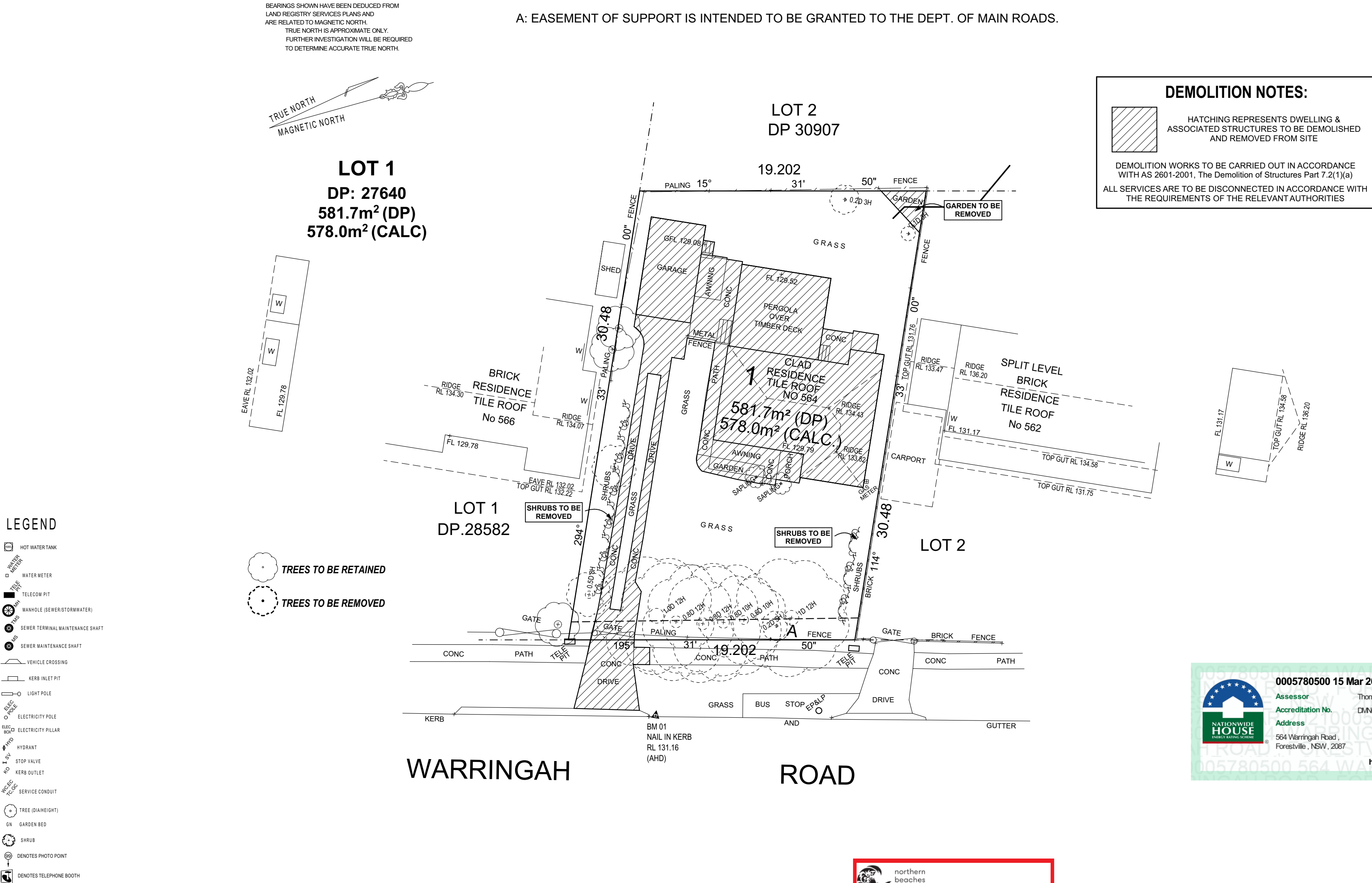


Proposed Demolition Plan

Scale 1:200



LOCATION PLAN

UBD REF: 176 H8
LAT: -33.756383
LONG: 151.220285



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B	27.11.20	CLIENT AMENDMENTS - MA
A	04.11.20	CONTRACT DRAWINGS - AW

Plot Date: Tuesday, 6 July 2021

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC

NOT FOR CONSTRUCTION

Proposed: Principal Dwelling + Secondary Dwelling

Lot:1 DP:27640
No.564 Warringah Road
Forestville, NSW 2087

Client :
M. Kulkarni & S. Kulkarni

LGA: Northern Beaches Council Date: 04.11.20

Design : Custom Design

Job No: 4353N Sheet Size: A2 Sheet No: 1 of 13

CHAMPION HOMES

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www.dialbeforeyoudig.com.au



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: SSM 2944
SOURCE OF LEVELS: RL 130.162
SCIMS

SCALE BAR 1:200



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0414

NOTE:
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Proposed Site Plan
Scale 1:200

BEARINGS SHOWN HAVE BEEN DEDUCED FROM
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ARE RELATED TO MAGNETIC NORTH.
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FURTHER INVESTIGATION WILL BE REQUIRED
TO DETERMINE ACCURATE TRUE NORTH.

A: EASEMENT OF SUPPORT IS INTENDED TO BE GRANTED TO THE DEPT. OF MAIN ROADS.

STORMWATER NOTE:
STORMWATER AS PER HYDRAULICS ENGINEER'S
PLANS AND BASIX REQUIREMENTS ALL IN
ACCORDANCE WITH AUSTRALIAN STANDARD 3500.3

LOCATION PLAN

UBD REF: 176 H8
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Job No: 4353N Sheet Size: A2 Sheet No: 2 of 13

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LEGEND

- HOT WATER TANK
- WATER METER
- TELECOM PIT
- MANHOLE (SEWER/STORMWATER)
- SEWER TERMINAL MAINTENANCE SHAFT
- SEWER MAINTENANCE SHAFT
- VEHICLE CROSSING
- KERB INLET PIT
- LIGHT POLE
- ELECTRICITY POLE
- ELECTRICITY PILLAR
- HYDRANT
- STOP VALVE
- KERB OUTLET
- SERVICE CONDUIT
- TREE (DIA/HEIGHT)
- GW GARDEN BED
- SHRUB
- DENOTES PHOTO POINT
- DENOTES TELEPHONE BOOTH

TREES TO BE RETAINED
TREES TO BE REMOVED

WARRINGAH

ROAD

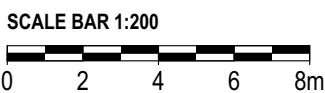
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CONSENT**

DA2021/0414

ALL KERB LEVELS REPRESENT TOP OF KERB.



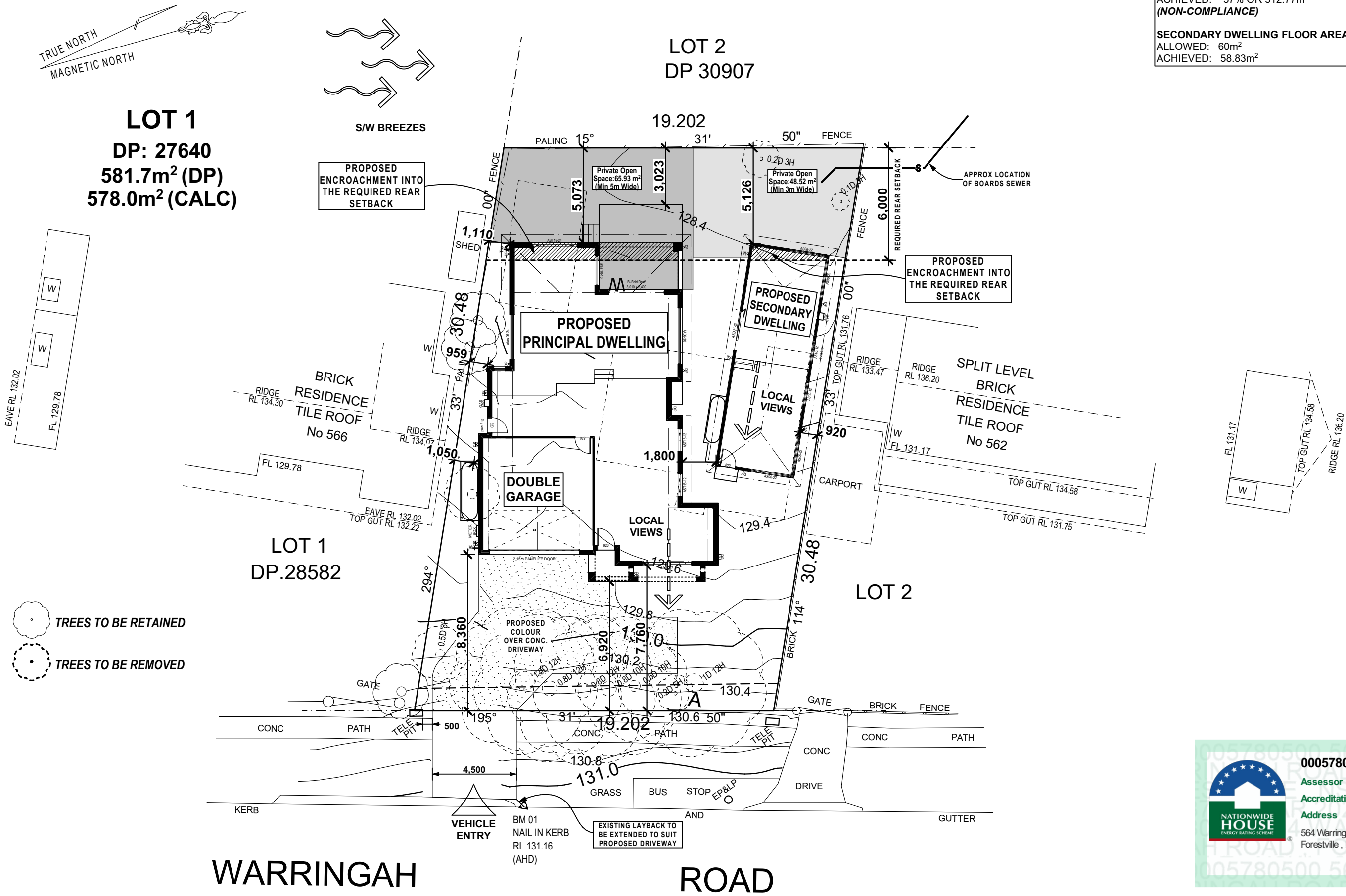
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ORIGIN OF LEVELS: SSM 2944
SOURCE OF LEVELS: RL 130.162
SCIMS



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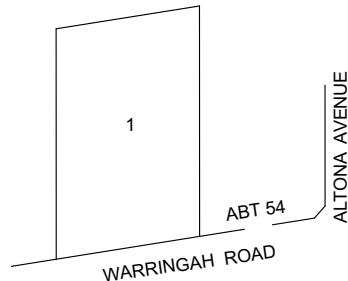
A: EASEMENT OF SUPPORT IS INTENDED TO BE GRANTED TO THE DEPT. OF MAIN ROADS.



WARRINGAH REQUIREMENTS:	
SITE AREA:	578.0m ²
PRIVATE OPEN SPACE:	REQUIRED: 95m ² (Principal = 60m ² / Secondary 35m ²) ACHIEVED: 114.45m ²
LANDSCAPE AREA: (MIN 2m WIDE)	REQUIRED: 40% OR 231.24m ² ACHIEVED: 37% OR 312.77m ² (NON-COMPLIANCE)
SECONDARY DWELLING FLOOR AREA:	ALLOWED: 60m ² ACHIEVED: 58.83m ²

LOCATION PLAN

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DA2021/0414

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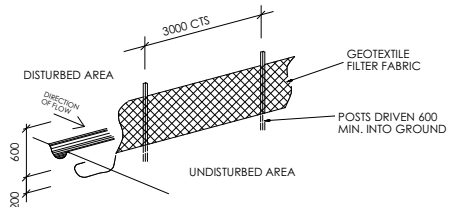
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ORIGIN OF LEVELS: SSM 2944
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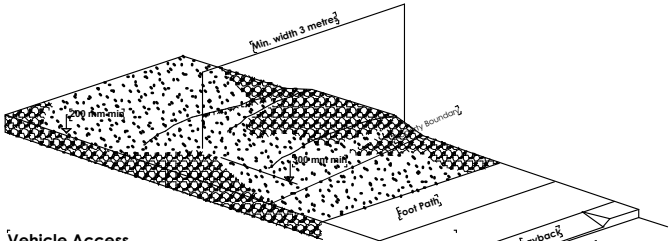
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SEDIMENT CONTROL FENCE

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS
REMAIN AT THE DISCRETION OF THE BUILDER.



Vehicle Access
- 4m of crushed rock within property boundary.
- Footpath boarded over if protection is required.
- New layback to be formed in a formed kerb if required.

LOCATION PLAN

UBD REF: 176 H8
LAT: -33.756383
LONG: 151.220285



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Client :

M. Kulkarni & S. Kulkarni

LGA:

Northern Beaches Council

Date:

04.11.20

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Job No: 4353N

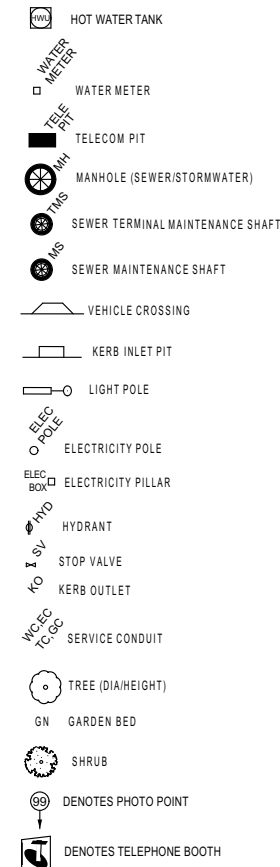
Sheet Size: A2

Sheet No: 4 of 13



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LEGEND



TREES TO BE RETAINED
TREES TO BE REMOVED

LOT 1
DP.28582

LOT 2
DP 30907

WARRINGAH

ROAD

LOT 2

ALL KERB LEVELS REPRESENT TOP OF KERB.



DATUM OF LEVELS: AUSTRALIAN HEIGHT DATUM
ORIGIN OF LEVELS: SSM 2944
SOURCE OF LEVELS: SCIMS

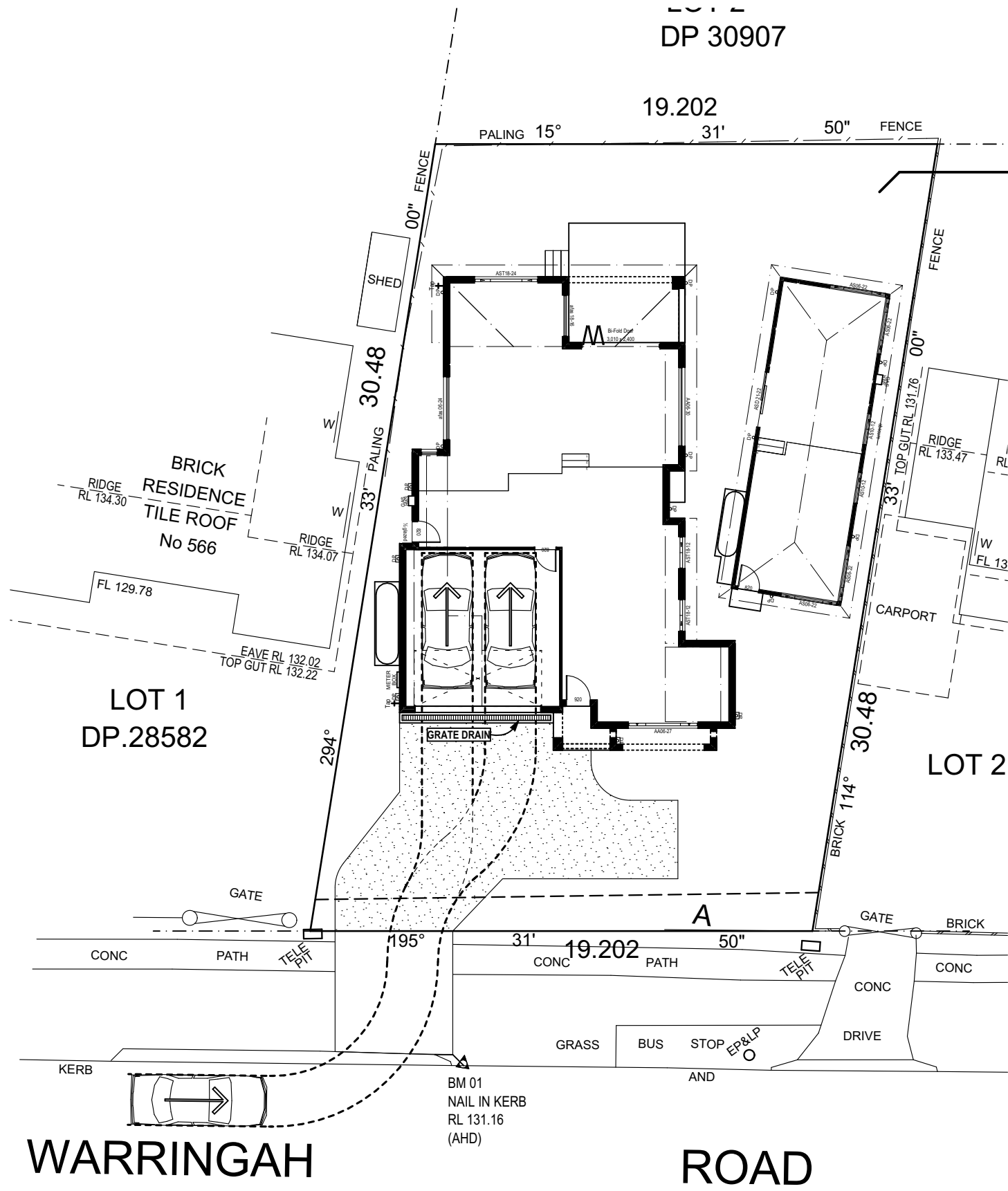


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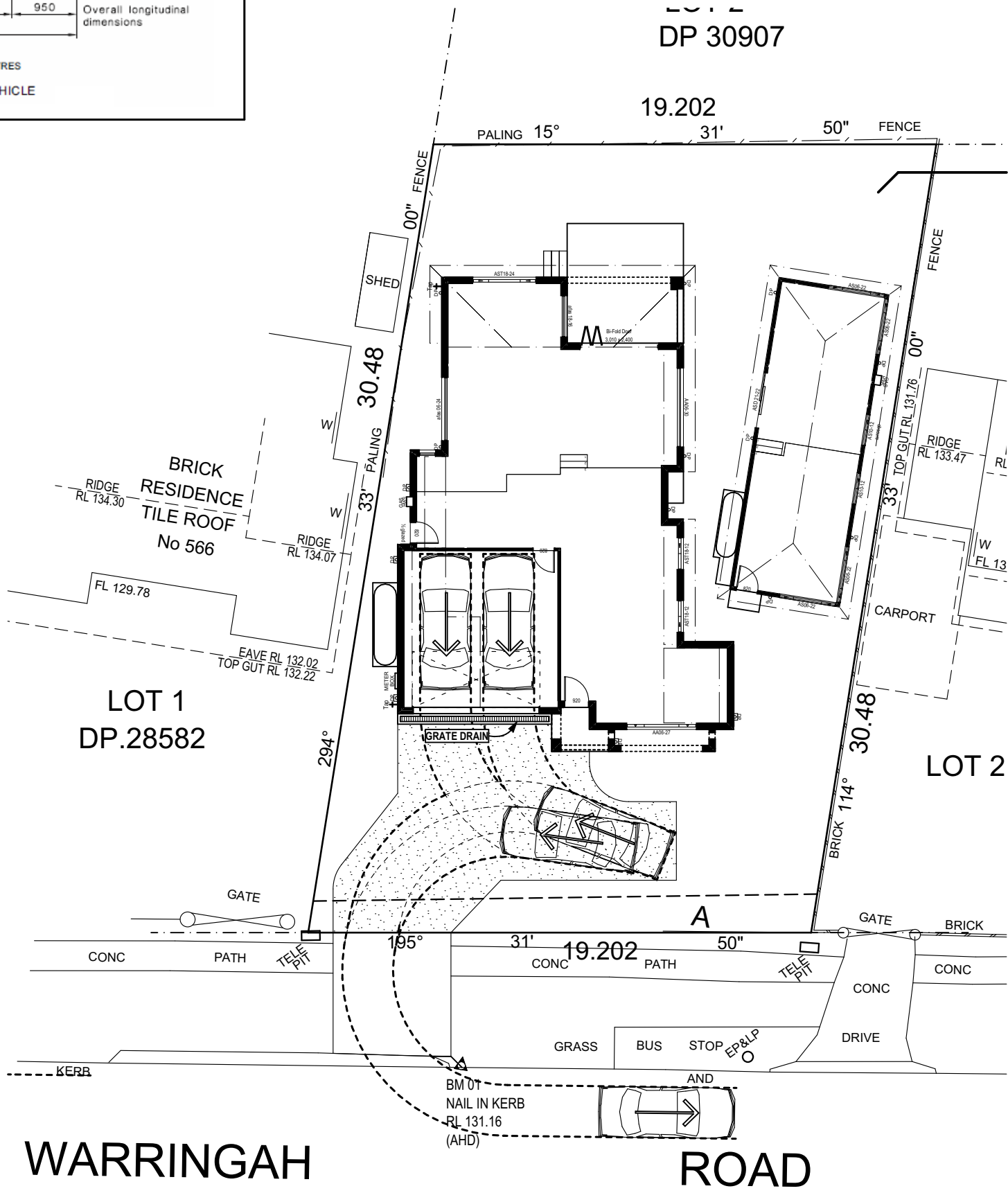
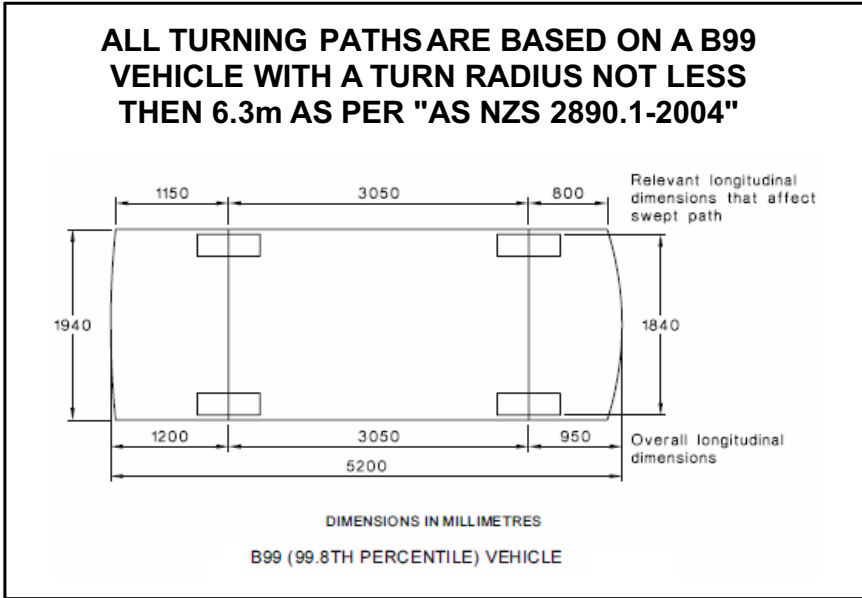
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DA2021/0414

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Turning Paths - Entry
Scale 1:200




Turning Path - Exit
Scale 1:200

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beaches
council
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Lot:1 DP:27640 No.564 Warringah Road Forestville, NSW 2087		
Client : M. Kulkarni & S. Kulkarni		
LGA:	Northern Beaches Council	Date: 04.11.20
Design : Custom Design		
Job No:	4353N	Sheet Size: A2
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0005780500 15 Mar 2021

Assessor Thomas Ruck

Accreditation No. DMN20/1999

Address 564 Warringah Road, Forestville, NSW, 2087



hstar.com.au

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Ground Floor Plan

Scale 1:100



 **northern
beaches
council**

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CONSENT**

DA2021/0414

**LOT 1
DP.28582**

**BRICK
RESIDENCE
TILE ROOF
No 566**

NOTE:
PROVIDE BULKHEADS
TO KITCHEN OVERHEAD
CUPBOARDS

NOTE:
CONDUIT FOR ISLAND
BENCH TO RUN BENEATH
SLAB SURFACE

NOTE:
PROVIDE 20mm
CAESARSTONE TOP
TO KITCHEN BENCHTOP

NOTE:
PROVIDE 600mm HIGH
OVERHEAD CUPBOARDS
TO KITCHEN

NOTE:
PROVIDE NYLON MESH
FLYCREENS TO ALL
OPENABLE WINDOWS

NOTE:
PROVIDE 2x 40mm
CAESARSTONE TOP
WITH WATERFALL ENDS
TO ISLAND BENCH ONLY

**PROVIDE UPGRADED GLAZING
AS PER BASIX REQUIREMENTS**

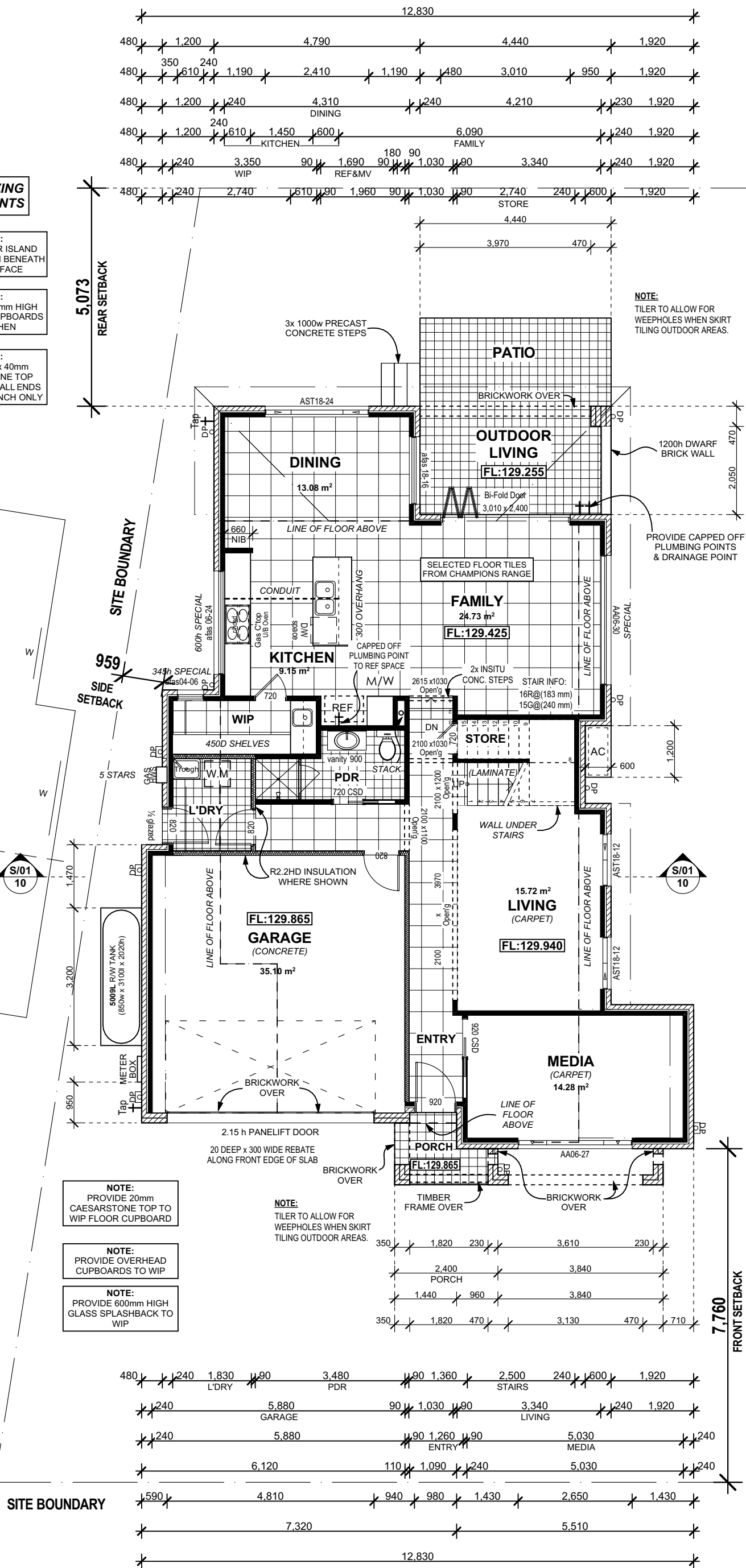
SITE BOUNDARY

NOTE:
PROVIDE 20mm
CAESARSTONE TOP TO
WIP FLOOR CUPBOARD

NOTE:
PROVIDE OVERHEAD
CUPBOARDS TO WIP

NOTE:
PROVIDE 600mm HIGH
GLASS SPLASHBACK TO
WIP

PRIMARY DWELLING

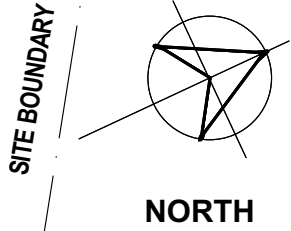
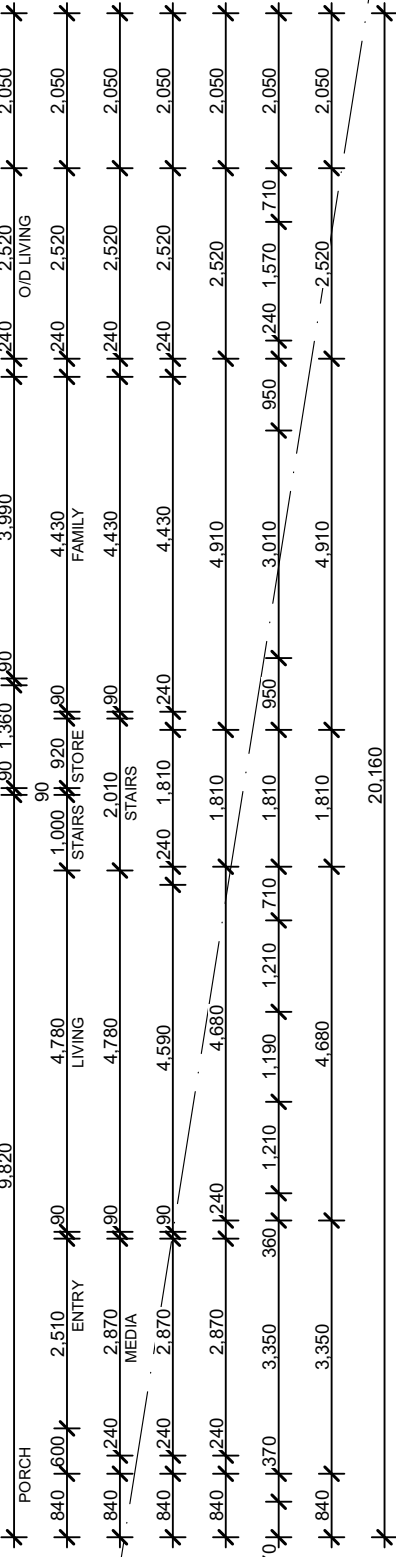


ROOM AREAS NOTE:
ROOM AREAS SHOWN
ON FLOOR PLANS ARE FOR
COUNCIL PURPOSES ONLY

WINDOW NOTE:
ALL WINDOW OPENING DIMENSIONS
ARE TO THE ALUMINIUM FRAME
(UNLESS OTHERWISE NOTED)

KITCHEN NOTE:
NOTWITHSTANDING ANYTHING ELSE CONTAINED
IN THE CONTRACT OR TENDER, THE OWNER
ACKNOWLEDGES AND AGREES THAT THE
KITCHEN TO BE SUPPLIED AND INSTALLED SHALL
BE IN ACCORDANCE WITH THE KITCHEN
MANUFACTURES DETAIL

NOTE:
TILER TO ALLOW FOR
WEEPHOLES WHEN SKIRT
TILING OUTDOOR AREAS.



Principal Dwelling Areas	
Area Name	Area m2
FIRST FLOOR	113.23
GARAGE	38.27
GROUND FLOOR	126.83
OUTDOOR LIVING	11.19
PATIO	9.10
PORCH	3.20
	301.82 m ²

ROOF AREA (m2) - Primary	
Pitch	Horizontal Area
5.00°	16.24
10.00°	6.04
22.50°	183.08

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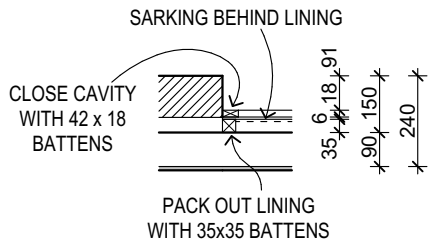
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PRIMARY DWELLING

First Floor Plan

Scale 1:100

**NOTE: CARPENTER TO REFER
TO WET AREAS LAYOUT
PAGE FOR FLOOR DRAINAGE
POSITIONS WHEN
POSITIONING FLOOR JOISTS**



NOTE:
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ARE TO THE ALUMINIUM FRAME
(UNLESS OTHERWISE NOTED)

MINOR ENCROACHMENT
INTO THE REQUIRED
BUILDING ENVELOPE
(REFER TO ELEVATIONS)

**PROVIDE UPGRADED GLAZING
AS PER BASIX REQUIREMENTS**

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NOTE:
PROVIDE 20mm
AESARSTONE TO ENS
VANITY

HOWER NICHE NOTE:
BATH & ENSUITE
SHOWERS TO HAVE
A 500w / 350h NICHE:
H/H: 1550 S/H: 1200

LOT 2

**NOT FOR
CONSTRUCTION**

Proposed: Principal Dwelling + Secondary Dwelling

Lot:1 DP:27640
No.564 Warringah Road
Forestville, NSW 2087

Client : **M. Kulkarni & S. Kulkarni**

LGA:	Northern Beaches Council	Date:	04.11.20
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Design : Custom Design

Job No: 4353N	Sheet Size: A2	Sheet No: 8 of 13
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Suite 1, Level 1 600 Hoxton Park Road, Hoxton Park NSW 2171
Telephone: (02) 9825 8000 **Fax:** (02) 9825 8110
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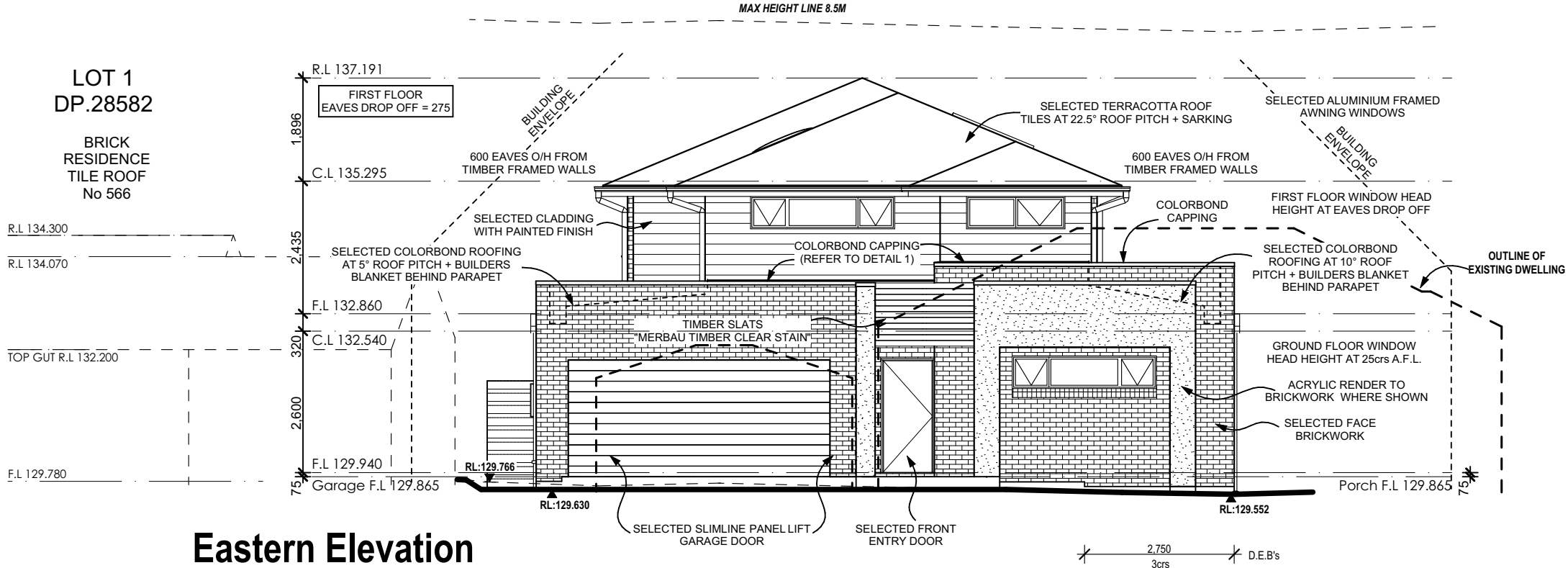
SCALE BAR 1:100



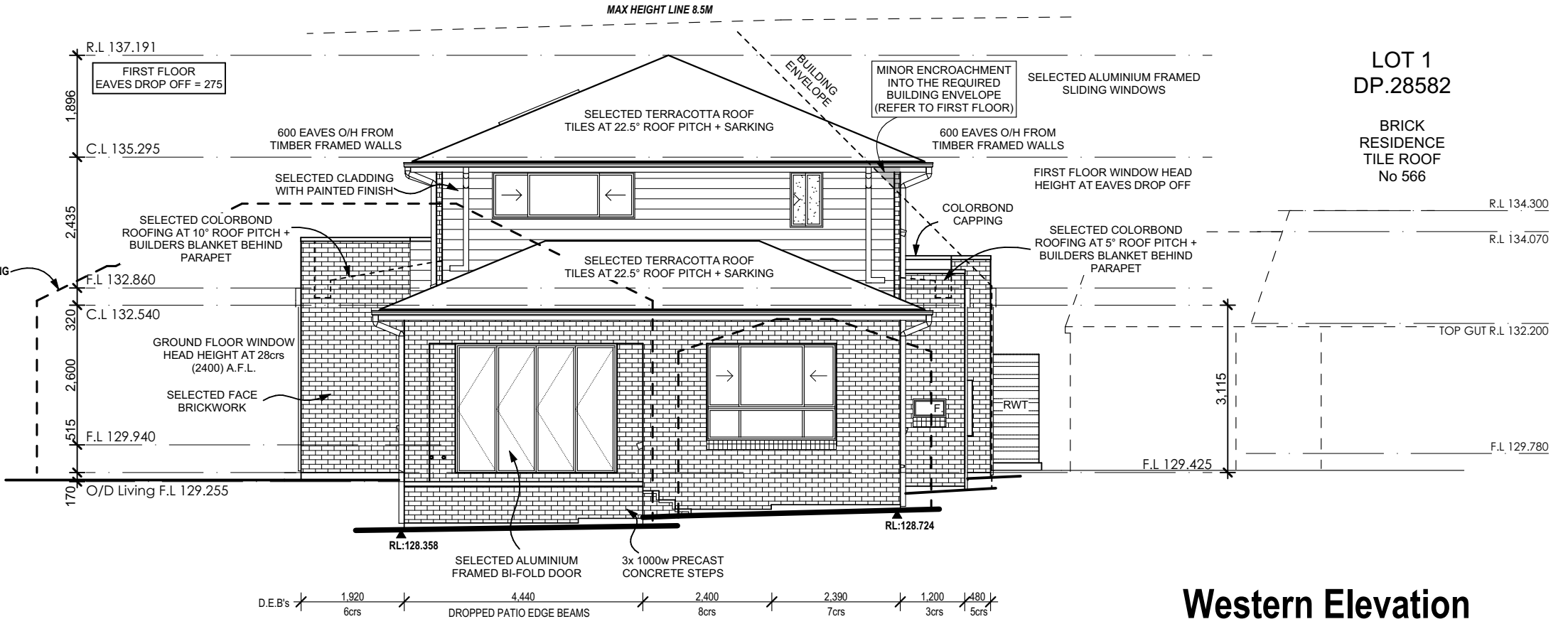
A horizontal scale bar with a black and white alternating pattern. It is marked with '0', '1,000', '2,000', '3,000', and '4,000mm'.

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5
A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

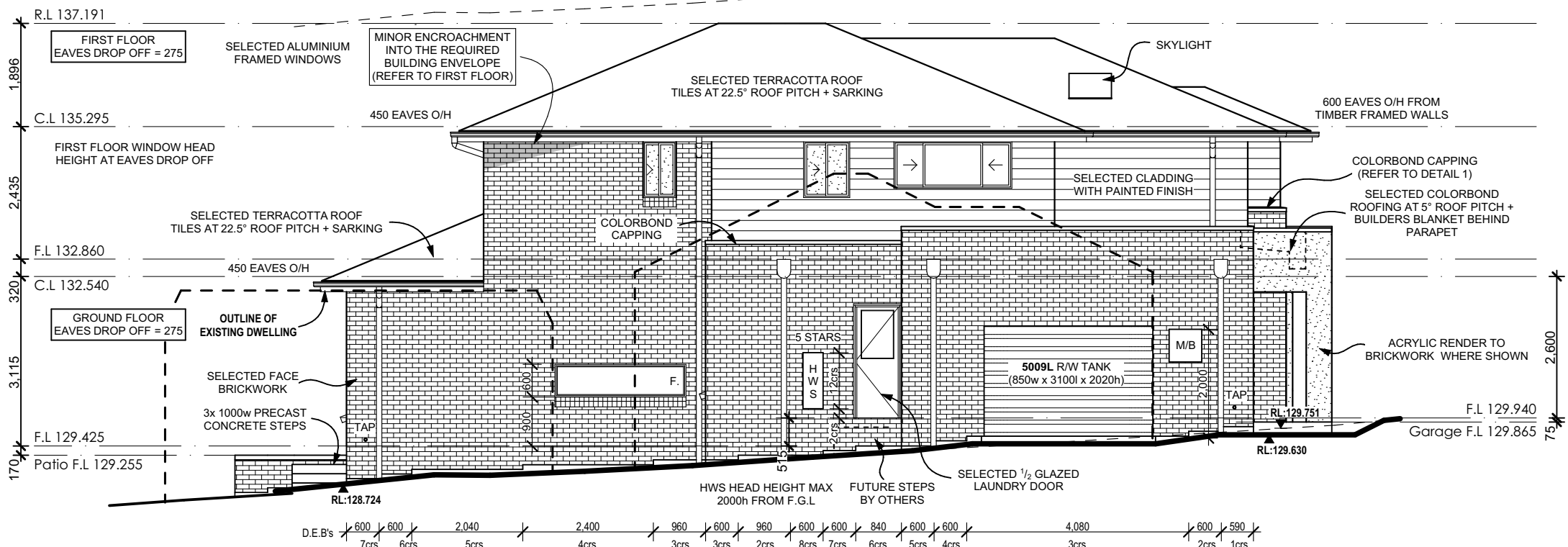
PRIMARY DWELLING



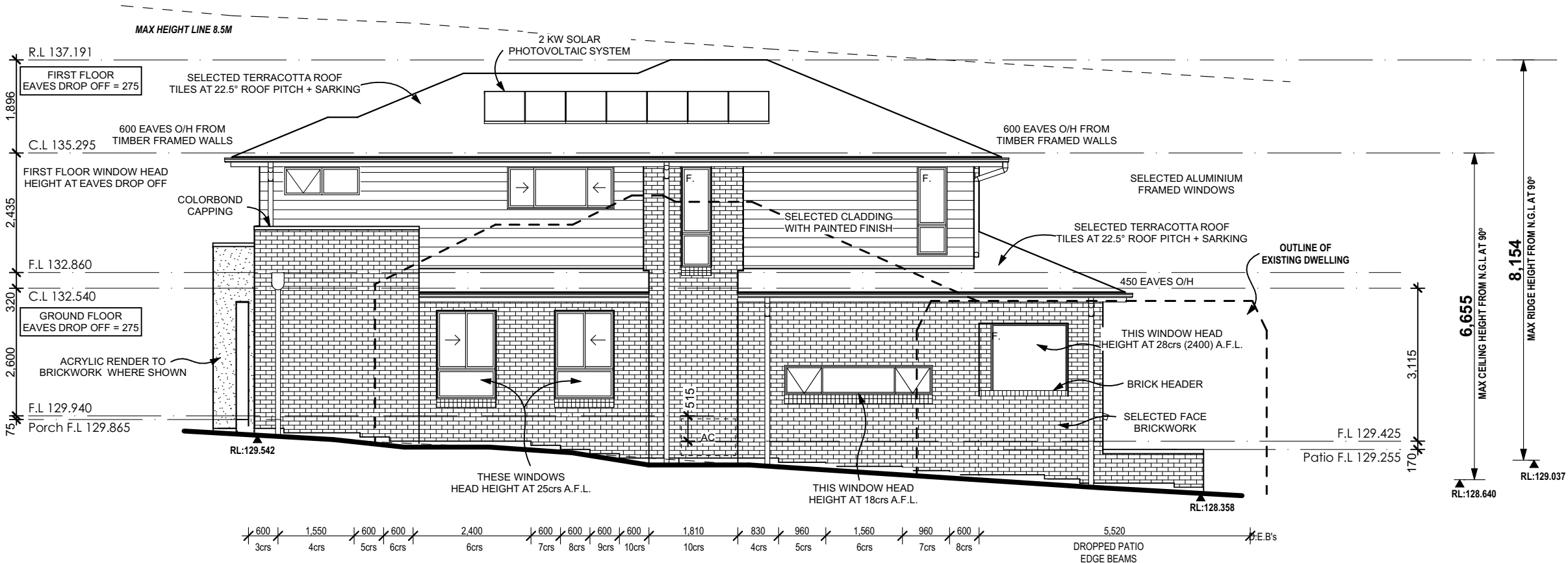
Eastern Elevation
Scale 1:100



Western Elevation
Scale 1:100



Southern Elevation
Scale 1:100



Northern Elevation
Scale 1:100

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DA2021/0414

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Rev	Date	Amendment
E	06.07.21	DRAFT - COUNCIL LETTER - AW
D	09.04.21	BASIX INFO ADDED & DA PLANS - AW
C	11.03.21	HYDRAULICS AMENDMENTS - SI
B	27.11.20	CLIENT AMENDMENTS - MA
A	04.11.20	CONTRACT DRAWINGS - AW

Plot Date: Tuesday, 6 July 2021

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC

NOT FOR CONSTRUCTION

Proposed: Principal Dwelling + Secondary Dwelling

Lot:1 DP:27640
No.564 Warringah Road
Forestville, NSW 2087

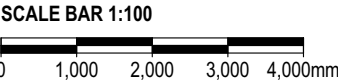
Client :
M. Kulkarni & S. Kulkarni

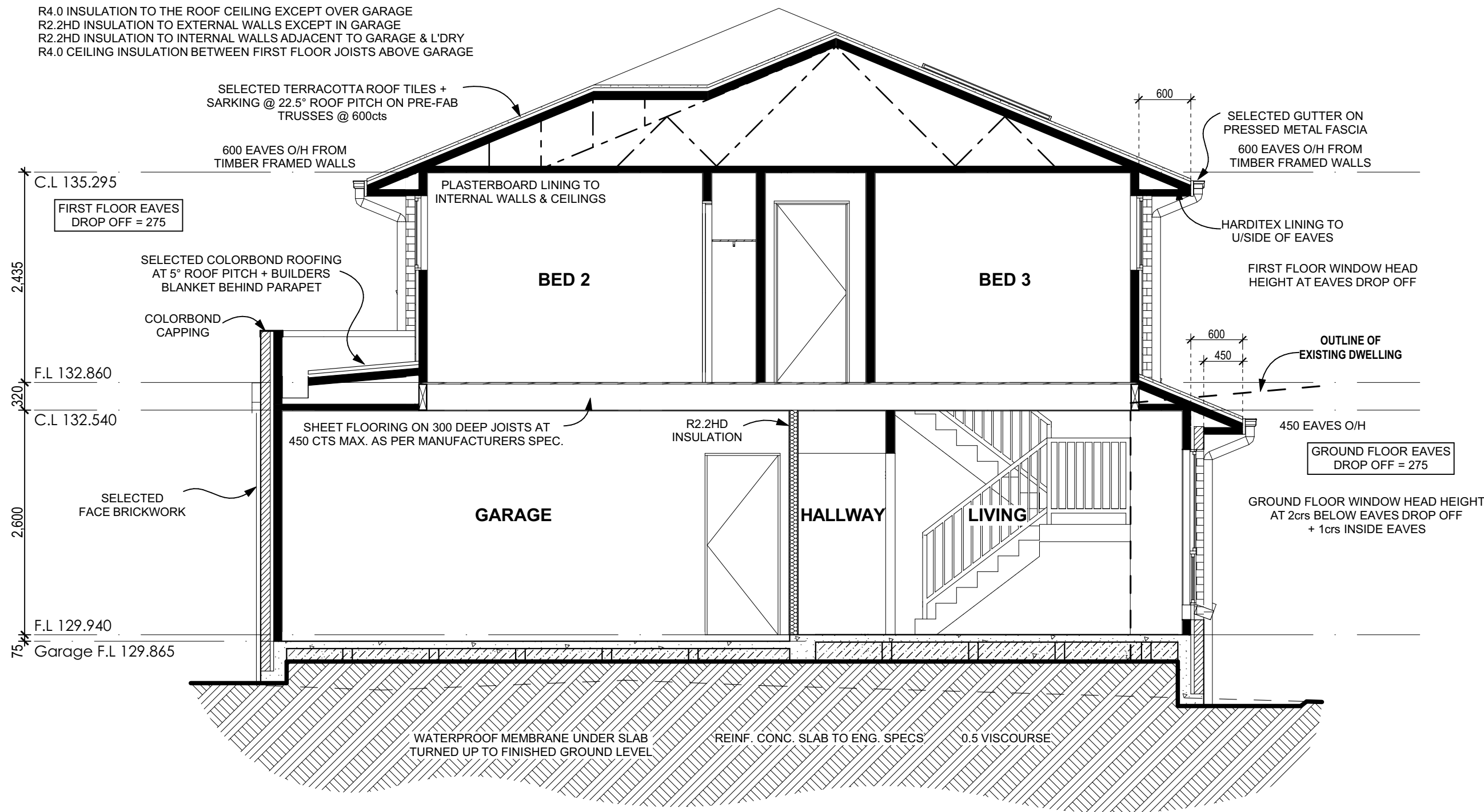
LGA: Northern Beaches Council Date: 04.11.20

Design : Custom Design

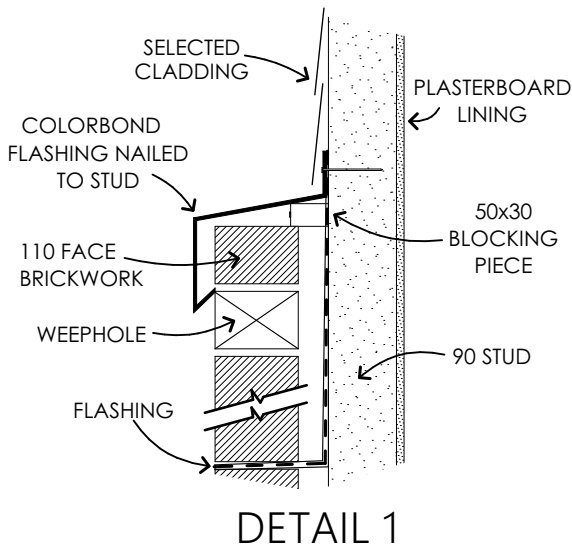
Job No: 4353N Sheet Size: A2 Sheet No: 9 of 13

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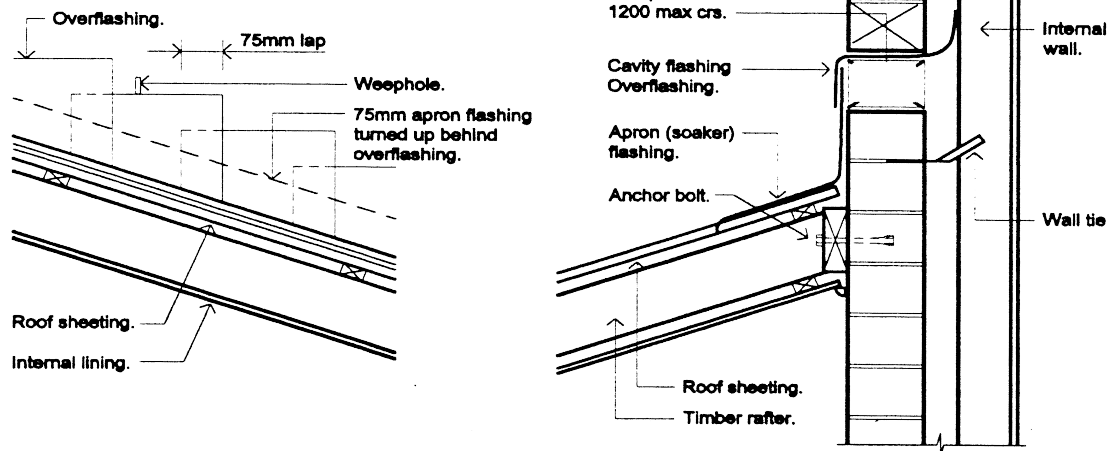




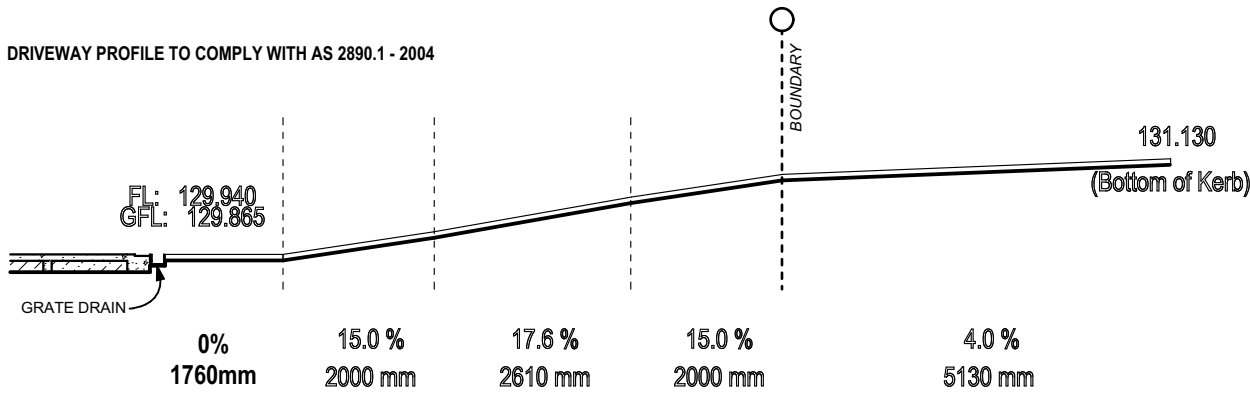
Section 01
Scale 1:50



STEPPED CAVITY FLASHINGS



DRIVEWAY PROFILE TO COMPLY WITH AS 2890.1 - 2004




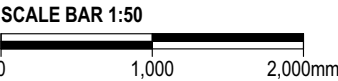
Driveway Profile
Scale 1:100

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Plot Date: Tuesday, 6 July 2021

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC
NOT FOR CONSTRUCTION		
Proposed: Principal Dwelling + Secondary Dwelling		
Lot:1 DP:27640 No.564 Warringah Road Forestville, NSW 2087		
Client : M. Kulkarni & S. Kulkarni		
LGA:	Northern Beaches Council	Date: 04.11.20
Design : Custom Design		
Job No:	4353N	Sheet Size: A2
		Sheet No: 10 of 13
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PRIMARY DWELLING

Standard Electrical Plan

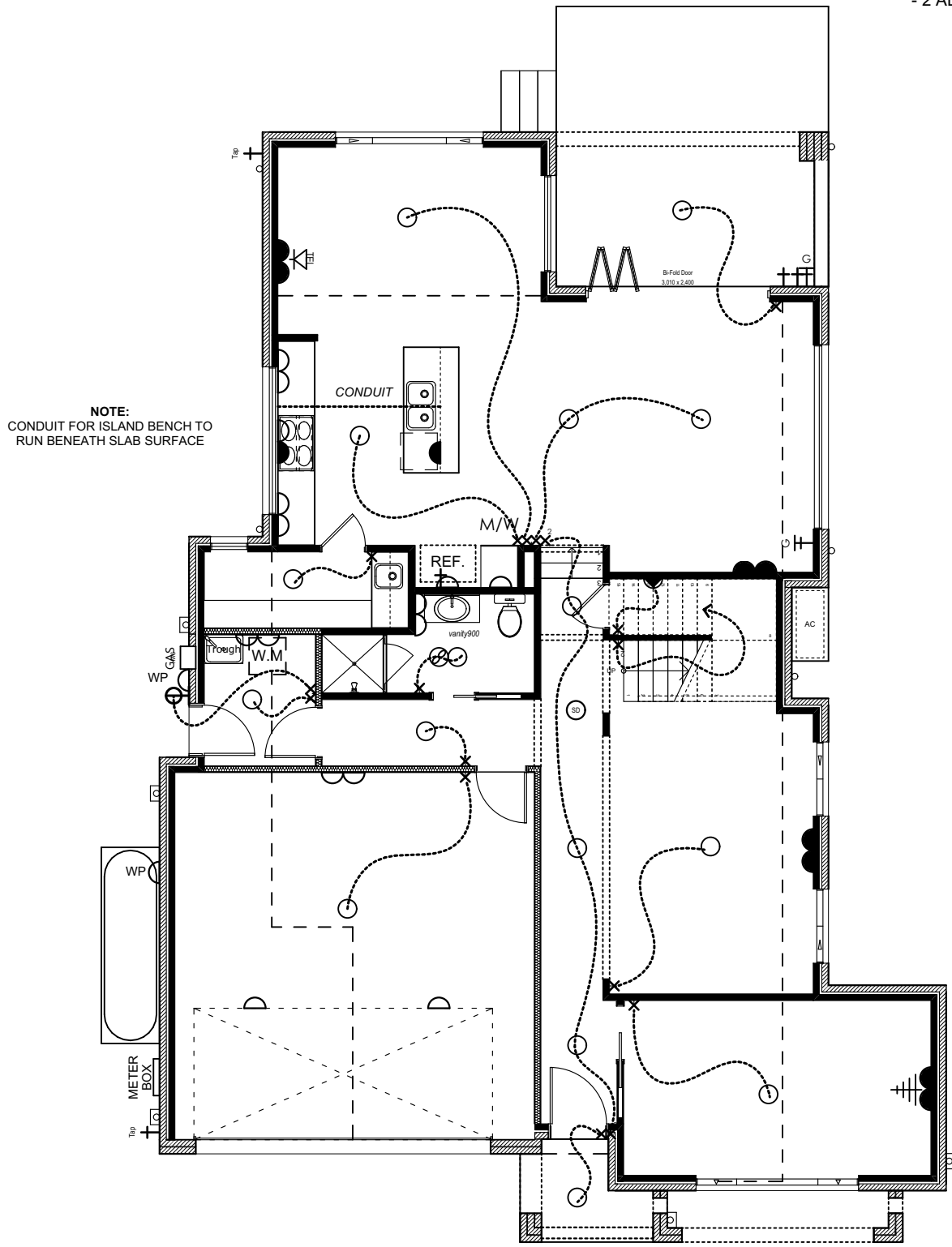
Scale 1:100

NOTE:
PROVIDE 2 KILOWATT SOLAR PHOTOVOLTAIC SYSTEM TO ROOF

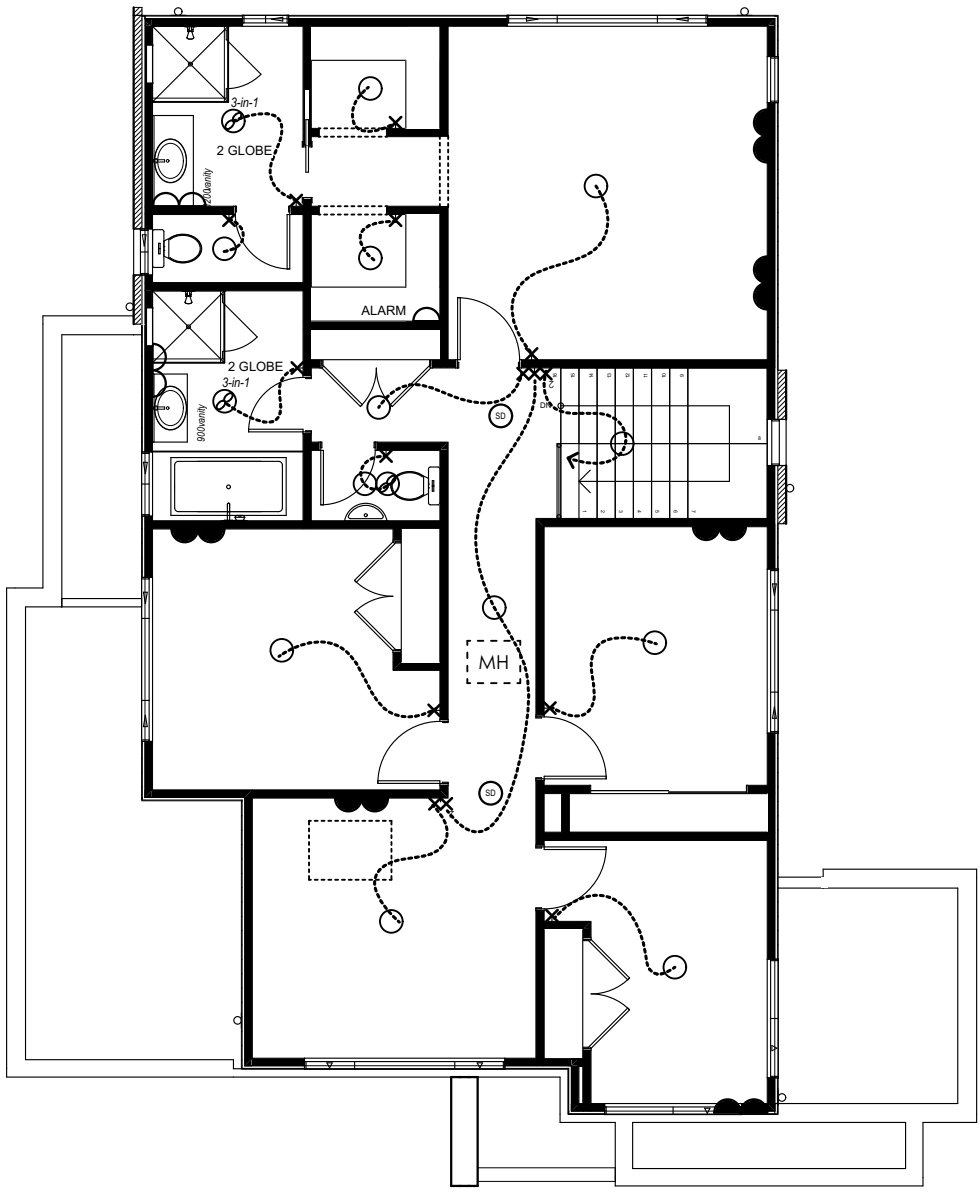
- NOTES:**
- ALL EXHAUST FANS TO BE DUCTED TO OUTSIDE AIR WITH SELF-CLOSING DAMPER
 - DUCT KITCHEN RANGEHOOD TO OUTSIDE AIR
 - PROVIDE ALARM SYSTEM
 - PROVIDE REMOTE CONTROL TO GARAGE DOORS (TWO HANDSETS)
 - PROVIDE 18KW DUCTED REVERSE CYCLE AIR CONDITIONING WITH INVERTER (TWO ZONES)
 - SMOKE ALARMS TO BE INTERLOCKED AS PER BCA 2017 (3.7.2)

PROVIDE THE FOLLOWING ADDITIONAL POINTS WITH THEIR LOCATIONS TO BE NOMINATED AT ELECTRICAL APPOINTMENT:

- 20 LED DOWNLIGHTS
- 2 DATA POINTS
- 2 ADDITIONAL TV POINTS
- 2 ADDITIONAL PHONE POINTS



GROUND FLOOR PLAN



FIRST FLOOR PLAN

ELECTRICAL SCHEDULE					
DWELLING	Symbol	ITEM	Q'ty	MULTI SWITCH FACE PLATES (1-4)	Height (1=300, 2=1100, 3=1600)
Principal Dwelling, Ground Floor Level					
	⊕	Capped-off Wall Light	1	---	---
	⊗	Exhaust fan	1	---	---
	⊕	Gas Bayonet	2	---	---
	⊕	GPO	2	---	1
	⊕	GPO	4	---	1
	⊕	GPO	5	---	2
	⊕	GPO	7	---	2
	⊕	Phone	1	---	---
	⊕	Smoke Detector	1	---	---
	⊕	Standard light	16	---	---
	⊕	Switch	1	1	---
	⊕	Switch	1	2	---
	⊕	Switch	1	2	---
	⊕	Switch	1	4	---
	⊕	Switch	8	1	---
	⊕	Television point	1	---	---
	⊕	Wall light	1	---	---
Principal Dwelling, First Floor Level					
	⊕	Exhaust fan	1	---	---
	⊕	Exhaust fan	2	---	---
	⊕	GPO	1	---	2
	⊕	GPO	2	---	2
	⊕	GPO	6	---	1
	⊕	Smoke Detector	2	---	---
	⊕	Standard light	12	---	---
	⊕	Switch	1	2	---
	⊕	Switch	1	3	---
	⊕	Switch	10	1	---

SCALE BAR 1:100
0 1,000 2,000 3,000 4,000mm

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

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NOT FOR CONSTRUCTION

Soil Classification:
TBC

Slab Classification:
TBC

Wind Speed Class:
TBC

Rev	Date	Amendment
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A	04.11.20	CONTRACT DRAWINGS - AW

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Proposed: Principal Dwelling + Secondary Dwelling

Lot:1 DP:27640
No.564 Warringah Road
Forestville, NSW 2087

Client :
M. Kulkarni & S. Kulkarni

LGA: Northern Beaches Council **Date:** 04.11.20

Design : Custom Design

Job No: 4353N **Sheet Size:** A2 **Sheet No:** 11 of 13

Plot Date: Tuesday, 6 July 2021

NOTE:
THE BUILDER RESERVES THE RIGHT TO CONSTRUCT OR INSTALL A/C DUCTS
AND/OR BULKHEADS ARISING OUT OF ANY DESIGN ISSUES ENCOUNTERED DURING
CONSTRUCTION OR AS A RESULT OF THE BUILDERS WORK METHODS.

THE BUILDER SHALL NOT BE REQUIRED TO SUPPLY OR PROVIDE ANY
ITEMS OR SERVICES OR MATERIALS SHOWN ON THE BUILDING PLANS AS
BEING PROVIDED BY THE BUILDER, UNLESS THEY ARE SPECIFICALLY
INCLUDED IN THE BUILDERS TENDER AMENDMENTS OR VARIATIONS.

Floor Plan

Scale 1:100

Standard Electrical Plan

Scale 1:100

WINDOW NOTE:
ALL WINDOW OPENING DIMENSIONS
ARE TO THE ALUMINIUM FRAME
(UNLESS OTHERWISE NOTED)

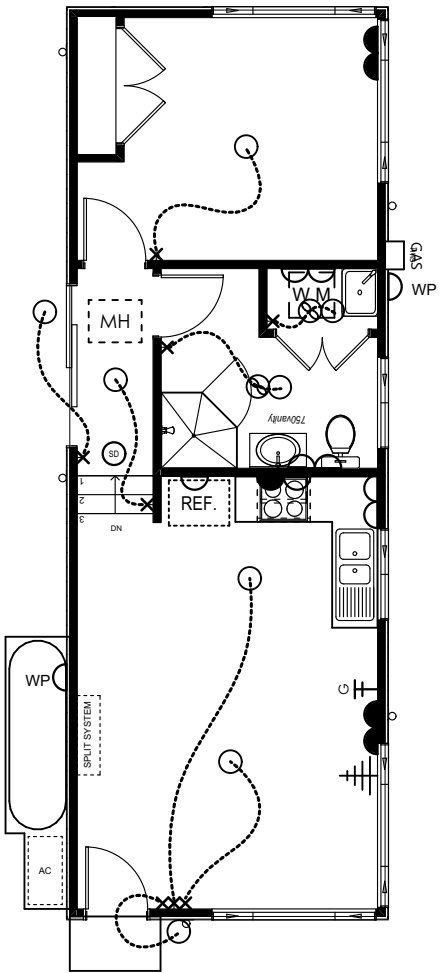
KITCHEN NOTE:
NOTWITHSTANDING ANYTHING ELSE CONTAINED
IN THE CONTRACT OR TENDER, THE OWNER
ACKNOWLEDGES AND AGREES THAT THE
KITCHEN TO BE SUPPLIED AND INSTALLED SHALL
BE IN ACCORDANCE WITH THE KITCHEN
MANUFACTURES DETAIL

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

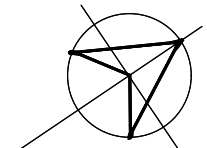
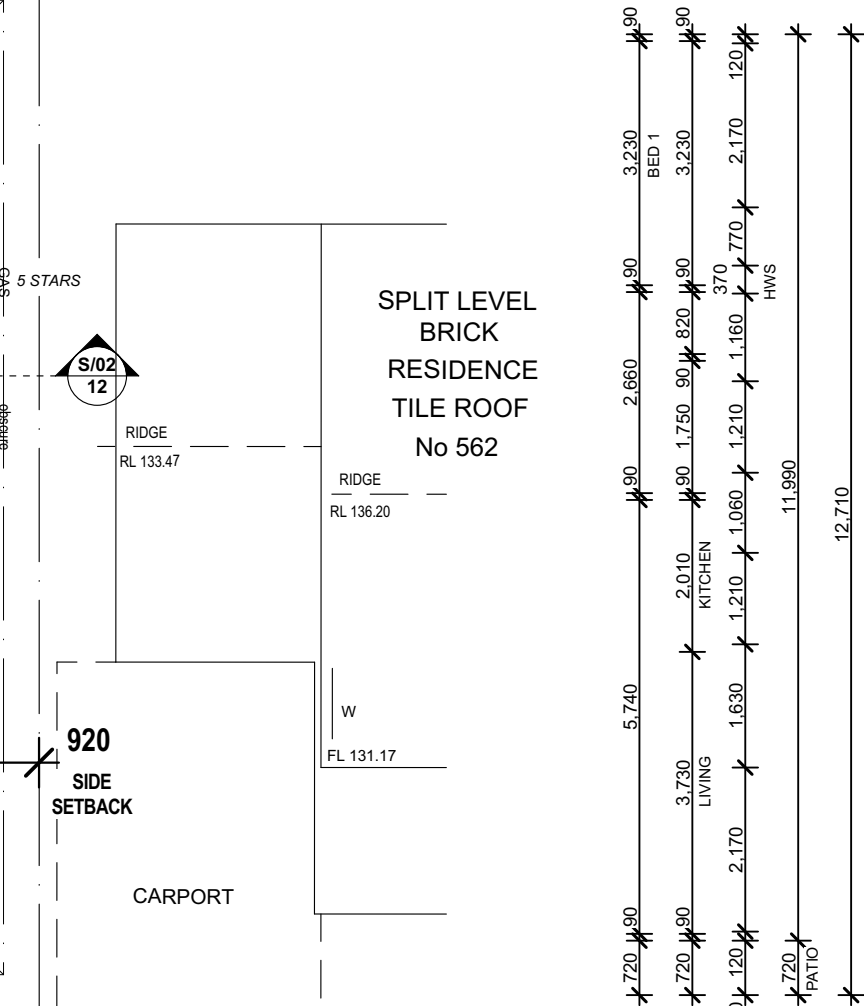
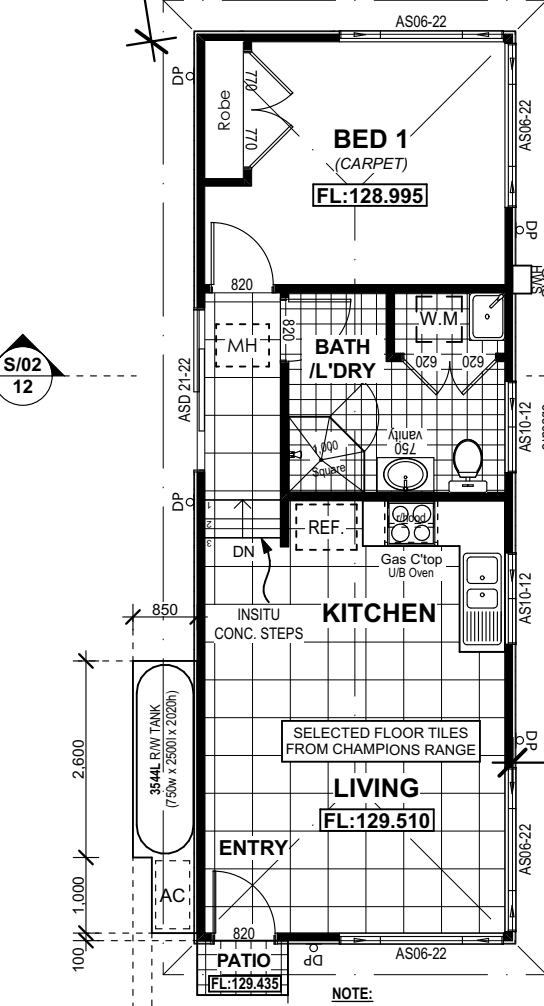
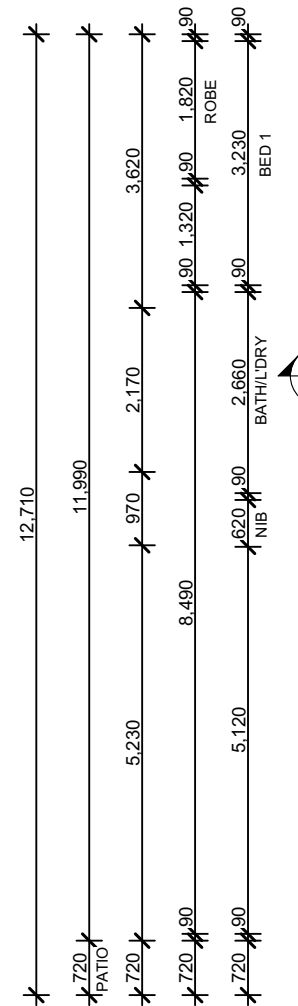
DA2021/0414

NOTES:

- PROVIDE SPLIT SYSTEM AIR CONDITIONING
- SMOKE ALARMS TO BE INTERLOCKED AS PER BCA 2017 (3.7.2)



ELECTRICAL SCHEDULE				
DWELLING	Symbol	ITEM	Q'ty	MULTI SWITCH FACE PLATES (1-4)
Secondary Dwelling, Ground Floor Level				
	⊕	Exhaust fan	2	---
	⊕	Gas Bayonet	1	---
	⊕	GPO	1	---
	⊕	GPO	2	---
	⊕	GPO	3	---
	⊕	GPO	4	---
	⊕	Smoke Detector	1	---
	⊕	Standard light	8	---
	⊕	Switch	1	---
	⊕	Switch	5	---
	⊕	Television point	1	---



NORTH

Secondary Dwelling Areas	
Area Name	Area m2
GROUND FLOOR	50.06
PATIO	0.86
	50.92 m²

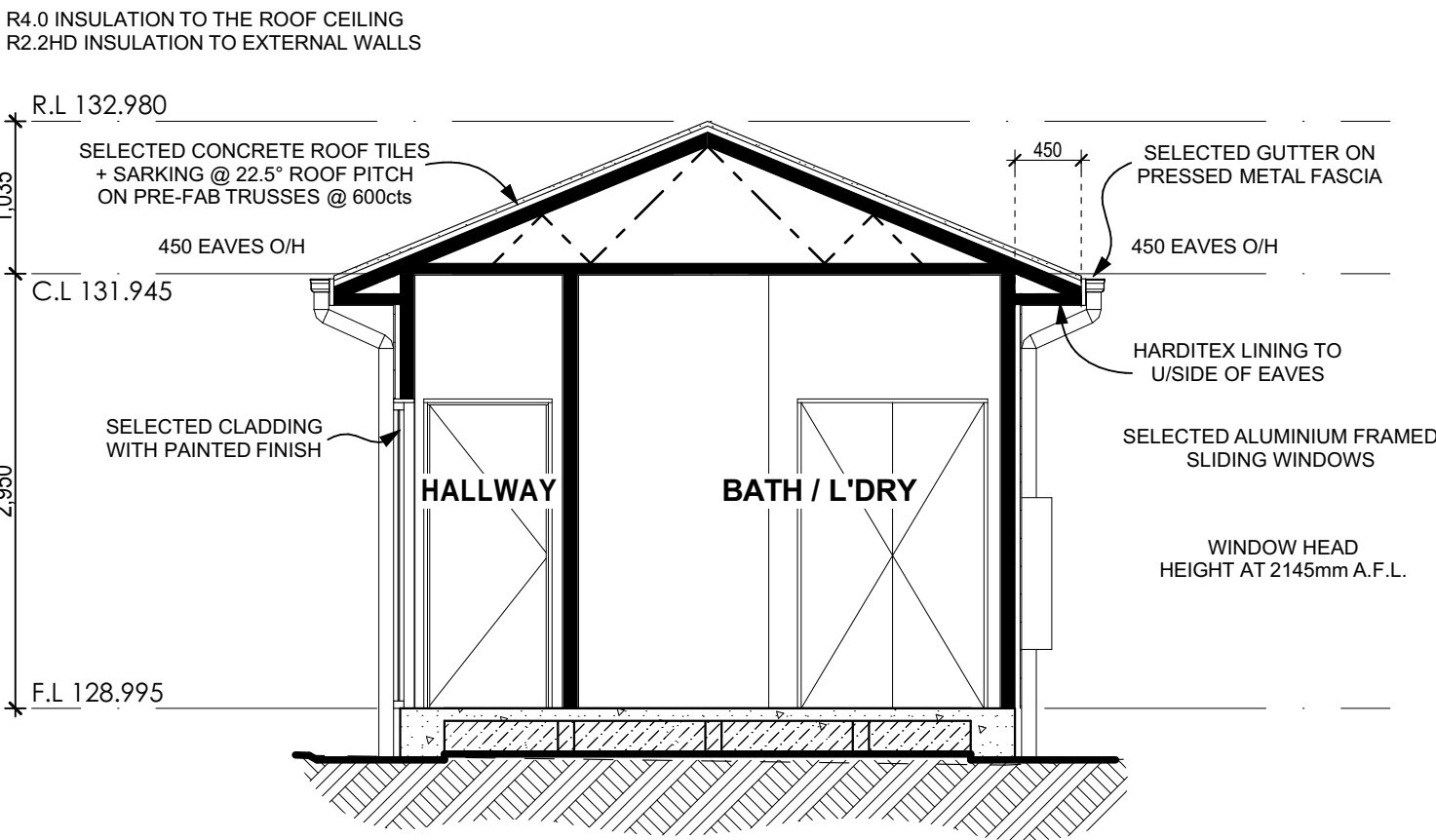
ROOF AREA(m2) - Secondary	
Pitch	Horizontal Area
22.50°	65.36



SECONDARY DWELLING

Section 02

Scale 1:50



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**NOT FOR
CONSTRUCTION**

Soil Classification:
TBC

Slab Classification:
TBC

Wind Speed Class:
TBC

Rev	Date	Amendment
E	06.07.21	DRAFT - COUNCIL LETTER - AW
D	09.04.21	BASIX INFO ADDED & DA PLANS - AW
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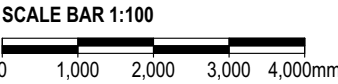
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**Proposed: Principal Dwelling +
Secondary Dwelling**

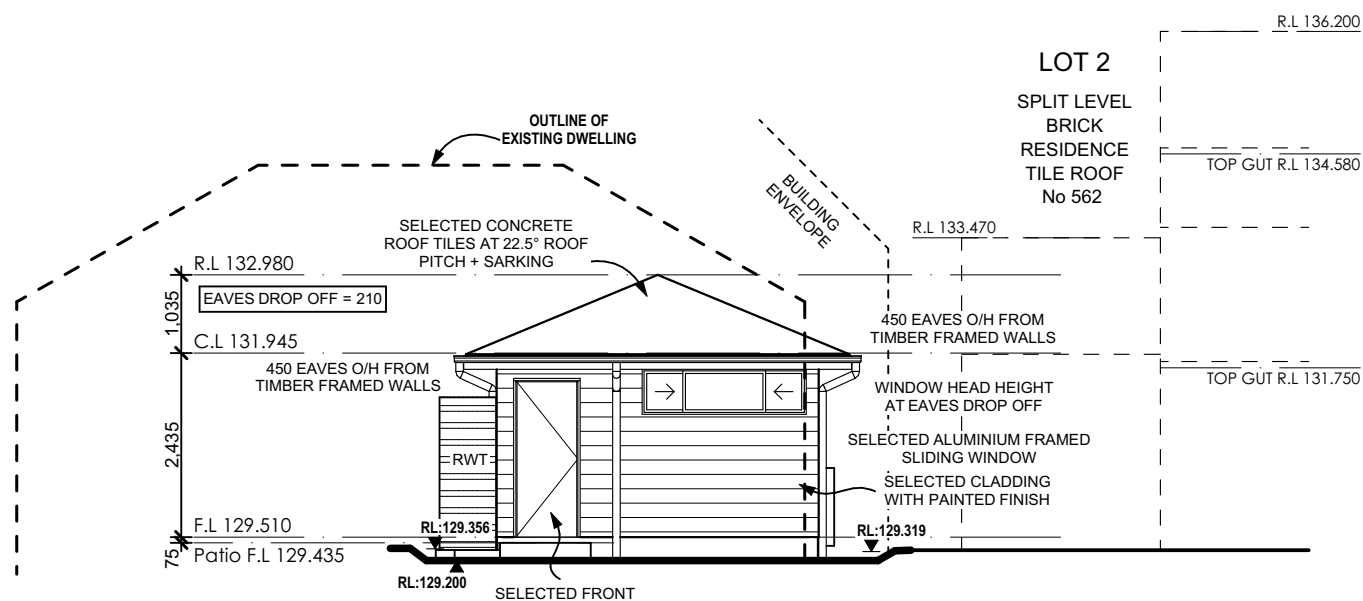
Lot:1 DP:27640
No.564 Warringah Road
Forestville, NSW 2087

Client : M. Kulkarni & S. Kulkarni		
LGA:	Northern Beaches Council	Date: 04.11.20
Design : Custom Design		
Job No:	4353N	Sheet Size: A2
		Sheet No: 12 of 13

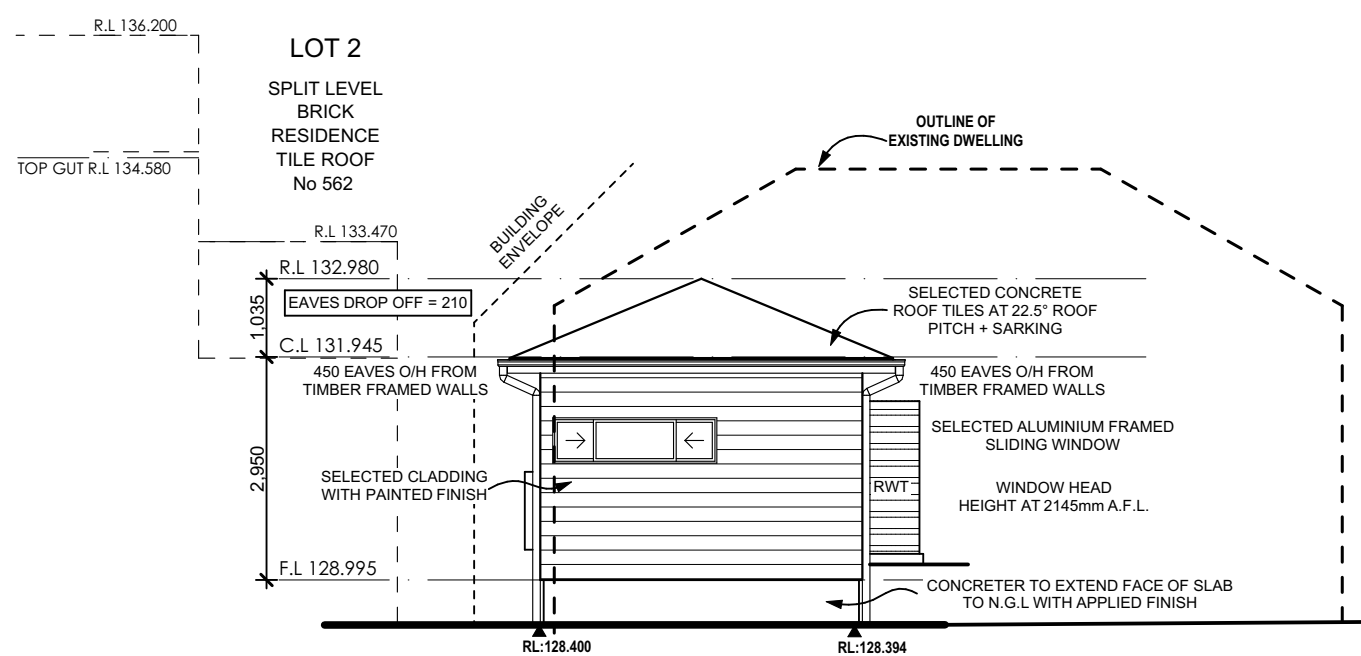
Plot Date: Tuesday, 6 July 2021



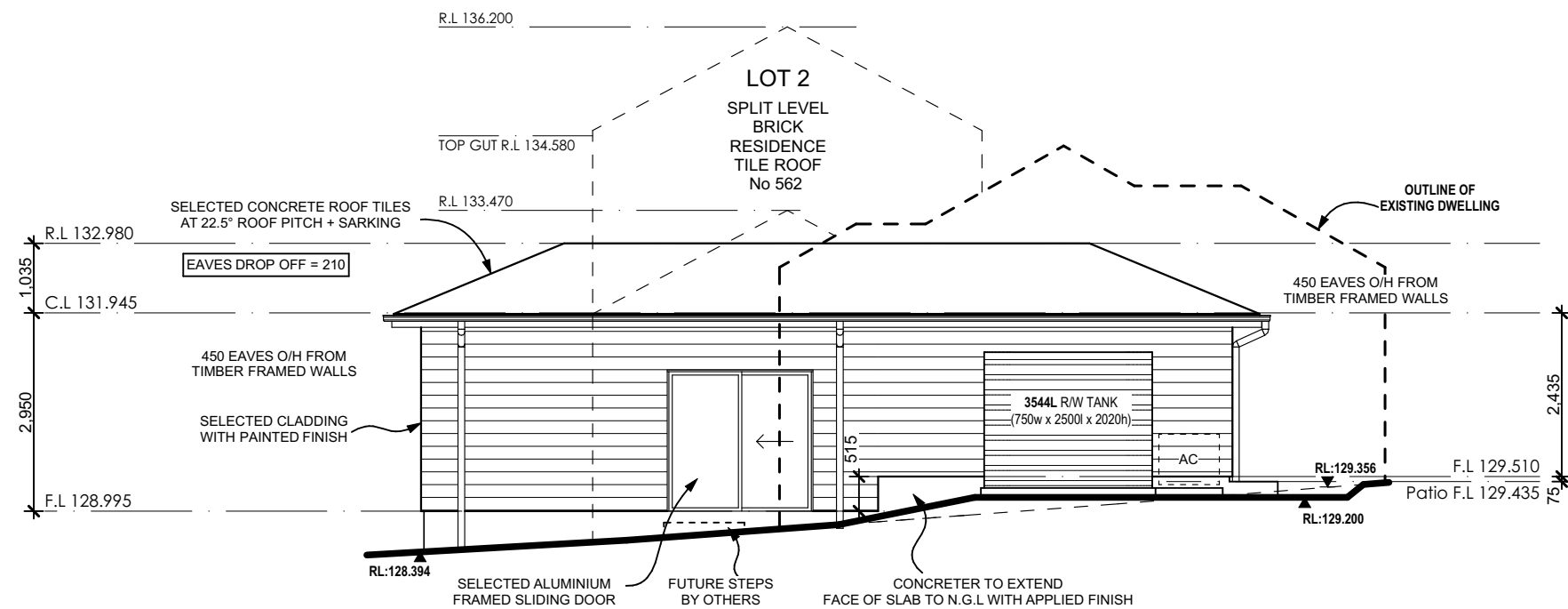
SECONDARY DWELLING



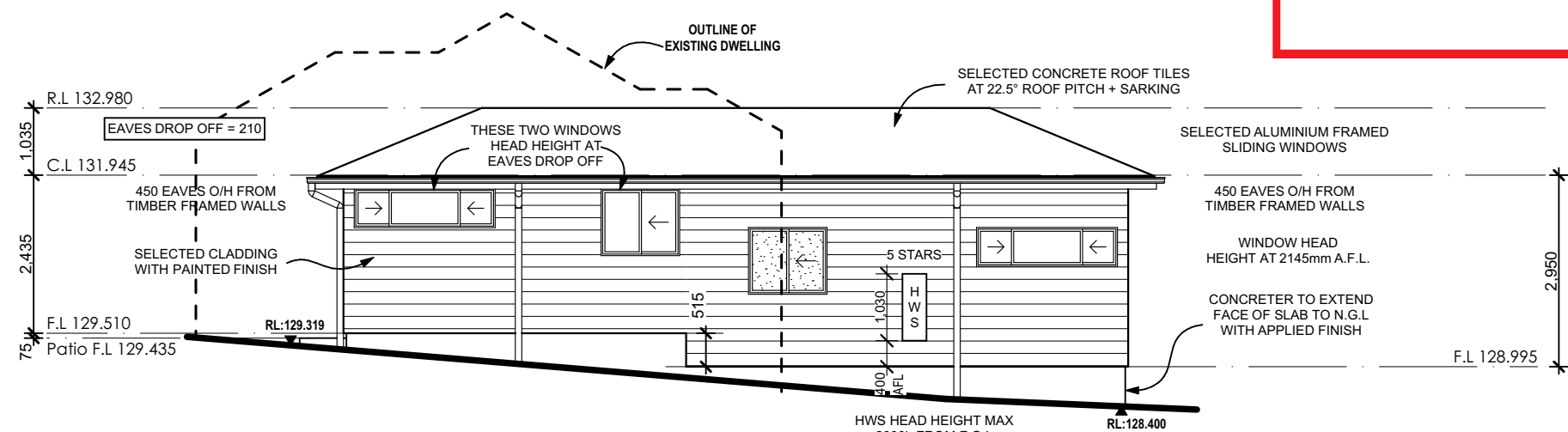
Eastern Elevation
Scale 1:100



Western Elevation
Scale 1:100



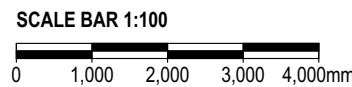
Southern Elevation
Scale 1:100



Northern Elevation
Scale 1:100

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0414



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BASIX COMMITMENTS NOTES				
REFER TO APPROVED BASIX REPORT Number:- 1177859M_02				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	4 star (> 6 but <= 7.5 L/min)	4 star	4 star	5 star
Alternative water source	Primary dwelling: Rainwater tank to collect run off from at least 100 m ² of roof area - Tank size min 3000 litres			
	Secondary dwelling: Rainwater tank to collect run off from at least 50 m ² of roof area - Tank size min 2000 litres			
	The applicant must connect the rainwater tank to:			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	N/A	N/A
ENERGY	Hot water system: Gas Instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to façade or roof; manual switch on/off			
	Kitchen ventilation system:			
	Primary dwelling: Individual fan, ducted to façade or roof; manual switch on/off			
	Secondary dwelling: Individual fan, not ducted; manual switch on/off			
	Laundry ventilation system:			
	Primary dwelling: Natural ventilation			
	Secondary dwelling: Individual fan, ducted to façade or roof; manual switch on/off			
	Cooling system:			
	Primary dwelling: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)			
	Secondary dwelling: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living area only			
Alternative energy	Heating system:			
	Primary dwelling: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living/bed area (zoned)			
	Secondary dwelling: 1 Phase air-conditioning EER 3.0-3.5 in at least 1 living area only			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
Alternative energy	Must install a gas cooktop and electric oven.			
	Must install a fixed outdoor clothes drying line as part of the development.			
	Primary dwelling: A photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity must be provided as per BASIX			

Basix Requirements (MINIMUM REQUIREMENTS)

NatHERS - THERMAL COMFORT SUMMARY

Address: Lot 1, 564 Warringah Road Forestville 2087		Date: 15/03/2021
Building Elements	Material	Detail
External walls	Brick Veneer	R2.2 bulk insulation (<i>excluding garage</i>)
	Light Weight Cladding	
Internal walls	Plasterboard on studs	R2.2 bulk insulation to walls adjacent to garage and laundry (<i>primary dwelling only</i>)
Ceiling	Plasterboard	R4.0 bulk insulation to ceilings with roof above (<i>excluding garage</i>)
Floors	Concrete – ground floor	Waffle Pod (main dwelling 225mm; garage 175mm)
	Timber – first floor	R4.0 bulk insulation to floor between garage and first floor
Roof	Roof Tiles – Medium Colour	Foil (sisalation) to underside of roof
	Metal Roof – Medium Colour	Builders Blanket – Foil + R1.3 to underside of metal roof
Skylights	Double glazed clear	–
Doors/Windows	Sliding windows/doors & fixed windows:	
	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/- 10%
	Awning windows & Bi-fold windows:	
	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57 +/- 10%
Lighting: This dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.		
Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.		
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		
Note: Self-closing damper to all exhaust fans.		
Note: Additional insulation may be required to meet acoustic requirements		

Soil Class:	Slab Class:	Wind Class:
TBC	TBC	TBC
NOT FOR CONSTRUCTION		
Proposed: Principal Dwelling + Secondary Dwelling		
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