

**38 UNDERCLIFF ROAD
FRESHWATER NSW 2030**

PROJECT

Proposed demolition of existing single dwelling and construction of new Class 1 dual-occupancy [attached] dwelling with garaging, pool and associated landscape works.

| DRAWING LIST | | | | | |
|----------------------------|--------|------------------------------------|------|-------|-------|
| | NUMBER | TITLE | REV. | PAPER | SCALE |
| DEVELOPMENT APPLICATION | | | | | |
| | DA0000 | COVERPAGE | DA02 | A3 | NTS |
| | DA0001 | BASIX COMMITMENTS | DA02 | A3 | NTS |
| ANALYSIS & SITE PLANS | | | | | |
| | DA1001 | SITE ANALYSIS PLAN | DA02 | A3 | 1:200 |
| | DA1002 | SITE, WASTE MANAGEMENT & ROOF PLAN | DA02 | A3 | 1:200 |
| | DA1003 | DEMOLITION PLAN | DA02 | A3 | 1:200 |
| | DA1004 | DRAFT STRATA SUBDIVISION PLAN | DA02 | A3 | NTS |
| GENERAL ARRANGEMENT | | | | | |
| | DA2000 | GARAGE PLAN | DA02 | A3 | 1:100 |
| | DA2001 | GROUND FLOOR PLAN | DA02 | A3 | 1:100 |
| | DA2002 | LEVEL 1 FLOOR PLAN | DA02 | A3 | 1:100 |
| | DA2003 | LEVEL 2 FLOOR PLAN | DA02 | A3 | 1:100 |
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| | DA3001 | SOUTH ELEVATION | DA02 | A3 | 1:100 |
| | DA3002 | WEST ELEVATION | DA02 | A3 | 1:100 |
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| SECTIONS - SHORT | | | | | |
| | DA4000 | CROSS SECTION 1 | DA02 | A3 | 1:100 |
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| | DA4002 | CROSS SECTION 3 | DA02 | A3 | 1:100 |
| SECTIONS - LONG | | | | | |
| | DA4010 | LONG SECTION A | DA02 | A3 | 1:100 |
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| COUNCIL CONTROLS | | | | | |
| | DA9100 | LANDSCAPED AREA CALCULATIONS | DA02 | A3 | 1:200 |
| | DA9101 | EXCAVATION / OR FILL CALCULATIONS | DA02 | A3 | 1:200 |
| OTHER SUPPORTING DOCUMENTS | | | | | |
| | DA9300 | ENVELOPE DIAGRAMS | DA02 | A3 | NTS |
| | DA9301 | MAXIMUM BUILDING HEIGHT DIAGRAMS | DA02 | A3 | NTS |
| | DA9302 | ARTISTIC IMPRESSION | DA02 | A3 | NTS |



DEVELOPMENT APPLICATION

[illegible]

Multi Dwelling

Certificate number: 1768409M_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meanings given by the document entitled 'BASIX Definitions' dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 18 December 2024
To be valid, this certificate must be submitted with a development application or lodged with a supporting development certificate application within 3 months of the date of issue.



| Project summary | | | |
|---|-------------------------------------|-------------|--|
| Project name | 38 Undercliff Rd, Freshwater NSW_02 | | |
| Street address | 38 UNDERCLIFF ROAD, FRESHWATER 2096 | | |
| Local Government Area | NORTHERN BEACHES | | |
| Plan type and plan number | Deposited Plan DP5118 | | |
| Lot no. | 22 | | |
| Section no. | - | | |
| No. of residential flat buildings | 0 | | |
| Residential flat buildings no. of dwellings | 0 | | |
| Multi-dwelling housing no. of dwellings | 2 | | |
| No. of single dwelling houses | 0 | | |
| Project score | | | |
| Water | ✓ 64 | Target 40 | |
| Thermal Performance | ✓ Pass | Target Pass | |
| Energy | ✓ 78 | Target 72 | |
| Materials | ✓ 100 | Target n/a | |

If any changes to this BASIX certificate are required, please contact IGS with following details:
- Project reference: 38 Undercliff Rd, Freshwater NSW
Contact number: 0430 108 801

Certificate Prepared by

Name / Company Name: IGS
ABN (if applicable): 68163019029

Schedule of BASIX commitments

1. Commitments for multi-dwelling housing

- (a) Dwellings
(i) Water
(ii) Thermal Performance and Materials

2. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (a) Buildings 'Other'
(i) Materials
(b) Common areas and central systems/facilities
(i) Water
(ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or compying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

| | | Show on DA plans | Show on CC/CCDC plans & specs | Certifier check |
|--|--|------------------|-------------------------------|-----------------|
| (i) Water | | | | |
| (a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below. | | | | |
| (b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table). | | ✓ | ✓ | ✓ |
| (c) If a rating is specified in the table below for a future or appliance to be installed in the dwelling, the applicant must ensure that each such future and appliance meets the rating specified for it. | | | ✓ | ✓ |
| (d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below. | | | ✓ | ✓ |
| (e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below, and (ab) a separate diversion tank (or tanks) connected to the hot water diversion system of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. | | | ✓ | ✓ |
| (f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below. | | ✓ | ✓ | ✓ |
| (g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both). | | | ✓ | ✓ |
| (h) The pool or spa must be located as specified in the table. | | ✓ | | |
| (i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (including any area which supplies any other alternative water supply system), and is divert overflow as specified. Each system must be connected as specified. | | ✓ | ✓ | ✓ |

| | | Fixtures | | | | Appliances | | | | Individual pool | | | | Individual spa | | | |
|---------------------|--------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|-----------------|-------------|---------------------|-----------|----------------|---|---|---|
| Dwelling no. | All shower-heads | All toilet-flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded | | | |
| G001 | 3 star (> 7.5 bar <= 11 L/min) | 4 star | 5 star | 5 star | - | - | - | 8.3 | no | outdoors | no | - | - | - | - | - | - |
| All other dwellings | 3 star (> 7.5 bar <= 11 L/min) | 4 star | 5 star | 5 star | - | - | - | 8.2 | no | outdoors | no | - | - | - | - | - | - |

| | | Alternative water source | | | | Alternative water source | | | | Alternative water source | | | | Alternative water source | | | |
|---------------|----------------------------------|----------------------------|--|------------------------|-----------------------|--------------------------|-------------|------------|--|--------------------------|-----------------------|--------------------|-------------|--------------------------|--|------------------------|-----------------------|
| Dwelling no. | Alternative water supply systems | Size | Configuration | Landscaping connection | Toilet connection (b) | Laundry connection | Pool top-up | Spa top-up | | Landscaping connection | Toilet connection (b) | Laundry connection | Pool top-up | Spa top-up | | Landscaping connection | Toilet connection (b) |
| All dwellings | Individual water tank (No. 1) | Tank size (m³) 2500 litres | To collect run-off from at least 115 square metres of roof area, 10 square metres of garden and lawn area, and 10 square metres of planter box area. | yes | - | yes | yes | - | | yes | - | yes | yes | - | | yes | - |

(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.

(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system in the dwelling, so that the dwelling's hot water is supplied by that central system.

(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.

(d) The applicant must install the cooling and heating systems specified for the dwelling under the "Living area" and "Bedroom area" headings of the "Cooling" and "Heating" columns in the table below, insofar as at least 1 sub-photon area of the dwelling. If no cooling or heating system is specified in the table for "Living area" or "Bedroom area", then no systems must be installed in any such areas. If the term "zone" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.

| (c) Energy | | Show on DA plans | Show on CC/DC plans & specs | Certifier check | | | |
|--|------------------------------|--|-------------------------------------|--|----------------------------|--|----------------------|
| (a) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting. | | | ✓ | ✓ | | | |
| (b) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight. | | | ✓ | ✓ | | | |
| (c) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool), if specified, the applicant must install a timer to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa), if specified, the applicant must install a timer to control the spa's pump. | | | ✓ | ✓ | | | |
| (d) The applicant must install the dwelling: (aa) the kitchen cook top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table. | | | ✓ | ✓ | | | |
| (e) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated". | | | ✓ | ✓ | | | |
| (f) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system. | | ✓ | ✓ | ✓ | | | |
| Hot water | | Bathroom ventilation system | | Kitchen ventilation system | Laundry ventilation system | | |
| Dwelling no. | Hot water system | Each bathroom | Operation control | Each kitchen | Operation control | Each laundry | Operation control |
| All dwellings | gas instantaneous - 1.5 star | individual fan, ducted to lapids or roof | interlocked to light with timer off | individual fan, ducted to lapids or roof | manual switch on/off | individual fan, ducted to lapids or roof | interlocked to light |

DA LEGEND

LEGEND
- - TO BE DEMOLISHED

AL ALUMINIUM
B BASIN
BWK BRICK WORK
CKT COOK TOP
CT CERAMIC TILE
D DRYER
DB DECK BOARD
DP DOWN PIPE
FC FIBRE CEMENT
GM GAS MAIN
KS KITCHEN SINK
LB LETTER BOX
LD LINEAR DRAIN
MD METAL DECK
OF OVERFLOW
PC POWDER COATED
PV PHOTO VOLTAGE
R RENDERS + PAINT
RW RAINWATER HEAD
ST STONE
T TIMBER
WM WASH MACHINE

MATERIAL CUT
- EXISTING BUILDING
- CONCRETE
- MASONRY
- FRAMING
- GROUND
- GRAVEL / LOOSE FILL
- INSULATION
- STONE

MATERIAL SURFACE
- CONCRETE
- BLOCK / BRICK
- RENDER
- STONE / PAVING
- TIMBER
- GLAZING
- SOFT LANDSCAPING
- GRAVEL / PEBBLES

BASIX COMMITMENTS
[ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768409M AND STAMPED PLANS]

ARCHITECT:

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www.mhndu.com
4th/5th Design Urban Pty Ltd. ABN 94 003 717 682
Nominated Architect
Bridn Meyerson
NSW Registration Number 4907

DRAWING TITLE:

BASIX COMMITMENTS

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

16/12/2024

SCALE:

NTS @A3

DWG NUMBER:

DA0001

REVISION:

DA02
CHECKED:
AEH

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

| Dwelling no. | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) | Residential flat buildings (no. of dwellings) |
|--------------|---|---|---|---|---|---|---|---|---|
| G001 | 200 | 0 | 118.4 | 0 | 0 | 0 | 0 | 0 | 0 |

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of the development (non-building specific)

| Common area | Floor area (m²) | Common area | Floor area (m²) |
|--------------------------|-----------------|-----------------------|-----------------|
| Undercover car park area | 105 | Plant or service room | 60 |

| REV | INT. | DATE | REVISION DETAILS |
|------|------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
- DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
- MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.
- CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.
- CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.
- MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.
- PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.

| | | Cooling | | Heating | | Natural lighting | |
|---------------|--|--|--|--|-----------------------------|------------------|--|
| Dwelling no. | Living areas | Bedroom areas | Living areas | Bedroom areas | No. of bathrooms or toilets | Main kitchen | |
| All dwellings | 3-phase air conditioning / EER 3.0 - 3.5 | 3-phase air conditioning / EER 3.0 - 3.5 | 3-phase air conditioning / EER 3.0 - 3.5 | 3-phase air conditioning / EER 3.0 - 3.5 | 0 | | |

| | | Individual pool | | Individual spa | | Appliances other efficiency measures | |
|---------------|---------------------|-----------------|-------|--------------------|-------|--------------------------------------|--|
| Dwelling no. | Pool heating system | Pool Pump | Timer | Spa heating system | Timer | Kitchen cooktop/oven | Dishwasher, clothes dryer, clothes drying line |
| All dwellings | electric heat pump | not specified | yes | - | - | induction cooktop & electric oven | - |

| | | Alternative energy | | Orientation inputs | |
|---------------|--|-------------------------------------|--------------------|--------------------|--|
| Dwelling no. | Photovoltaic system (min rated electrical output in peak kW) | Photovoltaic collector installation | Orientation inputs | | |
| All dwellings | between <0° to <=10° degree to the horizontal | 2.3 | NE | | |

(ii) Thermal Performance and Materials

(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.

(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.

(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

| | | Show on DA plans | Show on CC/CCDC plans & specs | Certifier check |
|---|--|------------------|-------------------------------|-----------------|
| (ii) Thermal Performance and Materials | | | | |
| (f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | | ✓ | ✓ |
| (g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab. | | ✓ | ✓ | ✓ |
| (h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below. | | ✓ | ✓ | ✓ |
| (i) The applicant must show on the plans accompanying The Development application for The proposed development, The location of ceiling fans set out in The Assessor Certificate. | | ✓ | ✓ | ✓ |
| (j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | | | ✓ | ✓ |

| | | Thermal loads | | Thermal loads | | Thermal loads | |
|---------------|--|--|--|---------------|--|---------------|--|
| Dwelling no. | Area adjusted heating load (in MJ/m²/yr) | Area adjusted cooling load (in MJ/m²/yr) | Area adjusted total load (in MJ/m²/yr) | | | | |
| All dwellings | 17 | 12 | 29.000 | | | | |

| | | Construction of floors and walls | | Construction of floors and walls | | Construction of floors and walls | |
|---------------|------------------------------|---|---|-----------------------------------|--|----------------------------------|--|
| Dwelling no. | Concrete slab on ground (m²) | Suspended floor with open subfloor (m²) | Suspended floor with enclosed subfloor (m²) | Suspended floor above garage (m²) | Primarily cement earth or mudbrick walls | | |
| All dwellings | 107 | - | 24 | 60 | | | |

| | | Concrete slab on ground | | Suspended floor above enclosed subfloor | | Suspended floor above open subfloor | |
|---------------|-----------|-------------------------|----------------------|---|-----------|-------------------------------------|----------------------|
| Dwelling no. | Area (m²) | Insulation | Low emissions option | Dematerialisation type | Area (m²) | Insulation | Low emissions option |
| All dwellings | 107 | | | conventional slab | 24 | | |

| | | Floor types | | Floor types | | Floor types | |
|---------------|---|-------------|------------|---|-----------|-------------|----------------------|
| Dwelling no. | Construction type | Area (m²) | Insulation | Construction type | Area (m²) | Insulation | Low emissions option |
| All dwellings | concrete, suspended, frame, light steel frame | 200 | - | concrete, suspended, frame, light steel frame | 50 | - | - |

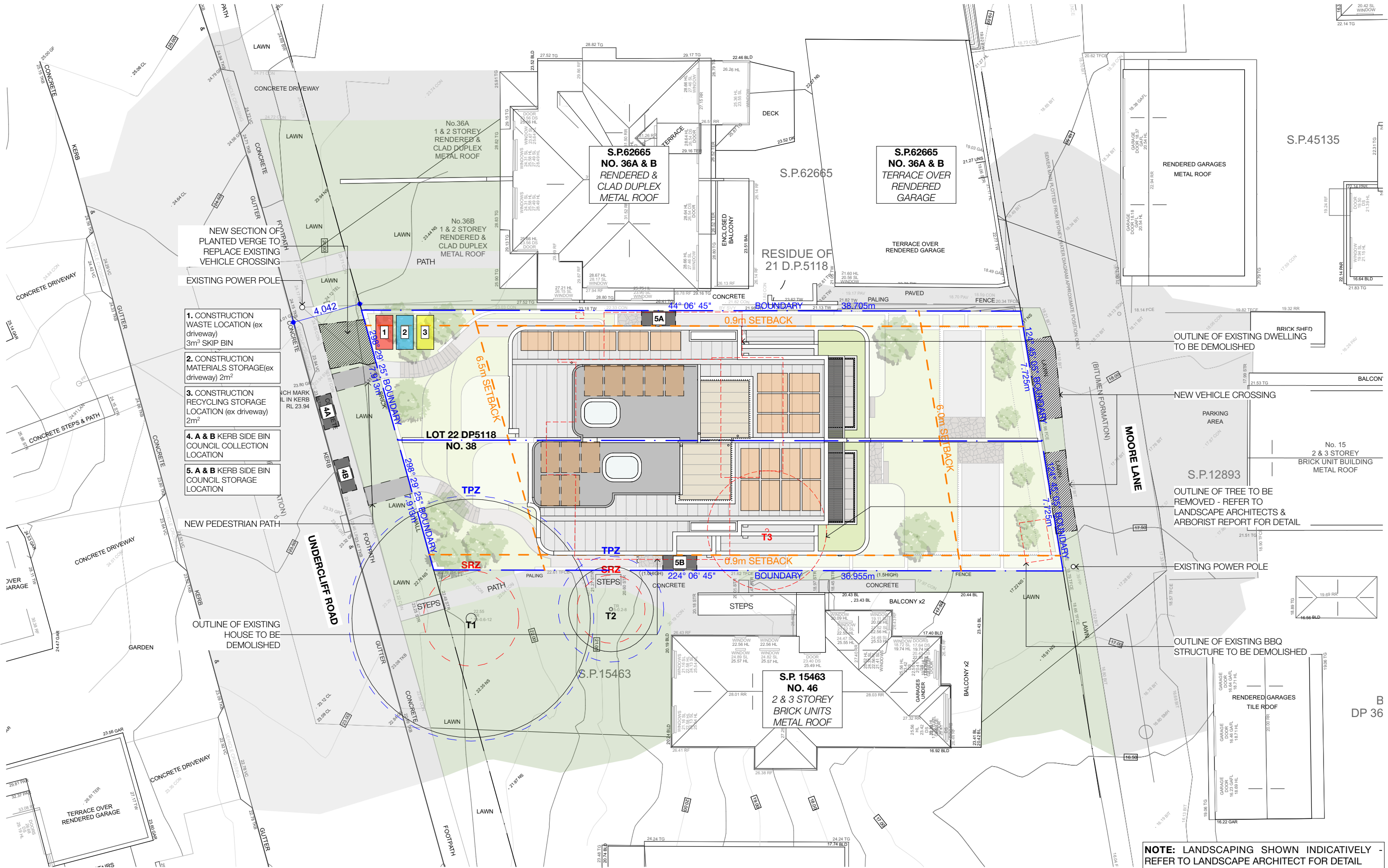
| | | External walls | | External walls | | External walls | |
|---------------|--|----------------|------------|----------------------|---|----------------|------------|
| Dwelling no. | Wall type | Area (m²) | Insulation | Low emissions option | Wall type | Area (m²) | Insulation |
| All dwellings | brick veneer, frame, light steel frame | 500 | - | none | bracket (metal cladd), frame, light steel frame | 250 | - |

| | | External walls | | External walls | | External walls | |
|---------------|-----------|----------------|------------|----------------------|-----------|----------------|------------|
| Dwelling no. | Wall type | Area (m²) | Insulation | Low emissions option | Wall type | Area (m²) | Insulation |
| All dwellings | - | - | - | - | - | - | - |

| | | Internal walls | | Internal walls | | Internal walls | |
|---------------|--|----------------|------------|--|-----------|----------------|----------------------|
| Dwelling no. | Wall type | Area (m²) | Insulation | Wall type | Area (m²) | Insulation | Low emissions option |
| All dwellings | plasterboard, frame, light steel frame | 60 | - | plasterboard, frame, light steel frame | 800 | - | - |

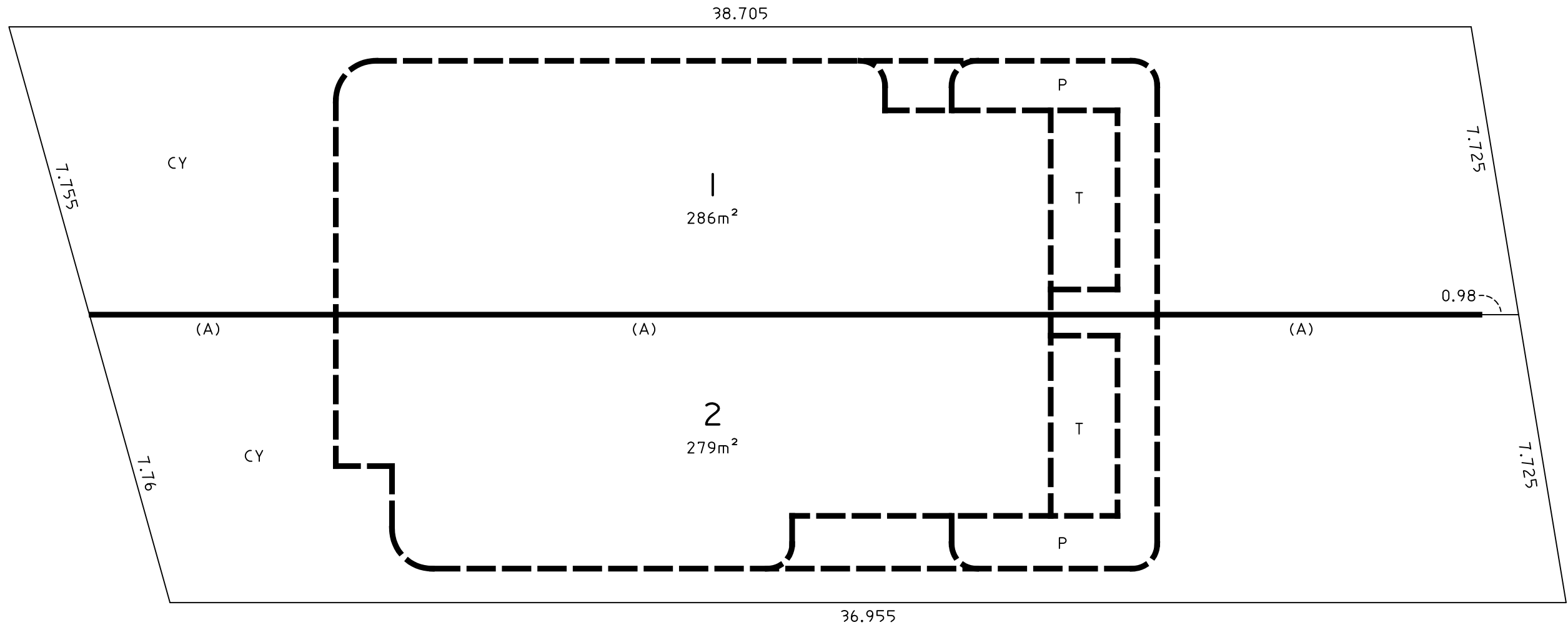
| | | Ceiling and roof | | Ceiling and roof | | Ceiling and roof | |
|---------------|-------------------|------------------|------------|-------------------|-----------|------------------|-------------------|
| Dwelling no. | Construction type | Area (m²) | Insulation | Construction type | Area (m²) | Insulation | Construction type |
| All dwellings | - | - | - | - | - | - | - |

| | | Glazing type | | Glazing type | |
|--|--|--------------|--|--------------|--|
|--|--|--------------|--|--------------|--|



| REV | INT. | DATE | REVISION DETAILS | GENERAL NOTES | | DA LEGEND | | MATERIAL CUT | | MATERIAL SURFACE | | BASIX COMMITMENTS | | ARCHITECT: | | DRAWING TITLE: | | PROJECT NUMBER: | | DWG NUMBER: | |
|------|------|------------|-------------------------|---|--|--|--|---|--|--|--|--|--|--|--|---|--|---|--|--|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE. | | LEGEND - - - TO BE DEMOLISHED AL ALUMINIUM B BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DP DOWN PIPE FC FIBRE CEMENT ST GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW PC POWDER COATED PV PHOTO VOLTAC R RENDER + PAINT RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE | | EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE | | CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES | | BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS) | | ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com MHNDU Design Urban Pty Ltd. ABRN 94 003 717 682 NSW Registration Number 4907 | | DRAWING TITLE: SITE, WASTE MANAGEMENT & ROOF PLAN PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118 | | PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:200 @ A3 | | DWG NUMBER: DA1002 REVISION: DA02 DRAWN BY: JD CHECKED: AEH | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | | | | | | | | | | | | | | | | |

NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL



CY - COURTYARD
P - PLANTER
T - TERRACE

THE WHOLE OF THE STRUCTURE OF THE BUILDING STANDING ON EACH LOT, INCLUDING WALLS, FLOORS, CEILINGS, AND ROOFS, FORMS PART OF THE LOT AND IS NOT COMMON PROPERTY.

WALLS SHOWN THUS FORM PART OF THEIR SUBJECT LOT AND ARE NOT COMMON PROPERTY.

(A) - THE COMMON WALL DENOTED (A) IS COMMON PROPERTY.

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

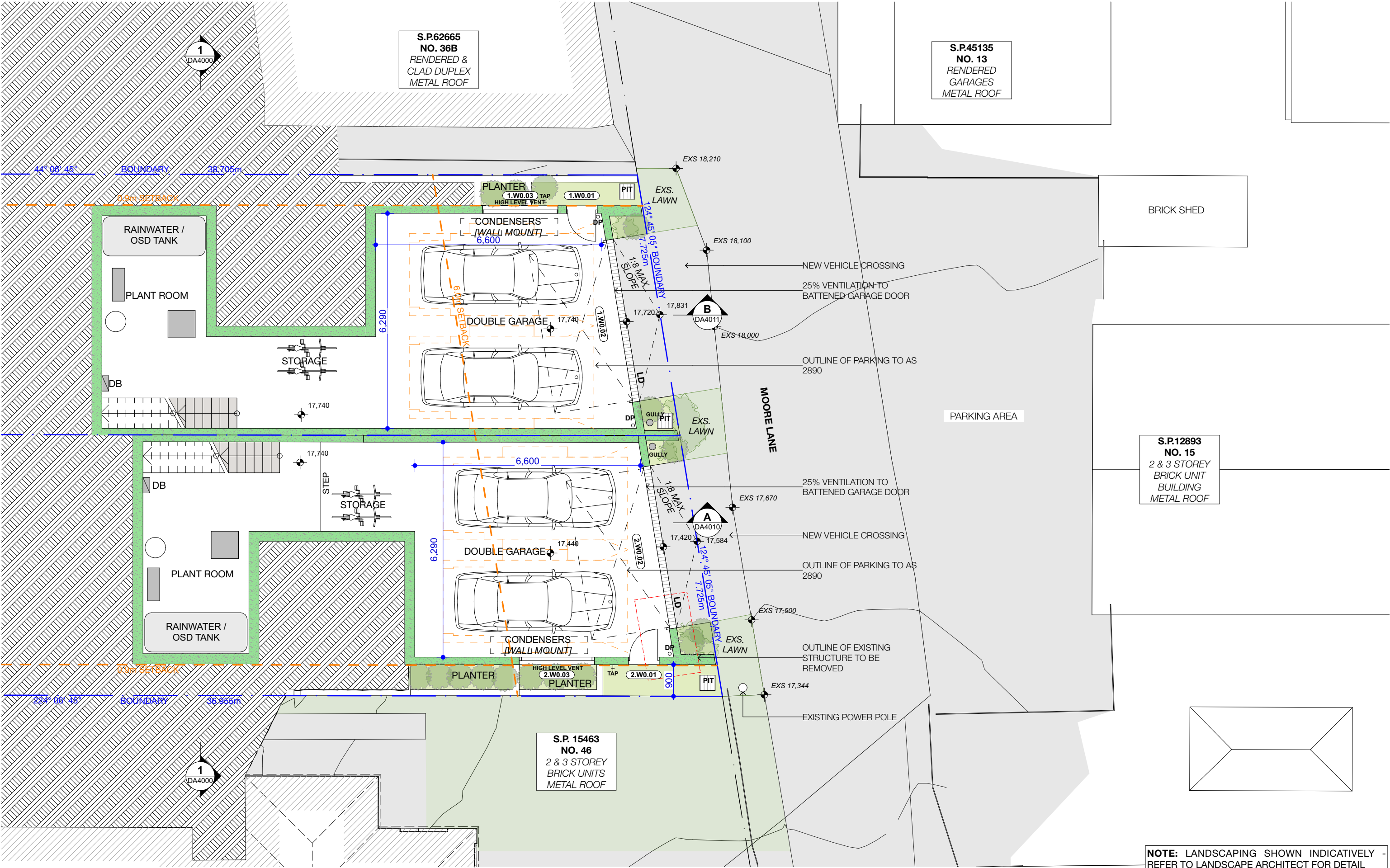
THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

LOTS 1 AND 2 ARE LIMITED IN STRATUM FROM 10 METRES BELOW TO 15 METRES ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE CONCRETE GARAGE FLOOR SLAB.

NOTE: DRAFT STRATA PLAN SHOWN TAKEN FROM DRAFT STRATA PLAN PREPARED BY CMS SURVEYORS
- REFER TO SEPARATE DOCUMENT SUBMITTED AS PART OF DA APPLICATION FOR FURTHER INFORMATION

| REV | INIT. | DATE | REVISION DETAILS | GENERAL NOTES | DA LEGEND | MATERIAL CUT | MATERIAL SURFACE | BASIX COMMITMENTS | ARCHITECT: | DRAWING TITLE: | PROJECT NUMBER: | DWG NUMBER: |
|------|-------|------------|-------------------------|---|--|--|---|--|---|---|--|---|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | <div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED</div> <div>7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div> | <div>LEGEND</div> <div><div>---</div> TO BE DEMOLISHED</div> | <div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>INSULATION</div> <div>STONE</div> | <div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div> | <div>(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)</div> | <div>ARCHITECT:</div> <div>MHNDU</div> <div>35 RICHARDS LANE</div> <div>SURRY HILLS SYDNEY NSW 2010</div> <div>T +61 2 9101 1111</div> <div>F +61 2 9101 1100</div> <div>www.mhndu.com</div> <div><div>Nominated Architect</div><div>Bridn Meyerson</div><div>NSW Registration Number 4907</div></div> <div><div>With Gordon Urban Pty Ltd.</div><div>ABN 94 003 717 692</div><div>NSW Registration Number 4907</div></div> | <div>DRAFT STRATA SUBDIVISION PLAN</div> <div>PROJECT ADDRESS:</div> <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div> | <div>24-091</div> <div>ISSUE DATE:</div> <div>16/12/2024</div> <div>SCALE:</div> <div>NTS @ A3</div> | <div>DA1004</div> <div>REVISION:</div> <div>DA02</div> <div>CHECKED:</div> <div>AEH</div> |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | | | | | | | |



| REV | INIT. | DATE | REVISION DETAILS |
|------|-------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |
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GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
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- PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.

| DA LEGEND | |
|------------------------|--------------------|
| LEGEND | |
| - - - TO BE DEMOLISHED | |
| AL ALUMINIUM | LB LETTER BOX |
| B BASIN | LD LINEAR DRAIN |
| BWK BRICK WORK | MD METAL DECK |
| CKT COOK TOP | OF OVERFLOW |
| CT CERAMIC TILE | PVC POWDER COATED |
| D DRYER | PV PHOTO VOLTAGE |
| DB ELEC BOARD | RP RENDER + PAINT |
| DP DOWN PIPE | RWH RAINWATER HEAD |
| FC FIBRE CEMENT | ST STONE |
| GM GAS MAIN | T TIMBER |
| KS KITCHEN SINK | WM WASH MACHINE |

| MATERIAL CUT | |
|---------------------|---------------------|
| EXISTING BUILDING | |
| CONCRETE | CONCRETE |
| MASONRY | MASONRY |
| FRAMING | FRAMING |
| GROUND | GROUND |
| GRAVEL / LOOSE FILL | GRAVEL / LOOSE FILL |
| INSULATION | INSULATION |
| STONE | STONE |

| MATERIAL SURFACE | |
|------------------|------------------|
| CONCRETE | |
| BLOCK / BRICK | BLOCK / BRICK |
| RENDER | RENDER |
| STONE / PAVING | STONE / PAVING |
| TIMBER | TIMBER |
| GLAZING | GLAZING |
| SOFT LANDSCAPING | SOFT LANDSCAPING |
| GRAVEL / PEBBLES | GRAVEL / PEBBLES |

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
Nominated Architect
Bridn Meyererson
NSW Registration Number 4907

DRAWING TITLE:
GARAGE PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
16/12/2024

SCALE:
1:100 @ A3

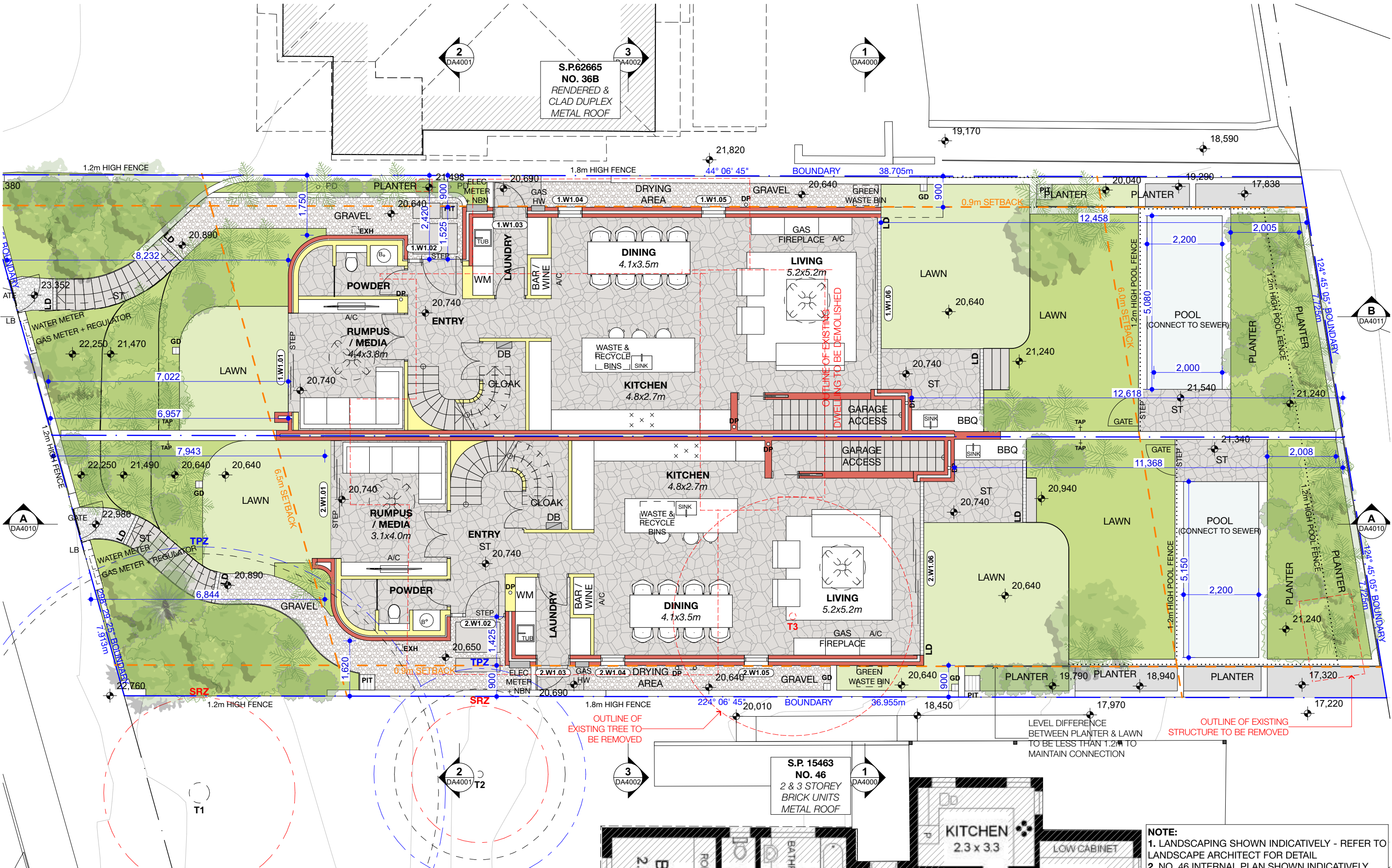
DRAWN BY:
JD

CHECKED:
AEH

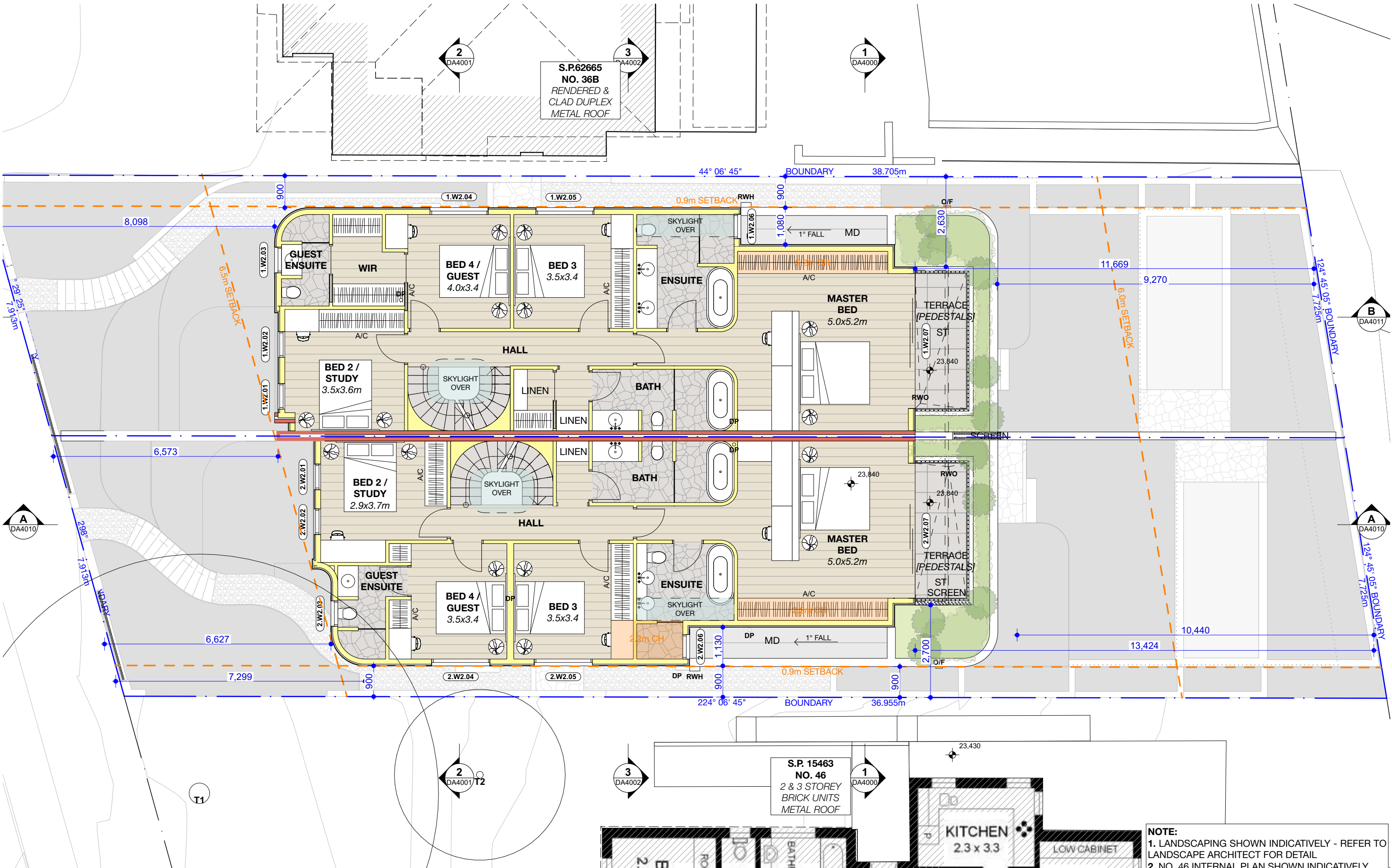
DWG NUMBER:
DA2000

REVISION:
DA02

NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL



| REV | INT. | DATE | REVISION DETAILS | GENERAL NOTES | DA LEGEND | MATERIAL CUT | MATERIAL SURFACE | BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 17684065M AND STAMPED PLANS) | ARCHITECT: <div>MHNDU</div> <div>35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div><div>NSW Registration Number 4907</div><div>Nominated Architect Bridin Meyerson</div><div>AEH 94 003 717 602</div><div>AEH Design Union Pty Ltd.</div></div> | DRAWING TITLE: <div>GROUND FLOOR PLAN</div> <div>PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118</div> | PROJECT NUMBER: <div>24-091</div> <div>ISSUE DATE: 16/12/2024</div> <div>SCALE: 1:100 @ A3</div> | DWG NUMBER: <div>DA2001</div> <div>REVISION: DA02</div> <div>CHECKED: AEH</div> |
|------|------|------------|-------------------------|--|---|--|--|---|--|---|---|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | | | | | | | | | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | | | | | | | |
| | | | | <div>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</div> <div>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</div> <div>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</div> <div>4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</div> <div>5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</div> <div>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.</div> <div>7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</div> <div>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</div> | <div>LEGEND</div> <div>--- TO BE DEMOLISHED</div> <div>AL ALUMINIUM</div> <div>BA BASIN</div> <div>BR BRICK WORK</div> <div>CK COOK TOP</div> <div>CT CERAMIC TILE</div> <div>DB ELEC BOARD</div> <div>DP DOWN PIPE</div> <div>FC FIBRE CEMENT</div> <div>GM GAS MAIN</div> <div>KS KITCHEN SINK</div> <div>LB LETTER BOX</div> <div>LD LINEAR DRAIN</div> <div>MD METAL DECK</div> <div>MO METAL ROOF</div> <div>OP OVERFLOW</div> <div>PV POWDER COATED</div> <div>RP RENDER + PAINT</div> <div>RWH RAINWATER HEAD</div> <div>ST STONE</div> <div>TM TIMBER</div> <div>WM WASH MACHINE</div> <div>EXISTING BUILDING</div> <div>CONCRETE</div> <div>MASONRY</div> <div>FRAMING</div> <div>GROUND</div> <div>GRAVEL / LOOSE FILL</div> <div>INSULATION</div> <div>STONE</div> <div>CONCRETE</div> <div>BLOCK / BRICK</div> <div>RENDER</div> <div>STONE / PAVING</div> <div>TIMBER</div> <div>GLAZING</div> <div>SOFT LANDSCAPING</div> <div>GRAVEL / PEBBLES</div> | <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div> | <div>PROJECT NUMBER:</div> <div>24-091</div> <div>ISSUE DATE:</div> <div>16/12/2024</div> <div>SCALE:</div> <div>1:100 @ A3</div> <div>DWG NUMBER:</div> <div>DA2001</div> <div>REVISION:</div> <div>DA02</div> <div>CHECKED:</div> <div>AEH</div> | | | | | |



| REV | INT. | DATE | REVISION DETAILS |
|------|------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |

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DA LEGEND

LEGEND

- TO BE DEMOLISHED
- AL ALUMINIUM
- B BASIN
- BWK BRICK WORK
- CKT COOK TOP
- CT CERAMIC TILE
- D DRYER
- DP DOWN PIPE
- FC FIBRE CEMENT
- GM GAS MAIN
- KS KITCHEN SINK
- LB LETTER BOX
- LD LINEAR DRAIN
- MD METAL DECK
- OF OVERFLOW
- PVC POWDER COATED
- PV PHOTO VOLTAGE
- RP RENDER + PAINT
- RWH RAINWATER HEAD
- ST STONE
- T TIMBER
- WM WASH MACHINE

MATERIAL CUT

- EXISTING BUILDING
- CONCRETE
- MASONRY
- FRAMING
- GROUND
- GRAVEL / LOOSE FILL
- INSULATION
- STONE

MATERIAL SURFACE

- CONCRETE
- BLOCK / BRICK
- RENDER
- STONE / PAVING
- TIMBER
- GLAZING
- SOFT LANDSCAPING
- GRAVEL / PEBBLES

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

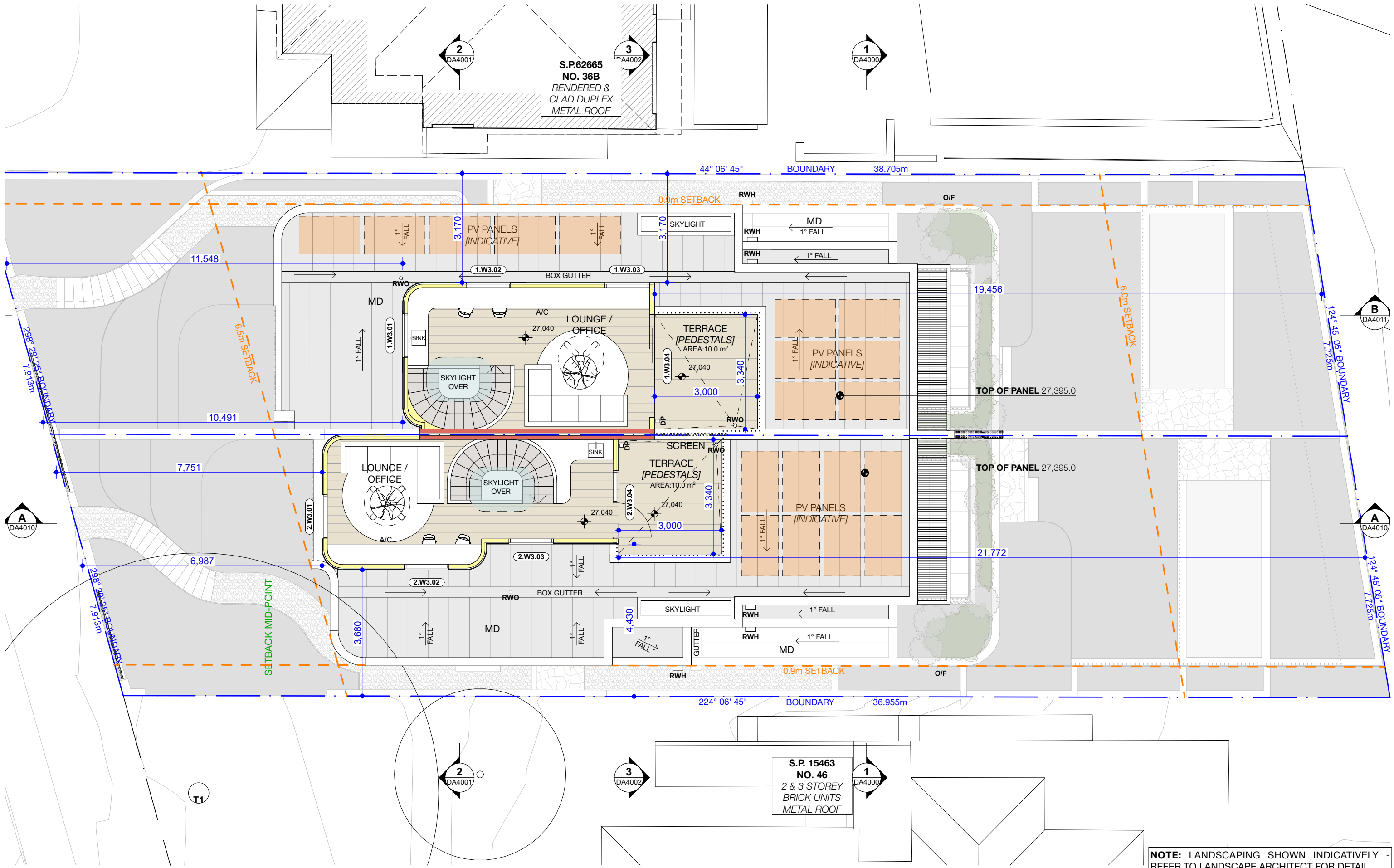
ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
A/NZ Design Union Pty Ltd. A/NZ 003 717 682
NSW Registration Number 4907

DRAWING TITLE:
LEVEL 1 FLOOR PLAN
PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096
LOT 22 DP 5118

NOTE:
1. LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL
2. NO. 46 INTERNAL PLAN SHOWN INDICATIVELY

| | |
|----------------------------------|------------------------------|
| PROJECT NUMBER: 24-091 | DWG NUMBER: DA2002 |
| ISSUE DATE: 16/12/2024 | REVISION: DA02 |
| SCALE: 1:100 @ A3 | DRAWN BY: JD |
| | CHECKED: AEH |

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24/091_38 Undercliff Road Freshwater DA



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

| REV | INIT. | DATE | REVISION DETAILS |
|------|-------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |
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| DA LEGEND |
|--------------------|
| TO BE DEMOLISHED |
| AL ALUMINIUM |
| B BASIN |
| BWK BRICK WORK |
| CKT COOK TOP |
| CT CERAMIC TILE |
| D DRYER |
| DB ELEC BOARD |
| DP DOWN PIPE |
| FC FIBRE CEMENT |
| GM GAS MAIN |
| KS KITCHEN SINK |
| LB LETTER BOX |
| LD LINEAR DRAIN |
| MD METAL DECK |
| OF OVERFLOW |
| PVC PHOTO VOLTAGE |
| RP RENDER + PAINT |
| RWH RAINWATER HEAD |
| ST STONE |
| T TIMBER |
| WM WASH MACHINE |

| MATERIAL CUT |
|---------------------|
| EXISTING BUILDING |
| CONCRETE |
| MASONRY |
| FRAMING |
| GROUND |
| GRAVEL / LOOSE FILL |
| INSULATION |
| STONE |

| MATERIAL SURFACE |
|------------------|
| CONCRETE |
| BLOCK / BRICK |
| RENDER |
| STONE / PAVING |
| TIMBER |
| GLAZING |
| SOFT LANDSCAPING |
| GRAVEL / PEBBLES |

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:
MHNDU
35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com
MHNDU Design Urban Pty Ltd. ABN 94 003 717 682
Nominated Architect
Bridin Meyerson
NSW Registration Number 4907

DRAWING TITLE:
LEVEL 2 FLOOR PLAN

PROJECT ADDRESS:
38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:
24-091

ISSUE DATE:
16/12/2024

SCALE:
1:100 @ A3

DRAWN BY:
JD

CHECKED:
AEH

DWG NUMBER:
DA2003

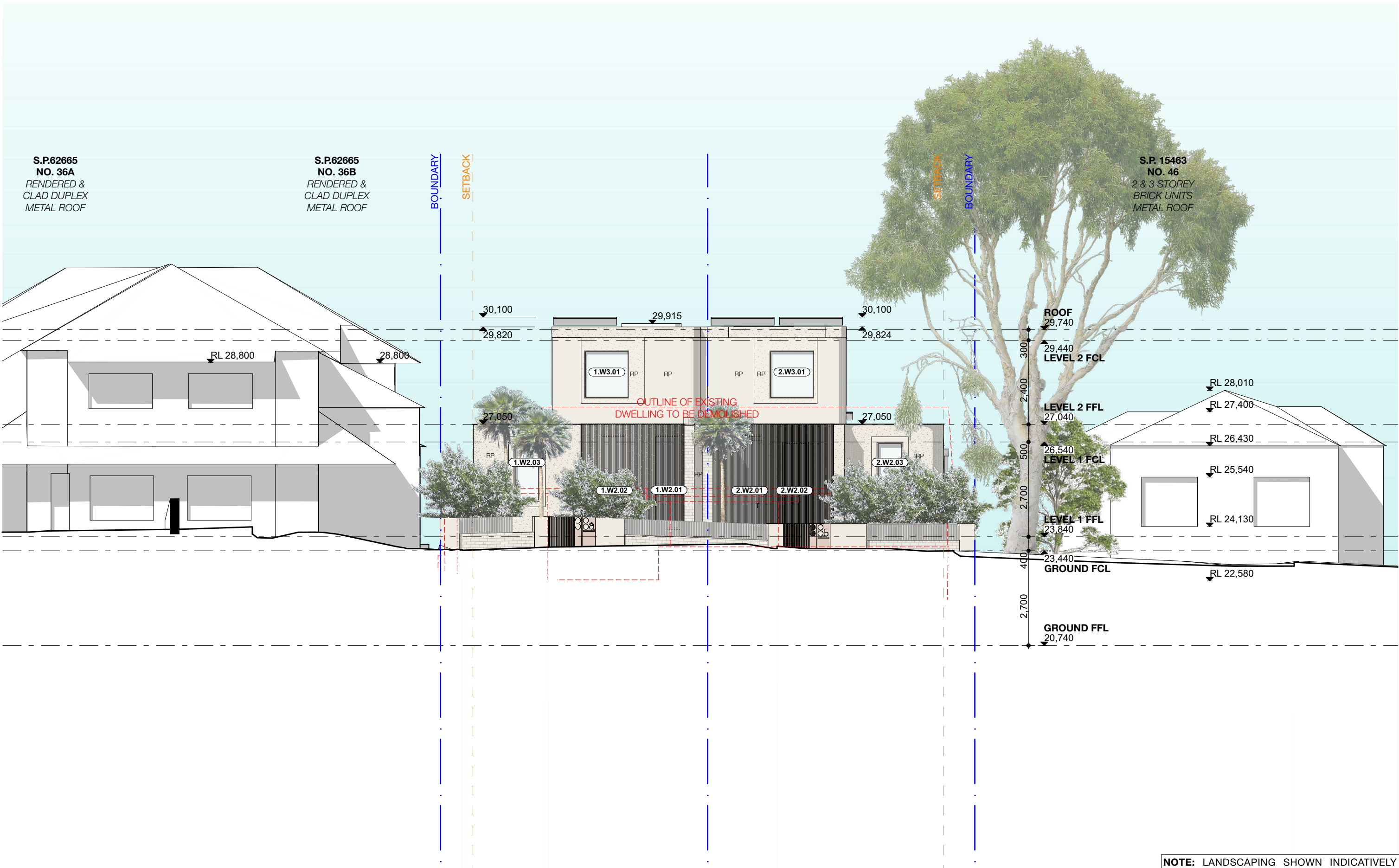
REVISION:
DA02

REF: BMDout: bdb-26 - BMDcloud Basic for Archicad 26/24/091_38 Undercliff Road Freshwater DA



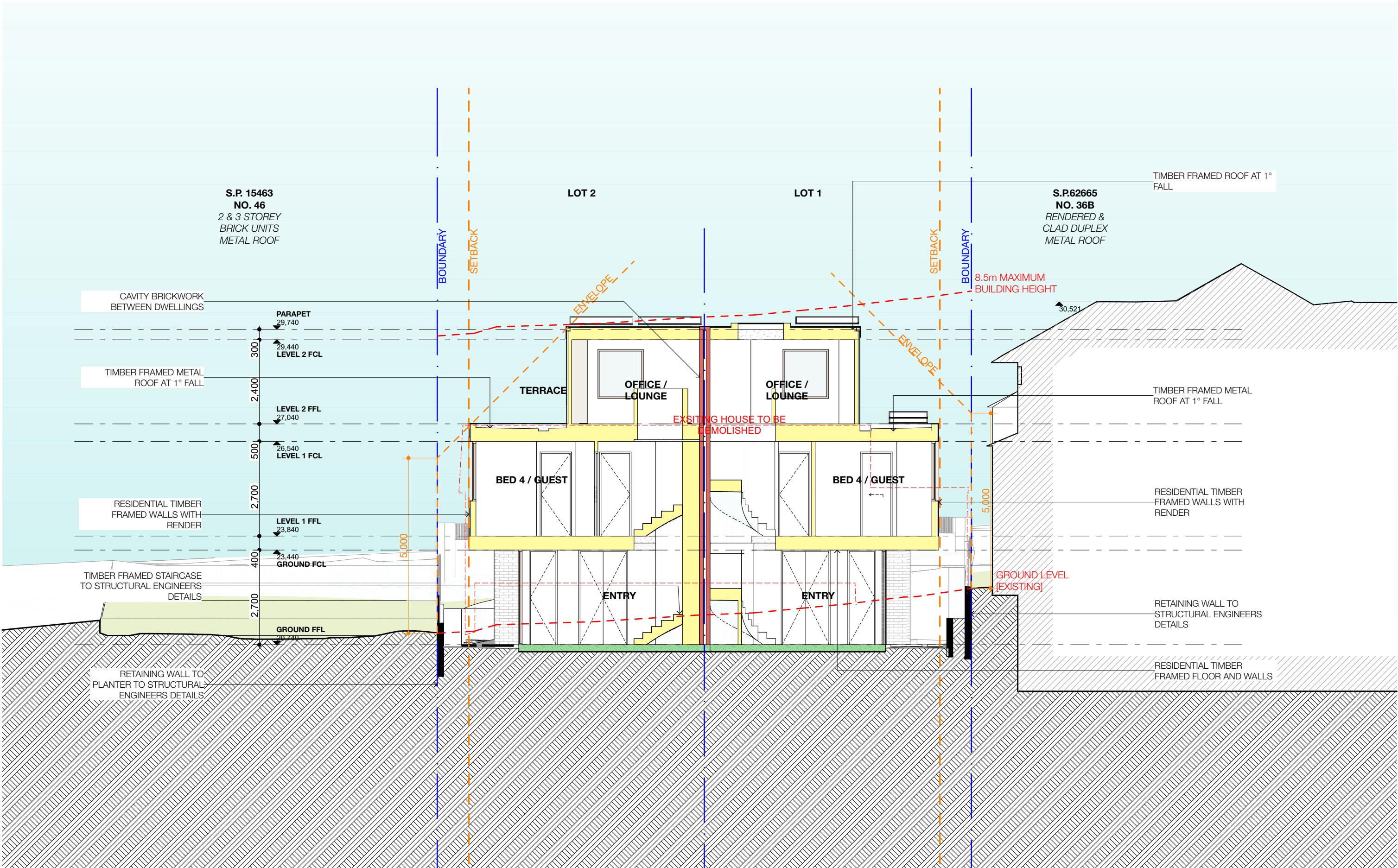
NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

| REV | INT. | DATE | REVISION DETAILS | GENERAL NOTES | | DA LEGEND | | MATERIAL CUT | | MATERIAL SURFACE | | BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS) | | ARCHITECT: | | DRAWING TITLE: | | PROJECT NUMBER: | | DWG NUMBER: | | |
|--|------|------------|-------------------------|--|--|---|--|--|--|---|--|--|--|---|--|--|--|-----------------|--|-------------|--|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE. | | LEGEND -- TO BE DEMOLISHED | | AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK OF OVERFLOW OFC OVERFLOW COATED PV PHOTO VOLTAGE RWP RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE | | EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE | | CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES | | <div>MHNDU</div> <div>35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com</div> <div><small>Nominated Architect Bridn Meyer NSW Registration Number 4907</small></div> | | <div>38 UNDERCLIFF ROAD, NSW FRESHWATER 2096</div> <div>LOT 22 DP 5118</div> | | 24-091 | | DA3000 | | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3 | | REVISION: DA02 DRAWN BY: JD CHECKED: AEH | | | | | | | | | | | | | | |
| REF: BMDout: bdb-26 - BMDout Basic for ArchiCad 26/24/091_38 Undercliff Road Freshwater DA | | | | | | | | | | | | | | | | | | | | | | |



NOTE: LANDSCAPING SHOWN INDICATIVELY - REFER TO LANDSCAPE ARCHITECT FOR DETAIL

| REV | INIT. | DATE | REVISION DETAILS | GENERAL NOTES | | DA LEGEND | | MATERIAL CUT | | MATERIAL SURFACE | | BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS) | | ARCHITECT: | | DRAWING TITLE: | | PROJECT NUMBER: | | DWG NUMBER: | |
|--|-------|------------|-------------------------|---|--|----------------------------------|--|---|--|---|--|---|--|--|--|--|--|---|--|-------------|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE. | | LEGEND -- -- TO BE DEMOLISHED | | AL ALUMINIUM LB LETTER BOX S BASIN LD LINEAR DRAIN BWK BRICK WORK MD METAL DECK CKT COOK TOP OF OVERFLOW CT CERAMIC TILE P/C POWDER COATED D DRYER PV PHOTO VOLTAGE DB ELEC BOARD RP RENDER + PAINT DP DOWN PIPE RWH RAINWATER HEAD FC FIBRE CEMENT ST STONE GM GAS MAIN T TIMBER KS KITCHEN SINK WM WASH MACHINE | | EXISTING BUILDING CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES | | 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>Nominated Architect Bridin Meyerson NSW Registration Number 4907</small> | | SOUTH ELEVATION PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118 | | 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3 | | DA3001 REVISION: DA02 DRAWN BY: JD CHECKED: AEH | | | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | | | | | | | | | | | | | | | | |
| REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA | | | | | | | | | | | | | | | | | | | | | |



| REV | INT. | DATE | REVISION DETAILS |
|------|------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |

GENERAL NOTES

- ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.
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| DA LEGEND | |
|------------------------|--------------------|
| LEGEND | |
| - - - TO BE DEMOLISHED | |
| AL ALUMINIUM | LB LETTER BOX |
| B BASIN | LD LINEAR DRAIN |
| BWK BRICK WORK | MD METAL DECK |
| CKT COOK TOP | OF OVERFLOW |
| CT CERAMIC TILE | PVC POWDER COATED |
| D DRYER | PV PHOTO VOLTIC |
| DB ELEC BOARD | RP RENDER + PAINT |
| DP DOWN PIPE | RWH RAINWATER HEAD |
| FC FIBRE CEMENT | ST STONE |
| GM GAS MAIN | T TIMBER |
| KS KITCHEN SINK | WM WASH MACHINE |

| MATERIAL CUT |
|---------------------|
| EXISTING BUILDING |
| CONCRETE |
| MASONRY |
| FRAMING |
| GROUND |
| GRAVEL / LOOSE FILL |
| INSULATION |
| STONE |

| MATERIAL SURFACE |
|------------------|
| CONCRETE |
| BLOCK / BRICK |
| RENDER |
| STONE / PAVING |
| TIMBER |
| GLAZING |
| SOFT LANDSCAPING |
| GRAVEL / PEBBLES |

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:

MHNDU UNION

35 RICHARDS LANE
SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com

4th Fl Design Urban Pty Ltd.

ABN 94 003 717 682

Nominated Architect
Bridin Meyerson
NSW Registration Number 4907

DRAWING TITLE:

CROSS SECTION 2

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

16/12/2024

SCALE:

1:100 @ A3

DRAWN BY:

JD

DWG NUMBER:

DA4001

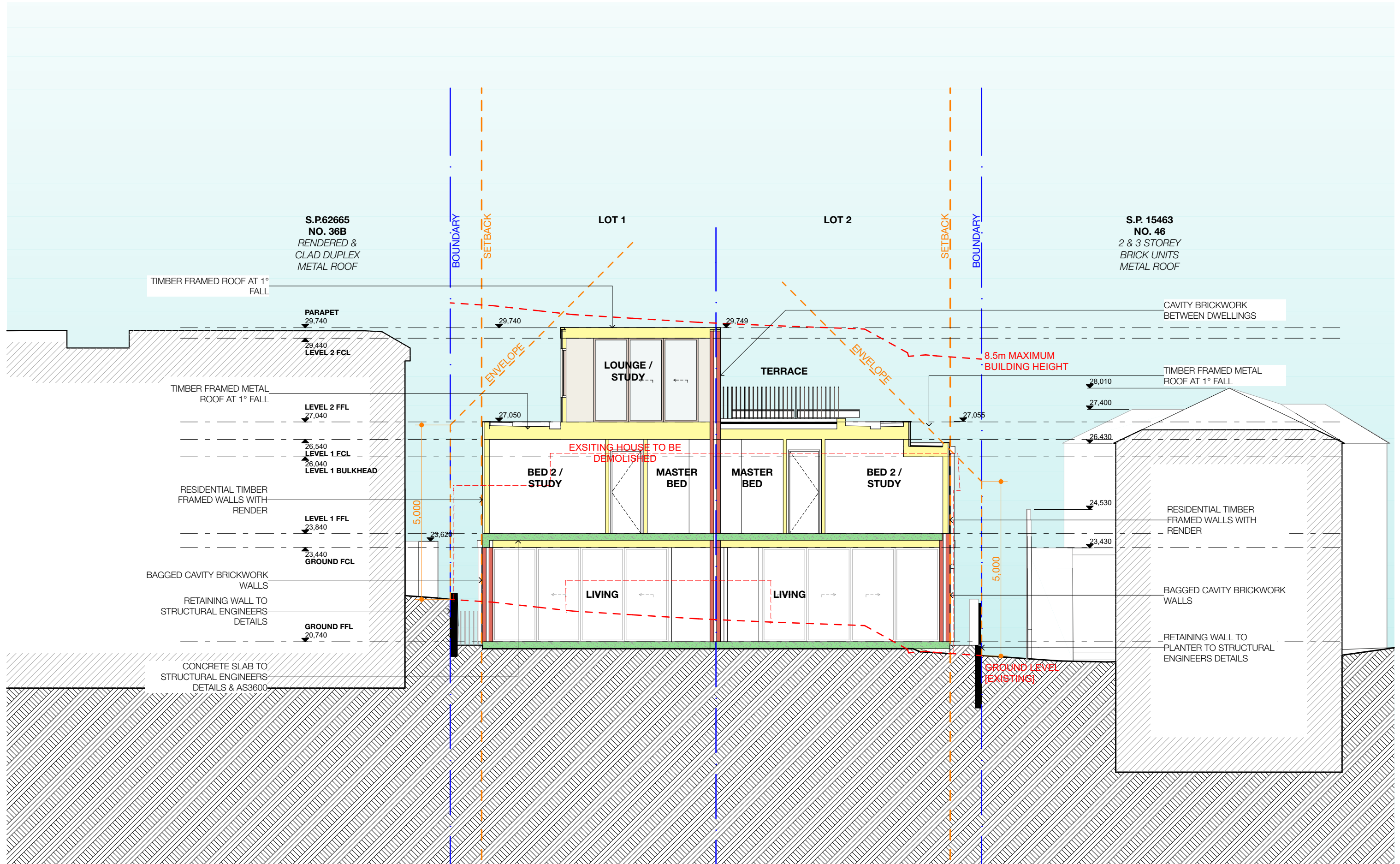
REVISION:

DA02

CHECKED:

AEH

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



| REV | INT. | DATE | REVISION DETAILS |
|------|------|------------|-------------------------|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION |

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| DP DOWN PIPE | RWH RAINWATER HEAD |
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| GM GAS MAIN | T TIMBER |
| KS KITCHEN SINK | WM WASH MACHINE |

| MATERIAL CUT | |
|---------------------|---------------------|
| EXISTING BUILDING | |
| CONCRETE | CONCRETE |
| MASONRY | MASONRY |
| FRAMING | FRAMING |
| GROUND | GROUND |
| GRAVEL / LOOSE FILL | GRAVEL / LOOSE FILL |
| INSULATION | INSULATION |
| STONE | STONE |

| MATERIAL SURFACE | |
|------------------|------------------|
| CONCRETE | |
| BLOCK / BRICK | BLOCK / BRICK |
| RENDER | RENDER |
| STONE / PAVING | STONE / PAVING |
| TIMBER | TIMBER |
| GLAZING | GLAZING |
| SOFT LANDSCAPING | SOFT LANDSCAPING |
| GRAVEL / PEBBLES | GRAVEL / PEBBLES |

BASIX COMMITMENTS
(ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS)

ARCHITECT:

MHNDUUNION

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SURRY HILLS SYDNEY NSW 2010
T +61 2 9101 1111
F +61 2 9101 1100
www.mhndu.com

Notified Architect
Bridn Meyer
NSW Registration Number 4907

DRAWING TITLE:

CROSS SECTION 3

PROJECT ADDRESS:

38 UNDERCLIFF ROAD, NSW FRESHWATER 2096

LOT 22 DP 5118

PROJECT NUMBER:

24-091

ISSUE DATE:

16/12/2024

SCALE:

1:100 @ A3

DRAWN BY:

JD

DWG NUMBER:

DA4002

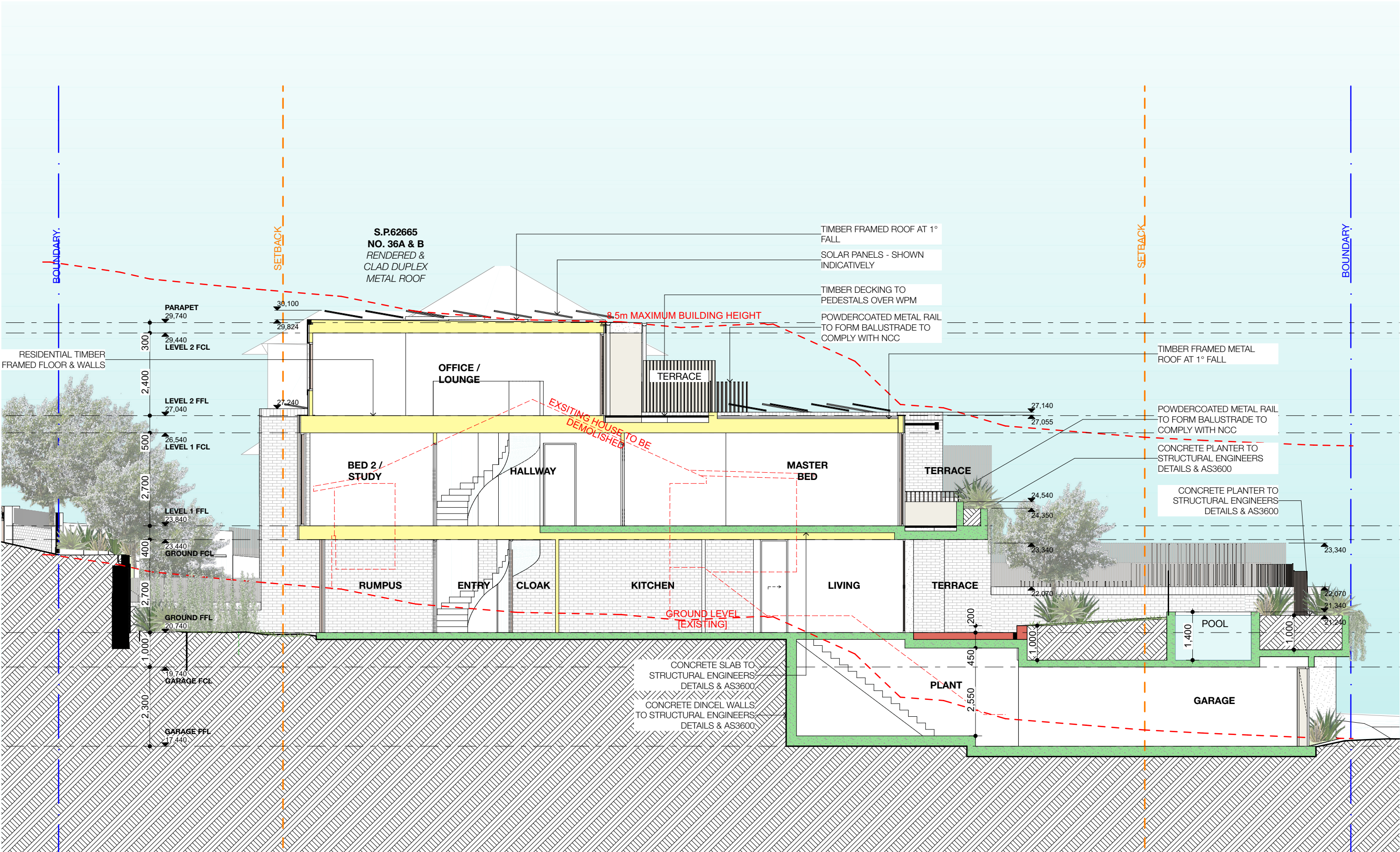
REVISION:

DA02

CHECKED:

AEH

REF: BIMcloud: bdb-26 - BIMcloud Basic for Archicad 26/24-091_38 Undercliff Road Freshwater DA



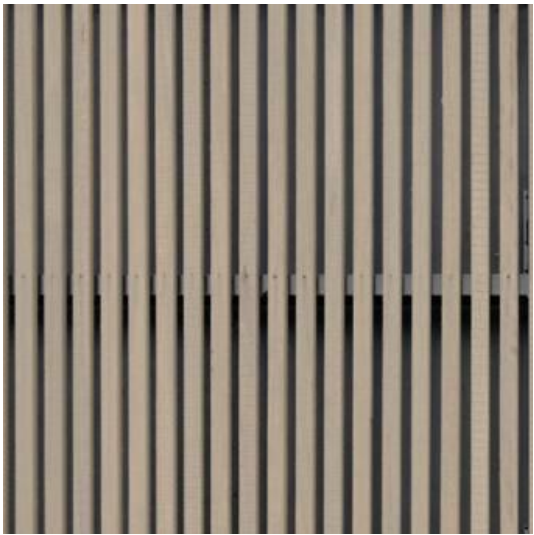
| REV | INT. | DATE | REVISION DETAILS | GENERAL NOTES | | DA LEGEND | | MATERIAL CUT | | MATERIAL SURFACE | | BASIX COMMITMENTS | | ARCHITECT: | | DRAWING TITLE: | | PROJECT NUMBER: | | DWG NUMBER: | |
|------|------|------------|-------------------------|---|--|----------------------------------|--|---|--|--|--|--|--|--|--|---|--|---|--|---|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | | | | | | | | | | | | | | | | | | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE. | | LEGEND - - - TO BE DEMOLISHED | | AL ALUMINIUM S BASIN BWK BRICK WORK CKT COOK TOP CT CERAMIC TILE D DRYER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT GM GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD METAL DECK MF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE R RENDER + PAINT RW RAINWATER HEAD ST STONE T TIMBER WM WASH MACHINE | | CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES | | ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 17684065M AND STAMPED PLANS | | ARCHITECT: MHNDU 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com ABN 94 003 717 682 | | DRAWING TITLE: LONG SECTION A PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118 | | PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: 1:100 @ A3 | | DWG NUMBER: DA4010 REVISION: DA02 CHECKED: AEH | |



2 3 2 1 3 6 3 2



1. BWK - BAGGED BRICKWORK



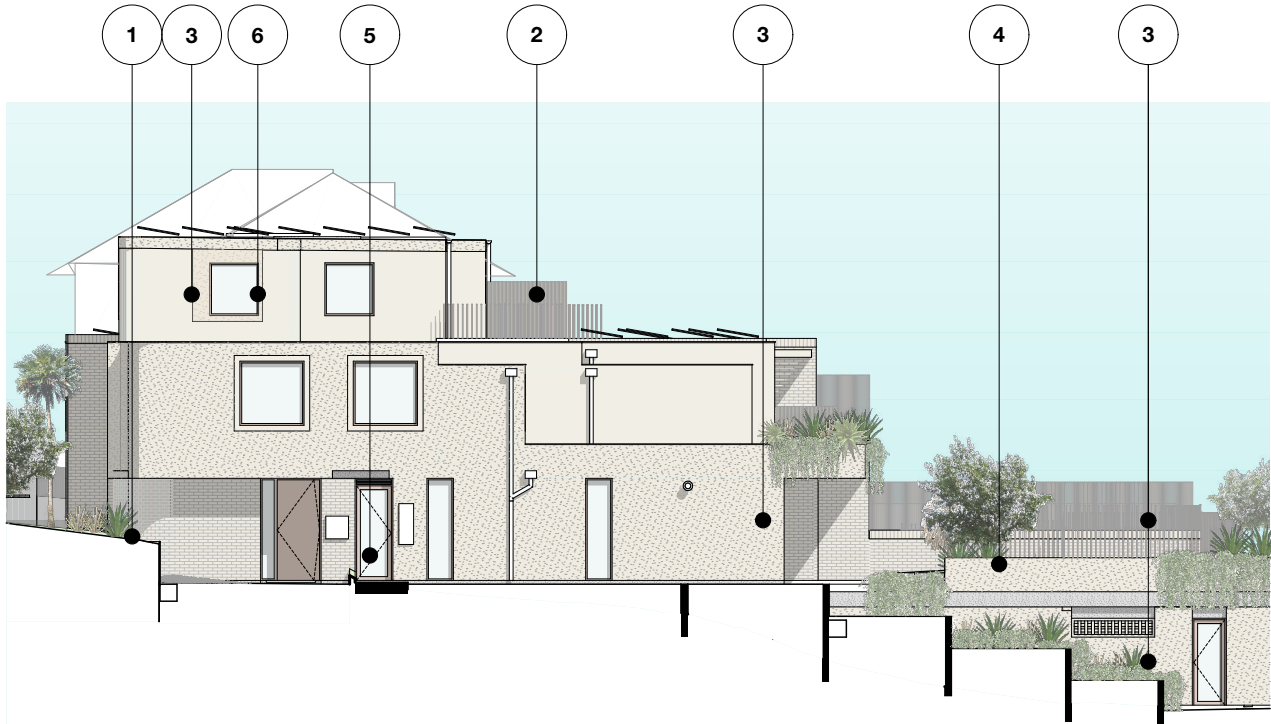
2. T - PAINTED BATTENS



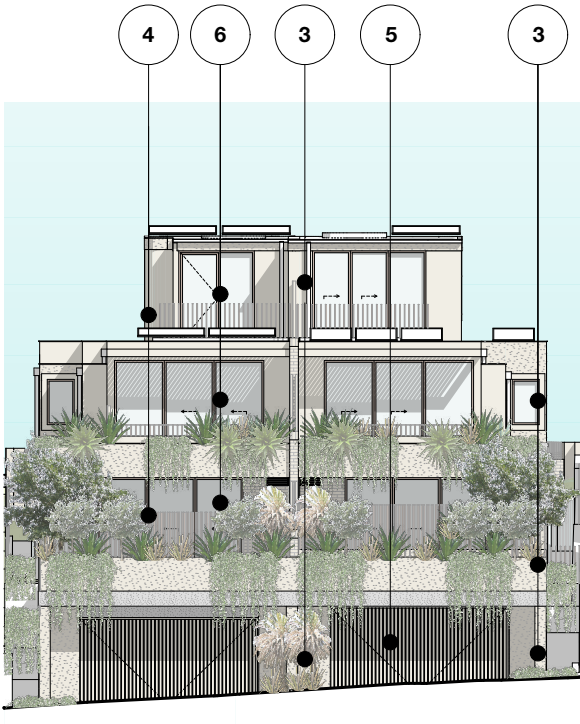
3. RP - PIGMENTED RENDER - DULUX STONE MASTER



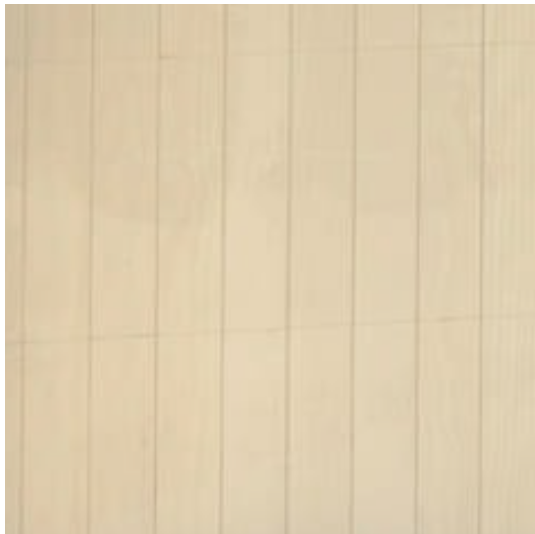
4. P/C - POWDER-COATED STEEL ROD FENCING



SIDE ELEVATION



REAR LANE ELEVATION



5. T - PAINTED DOOR



6. P/C AL - POWDER-COATED ALUMINIUM WINDOWS AND DOORS

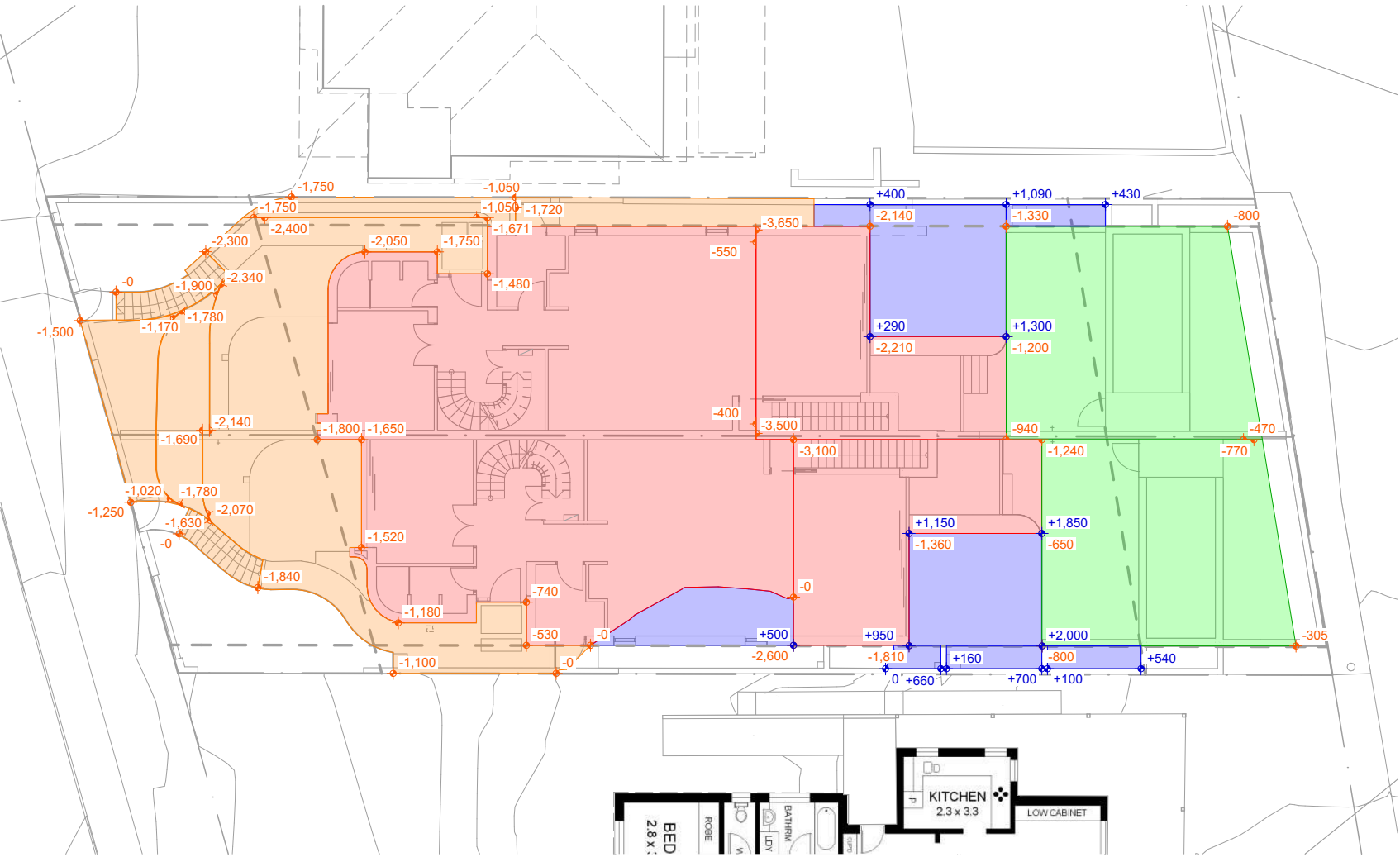
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| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | | | | | | | | | |
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| LANDSCAPED AREA | | | | | |
|-----------------|------|-------|-----------------|---------------|----------|
| | AREA | SITE | % | REQUIRED | COMPLIES |
| CONTROL - LOT 1 | m² | 291.7 | 40.6% [118.4m²] | 40% [116.7m²] | YES |
| CONTROL - LOT 2 | m² | 284.9 | 40.3% [114.9m²] | 40% [114.0m²] | YES |

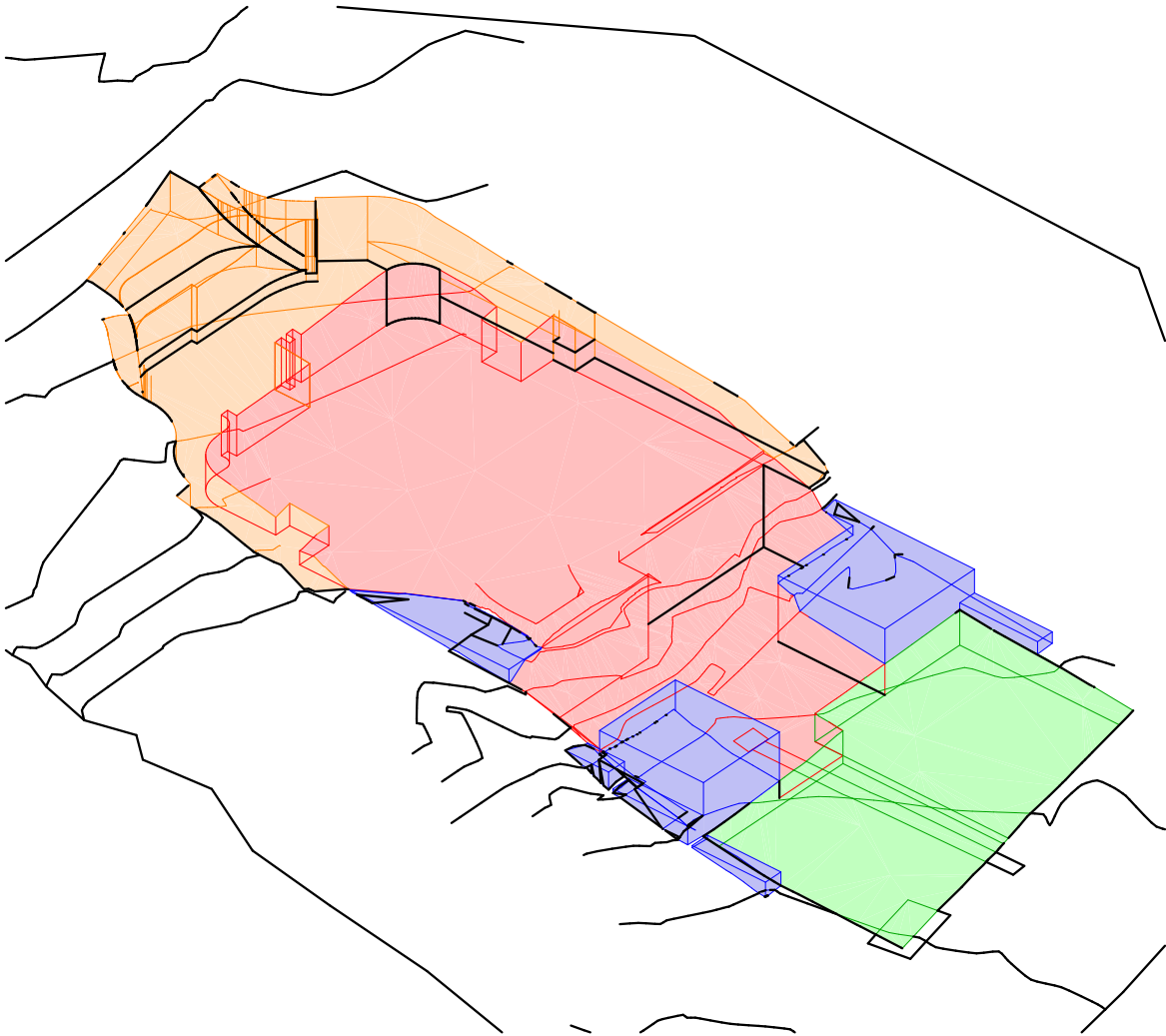


EXCAVATION / OR FILL CALCULATIONS

| PURPOSE | VOLUME |
|------------------------|----------------------|
| EXCAVATION - BUILDING | 337.39m ³ |
| EXCAVATION - PARKING | 81.09m ³ |
| EXCAVATION - LANDSCAPE | 169.75m ³ |
| FILL - ALL | 46.58m ³ |



1 EXCAVATION / OR FILL PLAN



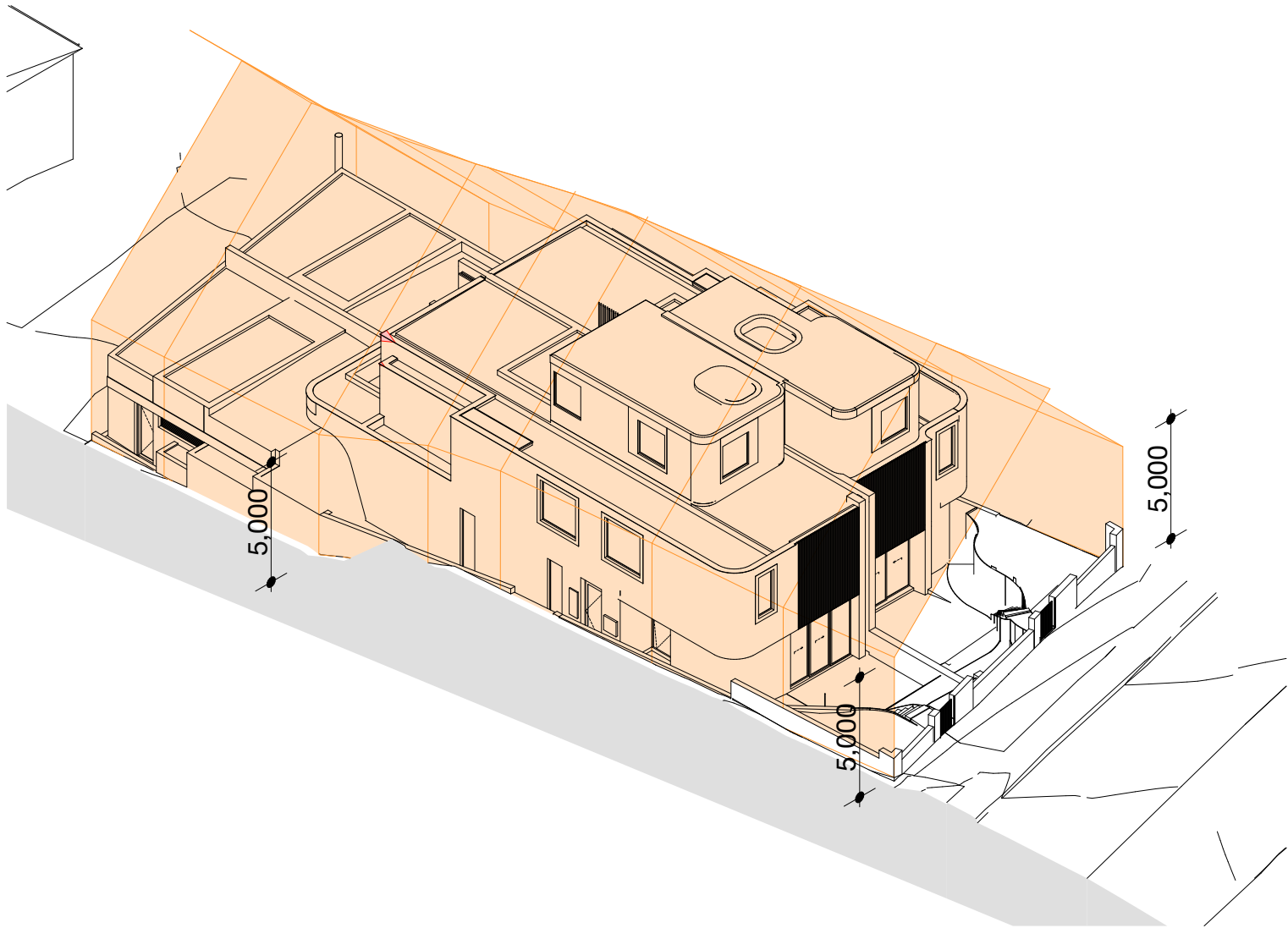
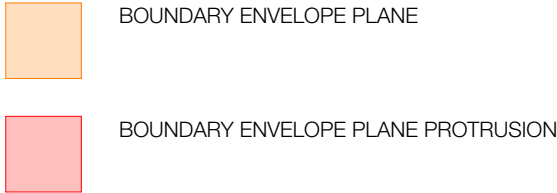
2 EXCAVATION / OR FILL DIAGRAM

| REV | INT. | DATE | REVISION DETAILS | GENERAL NOTES | DA LEGEND | MATERIAL CUT | MATERIAL SURFACE | BASIX COMMITMENTS | ARCHITECT: | DRAWING TITLE: | PROJECT NUMBER: | DWG NUMBER: |
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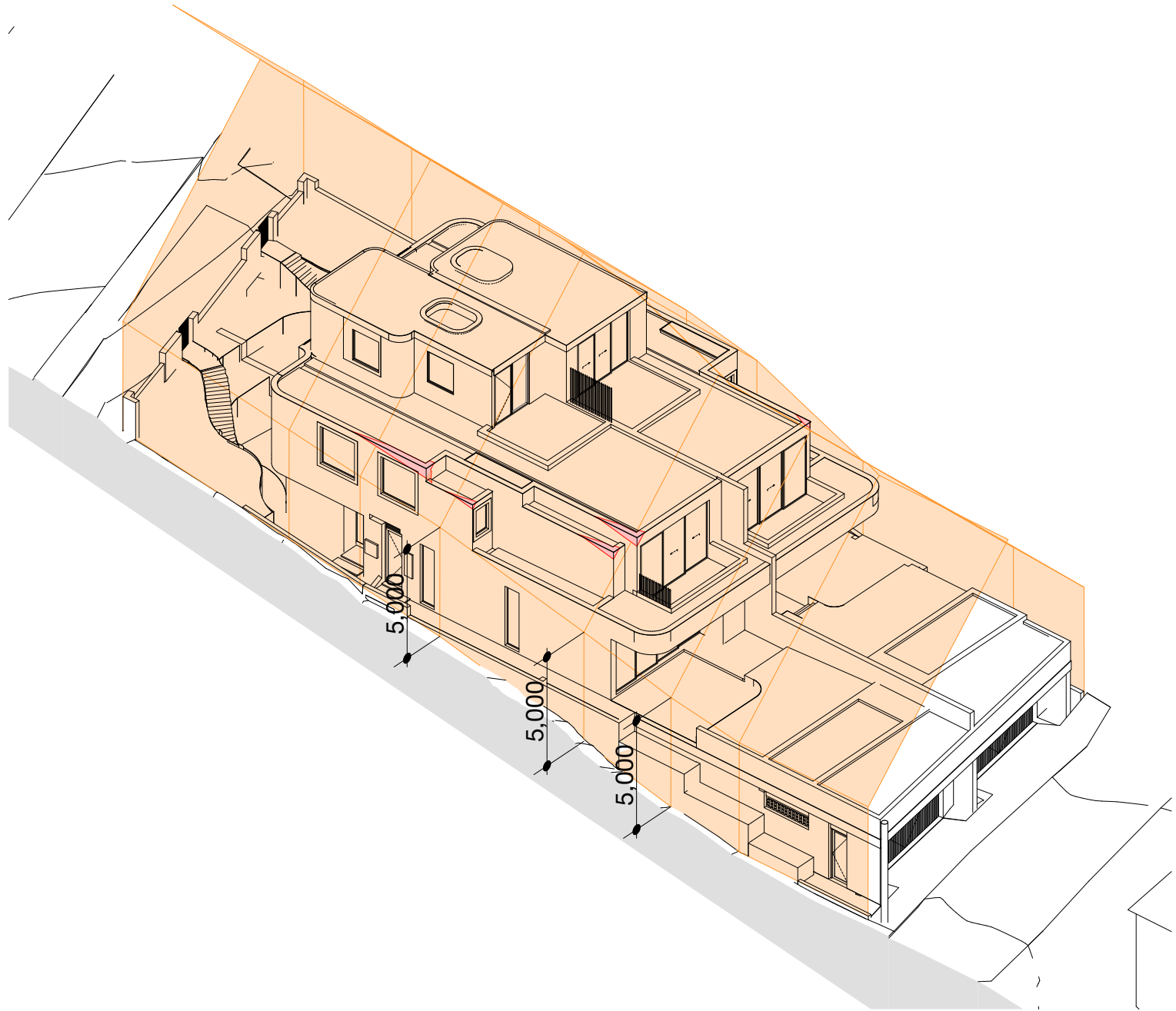
ENVELOPE

B3 Side Boundary Envelope

1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of **5 metres**



1 PLANNING DIAGRAM - BUILDING ENVELOPE - WEST



2 PLANNING DIAGRAM - BUILDING ENVELOPE- EAST

| REV. INT. DATE | | REVISION DETAILS | | GENERAL NOTES | | DA LEGEND | | MATERIAL CUT | | MATERIAL SURFACE | | BASIX COMMITMENTS | | ARCHITECT: | | DRAWING TITLE: | | PROJECT NUMBER: | | DWG NUMBER: | | | |
|----------------|----|------------------|-------------------------|--|--|--|--|---|--|---|--|--|--|--|--|---|--|---|--|---|--|---|--|
| DA01 | JD | 17/10/2024 | DEVELOPMENT APPLICATION | 1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED. 3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. 4. MHNDU DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS. 5. CONTRACTOR TO NOTIFY MHNDU OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING. 6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED. 7. MHNDU TO REVIEW ALL CONTRACTORS' DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION. 8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE. | | LEGEND -- TO BE DEMOLISHED | | AL ALUMINIUM B BASIN C COOK TOP CT CERAMIC TILE D DRIVER DB ELEC BOARD DP DOWN PIPE FC FIBRE CEMENT ST GAS MAIN KS KITCHEN SINK LB LETTER BOX LD LINEAR DRAIN MD MATE DECK OF OVERFLOW PC POWDER COATED PV PHOTO VOLTAGE RP RENDER + PAINT RW RAINWATER HEAD ST STONE TM TIMBER WM WASH MACHINE | | EXISTING BUILDING CONCRETE MASONRY FRAMING GROUND GRAVEL / LOOSE FILL INSULATION STONE | | CONCRETE BLOCK / BRICK RENDER STONE / PAVING TIMBER GLAZING SOFT LANDSCAPING GRAVEL / PEBBLES | | BASIX COMMITMENTS (ALL OTHER BASIX COMMITMENTS AS PER BASIX CERTIFICATE NO. 1768406M AND STAMPED PLANS) | | ARCHITECT: MHNDU ION 35 RICHARDS LANE SURRY HILLS SYDNEY NSW 2010 T +61 2 9101 1111 F +61 2 9101 1100 www.mhndu.com <small>9/19 Dickson Union Pty Ltd, ABN 94 003 717 682 NSW Registration Number 4907</small> | | DRAWING TITLE: ENVELOPE DIAGRAMS PROJECT ADDRESS: 38 UNDERCLIFF ROAD, NSW FRESHWATER 2096 LOT 22 DP 5118 | | PROJECT NUMBER: 24-091 ISSUE DATE: 16/12/2024 SCALE: NTS @ A3 | | DWG NUMBER: DA9300 REVISION: DA02 CHECKED: AEH | |
| DA02 | JD | 16/12/2024 | DEVELOPMENT APPLICATION | | | REF: BMDout: bcb-26 - BMDout: BMDout for Archibac 2024-091_38 Undercliff Road Freshwater- DA | | | | | | | | | | | | | | | | | |

[illegible]