

18 September 2012

General Manager  
Pittwater Council  
PO Box 882  
Mona Vale NSW 1660

Dear Sir/Madam,

**Development Application No. N0133/12**  
**61 Dress Circle Road, Avalon Beach**

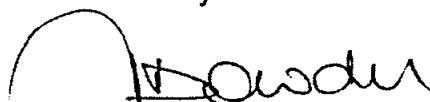
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For Council's information, please find enclosed Construction Certificate No. 2012/4851 issued for alterations & additions to the existing dwelling & construction of a swimming pool at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

**NB:** Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours faithfully



**Tom Bowden**  
**Insight Building Certifiers Pty Ltd**

*f-329572*



# Construction Certificate Determination

issued under the Environmental  
Planning and Assessment Act 1979  
Section 109C (1) (b), 81A (2) and 81A (4)

**Certificate No. 2012/4851**

<b>Council</b>	<b>Pittwater</b>
<b>Determination</b> Date of issue	<b>Approved</b> <b>18 September 2012</b>
<b>Subject land</b> Address Lot No, DP No.	<b>61 Dress Circle Road, Avalon Beach</b> <b>Lot 55 DP 11462</b>
<b>Applicant</b> Name Address Contact No.	<b>Mr James Allen</b> <b>61 Dress Circle Road, Avalon Beach NSW 2107</b> <b>9973 4410 / 0404 463 999</b>
<b>Owner</b> Name Address Contact No.	<b>Mr James Allen</b> <b>61 Dress Circle Road, Avalon Beach NSW 2107</b> <b>9973 4410 / 0404 463 999</b>
<b>Description of Development</b> Type of Work	<b>Alterations &amp; Additions to the Existing Dwelling &amp; Construction of a Swimming Pool</b>
<b>Builder or Owner/Builder</b> Name Contractor Licence No/Permit	<b>Northaspect Building Pty Ltd</b> <b>211120C</b>
<b>Value of Work</b> Building	<b>\$350,000.00</b>

## Attachments

- Copy of completed Construction Certificate Application Form
- Long Service Levy Corporation receipt no. 00121403 dated 20 August 2012
- Pittwater Council receipt no. 329179 for payment for Long Service Levy
- BASIX Certificate no. A130517 dated 10 April 2012

## Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Architectural Plans & Construction Specification, including Sediment & Erosion Control Details, drawing no's CC1, CC2 & CC3, prepared by Stening Architects dated 17 July 2012
- Structural Details reference no. 22614, drawing no's S00, S01, S02, S03, S04, S05, P01, P02 & P03, prepared & endorsed by McKee & Associates dated 23 August 2012
- Stormwater Management Plan reference no. 120422, drawing no's C01 & C02, prepared & endorsed by Development Engineering Solutions dated 23 April 2012
- Stormwater Design Compliance Statement reference no. MM27734A prepared & endorsed by Jack Hodgson Consultants Pty Ltd dated 24 August 2012
- Form 2 (Part A & Part B) Certificate issued by McKee & Associates Pty Ltd dated 23 August 2012 & Jack Hodgson Consultants Pty Ltd dated 24 August 2012, respectively
- Sydney Water approval dated 5 July 2012

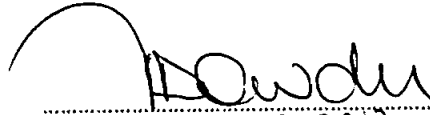
## Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed

  
18 SEP 2012

Date of endorsement  
Certificate No.

2012/4851

### Certifying Authority

Name of Accredited Certifier  
Accreditation No.  
Accreditation Authority  
Contact No.  
Address

Tom Bowden  
BPB0042  
Building Professionals Board  
(02) 9999 0003  
13/90 Mona Vale Road, Mona Vale NSW 2103

### Development Consent

Development Application No.  
Date of Determination

N0133/12  
2 July 2012

### BCA Classification

1a & 10b

# APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

## Description of Building Work

Alterations and Additions to the Existing Dwelling and  
 construction of a Swimming Pool

## Estimated cost of work

\$300,000

## Development Consent Reference no.

NO133/12

## Modified Consent Reference no. (if applicable)

## BCA Classification(s)

1a & 10b

## Date of Issue

2.7.2012

## Date of Issue (if applicable)

## Property Address

Unit/Street no.

61

Street name

DRESS CIRCLE RD

Suburb

AVALON

Post code

2107

Lot no.

55

DP no.

11462

## Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by Part 3 of Schedule 1 Forms of the Regulation (see over)

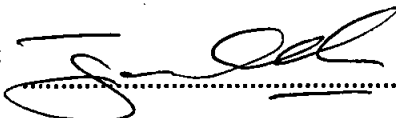
I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

James Allen

Owner 2 Name:

Owner's Signature:



Owner's Signature:

Date:

26/8/2012

Date:

Owner's Address:

61 DRESS CIRCLE RD, AVALON

Daytime Telephone:

99734410

Mobile:

0404463999

[Office Use Only]: Date received by Accredited Certifier:.....





**Long Service**  
CORPORATION

20 August 2012

**ELIZABETH ALLEN**  
**61 DRESS CIRCLE ROAD**  
**AVALON NSW 2107**

Long Service Corporation  
Level 1  
19-21 Watt Street  
Gosford NSW 2250  
Locked Bag 3000  
Central Coast MC NSW 2252  
Tel: 13 14 41  
Fax: (02) 9287 5685  
Email: [info@longservice.nsw.gov.au](mailto:info@longservice.nsw.gov.au)  
[www.longservice.nsw.gov.au](http://www.longservice.nsw.gov.au)  
ABN 93 646 090 808

As per your request for a copy of your receipt no. 00121403 dated 20 August 2012, the following information is provided:

Received from: (Name of person or organisation paying for levy)

the amount of

**ELIZABETH ALLEN**

**\$1,050.00**

Payment details:

being payment for Long Service Levy as detailed below

Levy Payment Form number	5031763
Council/Department/Authority	PITTWATER COUNCIL
D.A. Number	N0133/12
Work address	61 DRESS CIRCLE ROAD AVALON NSW 2107
Estimated value of work	\$300,000.00
<b>Levy payable (No exemption)</b>	<b>\$1,050.00</b>
<b>Total levy paid</b>	<b>\$1,050.00</b>

Signed:

*[Signature]*

Date 20/8/12

Pittwater Council

# Tax Invoice Official Receipt

ADN: 013MON37871  
12/09/2012 Receipt No: 329179

to Elizabeth Allan  
61 Drea Circle Road  
Avalon Beach  
NSW 2107

Apply	Reference	Amount
IL Receipt		\$175.00
QSL-Builders LSL		
1 x LSL and roll 61 dress circle		\$175.00
Transaction Total:		\$0.00
Included GST of:		
Amounts Tendered		\$0.00
Cash		\$175.00
Cheque		\$0.00
Debit Card		\$0.00
Money Order		\$0.00
Agency		\$175.00
Total		\$0.00
Roundings		\$0.00
Change		\$175.00
Nett		

Printed 12/09/2012 2:37:04PM

COUNCIL  
COPY

# BASIX Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A130517

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Director-General  
Date of issue: Tuesday, 10, April 2012  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Dress Circle Road
Street address	61 Dress Circle Road Avalon 2107
Local Government Area	Ku-ring-gai Council
Plan type and number	Deposited Plan 9151
Lot number	55
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

This plan / document  
forms part of  
Construction Certificate  
No. 2012 / 4051

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Stening Architects
ABN (if applicable): 076 639 122

Pool and Spa

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Rainwater tank

The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 52 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓

Outdoor swimming pool

The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 75.55 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓	

Construction

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

✓	✓	✓
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Glazing requirements

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	SE	3.6	0	0	projection/height above sill ratio >=0.43	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	✓	✓	✓
W2	NE	4.2	0	0	projection/height above sill ratio >=0.43	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)	✓	✓	✓
W3	SE	5.88	0	0	none	Improved aluminium, single toned,	✓	✓	✓

Glazing requirements

Show on  
DA Plans

Show on  
CC/CDC  
Plans &  
specs

Certifier  
Check

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W4	SW	4.18	0	0	none	(U-value: 6.39, SHGC: 0.56) Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	SE	9.45	0	0	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W6	SE	3.9	0	0	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W7	SW	1.48	0	0	eave/verandah/pergola/balcony >=450 mm	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W8	NW	3.55	0	0	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NW	3.09	0	0	eave/verandah/pergola/balcony >=600 mm	Improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	SW	2.02	0	0	none	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	SW	1.89	0	0	none	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	NW	0.54	1.03	3.7	none	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W13	NW	2.31	0	0	projection/height above sill ratio >=0.43	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W14	SW	0.85	0	0	none	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W15	SW	1.8	0	0	none	Improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W16	NW	5.47	0	0	eave/verandah/pergola/balcony	Improved aluminium, single toned,



Legend

In these commitments, "applicant" means the person carrying out the development.

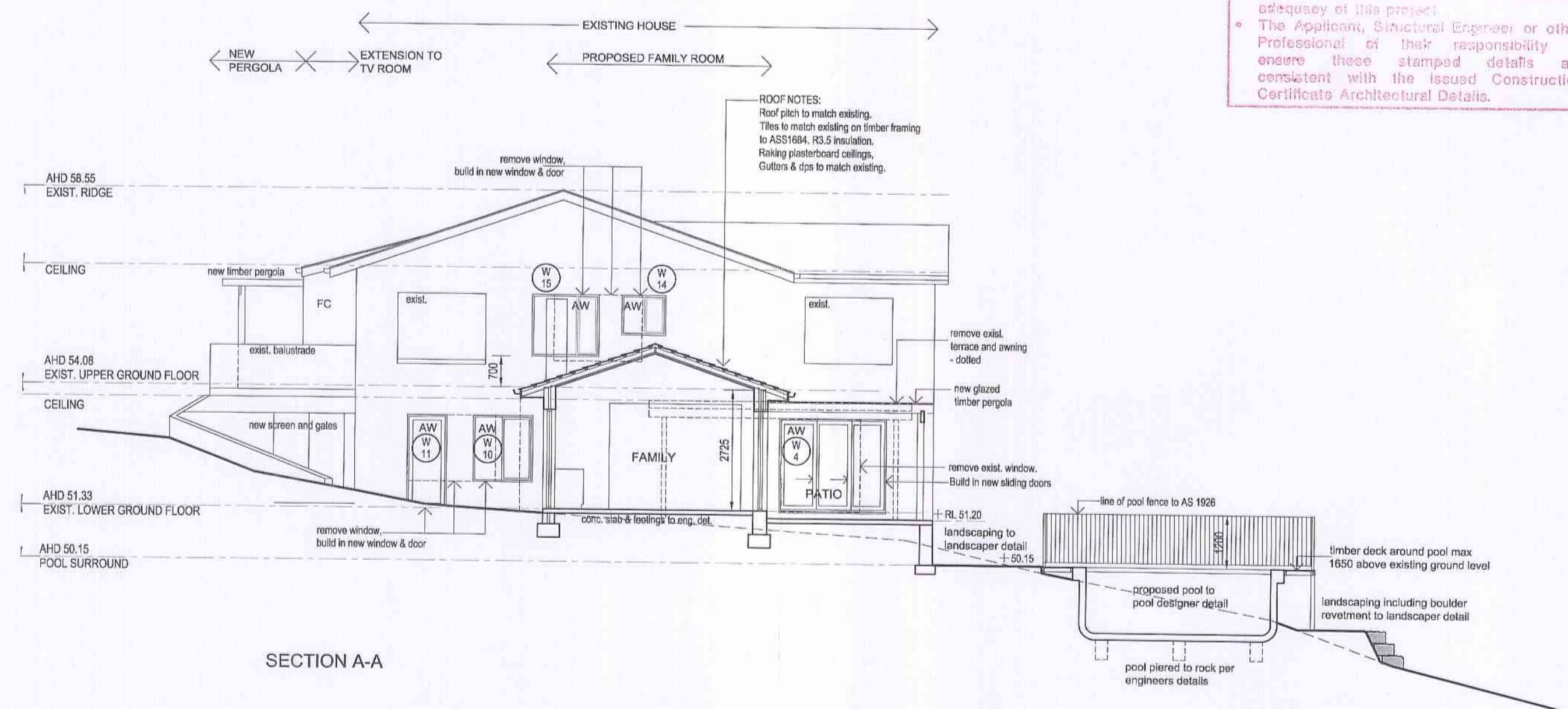
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

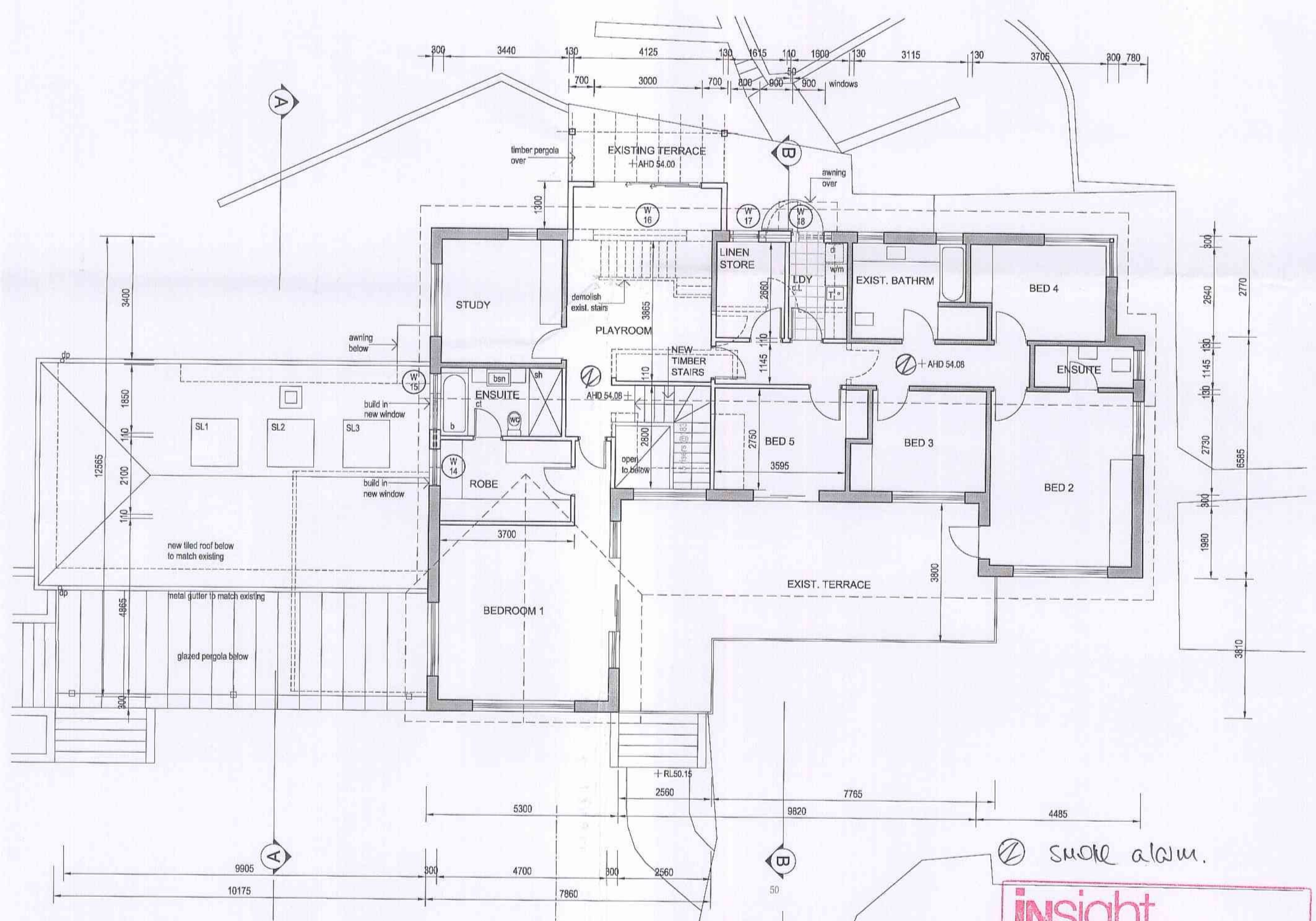
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



**insight** building certifiers ply ltd  
CONSTRUCTION CERT. NO. 2012 / 4851  
CONSTRUCTION CERTIFICATE  
PLANS  
I certify that the work completed in accordance  
with these plans and specifications will comply with  
the regulations referred to in Section 81(4) of the  
Environmental Planning & Assessment Act 1978  
*T. Bowden* 18 SEP 2012  
T. Bowden Accreditation No. BP90042



SECTION A-A



FIRST FLOOR PLAN

ALL MATERIALS, FINISHES AND METHODS OF CONSTRUCTION TO MATCH EXISTING UNLESS OTHERWISE STATED.

B BATH  
BSN BASIN  
CTP COCKTOP  
DP DOWNPIPE  
DW DISH WASHER - UNDER BENCH  
F REFRIGERATOR  
LDY LAUNDRY  
R WARDROBE  
S SINK  
SL SKYLIGHT  
ST STOVE  
T LAUNDRY TUB  
WC WATER CLOSET  
WM WASHING MACHINE

EXISTING WALLS  
TO BE RETAINED  
SHOWN SHADED

EXISTING WALLS  
TO BE DEMOLISHED

NEW BRICK WALLS

61 Dress Circle Road, Avalon

DATE 17 July 2012	Floor Plans and Sections		DRAWING TITLE
SCALE 1:100 @A1 1:200 @A3	DRAWING NO. CC 1	REVISION	

**DESIGN INTENT DRAWINGS**

These drawings represent design intent only and are subject to engineering details and thorough investigation of the fabric of the building prior to and during demolition.

These drawings must not be relied on for construction.

Note:  
It is the responsibility of the client to make themselves  
thoroughly familiar with all details shown on this plan

**Sterling Architects**  
1/28 belleveue st surry hills sydney nsw 2010 australia  
ph: +61 2 92813820 fax +61 2 9281 2515

NEW	REUSE	DATE	<p><b>NOTE</b>          ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.</p> <p>USE FINE LINE DIMENSIONS. DO NOT SCALE DIMENSIONS.</p> <p>RECALL ALL DRAWINGS WITH LICENSE AND SPECIFICATION DOCUMENTS FOR FITTING, FINISHES AND EQUIPMENT DETAILS.</p> <p>ALL WORKS TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.</p> <p>DRAWINGS SHOULD BE REVIEW IN CONJUNCTION WITH ALL RELEVANT CONSTRUCTION, INSPECTION, REPORTS AND DOCUMENTS.</p> <p>ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT STATUTORY AUTHORITIES.</p> <p>REPRODUCTION OF THE DRAWINGS IN WHOLE OR IN PART IS PROHIBITED.</p> <p>THIS DESIGN AND DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE USED WITHOUT PRIOR WRITTEN CONSENT.</p>
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BASIX REQUIREMENTS

Rainwater tank  
The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities.

Outdoor swimming pool  
The swimming pool must be outdoors.  
The swimming pool must not have a capacity greater than 75.55 kilolitres.

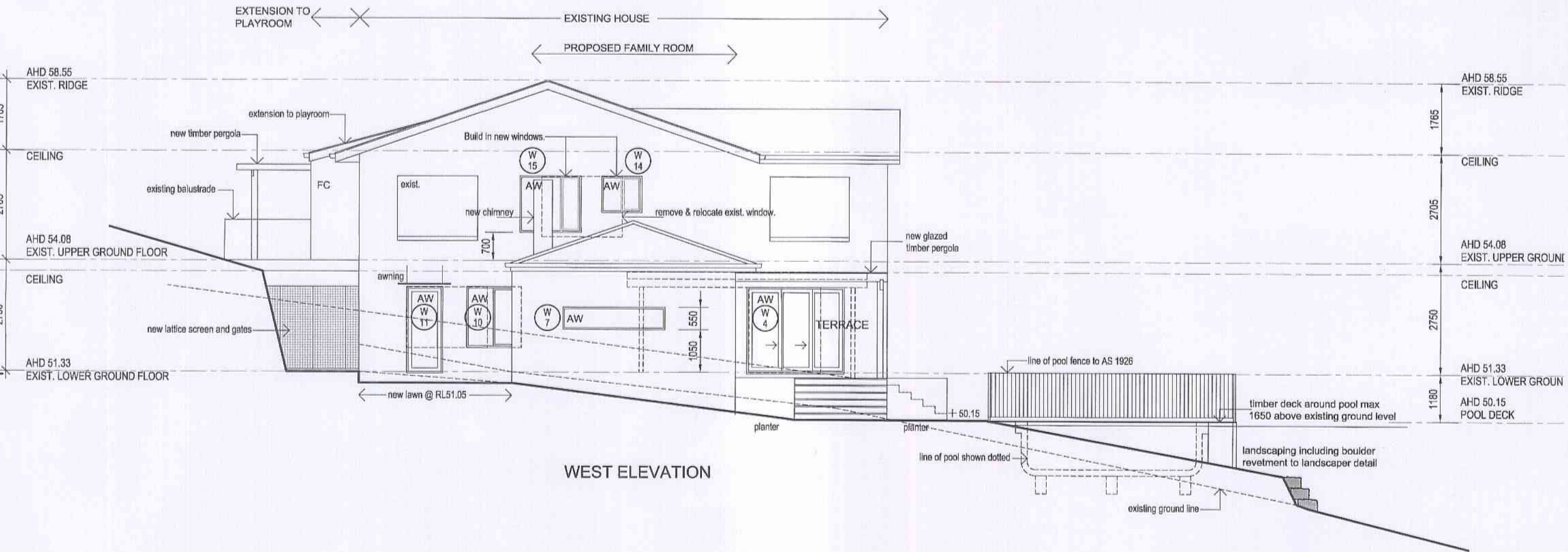
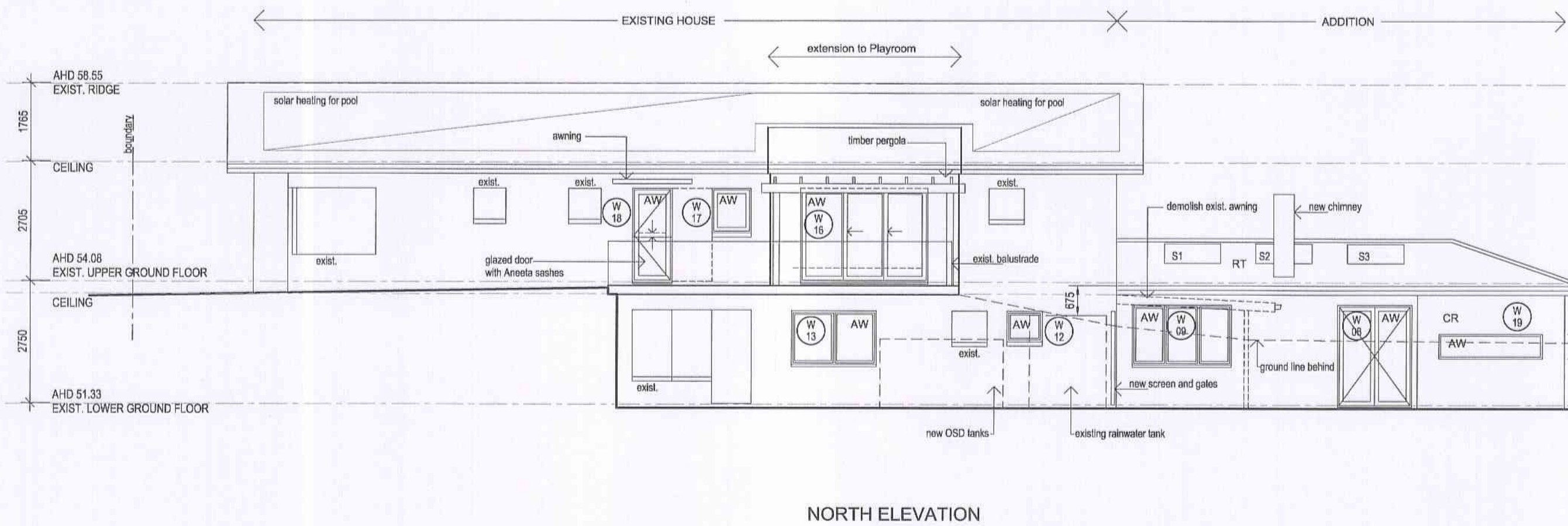
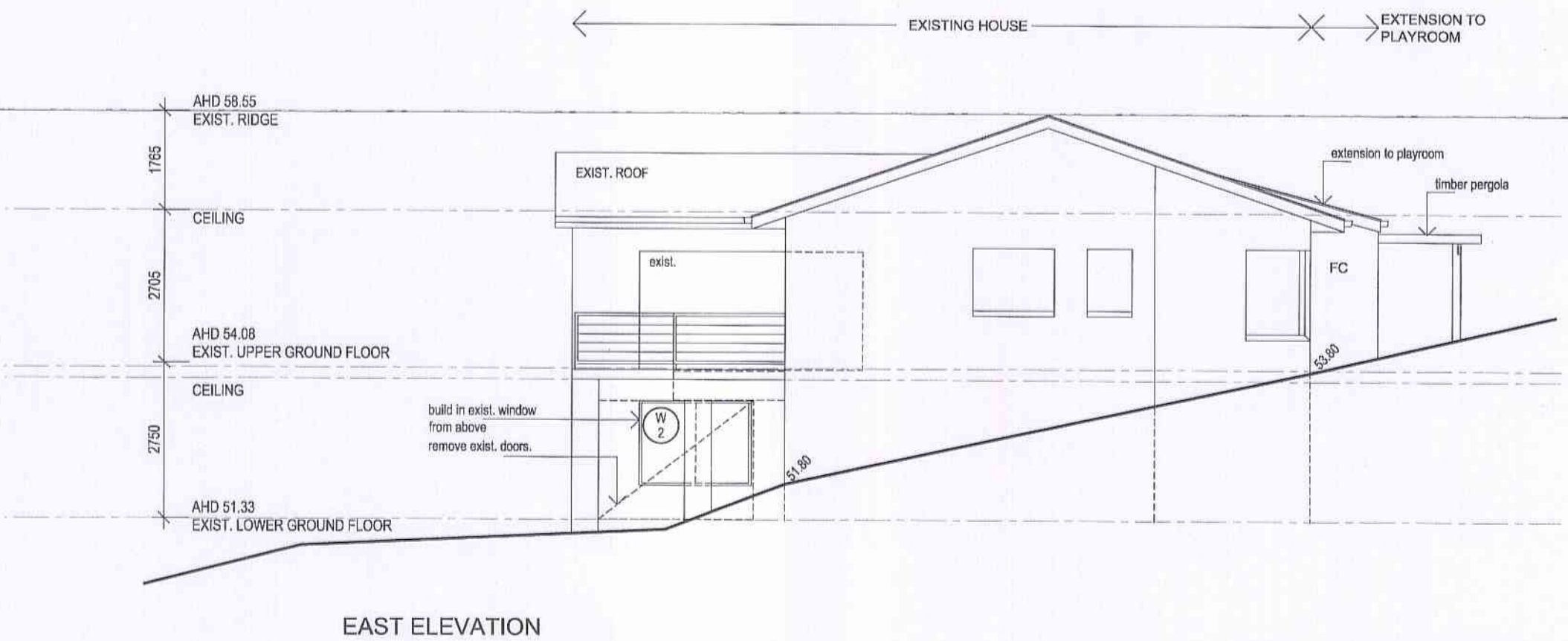
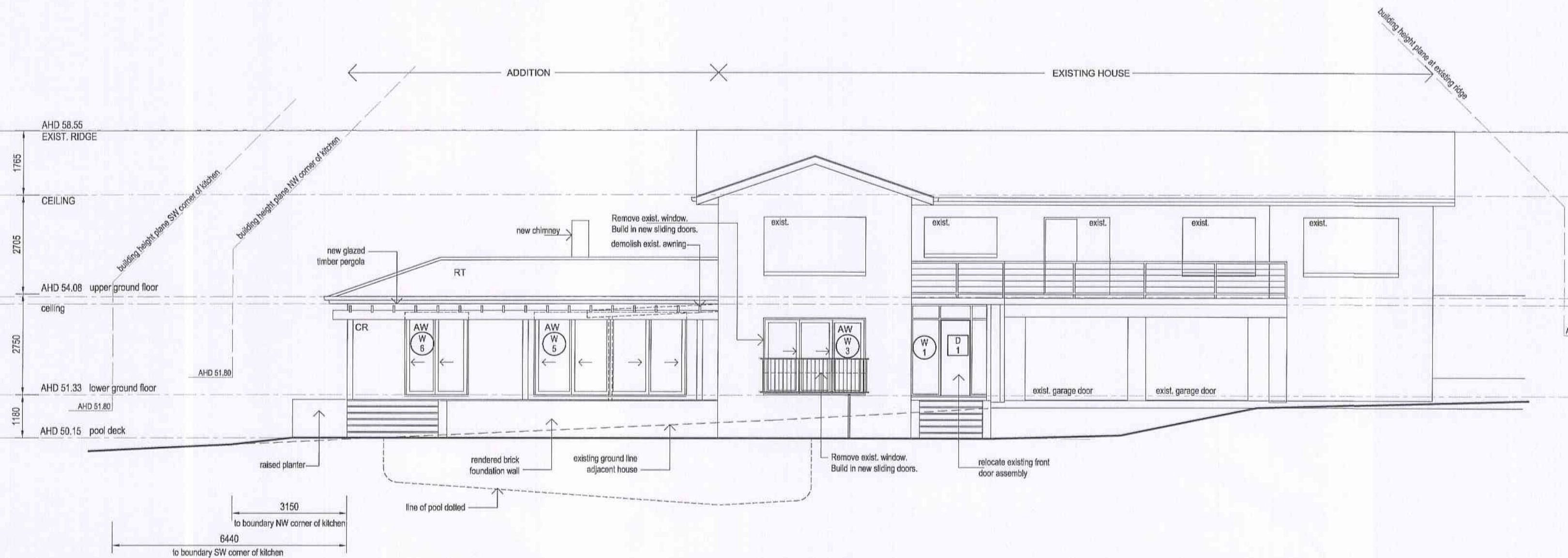
Insulation requirements	Additional insulation required (R-value)	Other specifications
Construction	nil	
concrete slab on ground floor:	brick veneer R1.16 (or R1.70 including construction)	
external wall:	R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched roof:		

Windows and glazed doors  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the Basix Certificate.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.  
Skylights  
The applicant must install the skylights in accordance with the specifications listed in the Basix Certificate.

ON SITE DETENTION AND RAINWATER REUSE

See Concept Drainage Plan and Details prepared by Development Engineering Solutions, drawing numbers C01 and C02.

This plan / document  
forms part of  
Construction Certificate  
no. 2012 / 4851



REV	ISSUE	DATE	NOTE
1	1	17 July 2012	ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
2	2	17 July 2012	USE THESE DIMENSIONS, DO NOT SCALE DRAWINGS.
3	3	17 July 2012	READ ALL DRAWINGS WITH LEGEND AND SPECIFICATION DOCUMENTS FOR FITTING, FINISHES AND EQUIPMENT DETAILS.
4	4	17 July 2012	ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
5	5	17 July 2012	DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONSTRUCTIONAL SPECIFICATIONS, REPORTS AND DRAWINGS.
6	6	17 July 2012	ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT STATUTORY AUTHORITIES.
7	7	17 July 2012	REPRODUCTION OF THE DRAWINGS IN WHOLE OR PART IS PROHIBITED.
8	8	17 July 2012	THIS DESIGN AND DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE USED WITHOUT PRIOR WRITTEN CONSENT.

EXISTING WALLS TO BE RETAINED SHOWN SHADED	NEW TIMBER STUD WITH INSULATION
EXISTING WALLS TO BE DEMOLISHED	NEW BRICK WALLS

DESIGN INTENT DRAWINGS

These drawings represent design intent only and are subject to engineering details and thorough investigation of the fabric of the building prior to and during demolition.  
These drawings must not be relied on for construction.

CONSTRUCTION CERTIFICATE			
61 Dress Circle Road, Avalon			
DATE 17 July 2012	SECTIONS	DRAWING TITLES	
SCALE 1:100 @ A1 1:200 @ A3	DRAWING NO. CC 2	REVISION	



#### BASIX REQUIREMENTS

**Rainwater tank**  
The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities.

**Outdoor swimming pool**  
The swimming pool must be outdoors.  
The swimming pool must not have a capacity greater than 75.55 kilolitres.

Insulation requirements	Additional insulation required (R-value)	Other specifications
Construction		
concrete slab on ground floor:	nil	
external wall:	brick veneer R1.16 (or R1.70 including construction)	
raked ceiling, pitched roof:	R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

**Windows and glazed doors**  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

**Skylights**  
The applicant must install the skylights in accordance with the specifications listed in the Basix Certificate.

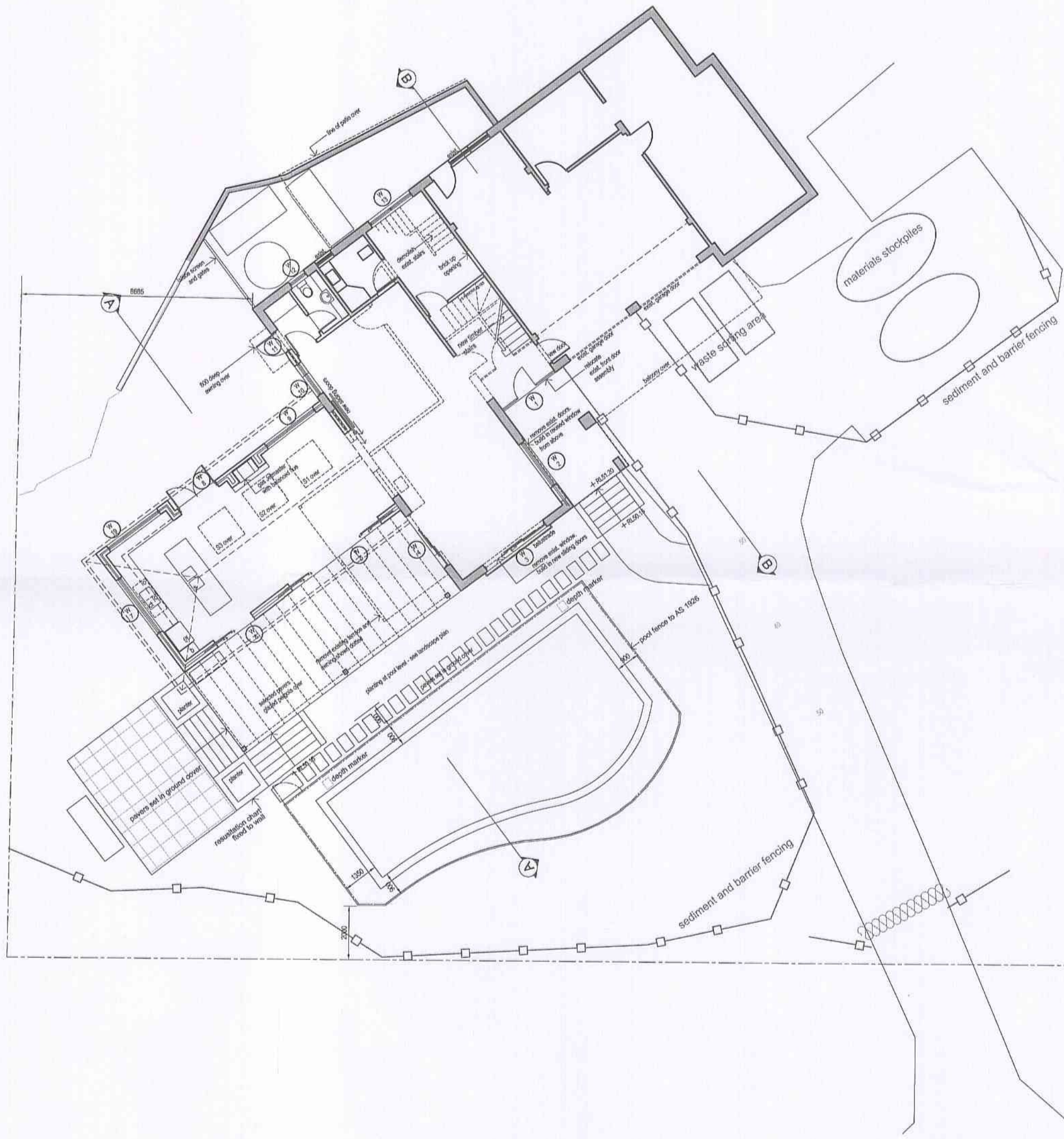
#### ON SITE DETENTION AND RAINWATER REUSE

See Concept Drainage Plan and Details prepared by Development Engineering Solutions, drawing numbers C01 and C02.

#### SOIL EROSION AND SEDIMENT CONTROL PLAN

- Site works will not start until the erosion and sediment control measures are installed and functional.
- Run-off on the driveway will be controlled by a temporary asphalt 'speed bump' to control all runoff and divert sediment to adjacent sediment fencing.
- Topsoil from the the work's area will be stripped and stockpiled for later use in the landscaping works.
- Approved bins for building waste, concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for regular collection and disposal.
- Guttering to be cconnected to the stormwater system or the rainwater tanks as soon as possible
- Topsoil to be respread and all distributed areas stabilised within 20 working days of the completion of the works.
- All erosion and sediment control measures to be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.

- sediment and barrier fencing
- temporary 'speed bump' as trafficable sediment control
- waste bins and waste sorting
- materials stockpiles



#### SITE CALCULATIONS

	CONTROL	EXISTING	PROPOSED
Site area 2024 m2			
Building Height	9.5m	7.5m	7.5 and 4.46 m
Site Coverage	40%, 809.6 m2	492.7 m2	640 m2
Landscaped Area	60%, 1214.6 m2	1535 m2	1384 m2

REV	ISSUE	DATE	NOTE
1			ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
2			USE PROPER DIMENSIONS, DO NOT SCALE DRAWINGS.
3			IF ANY DIMENSIONS ARE CHANGED, THE DESIGNER MUST BE NOTIFIED AND THE DRAWING MUST BE RE-DESIGNED.
4			ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.
5			DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONSTRUCTION, SPECIFICATION, REPORTS AND DRAWINGS.
6			ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT STATUTORY AUTHORITIES.
7			REPRODUCTION OF THE DRAWINGS IN WHOLE OR PART IS PROHIBITED.
8			THIS DESIGN AND DRAWING IS SUBJECT TO COPYRIGHT AND MAY NOT BE USED WITHOUT PRIOR WRITTEN CONSENT.

#### DESIGN INTENT DRAWINGS

These drawings represent design intent only and are subject to engineering details and thorough investigation of the fabric of the building prior t and during demolition.  
These drawings must not be relied on for construction.

Note:  
It is the responsibility of the client to make themselves thoroughly familiar with all details shown on this plan.

**Stening Architects**  
1/28 bellevue st surry hills sydney nsw 2010 australia  
ph: + 61 2 92813820 fax: +61 2 9281 2515

#### CONSTRUCTION CERTIFICATE

61 Dress Circle Road, Avalon

DATE	17 July 2012	Site Plan, Sediment Control, Basix	DRAWING TITLE
SCALE	1:150 @ A1 1:300 @ A3	CC 3	REVISION



This plan / document  
forms part of  
Construction Certificate  
no. 2 0 1 2 / 4 8 5 1

# ALTERATIONS & ADDITIONS NEW HOUSE AT 61 DRESS CIRCLE ROAD AVALON FOR MR & MRS ALLEN

## STRUCTURAL DRAWINGS

S00	/ 0	TITLE SHEET
S01	/ 0	CONSTRUCTION NOTES
S02	/ 0	FOOTING AND SLAB PLANS AND DETAILS
S03	/ 0	FOOTING AND RETAINING WALL SECTIONS
S04	/ 0	FIRST FLOOR PLAN & STEEL DETAILS
S05	/ 0	ROOF PLAN
P01	/ 0	POOL DETAILS
P02	/ 0	POOL PLAN
P03	/ 0	POOL SECTIONS

**WARNING**  
The stamping of this plan by  
Insight Building Certifiers Pty Ltd does not  
relieve  
• The applicant's responsibility to obtain  
approval from Sydney Water or other  
utilities.  
• The Structural Engineer of their  
responsibility to ensure the structural  
adequacy of this project.  
• The Applicant, Structural Engineer or other  
Professional of their responsibility to  
ensure these stamped details are  
consistent with the issued Construction  
Certificate Architectural Details.

<b>McKEE &amp; ASSOCIATES PTY LTD</b> STRUCTURAL ENGINEERS 12 Niven Place Belrose 2085 ABN 71 003 894 111 0419 7333366 mckeepl@bigpond.net.au		ALTERATIONS & ADDITIONS NEW HOUSE AT 61 DRESS CIRCLE ROAD AVALON FOR MR & MRS ALLEN		
PLAN CERTIFICATION I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards. Geoffrey McKee BE(Structural) Peng . . . . . G McKee BE Peng		TITLE SHEET & CURRENT DRAWING LIST		
Save date	Approved G McKee	Scale Project	Drawn GM	Size A3
Revision date 23.08.12	Purpose of issue CONSTRUCTION		Dwg S00	Rev 0



# CONSTRUCTION NOTES

## GENERAL

- G1 This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of construction. All discrepancies and variations shall be referred to the Engineer before proceeding with the work.
- G2 All work shall be in accordance with the requirements of all relevant and current SAA Codes.
- G3 All dimensions relevant to setting out and off-site work shall be verified before construction and fabrication is commenced.
- G4 Dimensions shall not be obtained by scaling the structural drawings.
- G5 During construction the structure shall be maintained in a stable condition and no part of the structure shall be overstressed.
- G6 The structural elements shown on these drawings have been designed for the following superimposed loads :  
2kPa

# CONCRETE

- C1 All workmanship and materials shall be in accordance with current editions of AS3600 except as varied by contract documents.
- C2 Cement shall be Type "A" unless specified otherwise. Concrete components and quality shall be as follows:

Structural Element	F <sub>c</sub> MPa	Slump mm	Age. size	Density (kg/m <sup>3</sup> )
Footings, levelling strips	25	80	20	2400
Slab on ground	32	80	20	2400
Suspended slab	32	80	20	2400
Columns and walls	40	80	20	2400

- C3 Clear concrete cover to reinforcement unless shown otherwise shall be:

Element	Formed Not exposed	Formed exposed soil or rain	Poured against membrane
Slabs	30	40	30
Walls	30	40	n/a
Beams	40	50	n/a
Columns	40	50	n/a
Pedestals	50	50	n/a
Footings	50	65	40
Pool sprayed	50 back	60 water	—
Pool formed	—	50	—

- C4 Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.
- C5 No holes, chases or embedment of pipes , other than those shown on the structural drawings , shall be made without the written prior approval of the Engineer.
- C6 Splices in reinforcement shall be made only in the positions shown on the Structural drawings, or as otherwise approved by the Engineer.
- C7 Lapped fabric splices shall be so made that the overlap, measured between the outermost wires of each sheet of fabric, is not less than the greater wire spacing plus 25mm.
- C8 Reinforcement is shown diagrammatically, it is not necessarily shown in true projection.

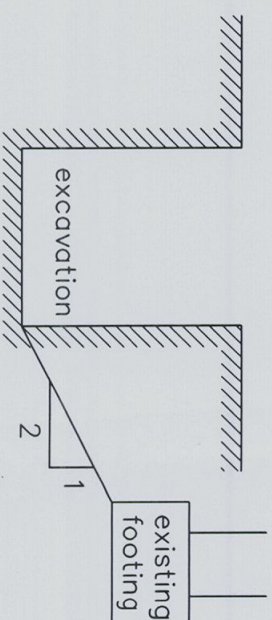
## CONCRETE

- C9 All reinforcement shall be D500 to AS4671 UNO  
Fabric shall be SL: square, RL: rectangular to AS4671  
Bars shall be D500N to AS 4671 UNO  
S: shall mean Grade 250N (for pools)  
N: Grade D500N Deformed bar Normal ductility.  
Example of designation code for reinforcing bars : –  
No of bars in group – 17N20-350 bar grade and type  
nominal bar size in mm –        spacing in mm.  
UNO stands for “unless noted otherwise”.  
Welding of reinforcement shall be to AS1554.3  
C10 Where transverse tie bars are not shown, provide  
N12–400. Splice where necessary and lap with main  
bars for 400mm.  
C11 All concrete shall be placed and “cured” in accordance  
with AS3600. Where curing compound is used it must  
applied (a) onto slabs within 2 hours of finishing the  
concrete surface, (b) onto walls and columns  
immediately after removal of formwork.  
C12 Horizontal formwork shall be stripped when approved  
by the Engineer.  
C13 Slabs and beams shall bear only onto the beams, walls  
and other types of support as shown on the  
structural drawings. All other building elements shall  
be kept 15mm clear from soffits of structure.  
C14 During concrete placing the builder shall have on site  
rain protecting plastic sheeting and supports to keep it  
clear of wet concrete, and also aliphatic alcohol sprays  
to prevent plastic cracking in hot or windy conditions.

## FOUNDATIONS

- F1 Footings have been designed for a bearing pressure of 100kPa. Foundation material shall be approved before placing concrete in footing excavation.

- F2 Determine adjacent footing depth and do not excavate below a line of influence of 1in 2 as shown



## BLOCKWORK

- B1 Blockwork shall be in accordance with AS3700
- B2 Concrete in base shall be Grade 20
- B3 Reinforcement symbol S requires bars as Note C9
- B4 Construct retaining walls with double-U blocks
- B5 Blocks shall be Grade 12 to AS4455
- B6 Clean out openings shall be used in all cores and cleaned out before grout filling.
- B7 Use recessed blocks for horizontal bars.
- B8 Grout shall be Grade 20 with 10mm aggregate and 230 slump
- B9 All cores shall be filled with grout
- B10 All mortar shall be 1 part cement to 1/2 part lime and 4-1/2 parts sand. ( 1 : 0.5 : 4.5 )
- B11 Mortar dogs and concrete fins shall be removed by rodding and cleaned out before grouting cores.
- B12 Where horizontal bars are specified in both faces they shall be in staggered courses.
- B13 Where vertical bars are shown lapped, the bar may be in one length to suit double-U blocks in stack bond

## STRUCTURAL STEELWORK

- S1 All workmanship and materials shall be in accordance with AS4100, AS1554, AS3679 and AS1163 as applicable
- S2 Unless otherwise noted all structural steel shall be Grade 300 (Grade 350 for hollow sections)
- S3 All bolts shall be high strength, galvanised.
- S4 Provide 25 thick cement mortar pad under steelwork supported on masonry.
- S5 Steel shall be painted with primer unless noted.
- S6 Lintels and beams partly exposed to the weather shall be hot dip galvanised to AS4680 unless noted.
- S7 All welds shall be 6mm continuous fillet all round U.N.O.

## MASONRY

- M1 Where slabs or beams bear on masonry, the top course shall be level, smooth and covered with two layers of three-ply malthoid unless noted otherwise.
- M2 Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed.
- M3 Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted.
- M4 All masonry shall comply with AS3700 and Australian Standards referenced within AS3700.
- M5 Masonry shall be articulated where required by AS2870 to satisfy footing design selections.
- M6 Provide expansion joints at 8m centres in straight runs of brickwork. Provide expansion joints within 4m of corners.

**This plan / document forms part of Construction Certificate**

McKee & Associates Pty Ltd  
Structural Engineers

12 Niven Place Belrose 2085 ABN 71 003 894 111  
0419 733366 mckeepl@bigpond.net.au

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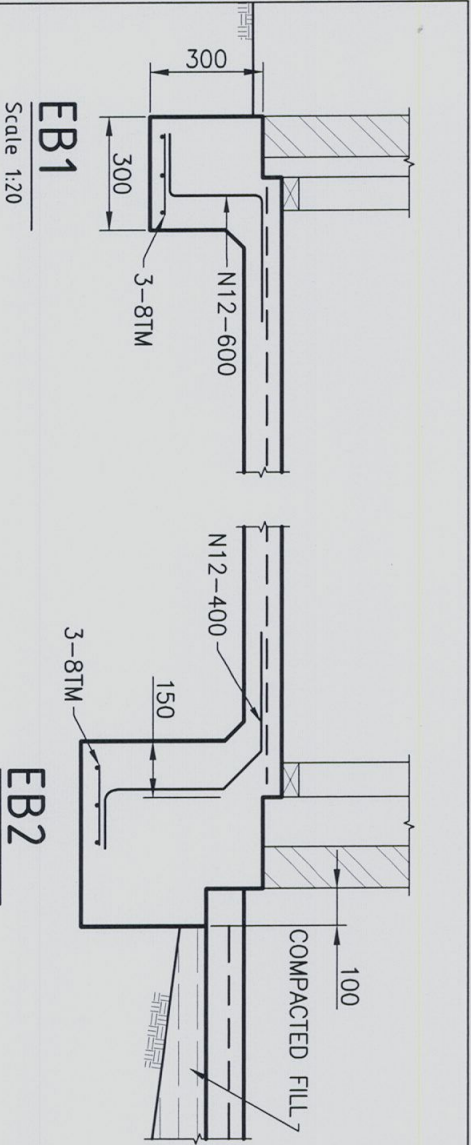
G McKee BE Peng

ALTERATIONS & ADDITIONS NEW HOUSE  
AT 61 DRESS CIRCLE ROAD AVALON  
FOR MR & MRS ALLEN

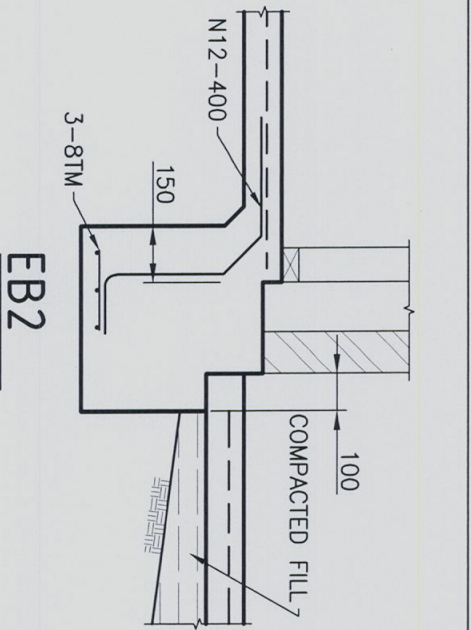
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Revision date	Purpose of issue	Project	Dwg	Rev
23.08.12	CONSTRUCTION	22614	S01	0

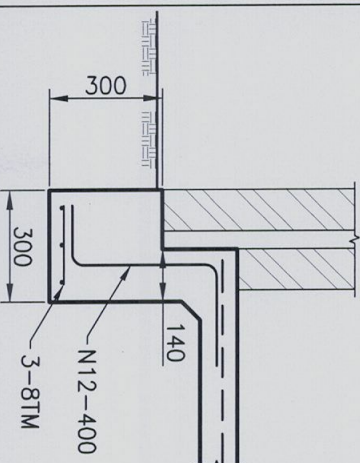




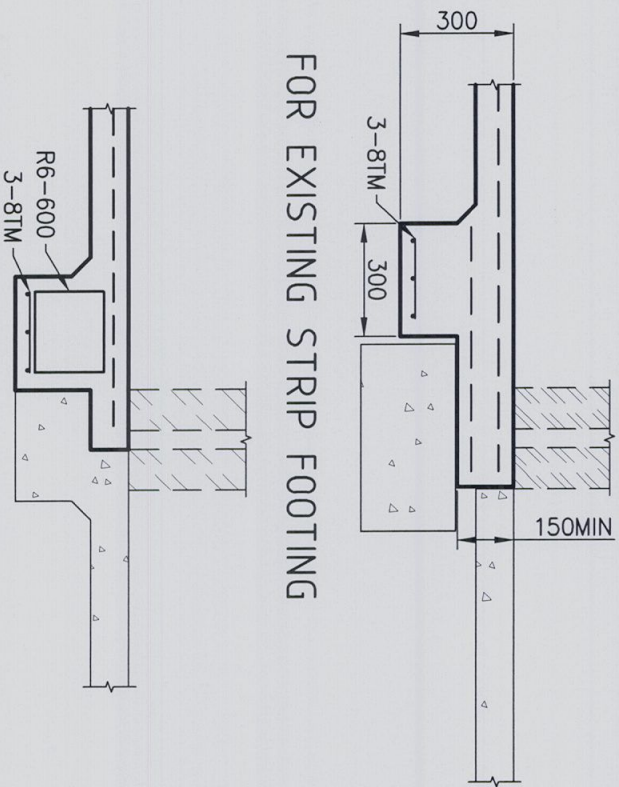
**EB1**  
Scale 1:20



**EB2**  
Scale 1:20



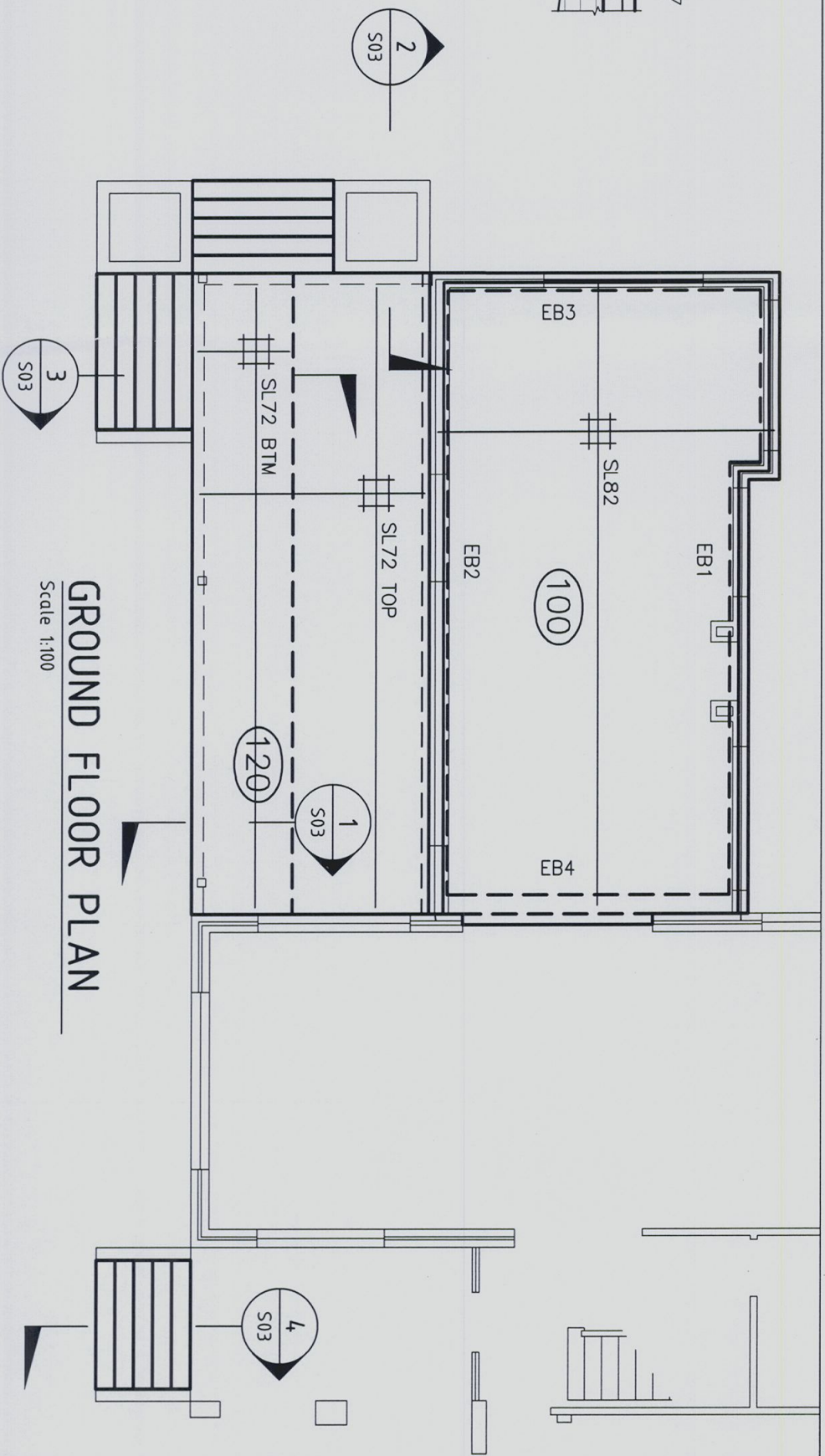
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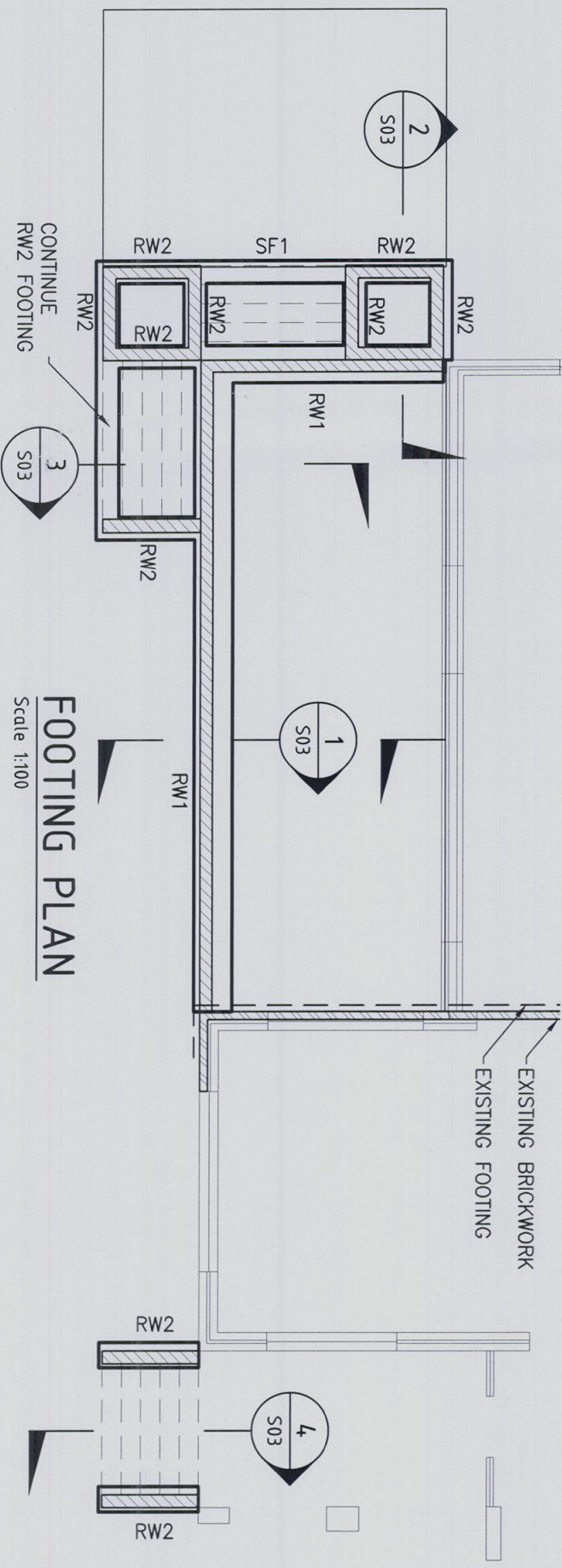
**FOR EXISTING RAFT SLAB**

**EB4**  
Scale 1:20

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**GROUND FLOOR PLAN**  
Scale 1:100



**FOOTING PLAN**  
Scale 1:100

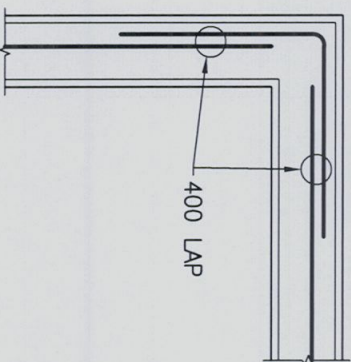
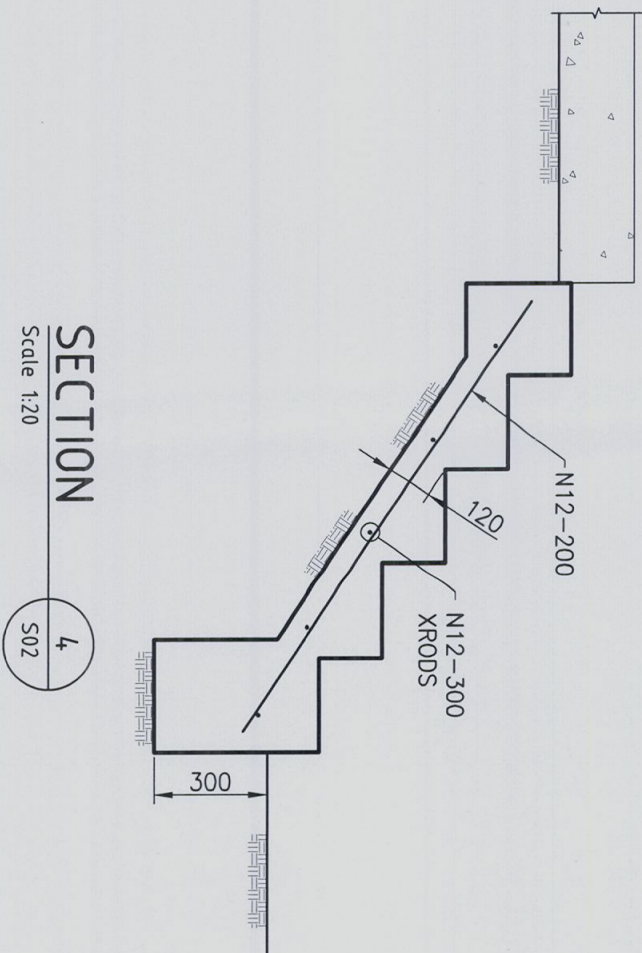
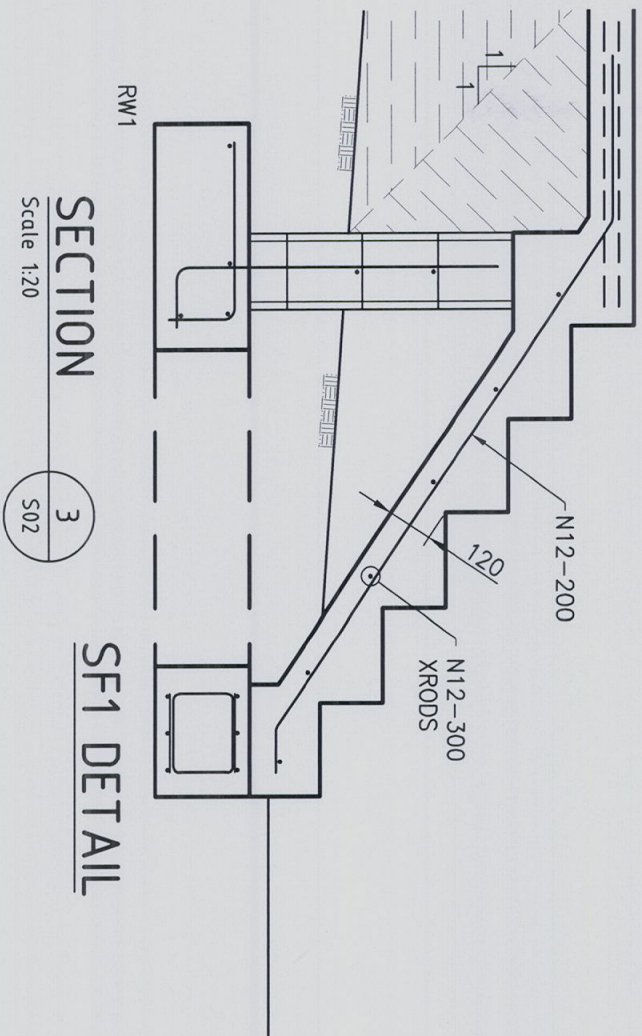
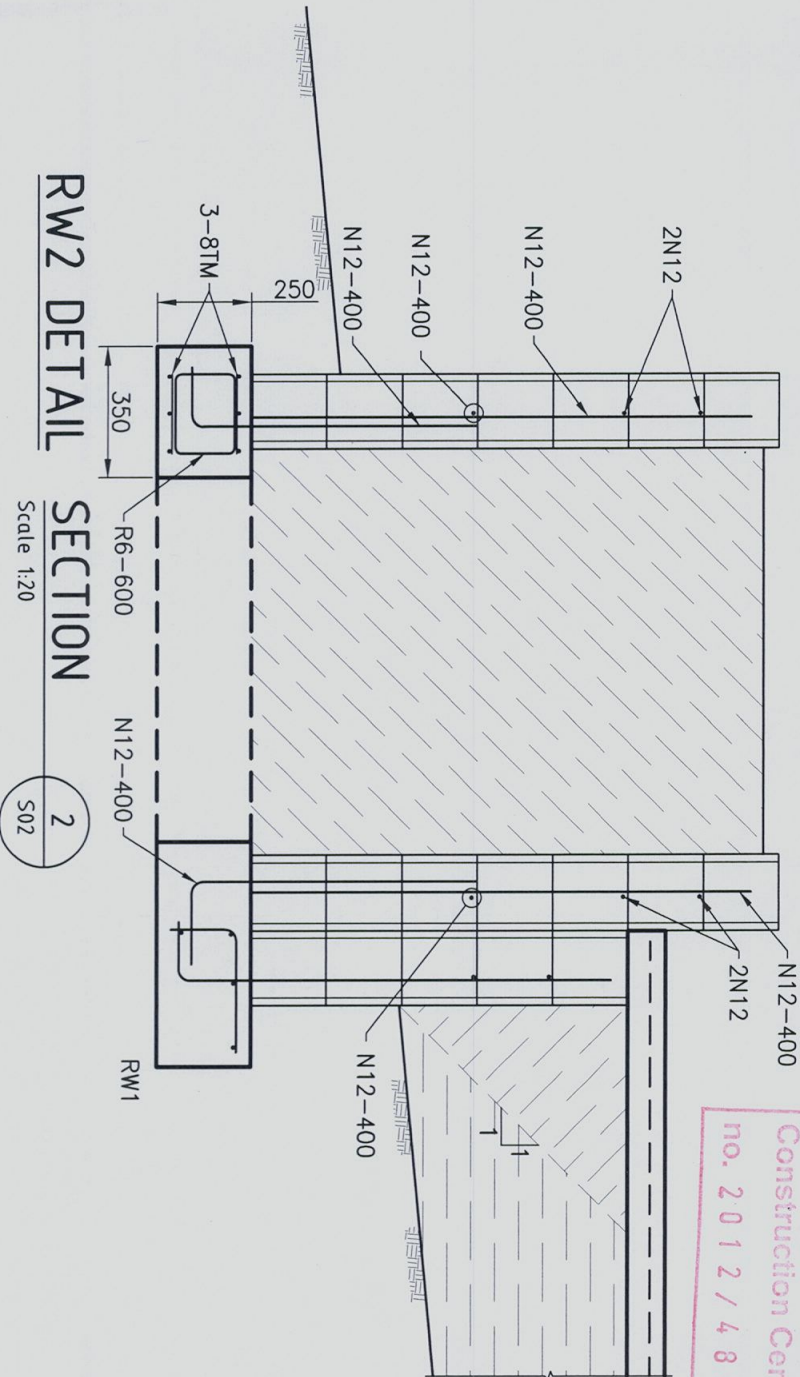
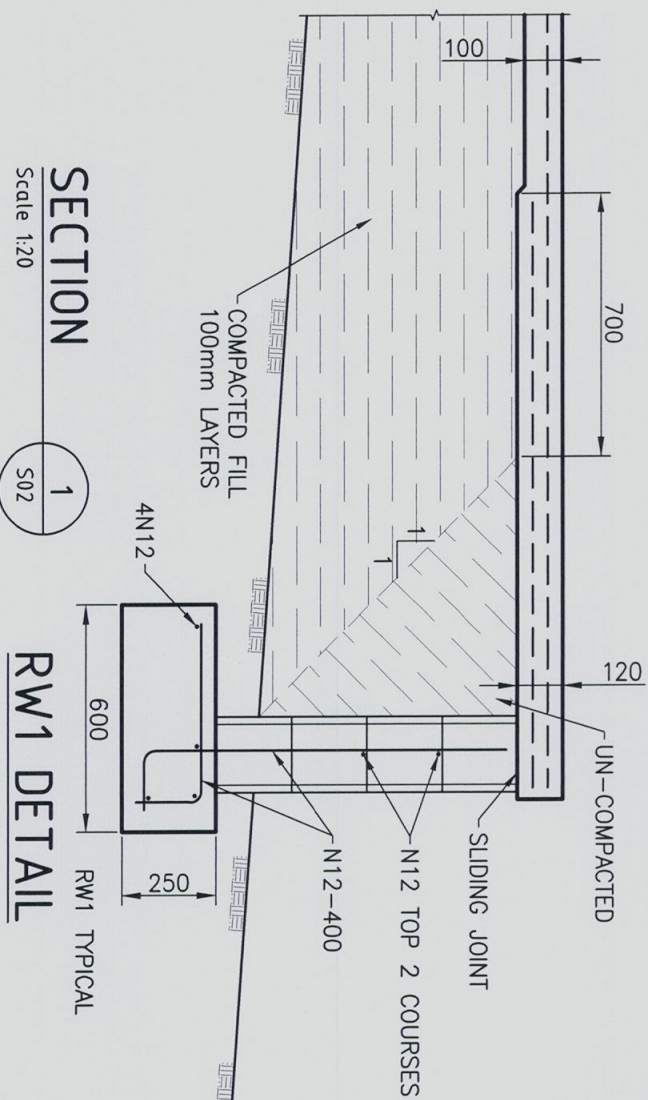
<b>McKEE &amp; ASSOCIATES PTY LTD</b>		<b>ALTERATIONS &amp; ADDITIONS NEW HOUSE</b>	
<b>STRUCTURAL ENGINEERS</b>		<b>AT 61 DRESS CIRCLE ROAD AVALON</b>	
12 Niven Place Belrose 2085 ABN 71 003 894 111		<b>FOR MR &amp; MRS ALLEN</b>	
0419 7333366 mckeepl@bigpond.net.au		<b>FOOTING AND SLAB PLANS AND DETAILS</b>	

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Revision date	G McKee	1:100	MW	A3
23.08.12	Purpose of issue	Project	Dwg	Rev
	CONSTRUCTION	22614	S02	0



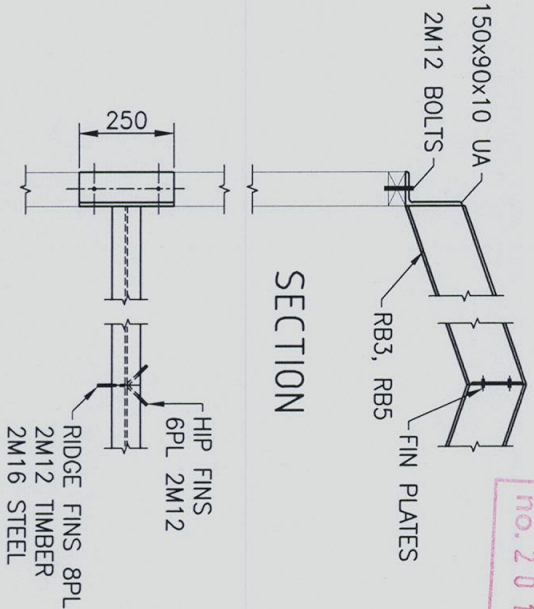
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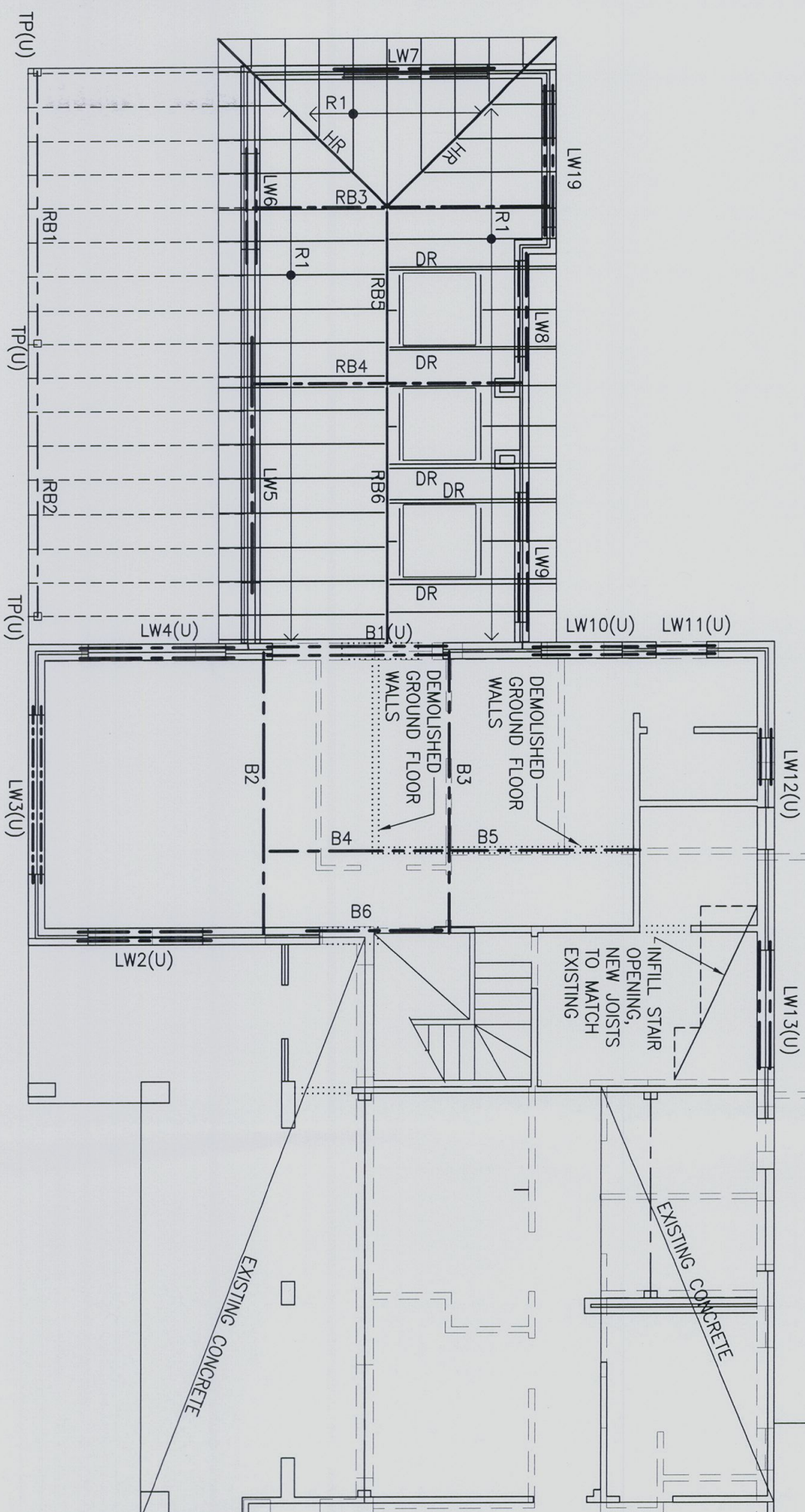
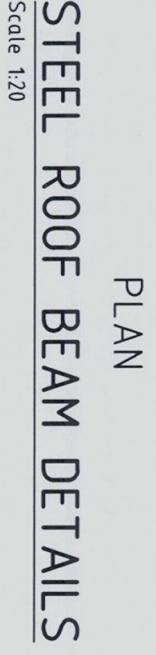
<b>McKEE &amp; ASSOCIATES PTY LTD</b> <b>STRUCTURAL ENGINEERS</b> 12 Niven Place Belrose 2085 ABN 71 003 894 111 0419 733366 mckeepl@bigpond.net.au				ALTERATIONS & ADDITIONS NEW HOUSE AT 61 DRESS CIRCLE ROAD AVALON FOR MR & MRS ALLEN FOOTING AND RETAINING WALL SECTIONS			
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Save date	Approved	Scale	Drawn	Size			
Revision date	Purpose of issue	Project	Dwg	Rev			
23.08.12	CONSTRUCTION	22614	S03	0			
G McKee				MW	A3		



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no. 2012 / 4851



## SECTION



## FIRST FLOOR PLAN

Scale 1:100

BEAMS MAY CHANGE DEPENDING ON  
EXISTING FLOOR JOIST ARRANGEMENTS  
ENGINEER TO ASSESS DURING  
CONSTRUCTION

SIZE SCHEDULE		
TAG	INNER WALL	OUTER SKIN
TP	90SQ MINIMUM	N/A
LW2-LW4	150x100 ANGLE	150x100 ANGLE
LW5	200PFC	150x100x12UA
LW6-9	170x45 LVL	100x100 ANGLE
LW10	100x100 ANGLE	100x100 ANGLE
LW11	85x7 FLAT	85x7 FLAT
LW12	85x7 FLAT	85x7 FLAT
LW13	100x100 ANGLE	100x100 ANGLE
LW19	200x45 LVL	100x100 ANGLE
RB1.2	240x85 GL8 LOSP	
RB3-RB4	150UB18	
RB5-RB6	300x45 LVL	
HR	170x45 LVL	
R1	140x45MG10	
B1	150x100 ANGLE	150x100 ANGLE
B2	250UB25.7	
B3	250UB25.7	
B4	200UB18	
B5	200UB18	
B6	200x45 LVL	

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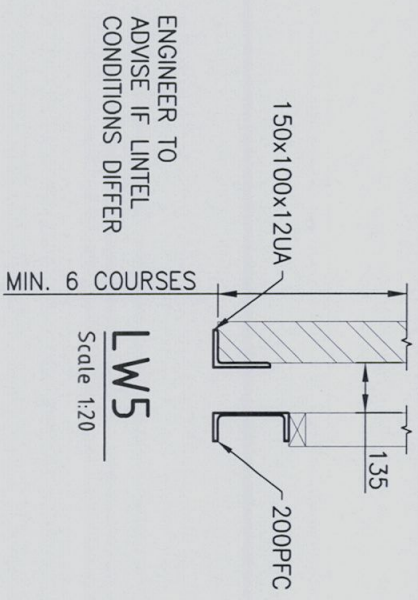
BE(Structural) Peng

G McKee BE Peng

ALTERATIONS & ADDITIONS NEW HOUSE  
AT 61 DRESS CIRCLE ROAD AVALON  
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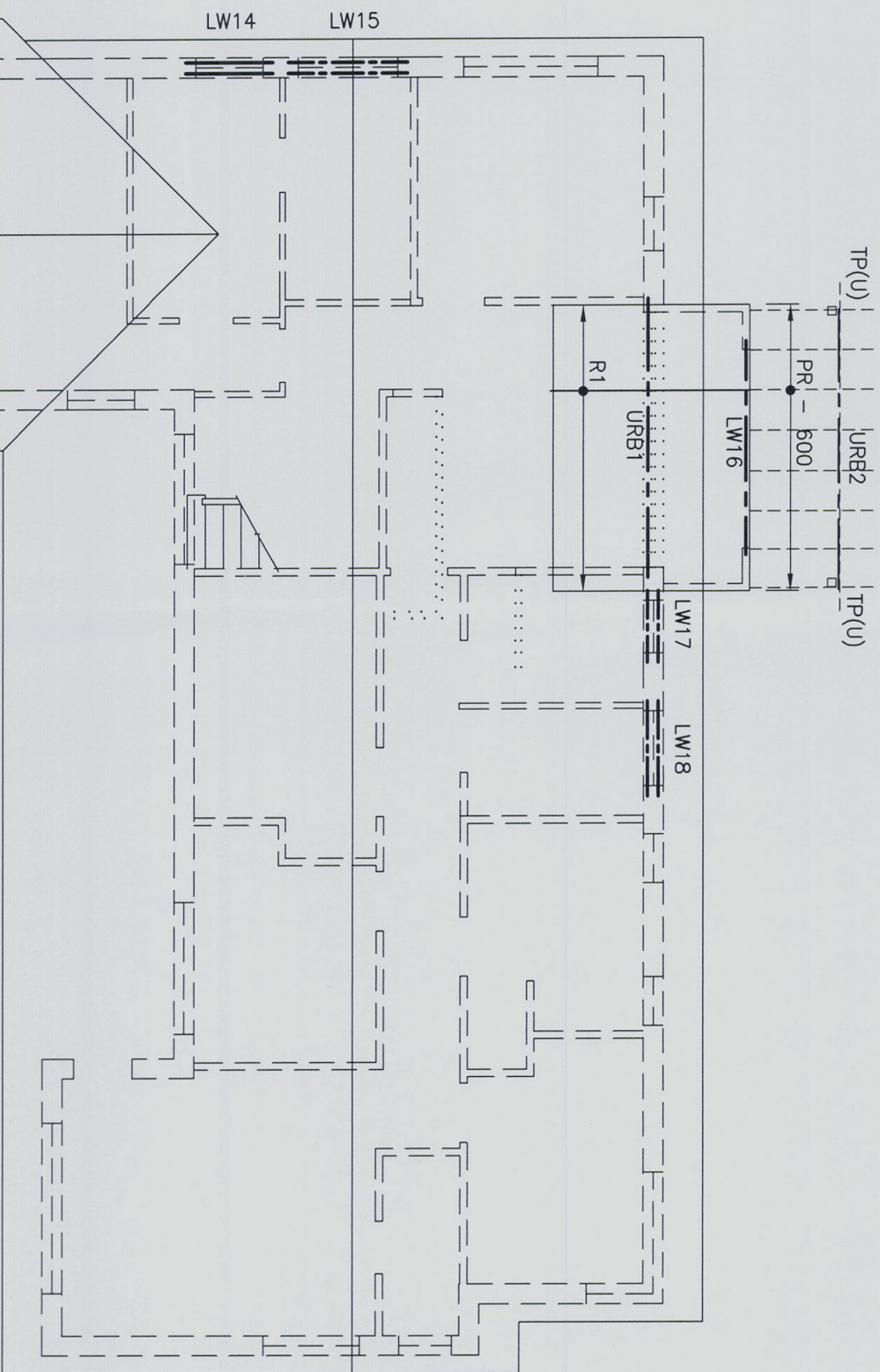
# FIRST FLOOR PLAN STEEL DETAILS

Save date	Approved	Scale	Drawn	Size
	G McKee	1:100	MW	A3
Revision date	Purpose of issue	Project	Dwg	Rev
23.08.12	CONSTRUCTION	22614	SO4	0





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ROOF PLAN

Scale 1:100

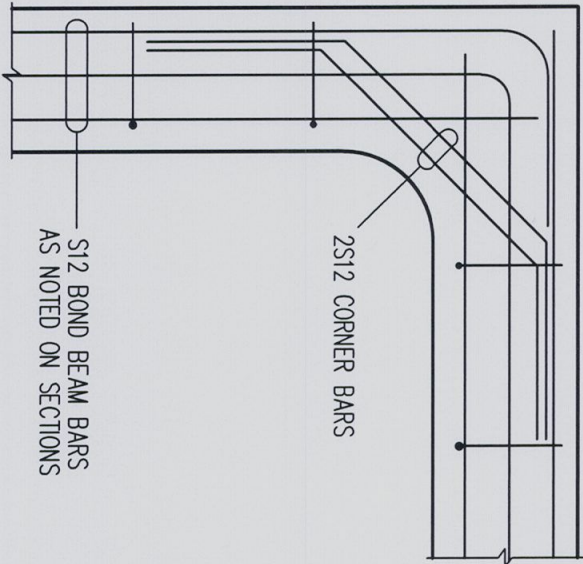
SIZE SCHEDULE	
LW14	2/85x7 FLAT
LW15	2/100x100 ANGLE
LW16	240x45 LVL
LW17	2/85x7 FLAT
LW18	2/100x100 ANGLE
URB1	180PFC OR 400x63 LVL
URB2	180x65 GL8 LO SP OR 240x45 F5 PINE
R1	90x45-600 LVL SUPPORT ON URB1

**McKEE & ASSOCIATES PTY LTD**  
**STRUCTURAL ENGINEERS**  
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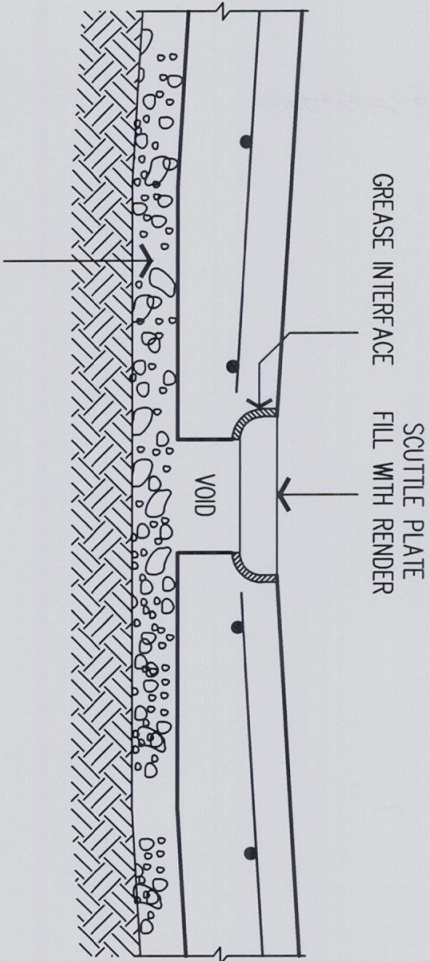
ALTERATIONS & ADDITIONS NEW HOUSE AT 61 DRESS CIRCLE ROAD AVALON FOR MR & MRS ALLEN				
ROOF PLAN				
Save date	Approved G McKee	Scale 1:100	Drawn MW	Size A3
Revision date 23.08.12	Purpose of issue CONSTRUCTION	Project 22614	Dwg S05	Rev 0





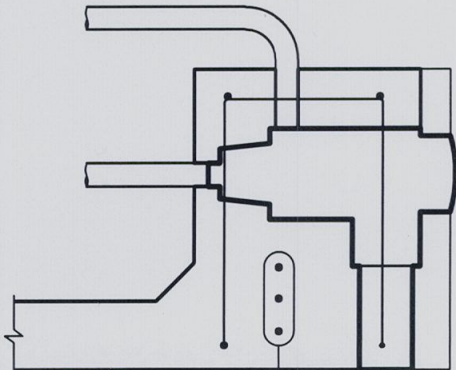
CORNER DETAIL – BOND BEAM

( IF APPLICABLE )



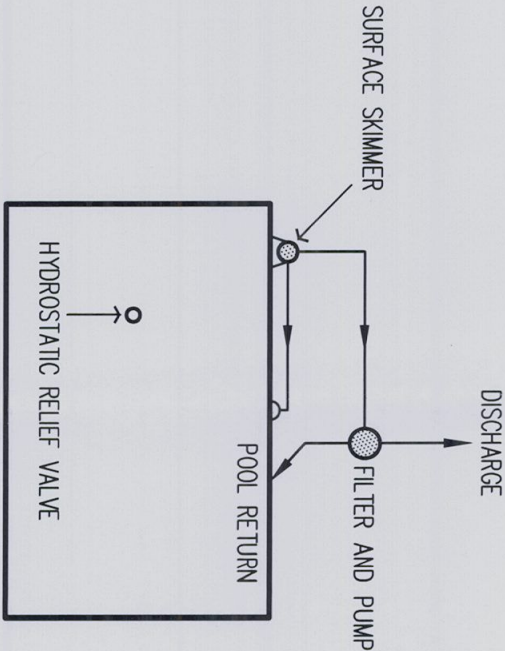
HYDROSTATIC RELIEF VALVE DETAIL (H.R.V.)

( IF APPLICABLE )



SKIMMER BOX DETAIL

( IF APPLICABLE )



DIAGRAMMATIC PLUMBING LAYOUT

( IF APPLICABLE )

- NOTES FOR SWIMMING POOL OWNERS**
- POOL SET OUT**  
Pool set-out size, location and height level is deemed to be acceptable to the owner unless the builder is advised otherwise. Such advice must be prior to placement of reinforcement.
  - CURING CONCRETE**  
After concreting, the pool shell is to be thoroughly wetted down twice daily for at least (7) days, (ten (10) days in summer.)
  - SAFETY FENCES**  
Safety fencing is to be Council approved prior to the pool being filled and comply with AS1926
  - FILLING POOL**  
Hose to be prevented from swishing around during filling. DO NOT use rubber hoses.
  - UNDERWATER LIGHTS**  
Lights must be fully submerged during use.
  - WALKWAYS AND COPINGS**  
Walkways and copings are designed for a 2 kPa live load and are not designed to support masonry walls unless noted otherwise.

**SPECIFICATIONS**

- All workmanship and materials to be in accordance with Australian Standard AS 2783.
- Site Plan dimensions are to water face U.N.O.
- Dimensions shall not be obtained by scaling the details.
- All levels and dimensions are relative to concrete coping level. Fixed Datum represents the the fixed coping height/level.

Approximate coping levels are represented as follows:

- NGL +200 represents 200 mm above existing Ground Level.
- NGL -400 represents 400 mm below existing Ground Level.

Provide filter with matched pump and plumbing to manufacturers recommendations.

Supporting ROCK to be natural material with a minimum safe bearing capacity of 600kPa.

Advise Engineer if excavation in fill or ground water is encountered. Provide temporary penetrations to floor slab if ground water level exceeds 500 mm above deep floor level. The excavation base is to be provided with an undershell drainage layer as follows:

- 75 min. blue metal drainage layer, or 50 min. thick layer with plastic over.
- Corrugated iron sheeting & membrane if over rock.
- Plastic layer only if base is entirely in sand.

All reinforcement to be manufactured to AS4671

- |                   |   |
|-------------------|---|
| R – Grade R250N   | Plain round 250MPa normal ductility                   |
| S – Grade D250N   | Deformed 250MPa normal ductility                      |
| N – Grade D500N   | Deformed 500MPa normal ductility                      |
| SL – Grade D500SL | Deformed 500MPa Square welded mesh Low ductility      |
| RL – Grade D500RL | Deformed 500MPa Rectangular welded mesh Low ductility |

Reinforcing bars, unless noted otherwise, are to be lapped 40 bar diameters min., fabric to be lapped 400mm min. All laps should preferably be staggered.

All reinforcing to be securely supported by bar chairs at 1000 max cs.

Minimum concrete cover to reinforcement from closest concrete surface to be as follows:

Water face Salt Chlorination: 65mm

Water face standard chlorination: 50mm

Coping/Walkway surface: 50mm

Rear face, formed: 40mm

Rough ground: 65mm.

Concrete to be pneumatically placed, have a min. design strength of  $F'c = 25$  MPa at 28 days except :

- Where structure located < 1km from large expanses of water then concrete design strength min.  $F'c = 32$  MPa at 28 days.
- Where structure is located in tidal or splash zone of salt water then concrete design strength min.  $F'c = 40$  MPa at 28 days.

Skimmer box to comply with AS1926.3–2003

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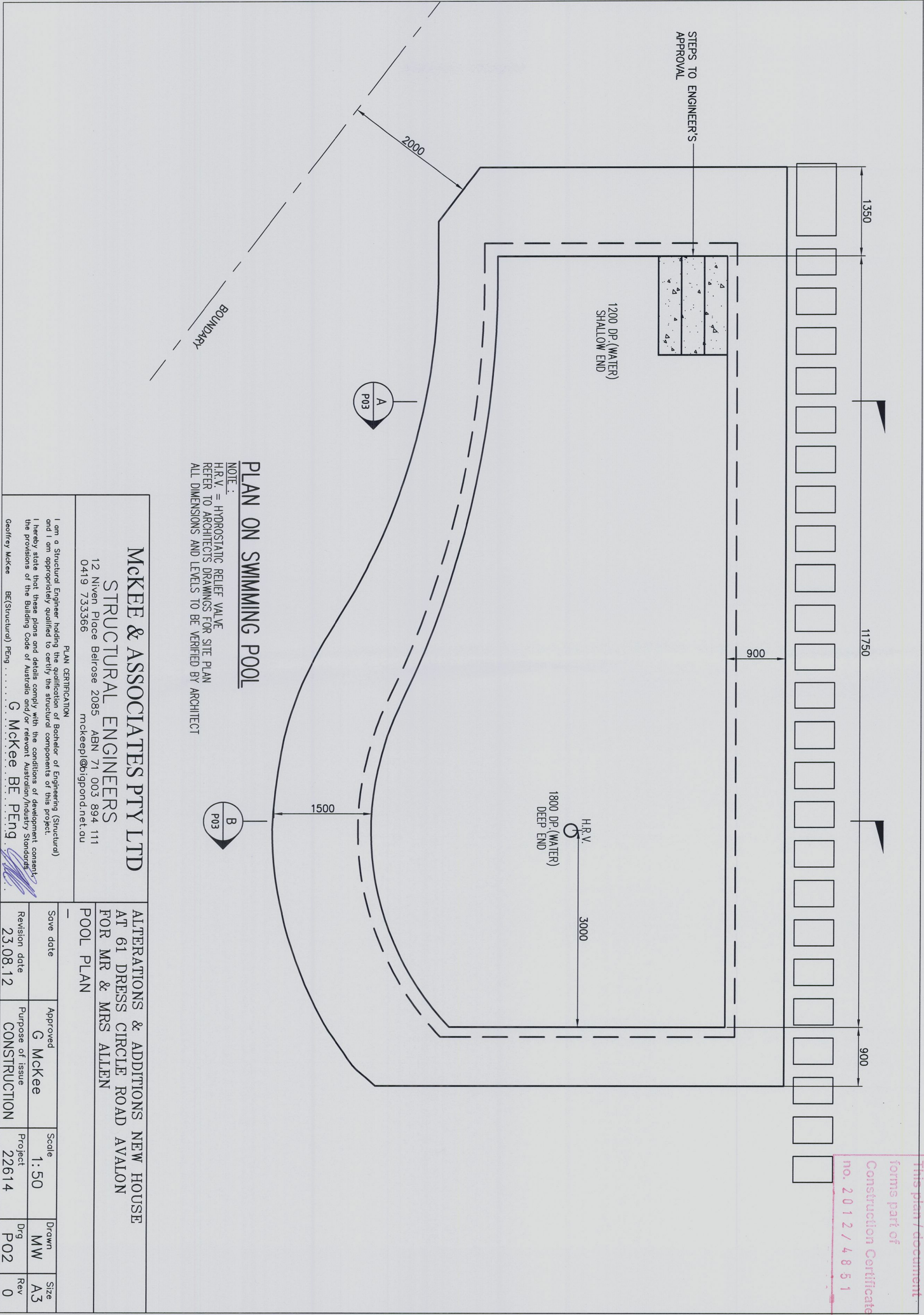
**ALTERATIONS & ADDITIONS NEW HOUSE**  
**AT 61 DRESS CIRCLE ROAD AVALON**  
**FOR MR & MRS ALLEN**

**POOL DETAILS**

Save date	Approved	Scale	Drawn	Size
	G McKee	1:50	MW	A3
Revision date	Purpose of issue	Project	Dwg	Rev
23.08.12	CONSTRUCTION	22614	P01	0



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**PLAN ON SWIMMING POOL**

NOTE :  
H.R.V. = HYDROSTATIC RELIEF VALVE  
REFER TO ARCHITECT'S DRAWINGS FOR SITE PLAN  
ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY ARCHITECT

**McKEE & ASSOCIATES PTY LTD**  
**STRUCTURAL ENGINEERS**  
12 Niven Place Belrose 2085 ABN 71 003 894 111  
0419 7333366 mckeepl@bigpond.net.au

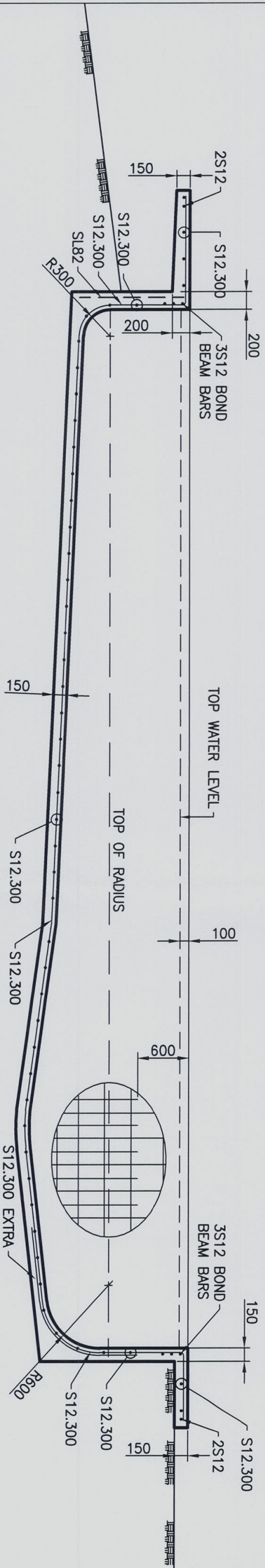
PLAN CERTIFICATION  
I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural)  
and I am appropriately qualified to certify the structural components of this project.  
I hereby state that these plans and details comply with the conditions of development consent,  
the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.

**G McKee BE Peng**

ALTERATIONS & ADDITIONS NEW HOUSE AT 61 DRESS CIRCLE ROAD AVALON FOR MR & MRS ALLEN		POOL PLAN	
Save date	Approved	Scale	Drawn
Revision date	Purpose of issue	Project	Drg
23.08.12	CONSTRUCTION	22614	P02
			Rev
			0

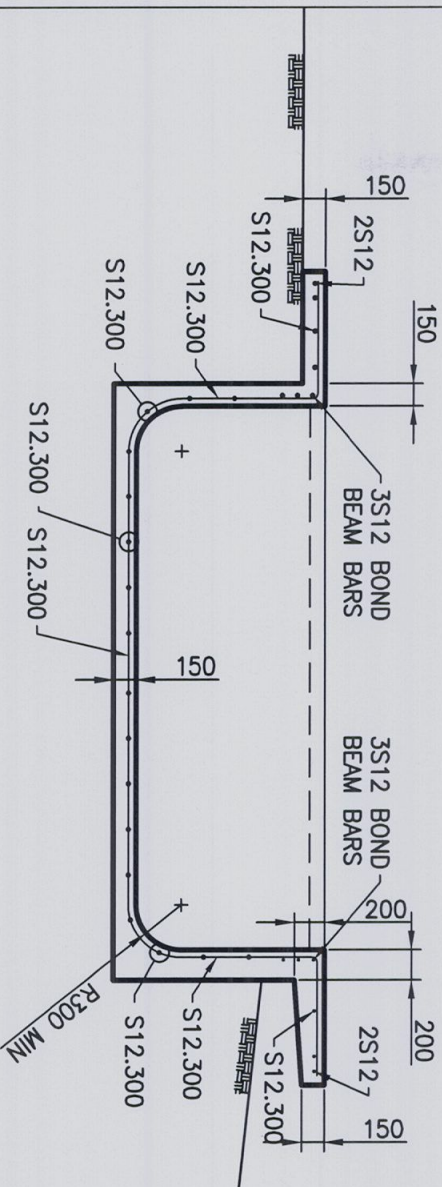


This plan / document  
forms part of  
Construction Certificate  
no.



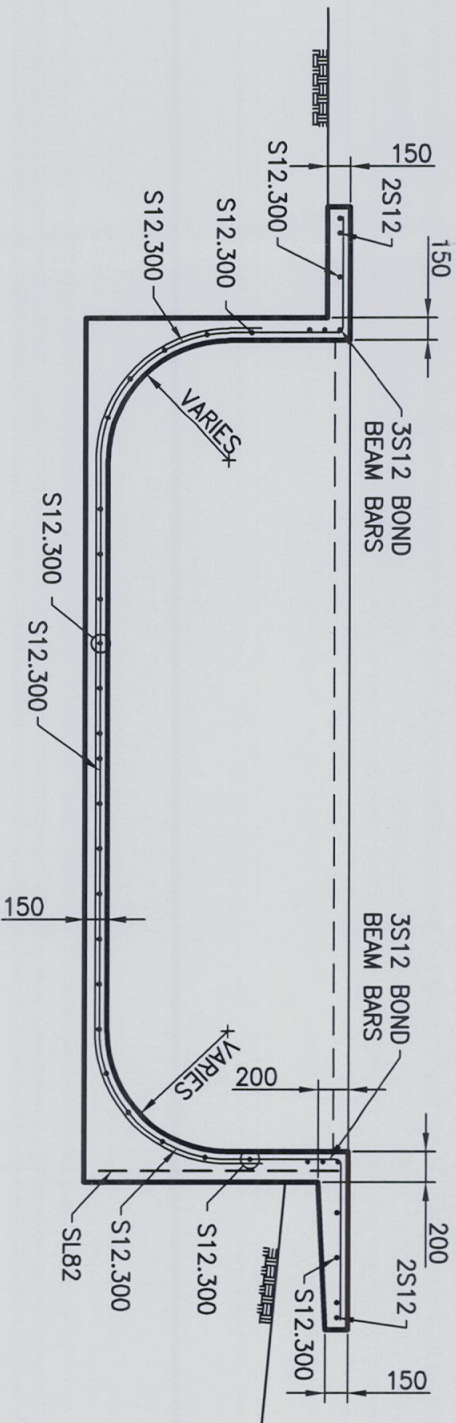
## LONGITUDINAL SECTION

Scale 1:50



## SECTION A

Scale 1:50



## SECTION B

Scale 1:50

**McKEE & ASSOCIATES PTY LTD**  
**STRUCTURAL ENGINEERS**  
12 Niven Place Belrose 2085 ABN 71 003 894 111  
0419 7333366  
mckeepl@bigpond.net.au

**ALTERATIONS & ADDITIONS NEW HOUSE**  
**AT 61 DRESS CIRCLE ROAD AVALON**  
**FOR MR & MRS ALLEN**

**POOL SECTIONS**

PLAN CERTIFICATION  
I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural)  
and I am appropriately qualified to certify the structural components of this project.  
I hereby state that these plans and details comply with the conditions of development consent,  
the provisions of the Building Code of Australia and/or relevant Australian/Industry Standards.  
Geoffrey McKee BE(Structural) Peng

G McKee BE Peng

Save date	Approved	Scale	Drawn	Size
	G McKee	1:50	MW	A3
Revision date	Purpose of issue	Project	Dwg	Rev
23.08.12	CONSTRUCTION	22614	P03	0



# Development Engineering Solutions

Consulting Civil Engineers

ACN: 124 060 797 ABN: 46 124 060 797

## Engineering Certification

### To Whom It May Concern

**RE: 61 Dress Circle Road, AVALON BEACH– Construction Certificate Application**

This is to certify that the internal site drainage system as shown on Plan No. 120422 – C01 & C02, Issue B dated 20/08/12 prepared by Development Engineering Solutions have been designed to generally comply with the requirement of condition Part C (3) & (4) of Pittwater Council's DA consent No. 133/12.

On behalf of Development Engineering Solutions Pty Ltd.



*Morgan Nguyen*

Chartered Professional Engineer

B.E (UTS), MEngSc. (USYD) M.I.E.Aust, NPER

20/August/2012

Title plan / document
Form no. part of
Construction Certificate
no. 2012 / 4051

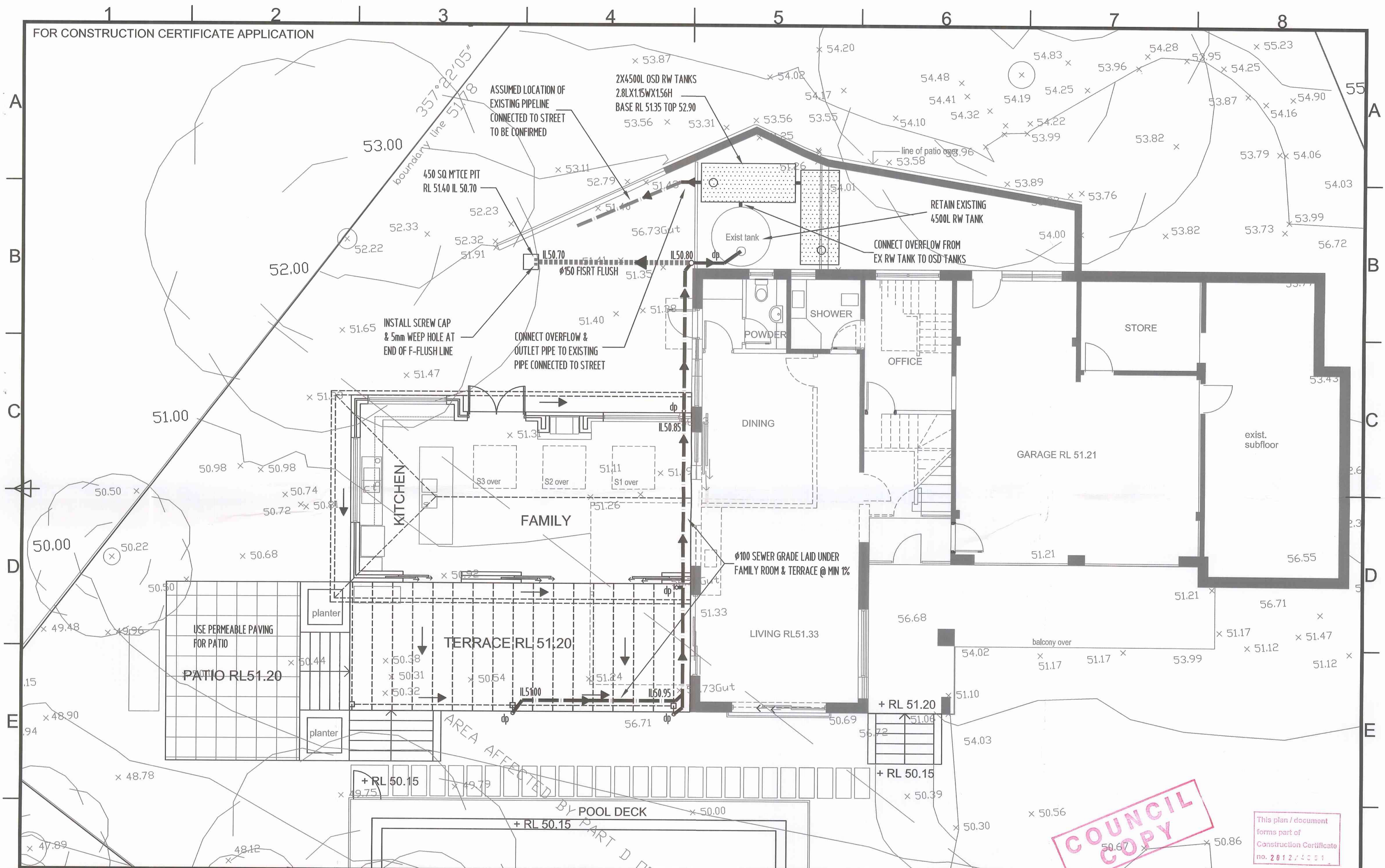
21 Grand Avenue, WESTMEAD NSW 2145

Ph: 8898 9830 Mobile: 0411 506 738

Email: devengsol@gmail.com



FOR CONSTRUCTION CERTIFICATE APPLICATION



**COUNCIL COPY**

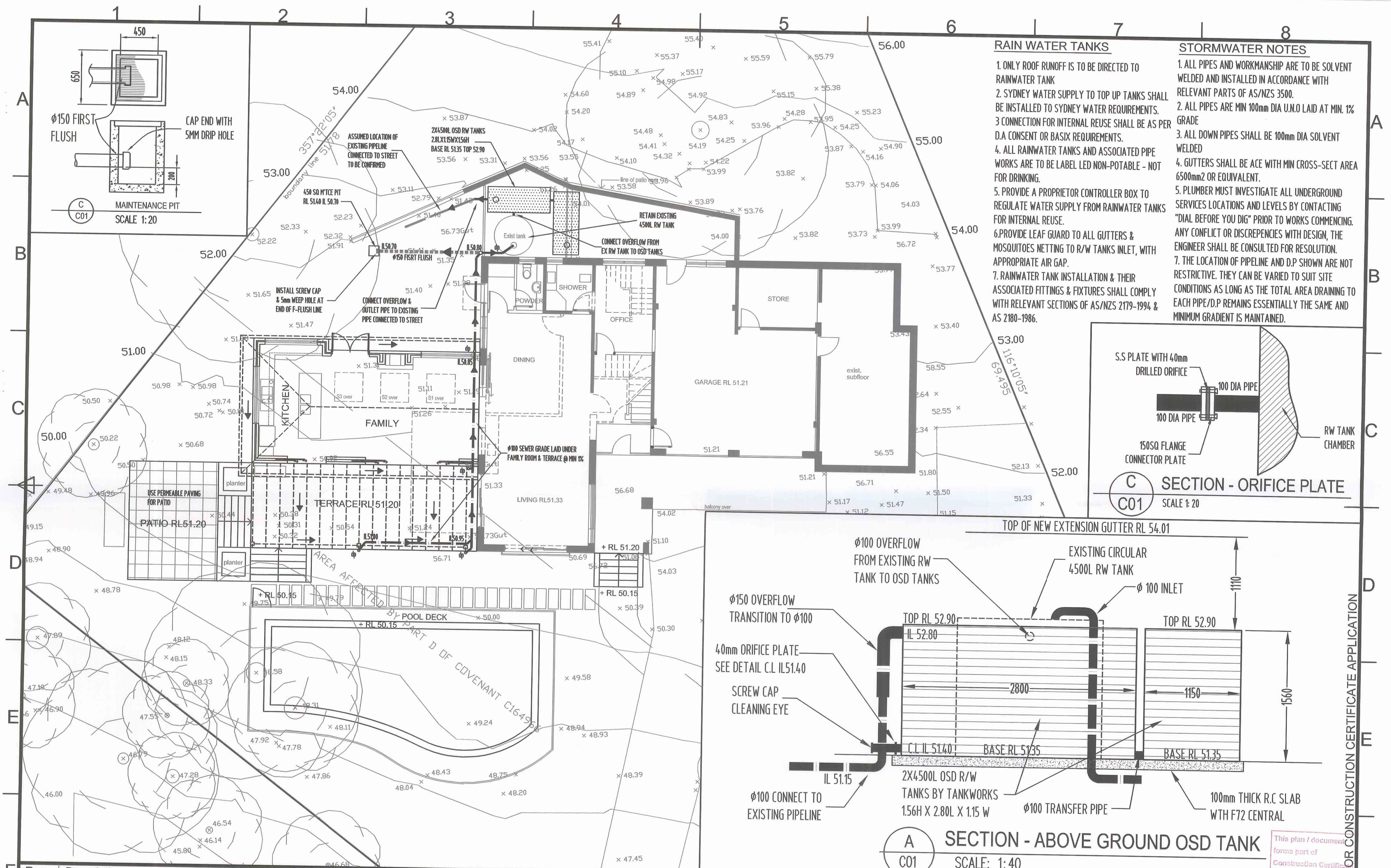
This plan / document  
forms part of  
Construction Certificate  
no. 2012/4051

Rev	Description	Eng	Draft	Date	Client	Title	Project	Drawn	Designed	Checked	Scale	Date	
					Stening Architects	CONCEPT DRAINAGE PLAN	ALTERATIONS & ADDITIONS 61 Dress Circle Road, AVALON	MN	MN	MN	1:100		
B	FOR C.C SUBMISSION	MN	MN	20.08.12	Prj No. 120422				Drw No. C01	Issue B		23.04.12	
A	FOR DEVELOPMENT APPLICATION SUBMISSION	MN	MN	23.04.12									

DEVELOPMENT ENGINEERING SOLUTIONS  
Consulting Civil Engineers

21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738





Rev	Description	Eng	Draft	Date	Client	Title	Project	Development Engineering Solutions
B	FOR C.C. SUBMISSION				Stening Architects	CONCEPT DRAINAGE PLAN	ALTERATIONS & ADDITIONS 61 Dress Circle Road, AVALON	Consulting Civil Engineers
A	FOR DEVELOPMENT APPLICATION SUBMISSION	MN	MN	20.08.12	Drawn MN			21 GRAND AVE, WESTMEAD 2145 P 8898 9830 M 0411506738
		MN	MN	23.04.12	Designed MN			
					Checked MN			
					Scale 1:150			
					Prj No. 120422			
					Drw No. C02			
					Issue B			
					Date 23.04.12			



**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 2 – PART A – To be submitted with detailed design for Construction Certificate**

Development Application for: Mr & Mrs Allen  
Name of Applicant  
Address of site 61 Dress Circle Rd Avalon

**PART A: Declaration made by Structural or Civil Engineer in relation to the Incorporation of the Geotechnical issues into the project design**

I, G McKee on behalf of McKee and Associates Pty Ltd  
(insert name) (trading or company name)

on this the 23 August 2012  
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

**Please mark appropriate box**

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.  
☐ ~~the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.~~

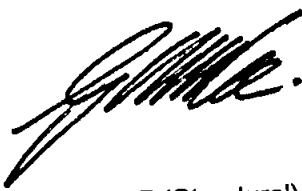
**Geotechnical Report Details:**

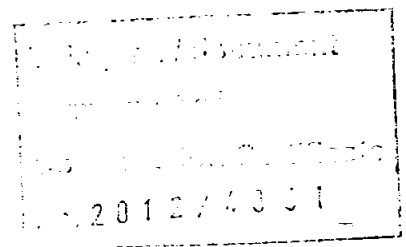
Report Title:  
**Risk Analysis & Management for Proposed Alterations and Additions at  
61 Dress Circle Rd Avalon**  
Report MV27734 Date: 19 August 2011  
Author: Ben White  
Author's Company/Organisation: **Jack Hodgson Consultants Pty Ltd**

**Structural Documents list:**

**PROJECT 22614 : DRAWINGS S01-S05 and P01 to P03 incl all Rev 0 dated 23.08.12**

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

  
G McKee BE (Structural) PEng  
McKee and Associates Pty Ltd  
12 Niven Place Belrose 2085



**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 2 – PART B - To be submitted with detailed design for construction certificate**

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, Jack Hodgson on behalf of Jack Hodgson Consultants Pty Ltd  
(insert name) (trading or company name)

on this the 24th AUGUST, 2012  
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Construction Certificate Stage and that I am satisfied that:

**Please mark appropriate box**

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto  
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

**Geotechnical Report Details :**

Report Title: **RISK ANALYSIS & MANAGEMENT FOR PROPOSED ALTERATIONS AND ADDITIONS AT 61 DRESS CIRCLE ROAD, AVALON**

Report Date: 19-8-2011

Author: BEN WHITE

**Documentation which relates to or is relied upon in report preparation:**

Drawings prepared by Stening Architects numbered DA-1 to DA-3. DA-1 dated 20th July, 2011 and DA-2 & 3 dated 20 May, 2011.

Structural engineering plans prepared by McKee & Associates Project 22614 P01 –P03, S00-S05 dated 23rd August, 2012

Hydraulic plans prepared by Development Engineering Solutions concept plan C01 & C02 Issue B dated 23rd April, 2012

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

BEN WHITE

(name)

  
(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

Signature

Name Ben White

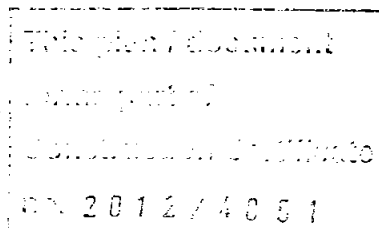
Chartered Professional Status

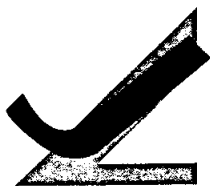
M.Sc. Geol. AusIMM., CP  
GEOL

Membership No. 222757

Company

Jack Hodgson Consultants Pty Ltd





# Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

MM 27734A.  
24th August, 2012.  
Page 1.

The General Manager  
Pittwater Council  
P O Box 882  
MONA VALE NSW 1660

Dear Sir,

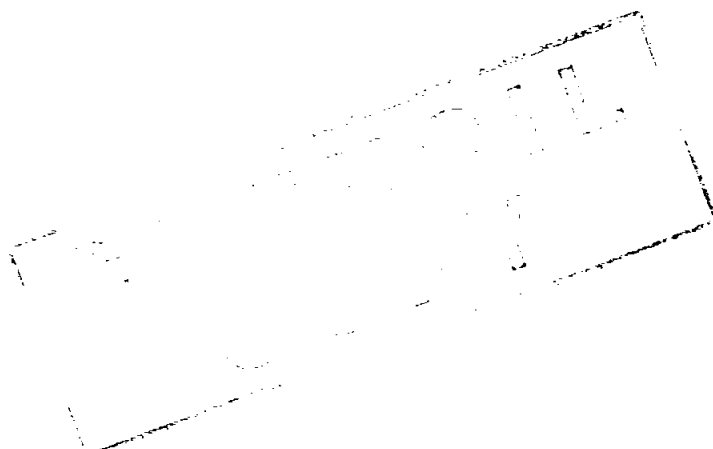
## **61 DRESS CIRCLE ROAD, AVALON**

### **Storm water in accordance with geotechnical requirement.**

The concept stormwater plans prepared by Development Engineering Solutions project number 120422 CCo1 & CCo2 issue B dated 23rd April, 2012 for the proposed alterations & additions at the subject address, have been reviewed by the appointed geotechnical engineer and found to be in accordance with the storm water requirements of the geotechnical report "Risk Analysis & Management for Proposed Alterations & Additions at 61 Dress Circle Road, Avalon" dated 19th August, 2011.

**JACK HODGSON CONSULTANTS PTY. LIMITED.**

**Ben White M.Sc. Geol.,  
AusIMM., CP GEOL.  
No. 222757  
Engineering Geologist.**



Title / plan / document
Drawn by / C
Checked by / Ben White
Ref. 2012 / 4351

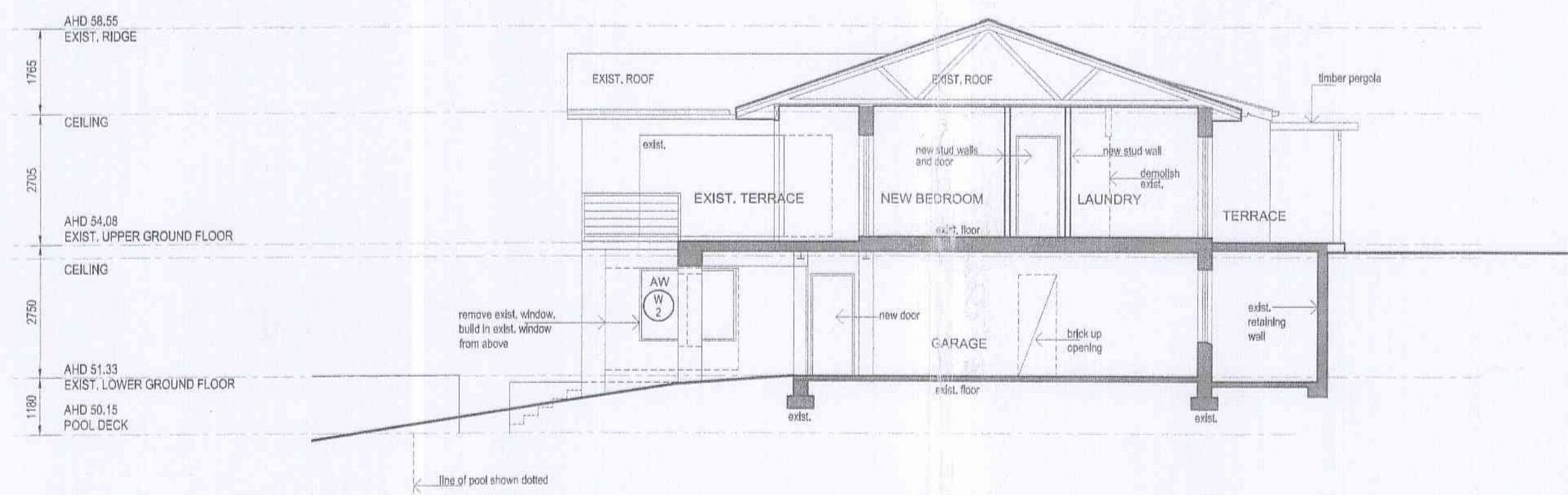
DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

67 Darley Street, Mona Vale NSW 2103

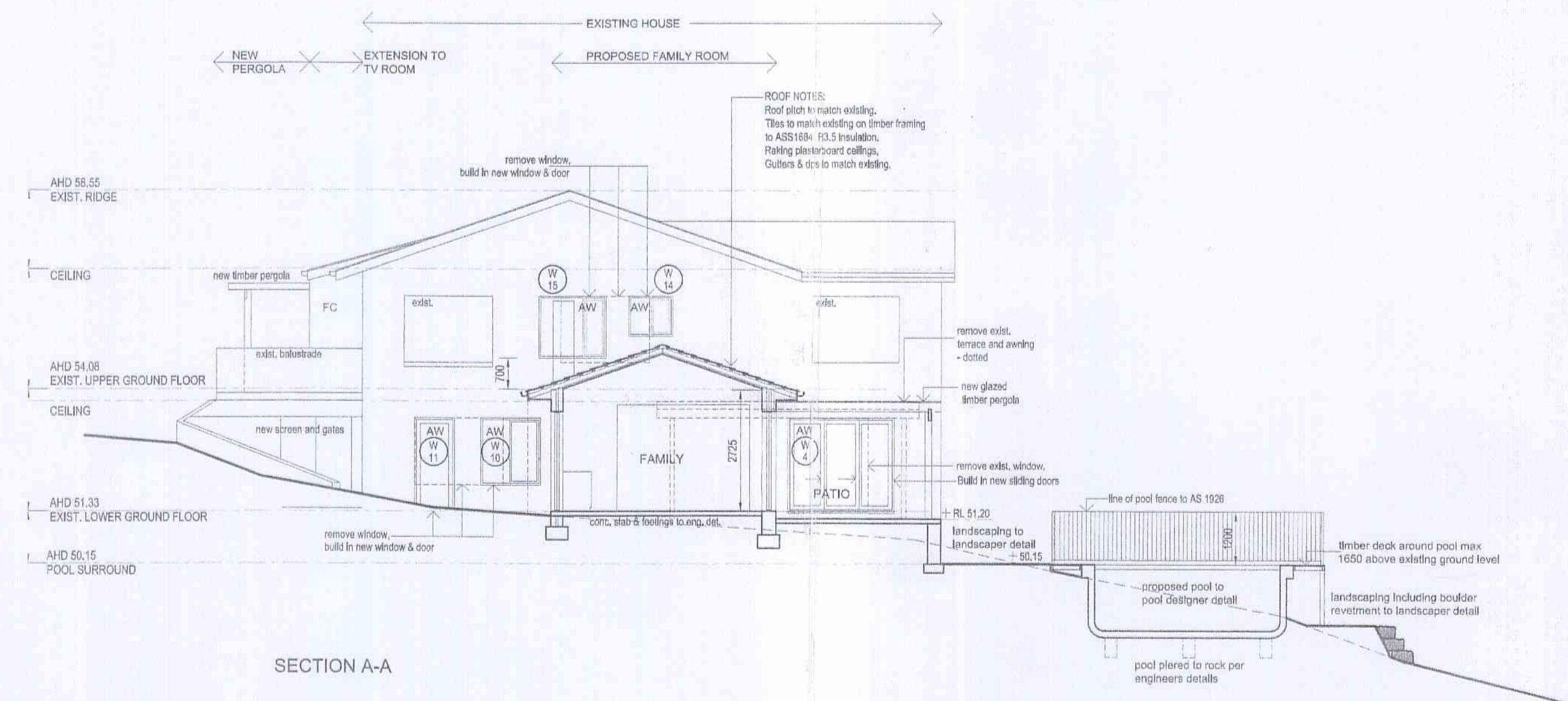
PO Box 389 Mona Vale NSW 1660

Telephone: 9979 6733 Facsimile: 9979 6926

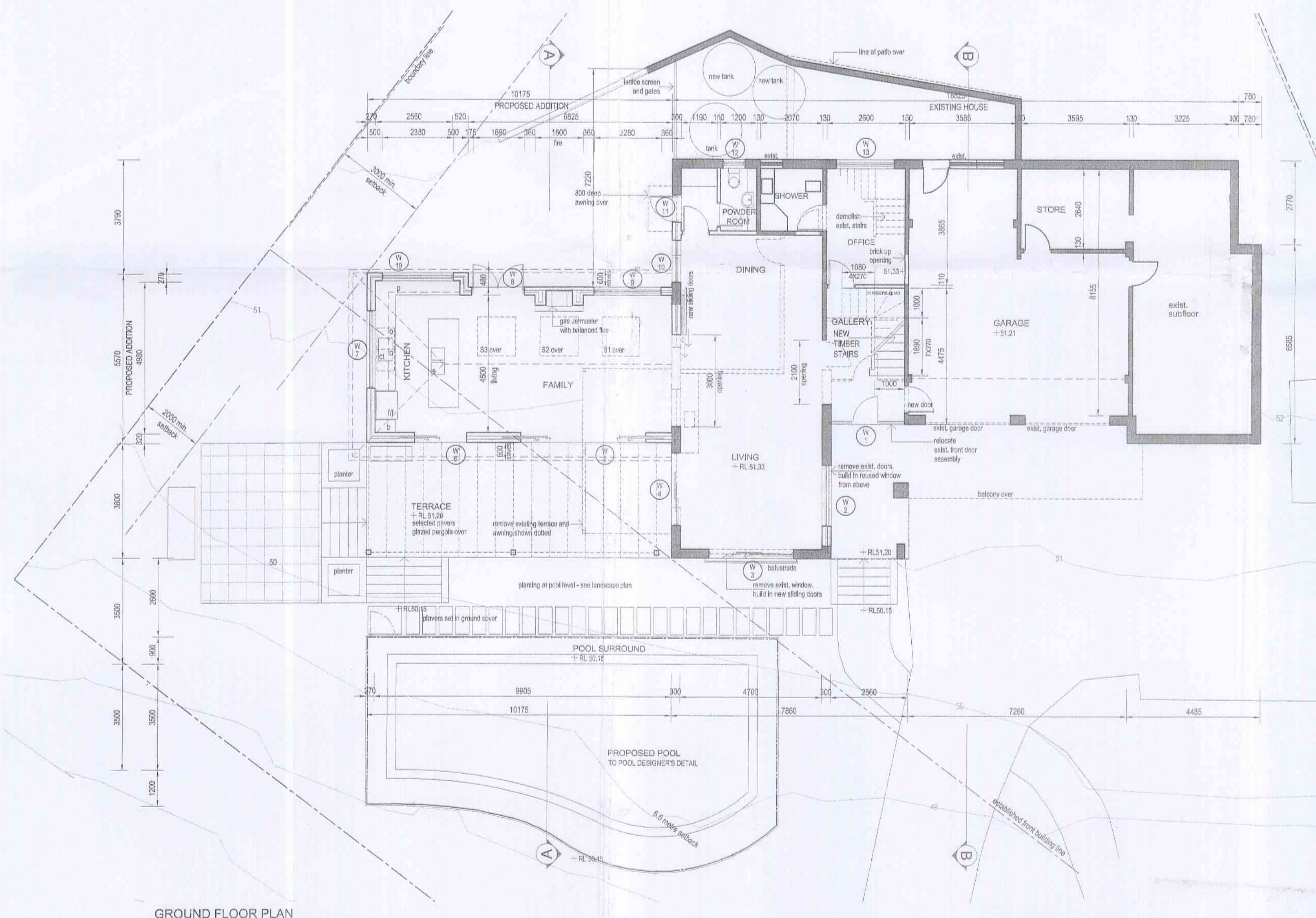




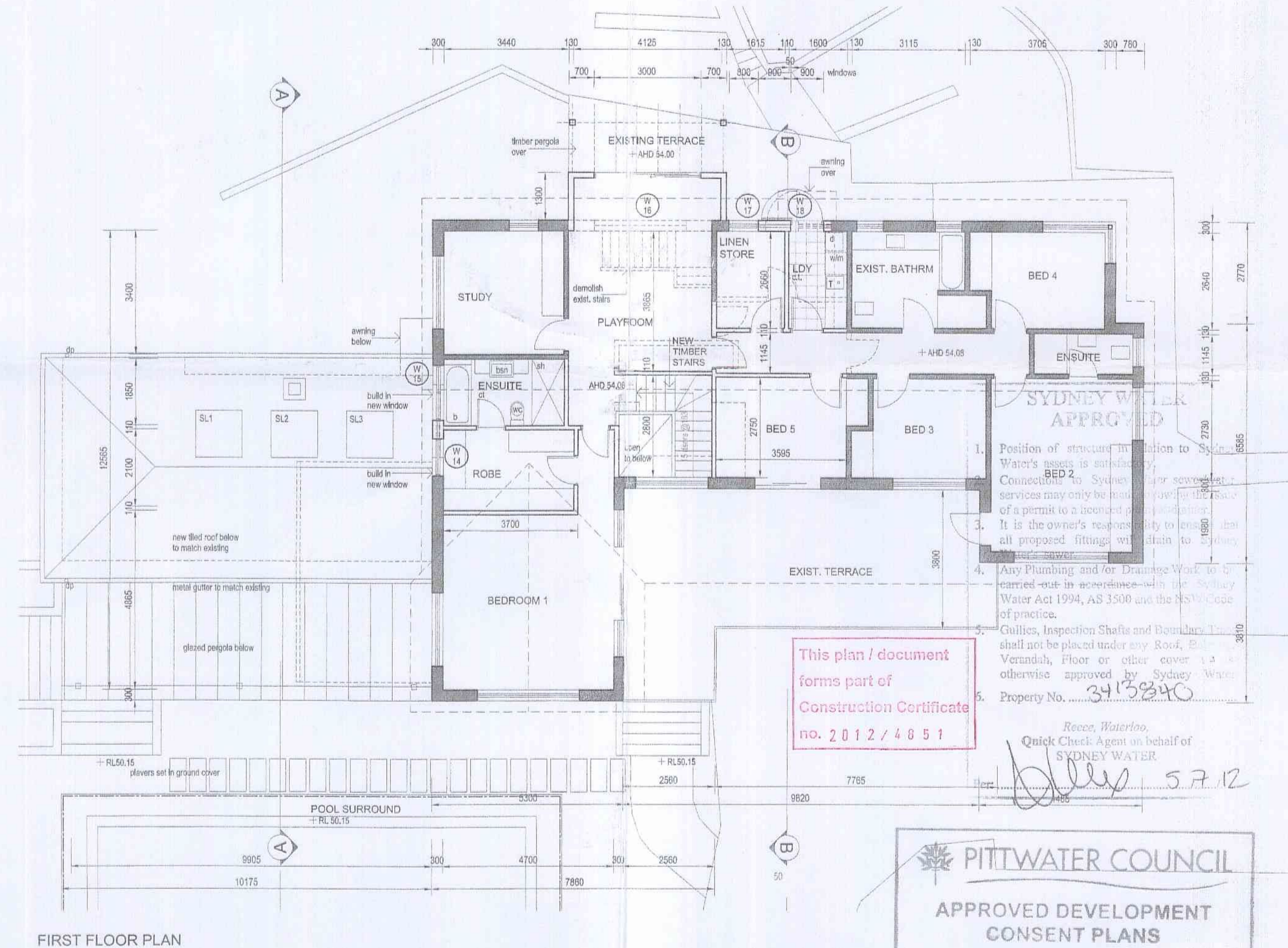
SECTION B-B



SECTION A-A



GROUND FLOOR PLAN



FIRST FLOOR PLAN

LEGEND:

- ALL MATERIALS, FINISHES AND METHODS OF CONSTRUCTION TO MATCH EXISTING UNLESS OTHERWISE STATED.
- S SMOKE DETECTOR TO AS3786
  - AW ALUMINIUM FRAMED GLAZING
  - C CARPET
  - CONC CONCRETE
  - CR CEMENT RENDER AND PAINT
  - CT CERAMIC TILES
  - FG FIXED GLAZING
  - G GLASS
  - GL GLASS LOUVRES
  - PB PLASTERBOARD
  - RT ROOF TILES
  - TS TIMBER FLOOR BOARDS
  - B BATH
  - BSN BASIN
  - CTP COOKTOP
  - CP COOKWARE
  - DW DISH WASHER - UNDER BENCH
  - F REFRIGERATOR
  - LDY LAUNDRY
  - R WARDROBE
  - S SINK
  - SL SKYLIGHT
  - ST STOVE
  - T LAUNDRY TUB
  - WC WATER CLOSET
  - WM WASHING MACHINE

- EXISTING WALLS TO BE RETAINED
- SHOWN SHADED
- EXISTING WALLS
- TO BE DEMOLISHED
- NEW TIMBER WALLS
- WITH ISSUANCE OF APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.

This plan / document forms part of Construction Certificate no. 2012/4051

**PITTSBURGH COUNCIL**  
APPROVED DEVELOPMENT CONSENT PLANS  
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

DEVELOPMENT APPLICATION

**Stening Architects**  
122 Bellevue St, Sydney NSW 2010 Australia  
ph: +61 2 92813820 fax: +61 2 9281 2515

61 Dress Circle Road, Avalo  
Floor Plans and Sections  
DATE: 10 APR 2012  
SCALE: 1:100 @ A1  
1:200 @ A3  
DRAWING NO: DA 2

*Sydney Water Approval*