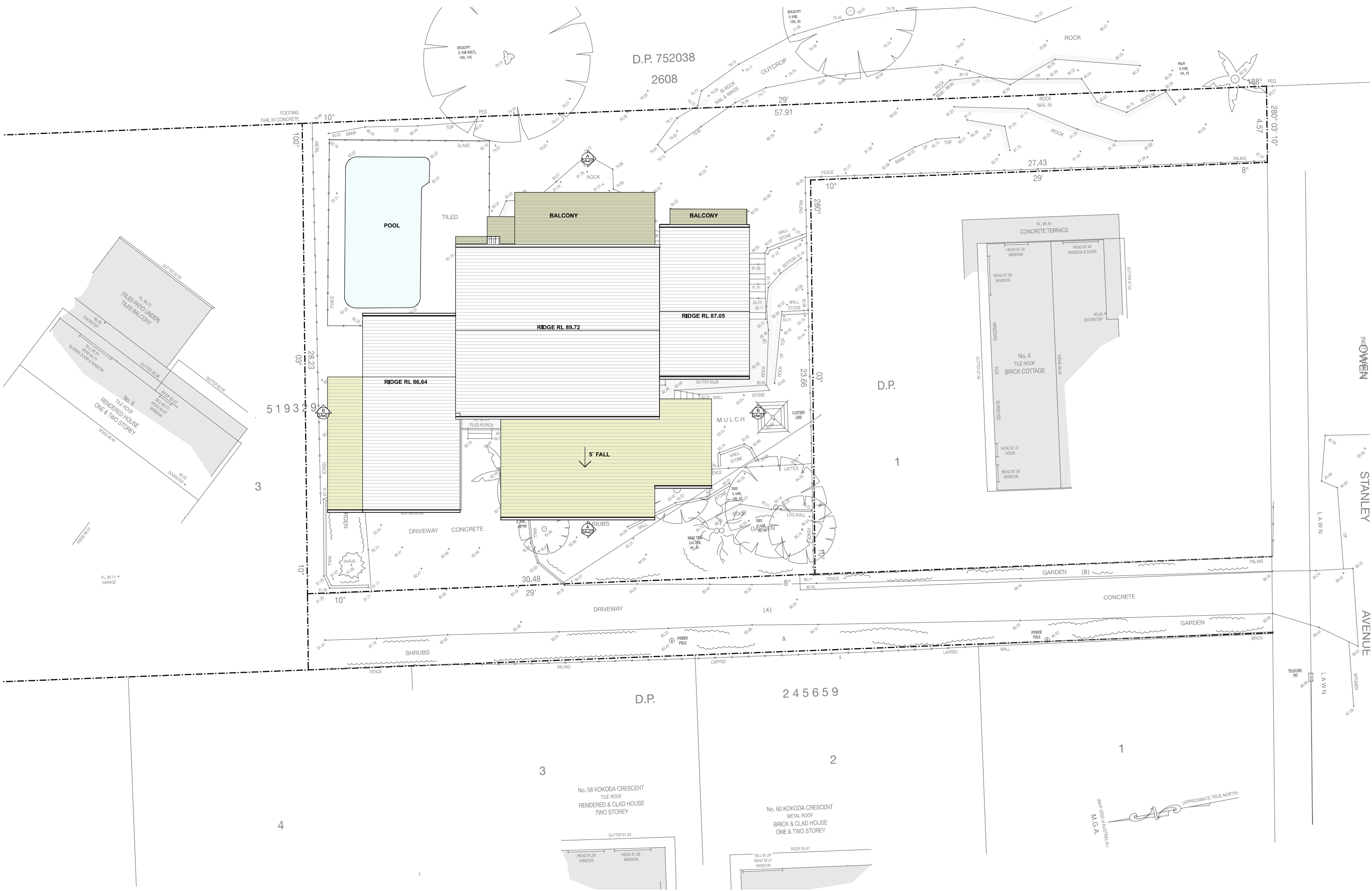
AT: **2 OWEN STANLEY AVE BEACON HILL 2100 LOT 2 DP 519329**

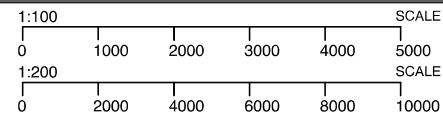
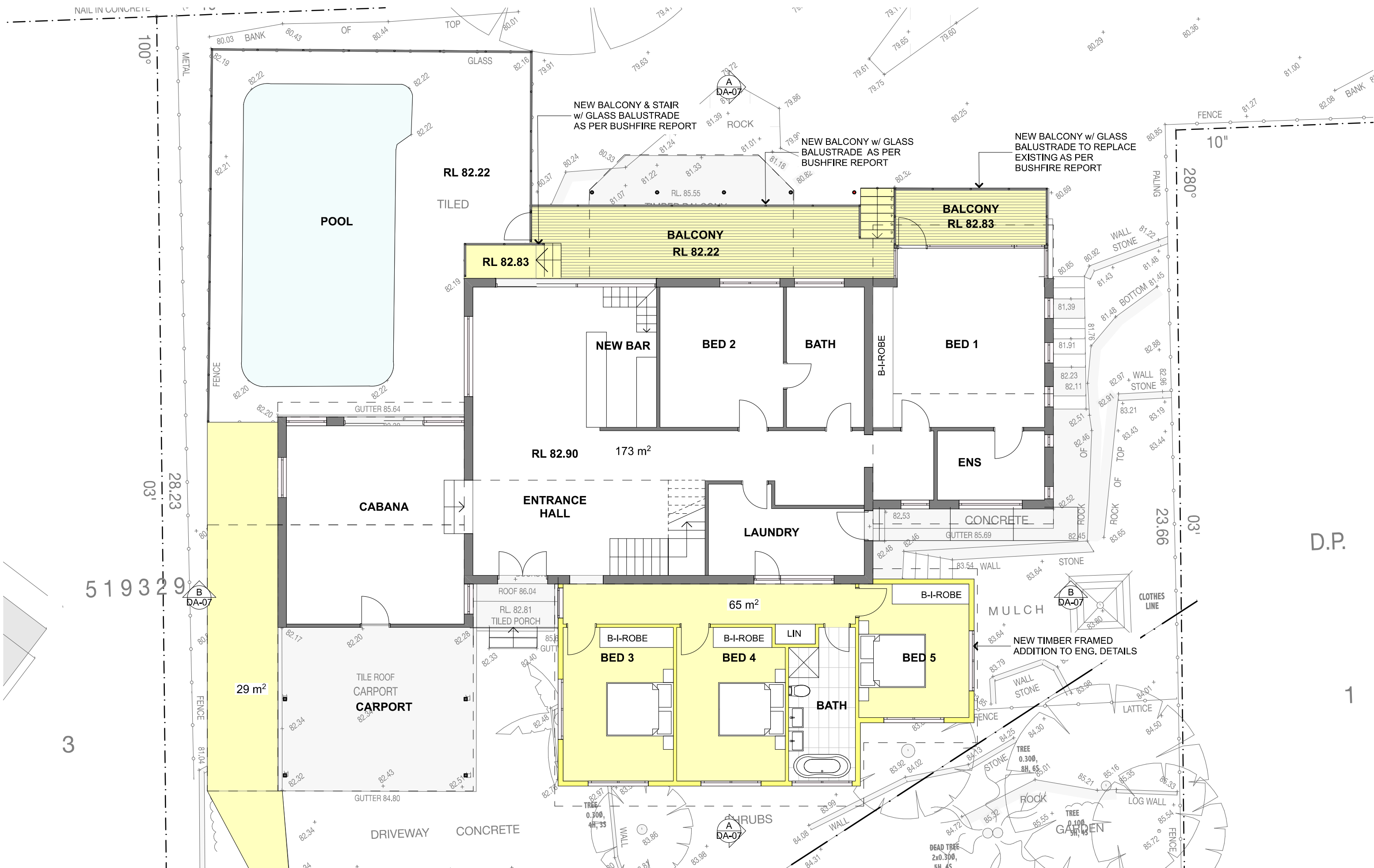
FOR: **MR. M GRIFFIN**

DATE: **MARCH 2020**

SHEET NO.

DA01	ROOF/SITE PLAN	PREPARED BY "DESIGN OC"	DA13	SEDIMENT & EROSION PLAN
DA02	SITE ANALYSIS PLAN	BY "DESIGN OC"	DA14	SHADOW DIAGRAMS
DA03	GROUND FLOOR PLAN	BY "DESIGN OC"	DA15	BASIX NOTES
DA04	FIRST FLOOR PLAN	BY "DESIGN OC"	DA16	SIDE ENVELOPE & FINISHES
DA05	NORTH & EAST ELEVATIONS	BY "DESIGN OC"		
DA06	SOUTH & WEST ELEVATIONS	BY "DESIGN OC"		
DA07	SECTION AA & SECTION BB	BY "DESIGN OC"		
DA08	DEMOLITION GROUND FLOOR	BY "DESIGN OC"		
DA09	DEMOLITION FIRST FLOOR	BY "DESIGN OC"		
DA10	CALCULATIONS	BY "DESIGN OC"		
DA11	WASTE MANAGMENT PLAN	BY "DESIGN OC"		
DA12	SITE PLAN			





NOTES

The builder shall check and verify all dimensions and verify all errors and omissions to the Architect.
Do not scale the drawings.
Drawings shall not be used for construction purposes until issued by the Architect for construction.

AMENDMENTS
A SKETCH DA

09.02.19

DRAWING NAME

GROUND FLOOR PLAN

DEVELOPMENT APPLICATION

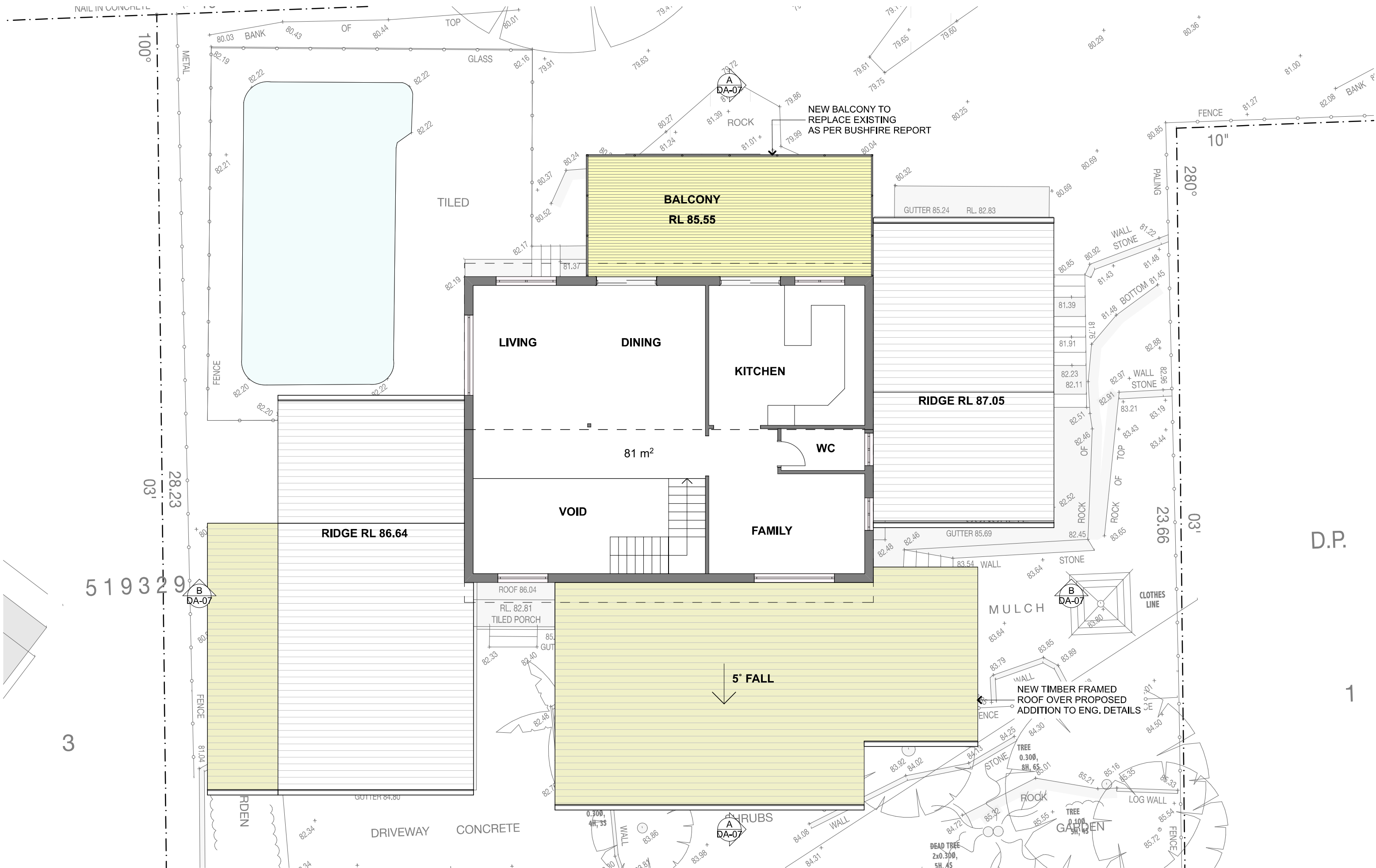
PROJECT
**OWEN STANLEY
ALTS & ADDITIONS**
DATE SCALE
09.02.19 1:100

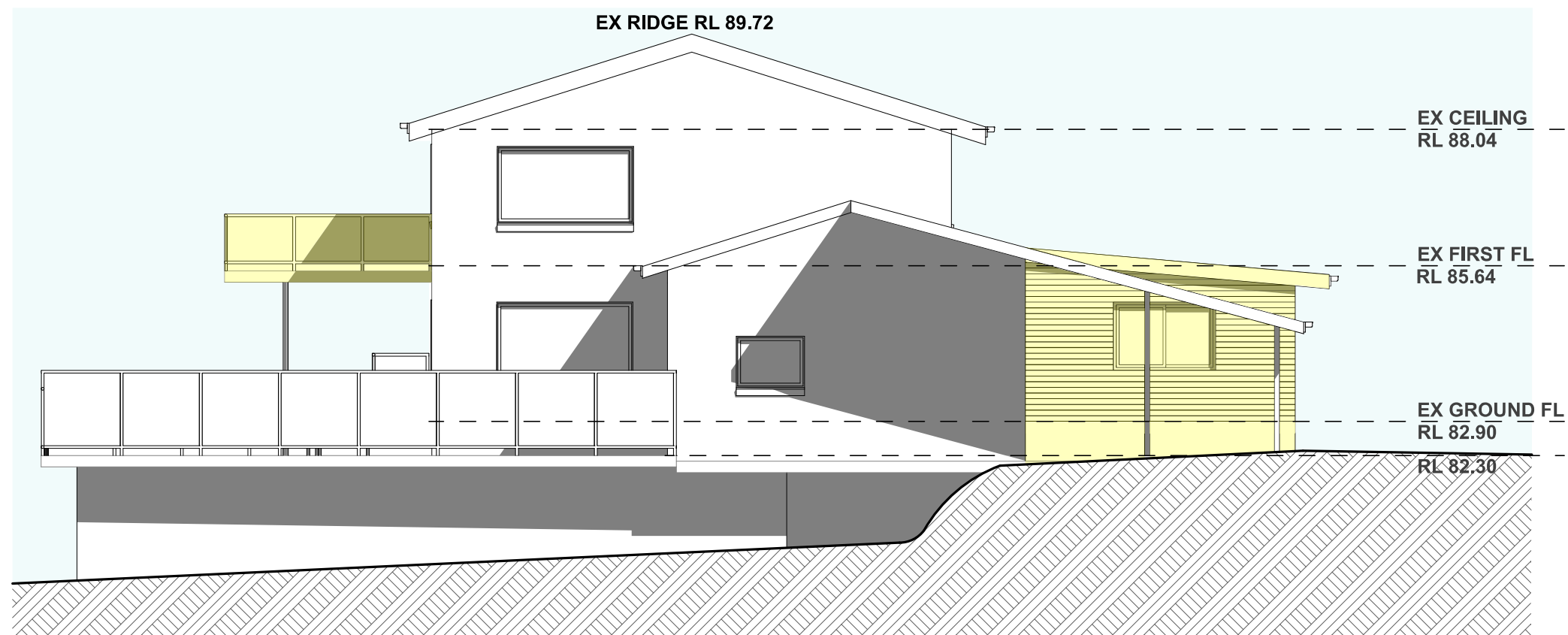
PROJ. ADDRESS
**2 OWEN STANLEY AVE,
BEACON HILL , 2100**
CLIENT
Michael Griffiths

PROJ. CODE
OWE3

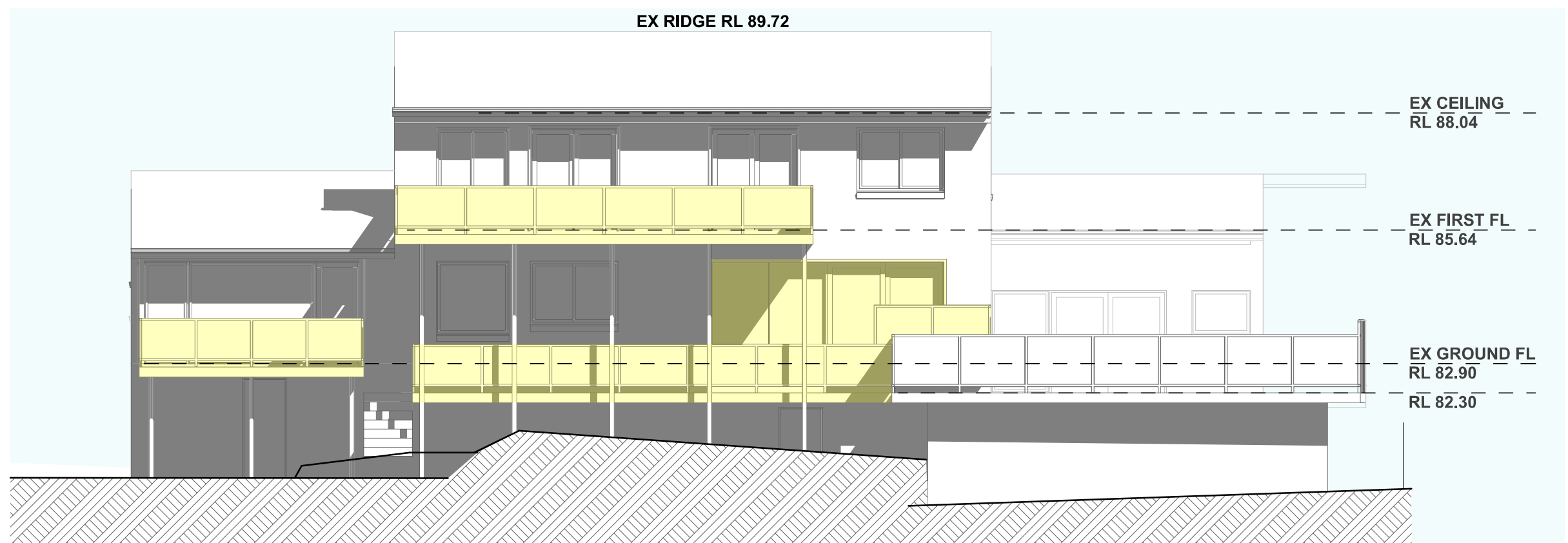
DWG NO. F
DA-03 **A**



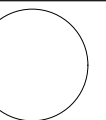


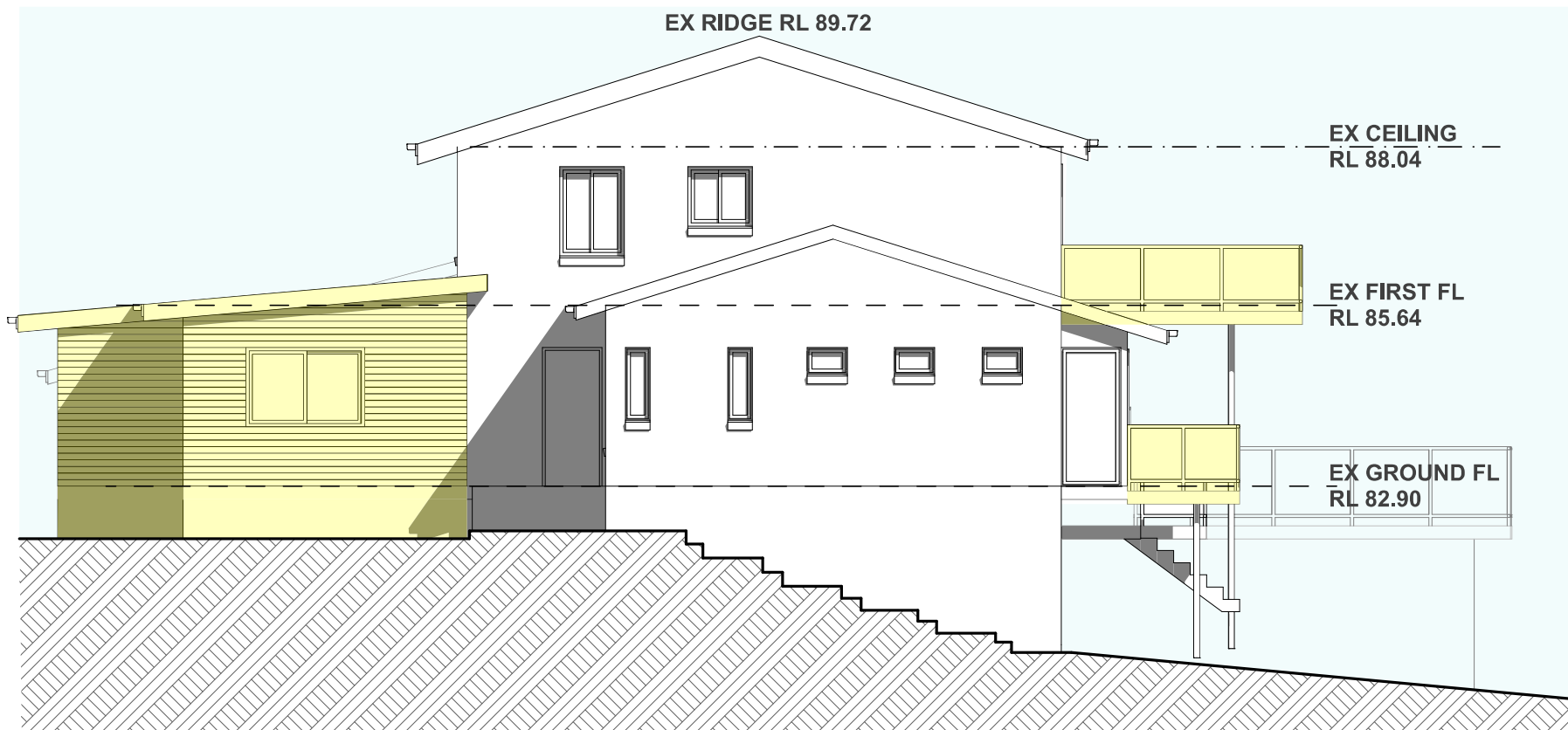


1 NORTH ELEVATION
1:100

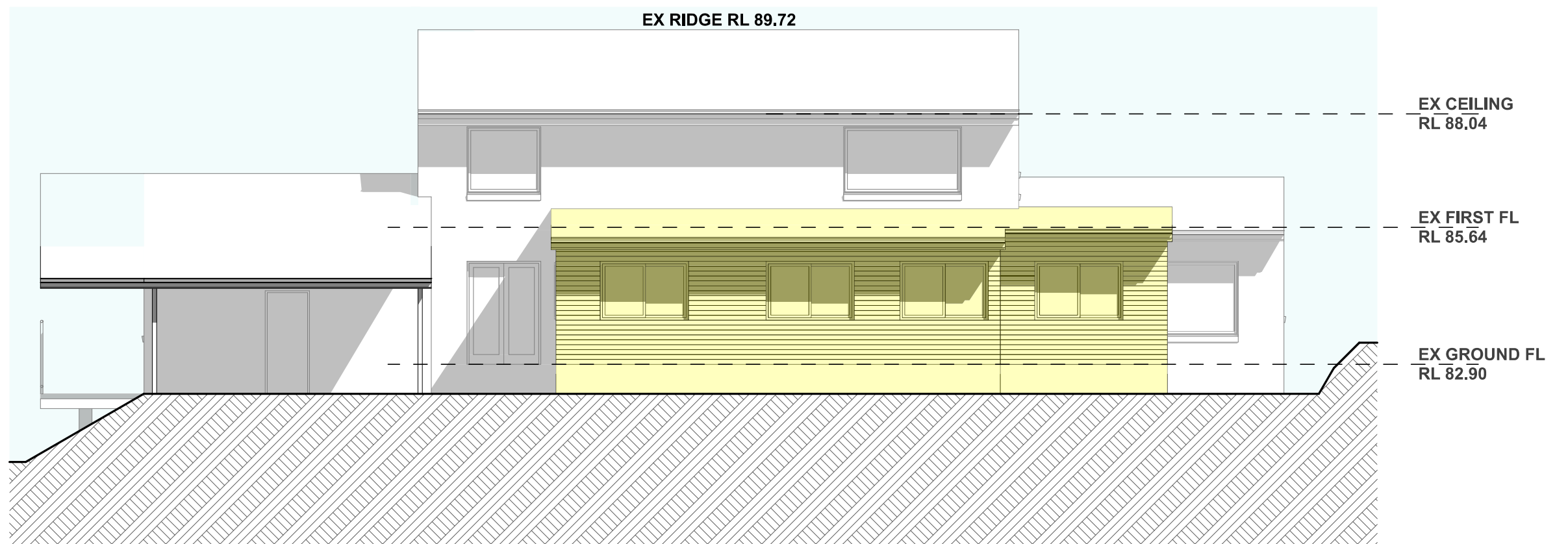


2 EAST ELEVATION
1:100

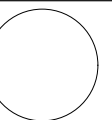


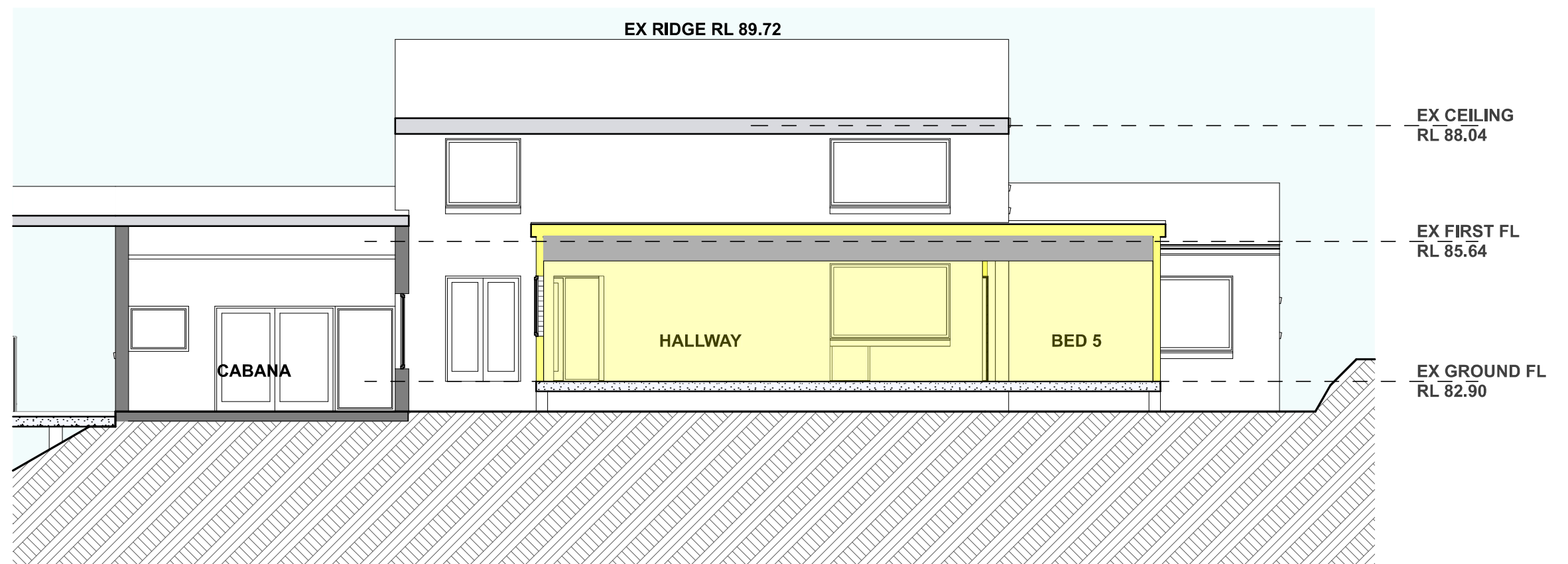


2 SOUTH ELEVATION
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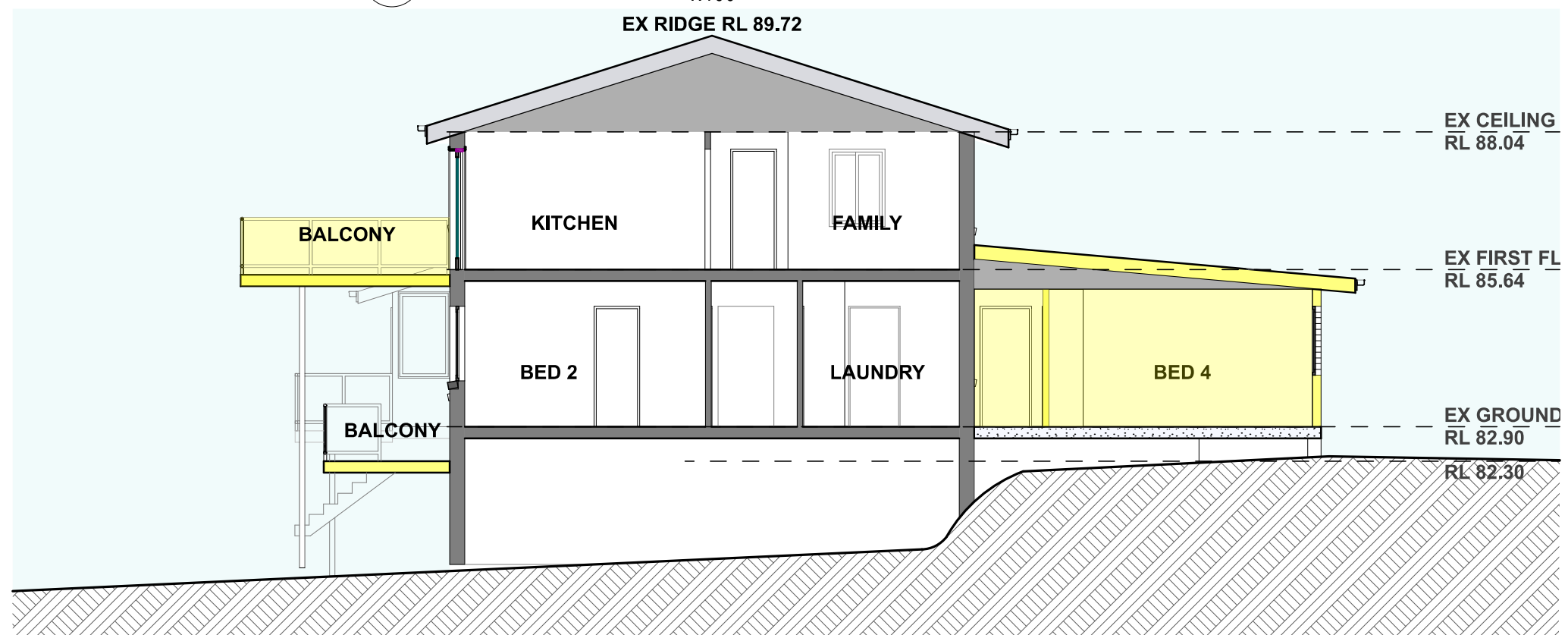


1 WEST ELEVATION
1:100

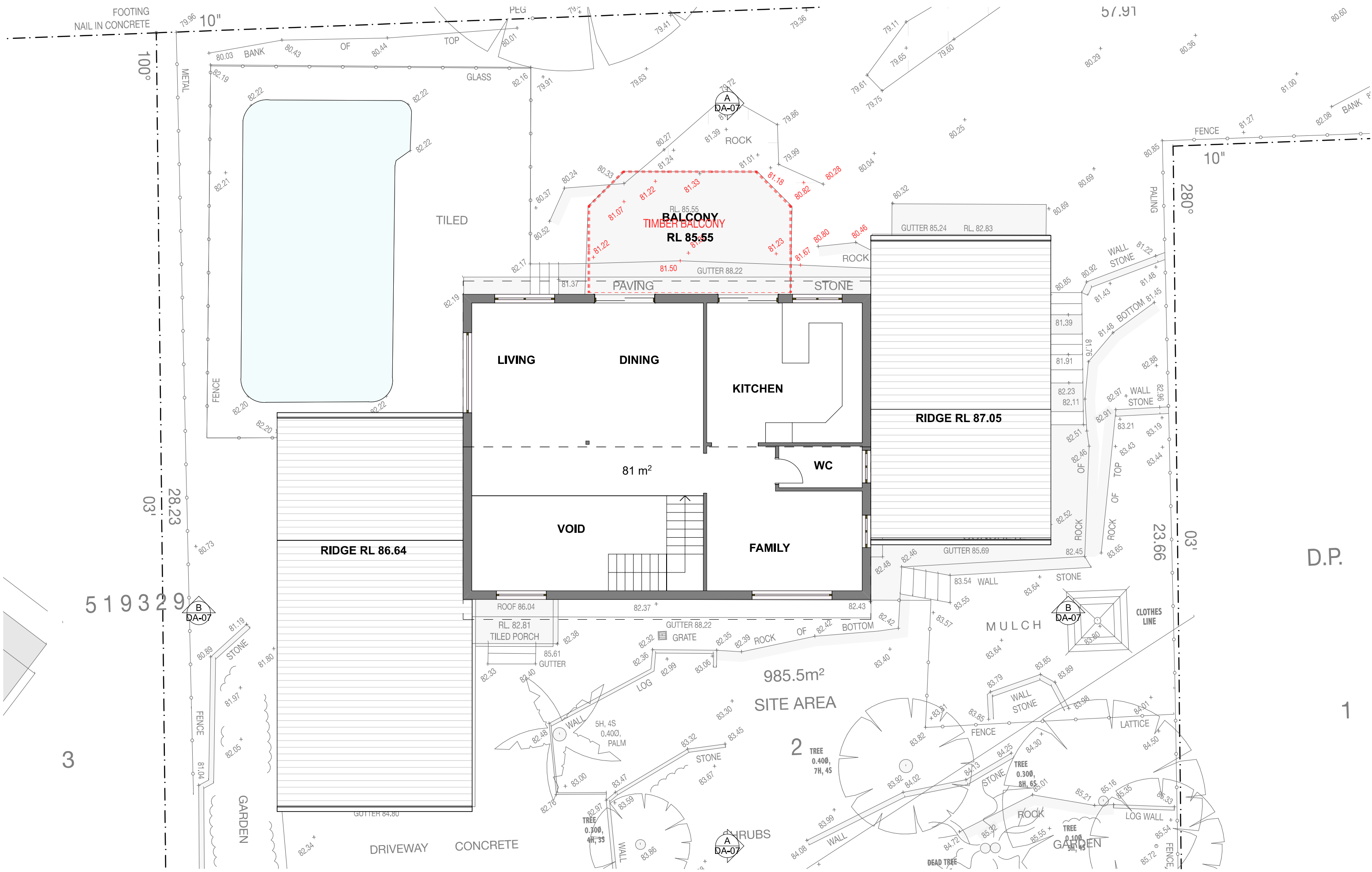


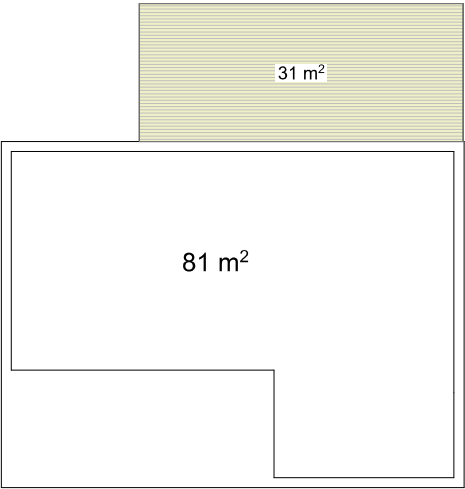


1 SECTION B
1:100

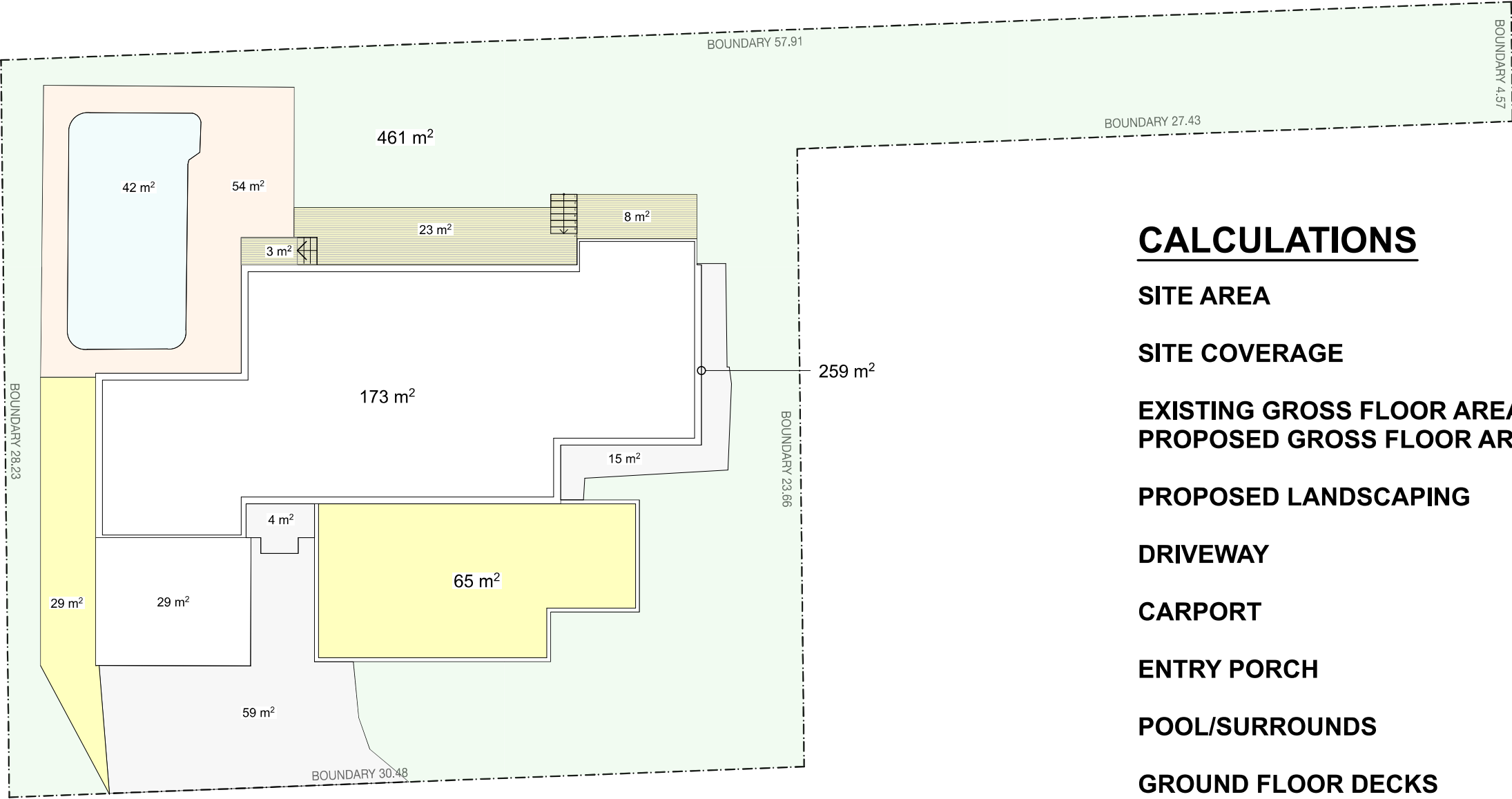


2 SECTION A
1:100





FIRST FLOOR PLAN



GROUND FLOOR PLAN

CALCULATIONS

SITE AREA	: 985.5m ²
SITE COVERAGE	: 259m ²
EXISTING GROSS FLOOR AREA	: 254m ²
PROPOSED GROSS FLOOR AREA	: 319m ²
PROPOSED LANDSCAPING	: 461m ²
DRIVEWAY	: 88m ²
CARPORT	: 29m ²
ENTRY PORCH	: 4m ²
POOL/SURROUNDS	: 96m ²
GROUND FLOOR DECKS	: 34m ²
FIRST FLOOR DECK	: 31m ²

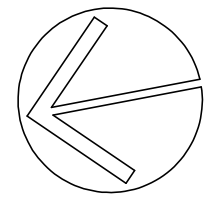
WASTE MANAGEMENT PLAN

MATERIALS ON-SITE		DESTINATION		
TYPE OF MATERIAL	ESTIMATED VOLUME (m3 or T)	REUSE AND RECYCLING		DISPOSAL
		ON-SITE PROPOSED RE-USE OR ON-SITE RECYCLING METHODS	OFF-SITE CONTRACTOR AND RECYCLING OUTLET	CONTRACTOR AND LANDFILL SITES

DEMOLITION AND SITE EXCAVATION				
EXCAVATION MATERIAL		TO BE USED FOR FILLING OR LEVELLING	TO BE OFFERED FOR CONSTRUCTION MATERIAL	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
GREEN WASTE		TO BE USED AS LANDSCAPE MULCH	TO BE OFFERED FOR MULCH AND COMPOST	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
BRICKS		QUALITY BRICKS TO BE RE-USED WHERE POSSIBLE	SEPERATED BY DEMOLITION CONTRACTOR FOR RE-USE	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
CONCRETE		ALL EXISTING CONCRETE TO BE REMOVED FROM SITE	TO BE CRUSHED AND RECYCLED	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
TILES		ALL EXISTING TILES TO BE REMOVED FROM SITE	TO BE CRUSHED AND RECYCLED	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
TIMBER		ALL EXISTING TIMBER TO BE REMOVED FROM SITE	TO BE OFFERED FOR RE-USE AS LANDSCAPE SUPPLIES	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
PLASTER-BOARD		ALL EXISTING PLASTERBOARD TO BE REMOVED FROM SITE	SEPERATED BY CONTRACTOR. TO BE REUSED.	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
METALS		ALL EXISTING METALWORK TO BE REMOVED FROM SITE	SENT TO RECYCLERS FOR SMELTING.	TO KIMBRIKI RESOURCE RECOVERY CENTRE (PH : 02 9486 3512)
OTHER				

CONSTRUCTION PHASE
AS ABOVE, CONTRACTOR TO MINIMISE WASTE BY ORDERING THE RIGHT QUANTITIES AND BY NOT OVER EXCAVATING

NORTH



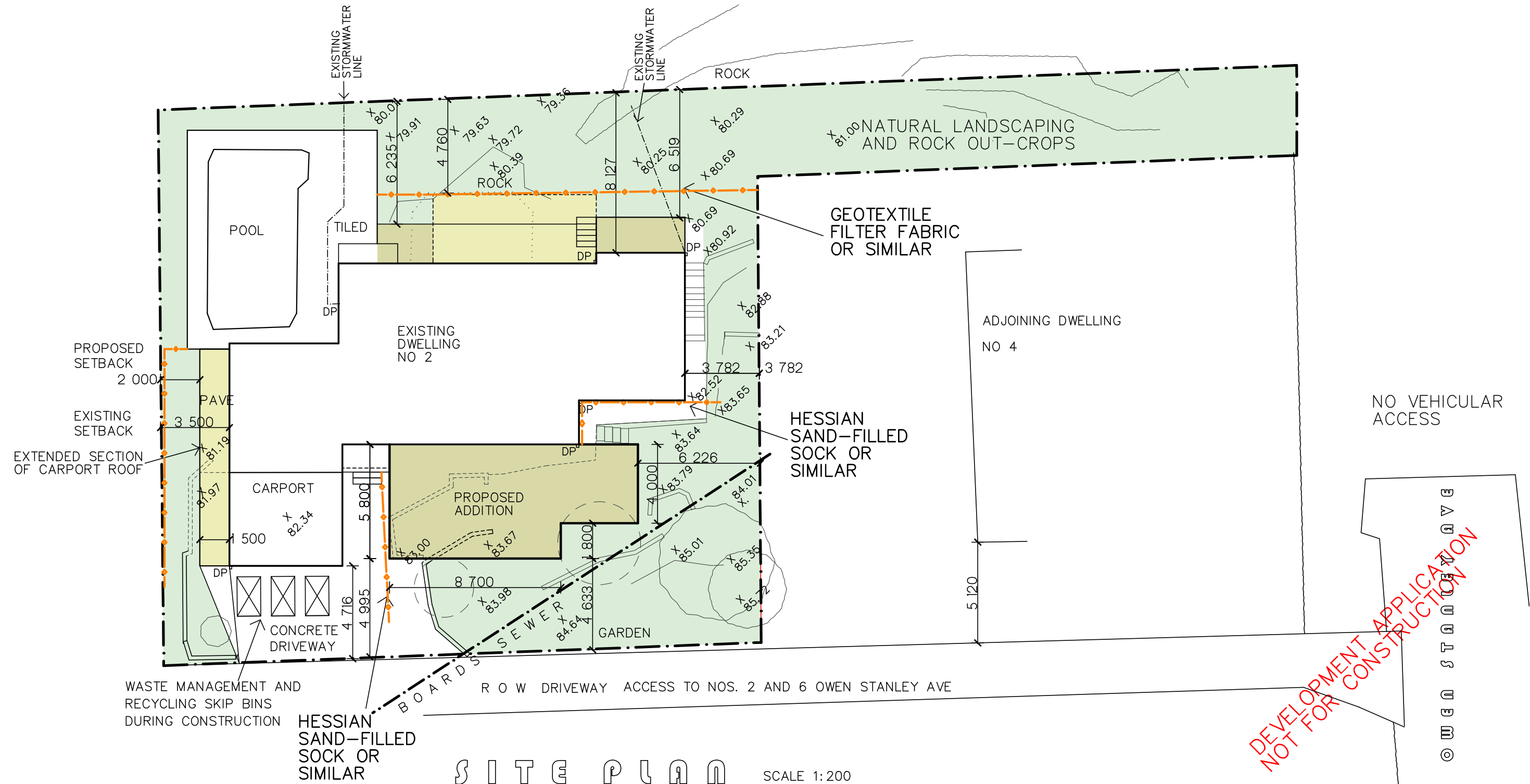
AREAS



SOFT LANDSCAPED AREA 461.08M2 46.78%
POST DEVELOPMENT

BUSHLAND RESERVE

BUSHLAND RESERVE



S I T E P L A N

SCALE 1:200

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

G M KETT PTY LTD



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0429 33 11 34
email gregg@gmkett.com

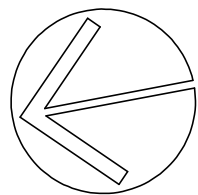
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PROJECT: PROPOSED ALTERATIONS AND ADDITIONS TO DWELLING
ADDRESS: NO. 2 OWEN STANLEY AVE BEACON HILL LOT 2 DP 519329
CLIENT: MR M GRIFFIN



SCALES: 1:100, 1:200
DATE: 12-03-20
DA-2011
DA12 OF 16

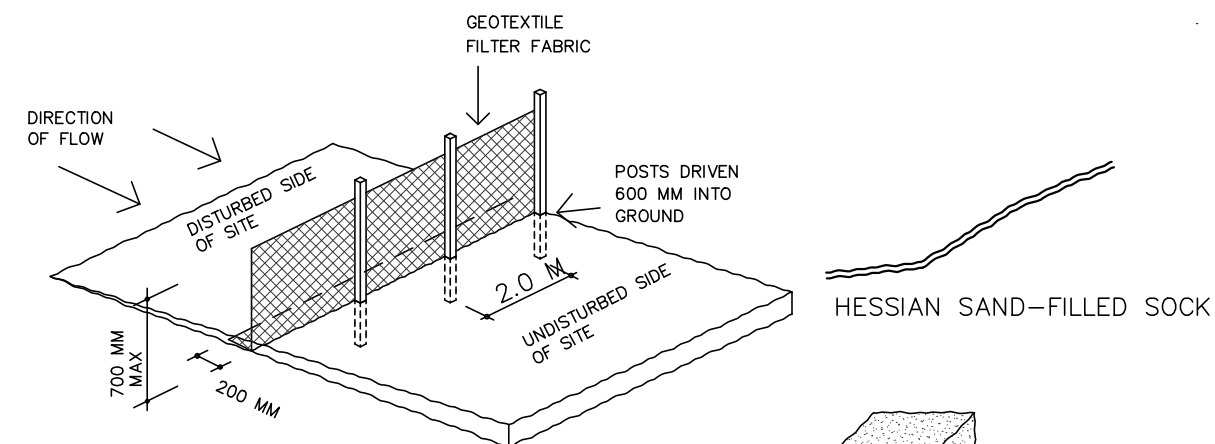
NORTH



AREAS

SOFT LANDSCAPED AREA 461.08M2 46.78%
POST DEVELOPMENT

BUSHLAND RESERVE



LARGE EXCAVATIONS



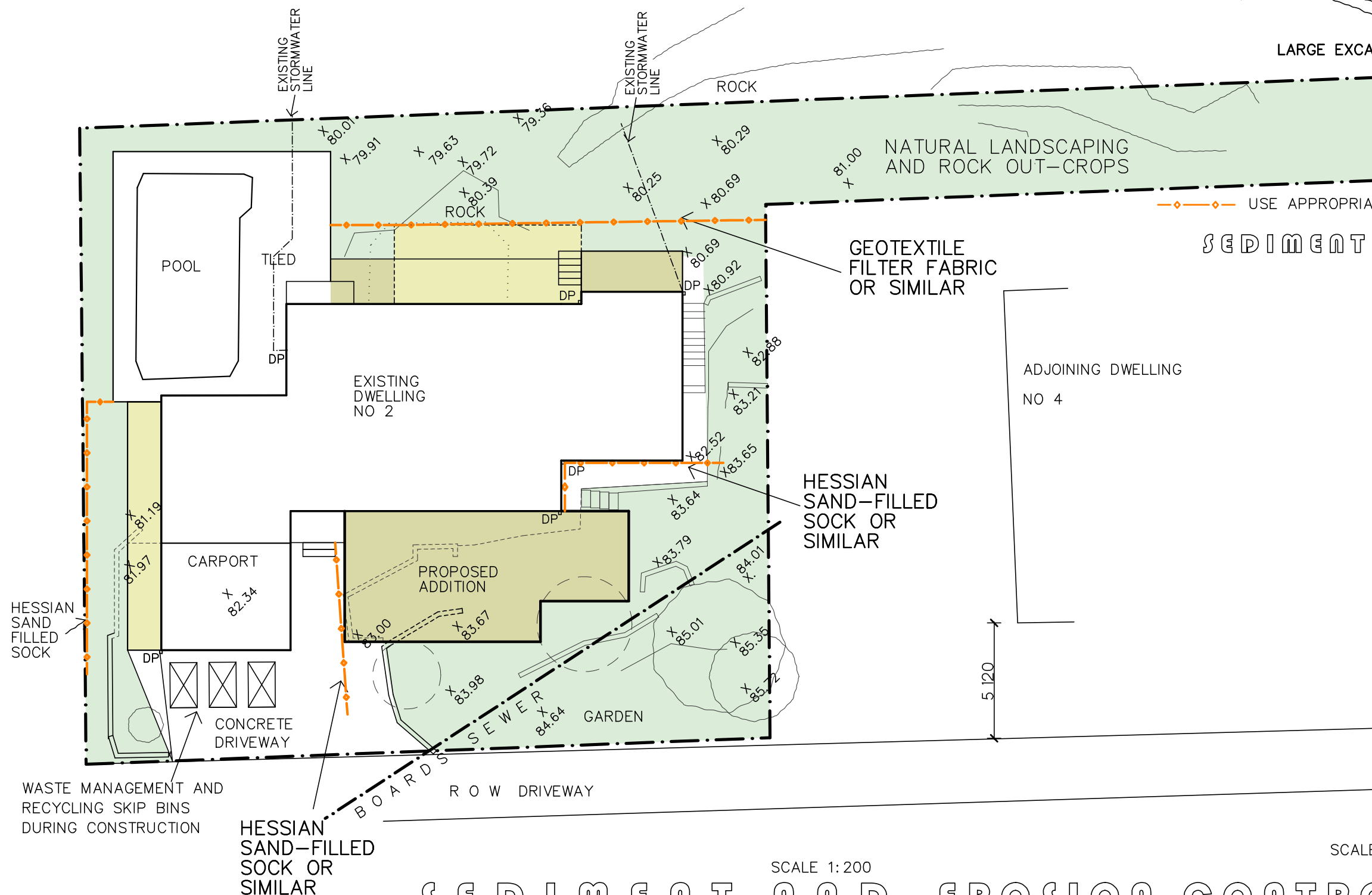
HAY BALES

MINOR WORKS

NATURAL LANDSCAPING
AND ROCK OUT-CROPS

USE APPROPRIATE METHOD TO SUIT INDIVIDUAL SITE CIRCUMSTANCES

SEDIMENT AND EROSION CONTROLS



ADJOINING DWELLING
NO 4

NO VEHICULAR
ACCESS

OWEN STANLEY AVE

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SEDIMENT AND EROSION CONTROL

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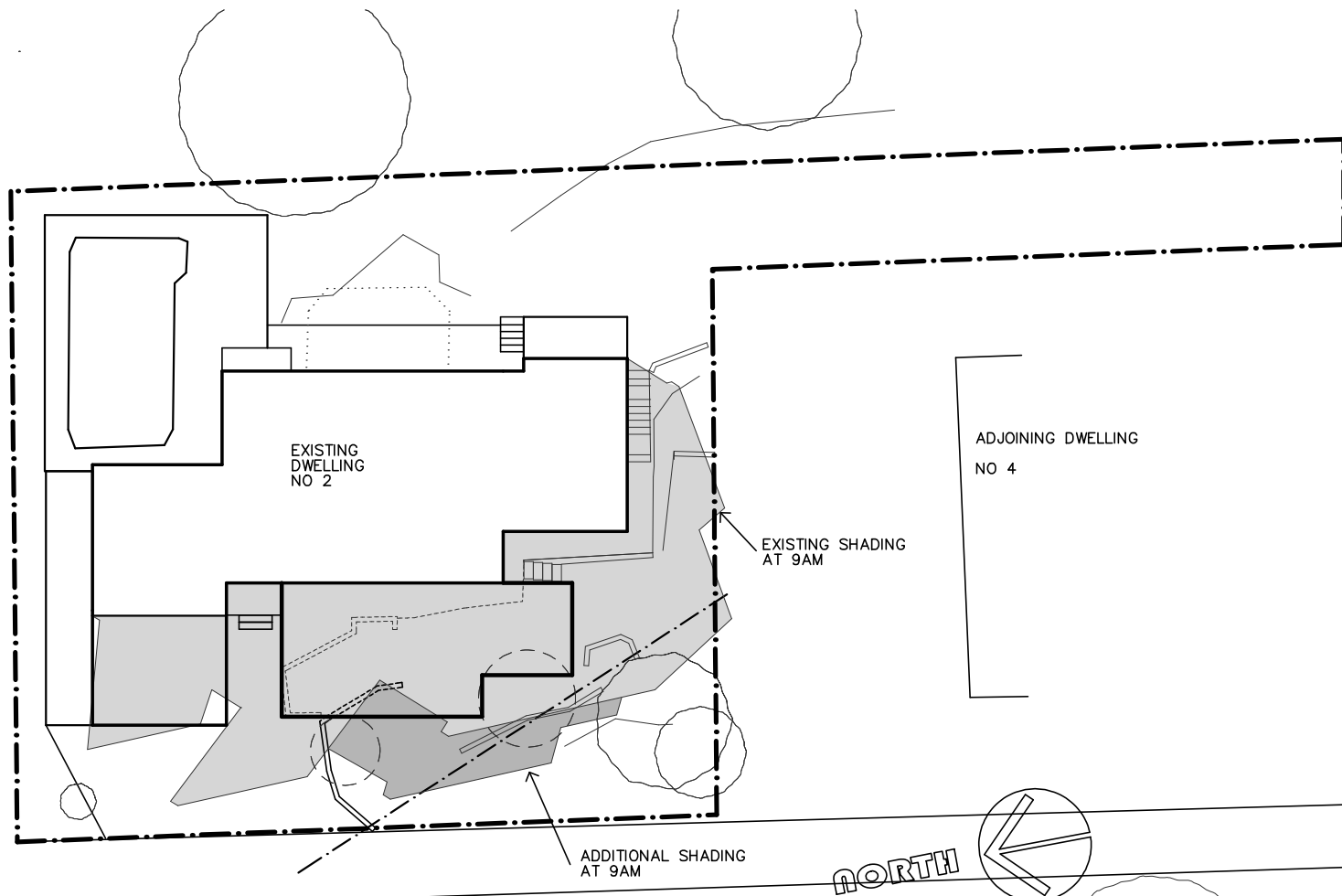
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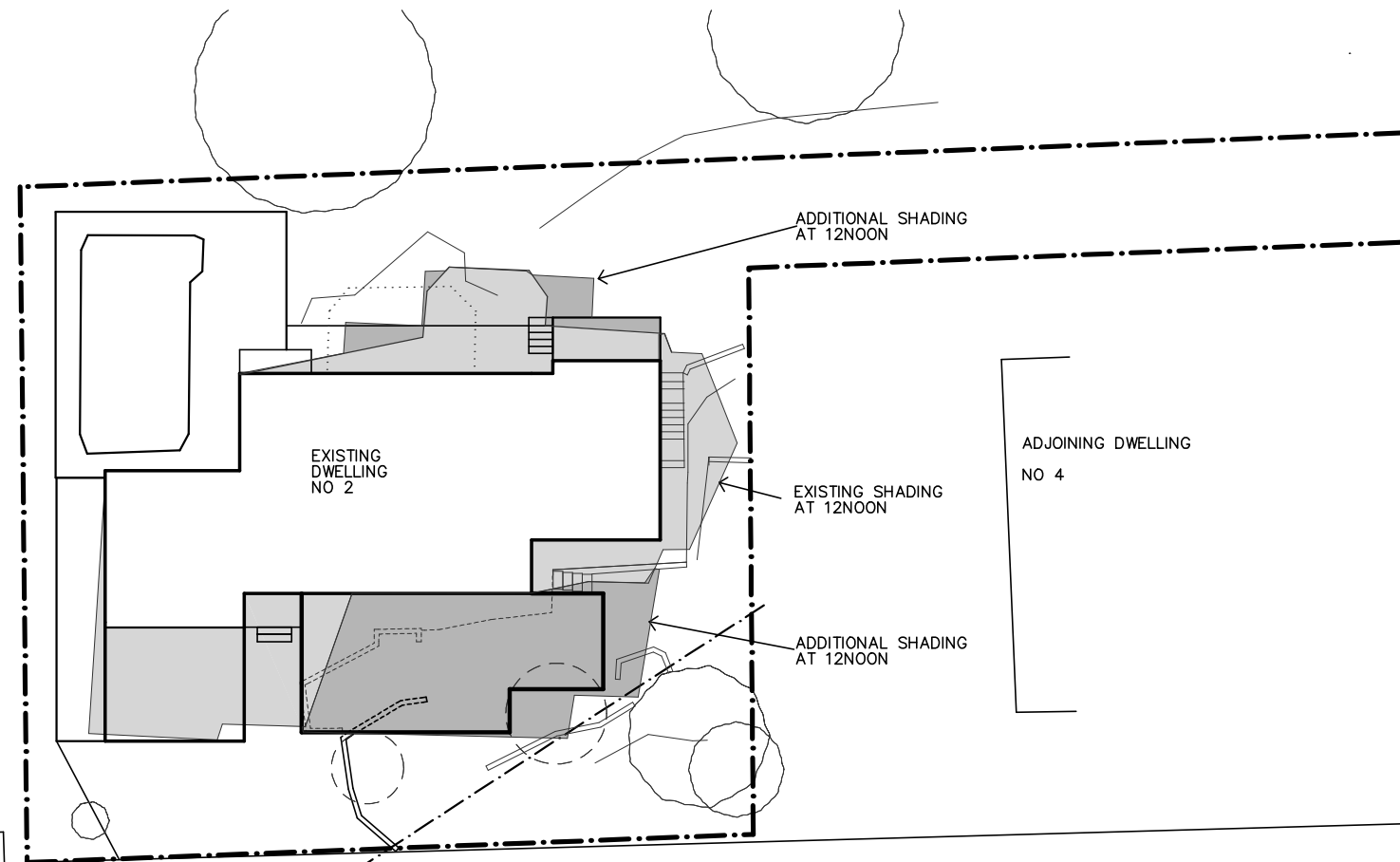
SCALE: 1:100, 1:200
DATE: 12-03-20
DA-2011
DA13 OF 16



SHADOW PLAN

JUNE 21ST 9AM

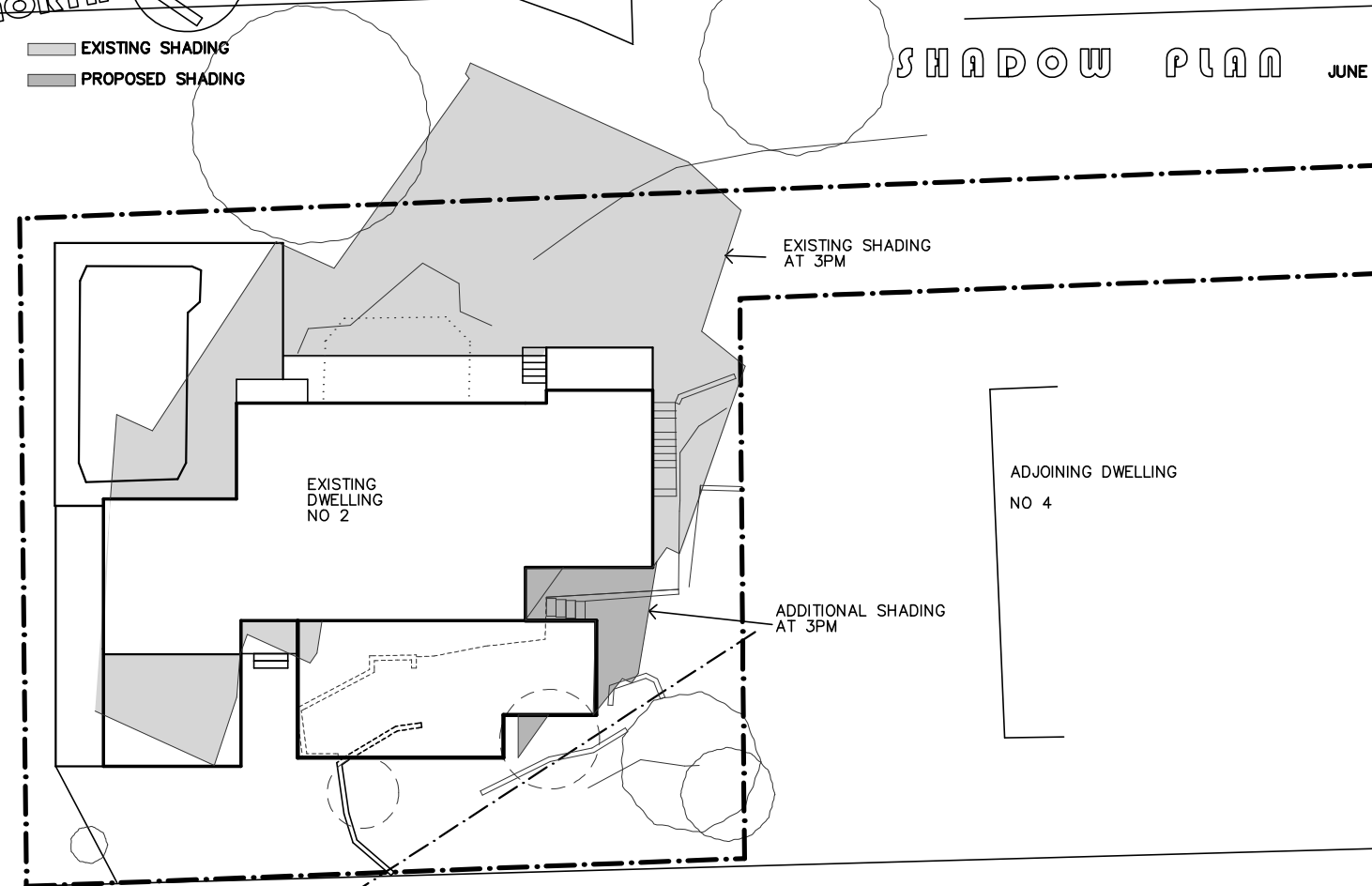
EXISTING SHADING
PROPOSED SHADING



SHADOW PLAN

JUNE 21ST 12NOON

EXISTING SHADING
PROPOSED SHADING



SHADOW PLAN

JUNE 21ST 3PM

EXISTING SHADING
PROPOSED SHADING

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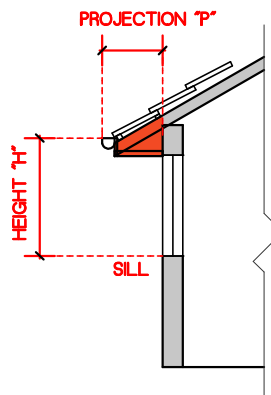
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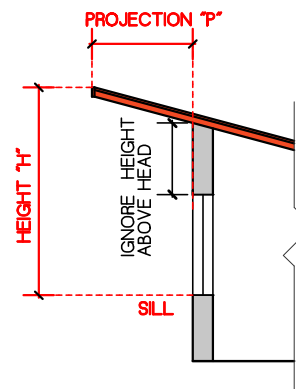
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DATE: 12-03-20
DA- 2011
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PROJECTION "P" / HEIGHT "H" RATIO
RATIO = "P" DIVIDED BY "H"

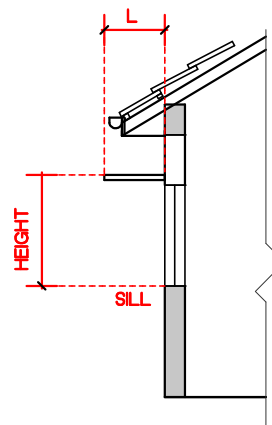
MEASURE PROJECTION "P" OF AN EAVE
OR SOLID OVERHANG FROM WINDOW FACE
TO LEADING EDGE, INCLUDING GUTTER

SHADING RATIO



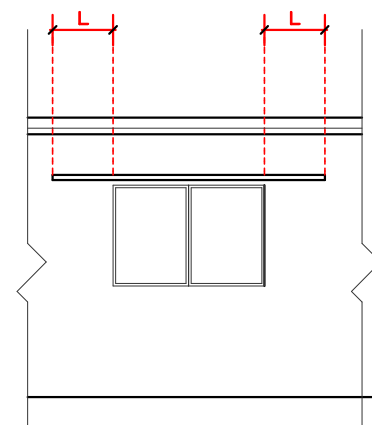
MEASURE HEIGHT ABOVE SILL "H"
TO THE LEADING EDGE OF OVERHANG

SHADE DEVICE OVERHANG "L"



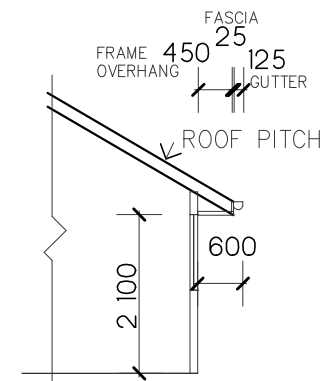
SIDE VIEW

SHADE DEVICE EXTENSION



ELEVATION

SHADING DEVICES



TYPICAL EAVES

BASIX Certificate number: A372207

page 2 / 6

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

BASIX Certificate number: A372207

page 3 / 6

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

BASIX Certificate number: A372207

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.	✓	✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	N	1.08	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	2.17	0	0	external louvre/blind (fixed)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	2.17	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	W	2.17	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	W	1.44	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	W	2.17	0	0	projection/height above sill ratio >=0.36	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

BASIX Certificate number: A372207

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W7	S	2.17	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

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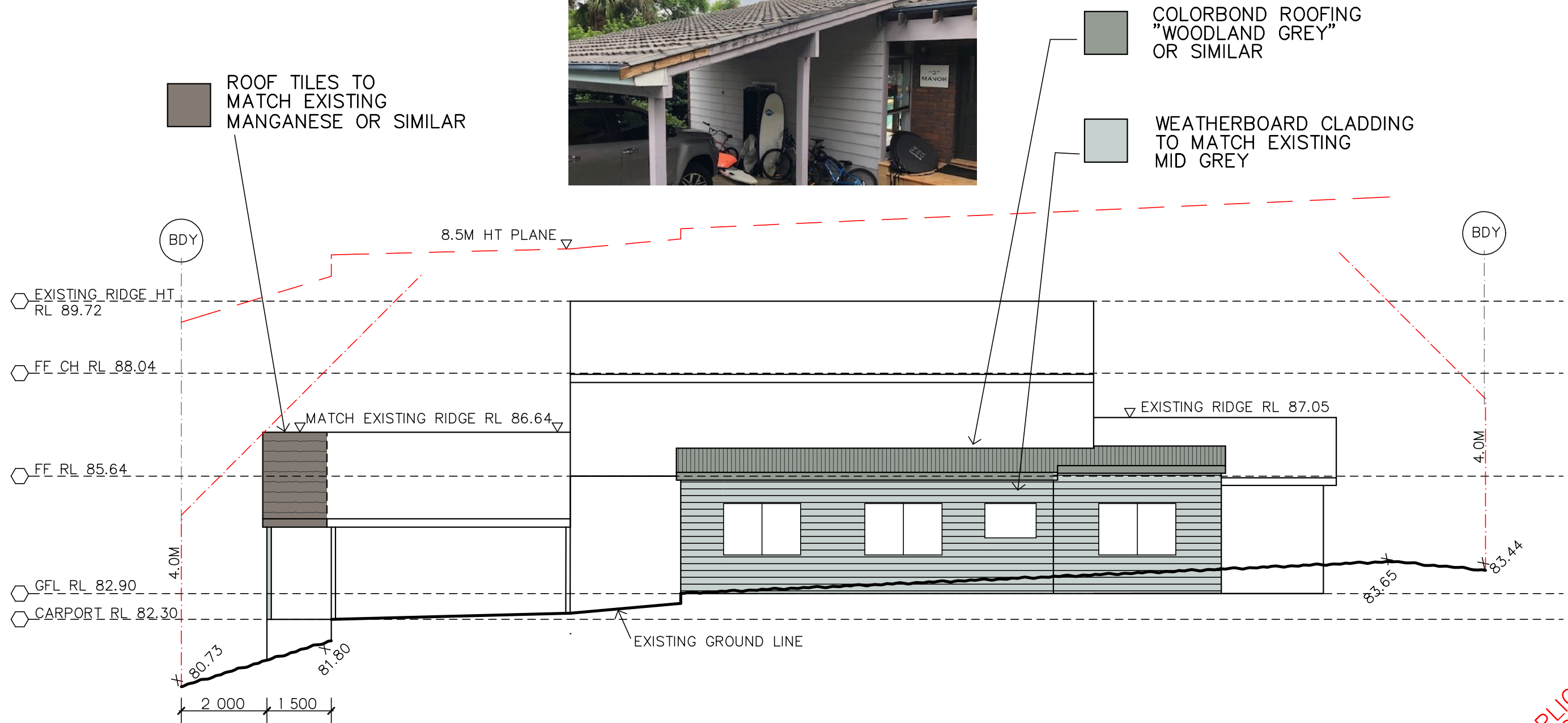
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BASIX NOTES

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MR M GRIFFIN



DATE: 12-03-20
DA-2011
DA15 OF 16



WEST ELEVATION SIDE ENVELOPE

COLOUR FINISHES

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A16 OF 16