

NatHERS Thermal Comfort Inclusions
External Floors
Concrete Slab on Ground
Suspended Timber floor (enclosed) with R3.0 (insulation only value)
Internal Floors
Suspended Timber floor between levels
External Walls
FC Cladding with R3.0 (insulation only value)
Reverse brick veneer with R2.86 (insulation only value)
No insulation to garage walls
External Colour:
Medium (SA 0.475 – 0.70)
Walls within dwellings
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms
Plasterboard on studs with R2.0 to partition wall between main dwelling
Glazing Doors/Windows
Bifold doors:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Sliding windows:
U-value: 4.8 (equal to or lower than) SHGC: 0.34 (±10%)
Louvers:
U-value: 5.6 (equal to or lower than) SHGC: 0.41 (±10%)
Given values are AFRC total window system values (glass and frame)
Roof and Ceilings
Metal roof
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling
External Colour
Dark (SA > 0.70)
Ceiling Penetrations
Sealed LED downlights not to exceed NatHERS certificate
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen
1500mm ceiling fan to Ground floor Living and First floor study area
Floor coverings
Tiles to bathroom and Timber elsewhere
External Shading
Shading as per stamped drawings
Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and downlights proposed will have capped fittings.

## DEVELOPMENT APPLICATION

14 Kristine Place  
MONA VALE NSW 2103  
Lot 11 in DP 242690  
Site Area 699.9m²

4.6

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

72.9

MJ/m²

www.nathers.gov.au

#HR-6DYSBC-01 26/09/2023

Assessor Stefanie Simpson

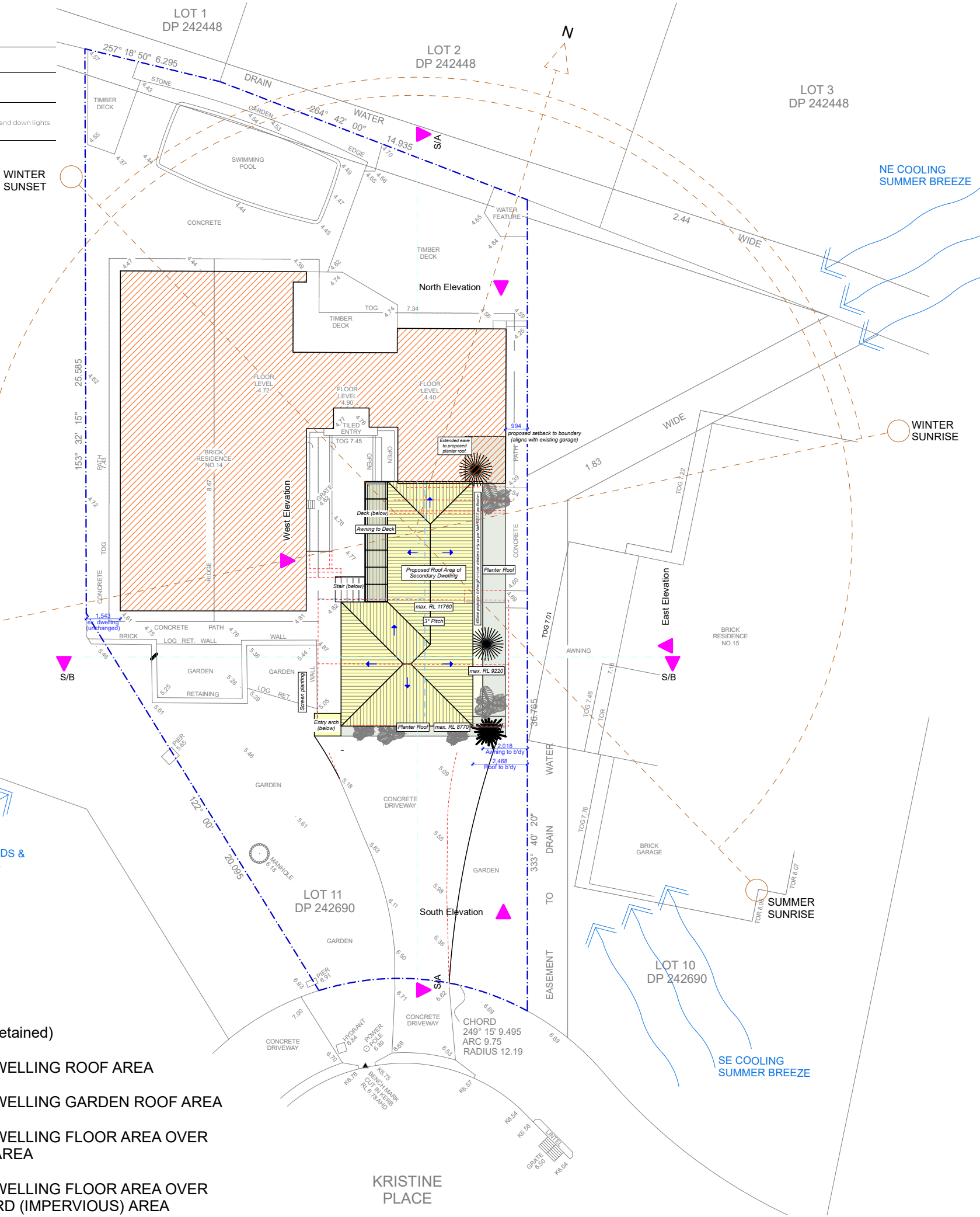
Accreditation No. HERA 10035

Address 14 Kristine Place, MONA VALE, NSW, 2103

<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

### DEVELOPMENT APPLICATION ARCHITECTURAL DRAWING LIST

DA 01 Site & Analysis Plan  
DA 02 Waste Management Site Plan  
DA 03 Ground Floor Plan  
DA 04 First Floor Plan  
DA 05 South (Street) and North Elevations  
DA 06 East and West Elevations  
DA 07 Typical Sections  
DA 08 Landscape Plan and Calculations  
DA09 Stormwater Concept Plan  
DA10 Shadow Diagrams  
DA11 External Finishes Concept



### LEGEND

- EXISTING DWELLING (to be retained)
- PROPOSED SECONDARY DWELLING ROOF AREA
- PROPOSED SECONDARY DWELLING GARDEN ROOF AREA
- PROPOSED SECONDARY DWELLING FLOOR AREA OVER EXISTING GARAGE FLOOR AREA
- PROPOSED SECONDARY DWELLING FLOOR AREA OVER EXISTING PAVED COURTYARD (IMPERVIOUS) AREA
- PROPOSED SECONDARY DWELLING ELEVATION
- PROPOSED NEW WALLS

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Submission 230630 DA to NORTHERN BEACHES COUNCIL

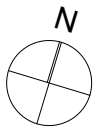
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**Roslyn Toia**  
NSW REG 9453 BARCH (HONS I) USYD  
roslyn@canvasarch.com.au 0405 60 11 30

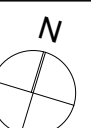
**2202: SULLMAN**  
14 Kristine Place  
MONA VALE NSW 2103  
Lot 11 in DP 242690  
Site Area 699.9m²

Drawing Name  
**Site and Analysis Plan**

Drawing Scale  
**1:200**  
Drawn  
RT

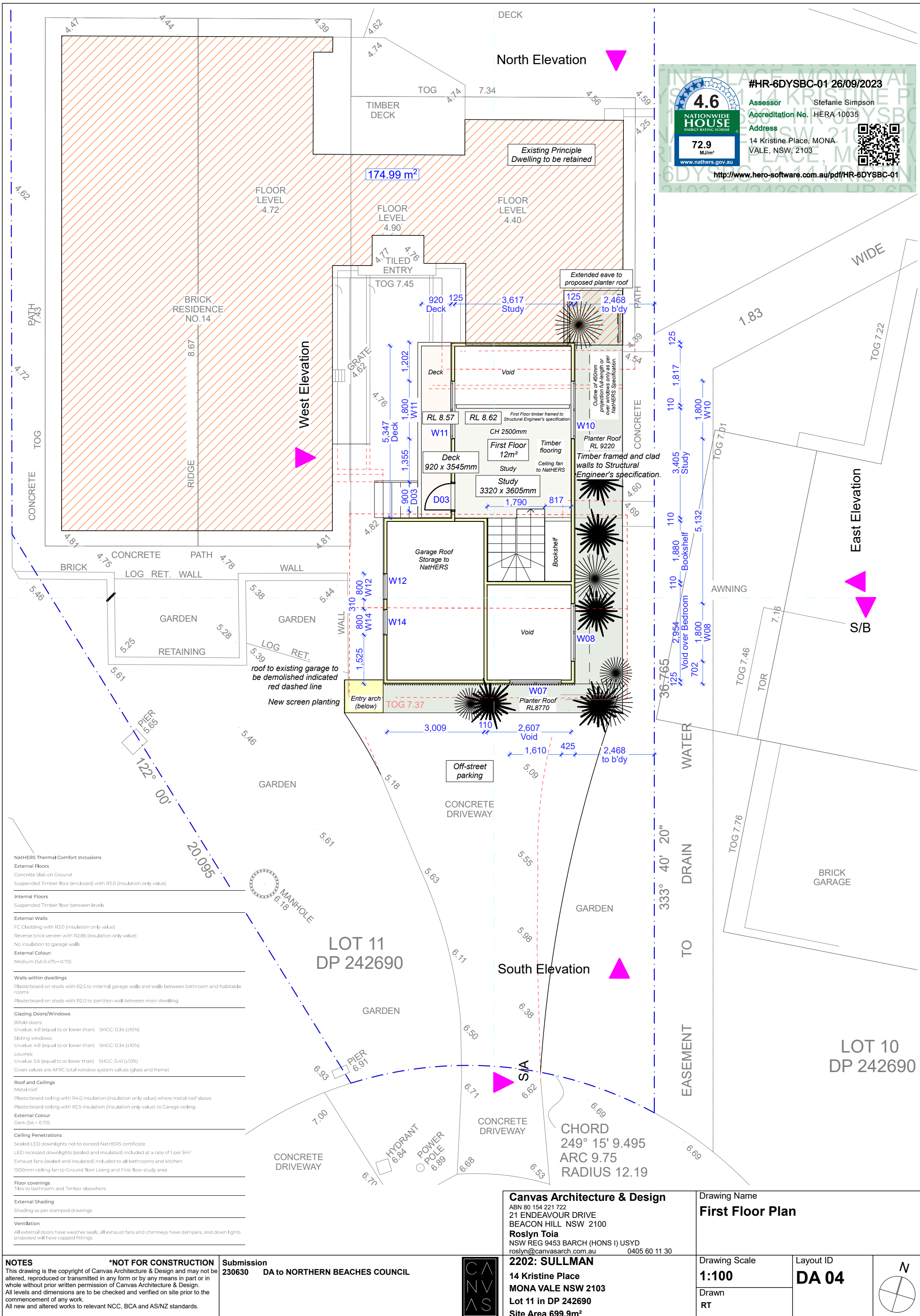
Layout ID  
**DA 01**











**#HR-6DYSBC-01 26/09/2023**

**Assessor** Stefanie Simpson

**Accreditation No.** HERA 10035

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VALE, NSW, 2103

<http://www.hero-software.com.au/pdf/HR-6DYSBC-01>

## 4.6

**NATIONWIDE  
HOUSE**  
ENERGY RATING SCHEME

## 72.9

[www.nathers.gov.au](http://www.nathers.gov.au)

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**NatHERS Thermal Comfort Inclusions**

**External Floors**  
Concrete Slab on Ground  
Suspended Timber floor (enclosed) with R3.0 (insulation only value)

**Internal Floors**  
Suspended Timber floor between levels

**External Walls**  
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**External Colour:**  
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**Walls within dwellings**  
Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms  
Plasterboard on studs with R2.0 to partition wall between main dwelling

**Glazing Doors/Windows**  
Bifold doors:  
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Given values are AFRC total window system values (glass and frame)

**Roof and Ceilings**  
Metal roof  
Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above  
Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling  
**External Colour**  
Dark (SA > 0.70)

**Ceiling Penetrations**  
Sealed LED downlights not to exceed NatHERS certificate  
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²  
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen  
1500mm ceiling fan to Ground floor Living and First floor study area

**Floor coverings**  
Tiles to bathroom and Timber elsewhere

**External Shading**  
Shading as per stamped drawings

**Neighbour ex. Roof Ridge RL 8070**

**ex. Neighbour Dwelling 15 Kristine Place**

**Proposed Secondary Dwelling**  
Roof Hgt. RL 9220  
First Floor RL 8620  
Ground Floor Level RL 5660

**ex. Dwelling (to be retained)**

**ex. Garage Roof Ridge RL 7470**

**Water tank under courtyard (behind) to future detail**

**Enclosed subfloor to NatHERS specification (behind).**

**8m Height Plane (above FPL RL 5.66)**

**8.5m Height Plane (at proposed secondary dwelling)**

**Max. Proposed Secondary Dwelling Roof Hgt. RL 11760**

**450mm east side projection full-length or over east side windows only as per NatHERS Specification.**

**Secondary Dwelling Roof**

**Side Setback (at proposed secondary dwelling)**

**Planter roof RL 9220**

**Entry arch (behind)**

**ex. Roof Ridge**

**ex. Garage Roof Ridge RL 7470**

**roof to existing garage to be demolished indicated red dashed line**

**1,000**

**ex. Dwelling 15 Kristine Place**

<b>NOTES</b>	<b>*NOT FOR CONSTRUCTION</b>	<b>Submitted</b>
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Drawing Scale	<b>1:100</b>
Drawn	RT

Layout ID  
**DA 05**

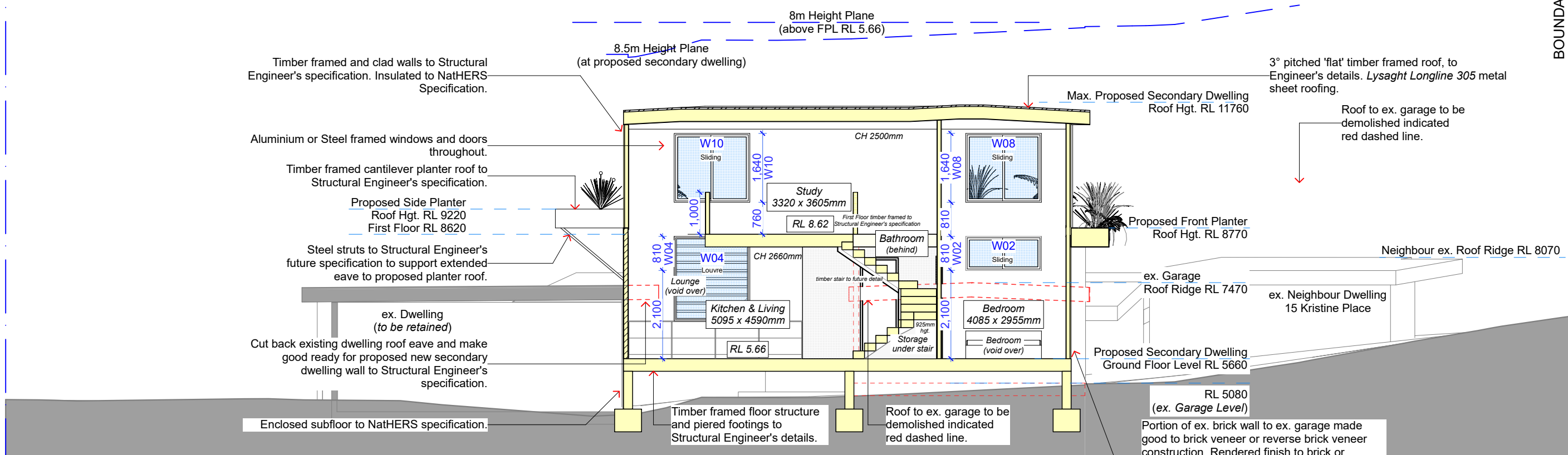




BOUNDARY

BOUNDARY

KRISTINE PLACE



Section 01 NS

NatHERS Thermal Comfort Inclusions  
External Floors  
Concrete Slab on Ground  
Suspended Timber floor (enclosed) with R3.0 (insulation only value)

Internal Floors  
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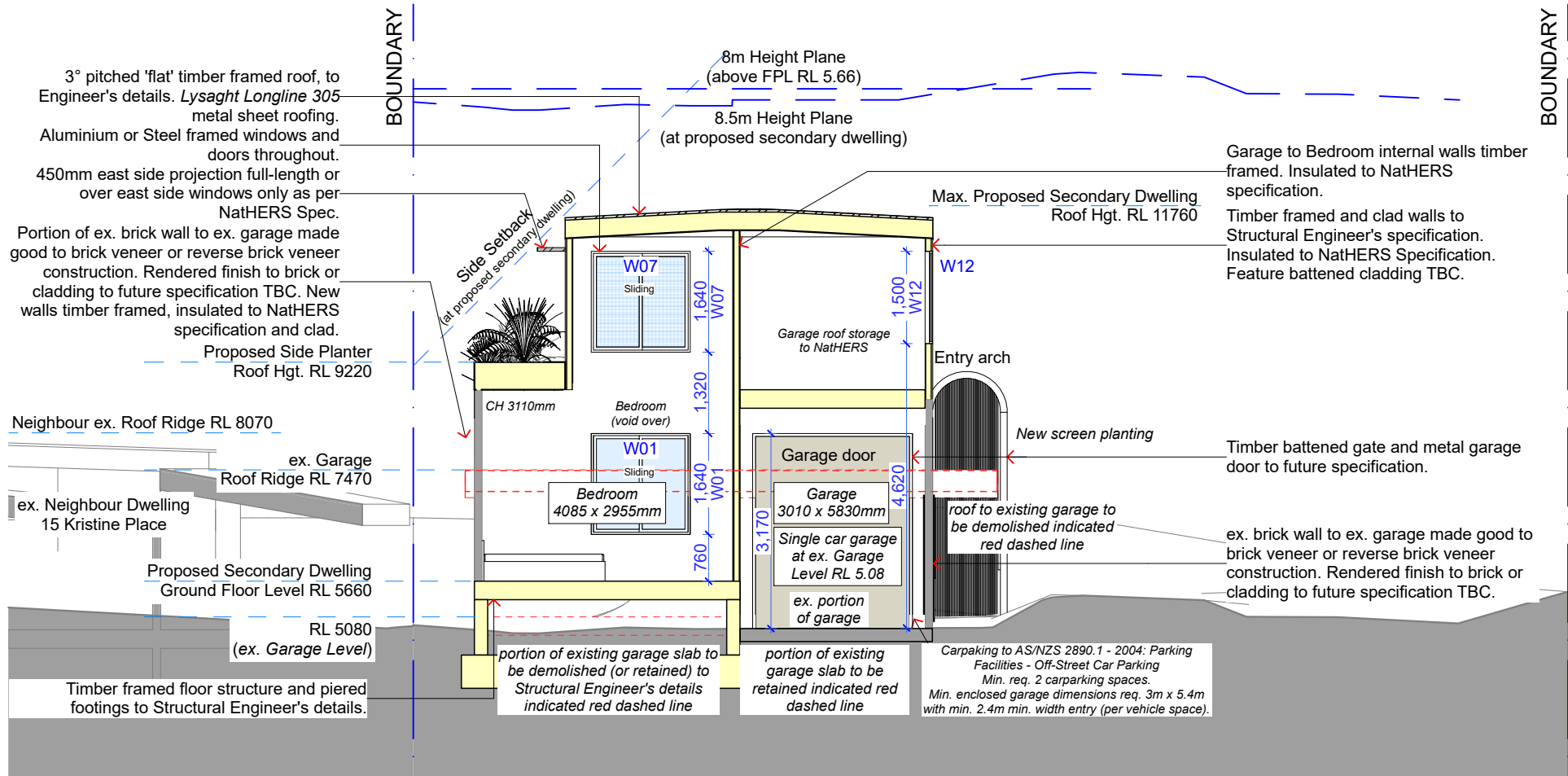
Roof and Ceilings  
Metal roof  
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Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling  
External Colour  
Dark (SA > 0.70)

Ceiling Penetrations  
Sealed LED downlights not to exceed NatHERS certificate  
LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m<sup>2</sup>  
Exhaust fans (sealed and insulated) included to all bathrooms and kitchen  
1500mm ceiling fan to Ground floor Living and First floor study area

Floor coverings  
Tiles to bathroom and Timber elsewhere

External Shading  
Shading as per stamped drawings

Ventilation  
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.



Section 02 EW

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230630 DA to NORTHERN BEACHES COUNCIL



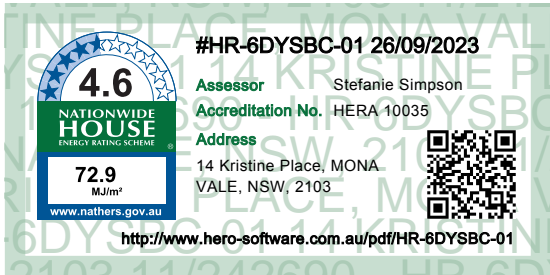
**2202: SULLMAN**  
14 Kristine Place  
MONA VALE NSW 2103  
Lot 11 in DP 242690  
Site Area 699.9m<sup>2</sup>

**Canvas Architecture & Design**  
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**Roslyn Toia**  
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Drawing Name  
**Typical Sections**

Drawing Scale  
**1:100**  
Drawn  
RT

Layout ID  
**DA07**



4.6

NATIONWIDE  
HOUSE

ENERGY RATING SCHEME

72.9

MJ/m²

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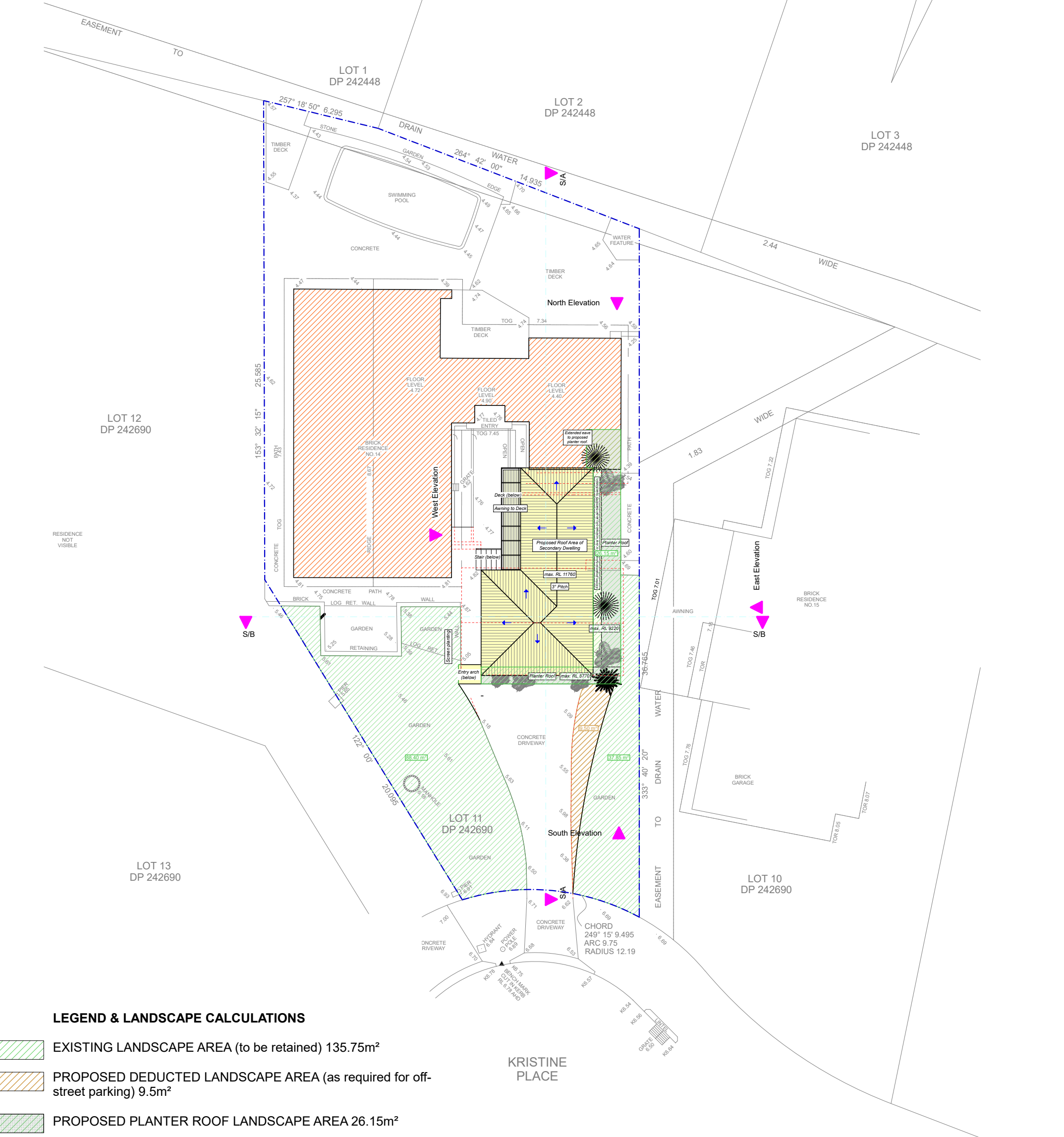
Assessor Stefanie Simpson

Accreditation No. HERA 10035

Address 14 Kristine Place, MONA VALE, NSW, 2103

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BOUNDARY IDENTIFICATION  
& DETAIL PLAN OF  
LOT 11 IN D.P. 242690  
AT No.14 KRISTINE PL., MONA VALE.  
SCALE 1:100@A1 DATUM A.H.D.  
SITE AREA = 699.9 M SQ.



LEGEND & LANDSCAPE CALCULATIONS

- EXISTING LANDSCAPE AREA (to be retained) 135.75m²
  - PROPOSED DEDUCTED LANDSCAPE AREA (as required for off-street parking) 9.5m²
  - PROPOSED PLANTER ROOF LANDSCAPE AREA 26.15m²
- TOTAL LANDSCAPE AREA PROPOSED 152.4m²
- PROPOSED INCREASE IN LANDSCAPE AREA 16.65m²

**NOTES**

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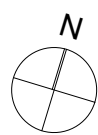
**2202: SULLMAN**  
**14 Kristine Place**  
**MONA VALE NSW 2103**  
**Lot 11 in DP 242690**  
**Site Area 699.9m²**

Drawing Name  
**Landscape Plan and Calculations**

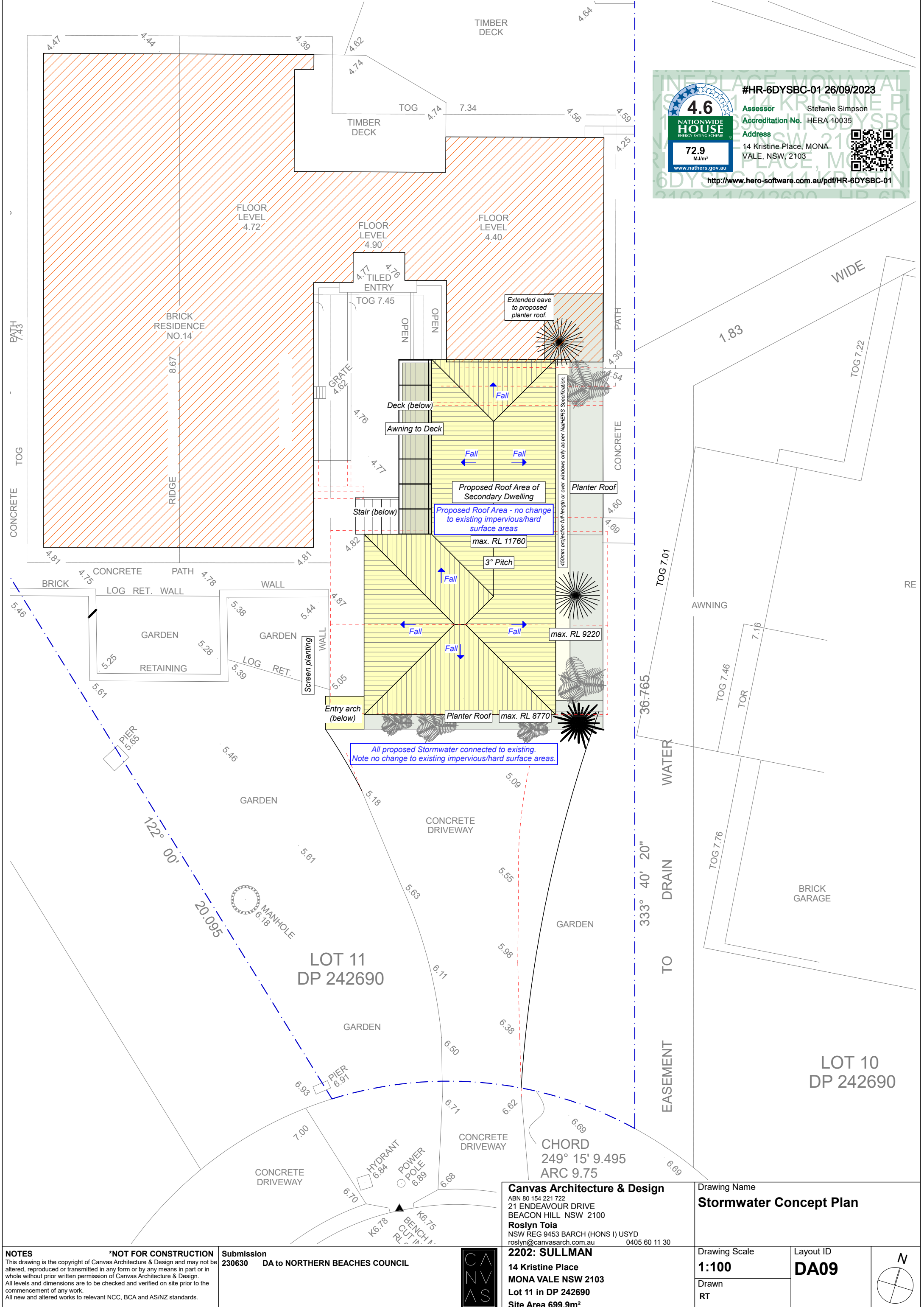
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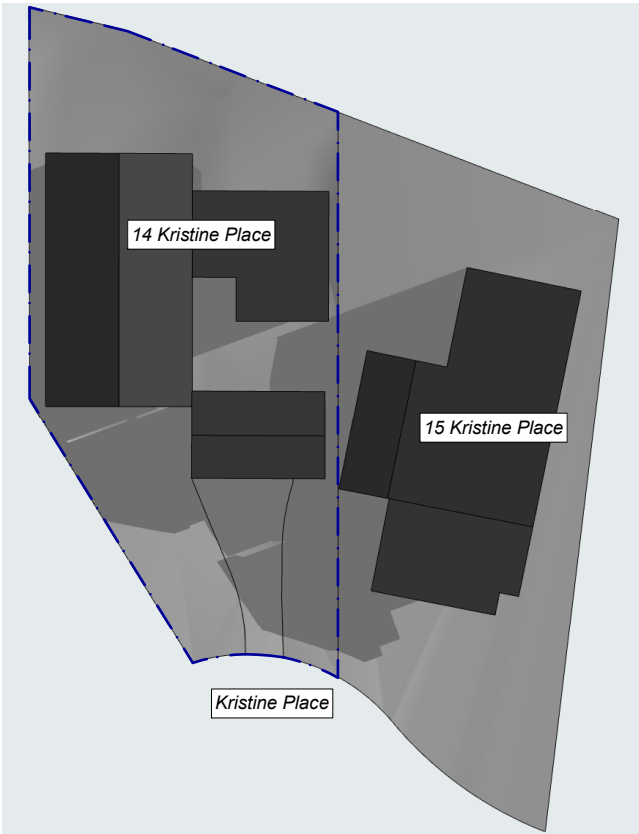
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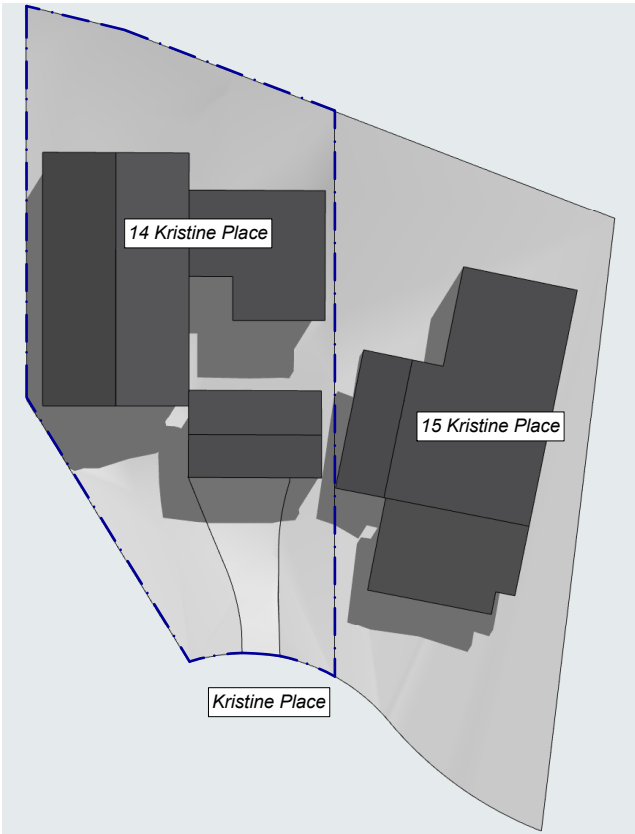








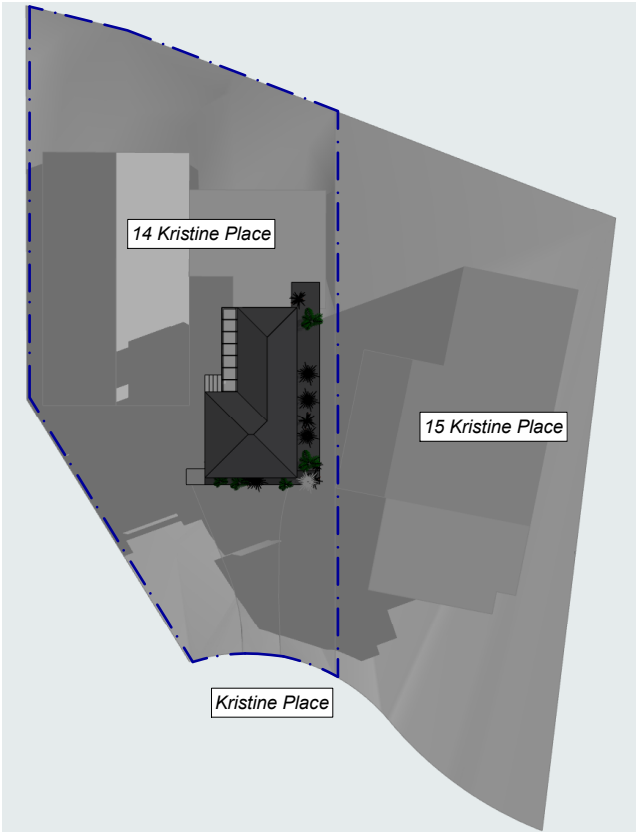
Sullman\_9am Shadow Diagram\_Existing



Sullman\_12pm Shadow Diagram\_Existing



Sullman\_3pm Shadow Diagram\_Existing



Sullman\_9am Shadow Diagram\_Proposed

4.6

NATIONWIDE  
HOUSE

ENERGY RATING SCHEME

72.9

MJ/m²

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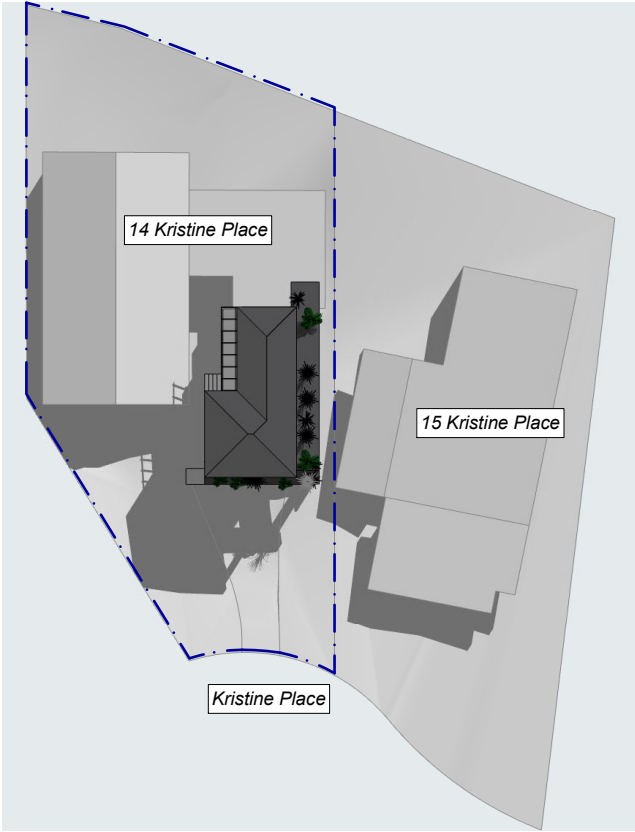
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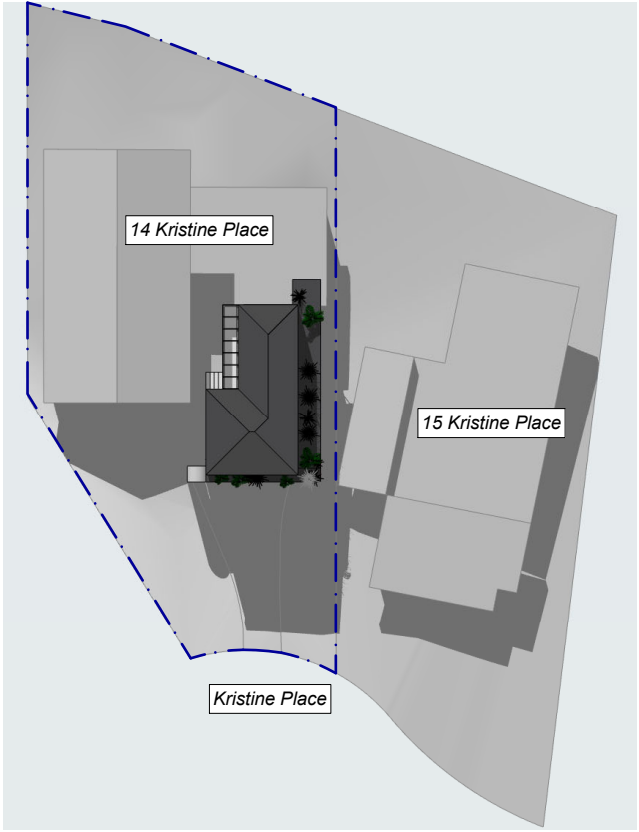
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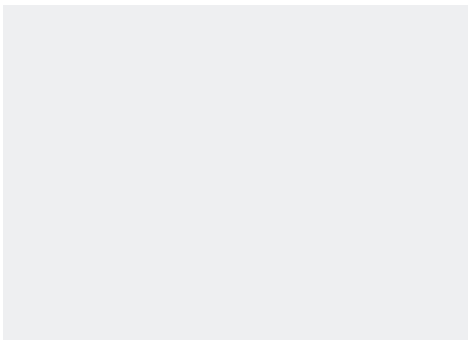
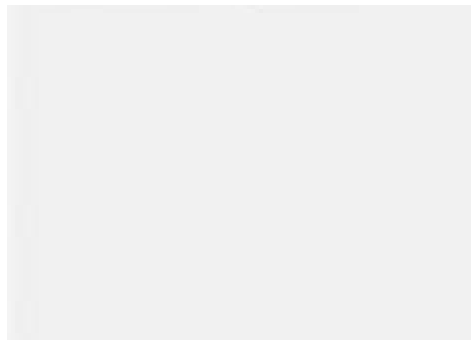






http://www.hero-software.com.au/pdf/HR-6DYSBC-01



Sullman\_12pm Shadow Diagram\_Proposed



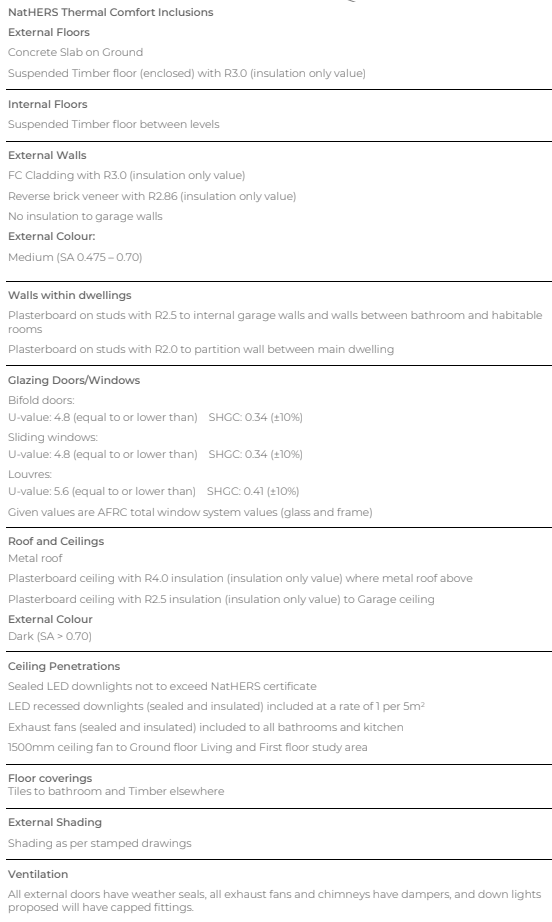
Sullman\_3pm Shadow Diagram\_Proposed

<div><div>NatHERS Thermal Comfort Inclusions</div><div>External Floors</div><div>Concrete Slab on Ground</div><div>Suspended Timber floor (enclosed) with R3.0 (insulation only value)</div></div> <div><div>Internal Floors</div><div>Suspended Timber floor between levels</div></div> <div><div>External Walls</div><div>FC Cladding with R3.0 (insulation only value)</div><div>Reverse brick veneer with R2.86 (insulation only value)</div><div>No insulation to garage walls</div><div>External Colour:</div><div>Medium (SA 0.475 – 0.70)</div></div> <div><div>Walls within dwellings</div><div>Plasterboard on studs with R2.5 to internal garage walls and walls between bathroom and habitable rooms</div><div>Plasterboard on studs with R2.0 to partition wall between main dwelling</div></div> <div><div>Glazing Doors/Windows</div><div>Bifold doors:</div><div>U-value: 4.8 (equal to or lower than)    SHGC: 0.34 (±10%)</div><div>Sliding windows:</div><div>U-value: 4.8 (equal to or lower than)    SHGC: 0.34 (±10%)</div><div>Louvres:</div><div>U-value: 5.6 (equal to or lower than)    SHGC: 0.41 (±10%)</div><div>Given values are AFRC total window system values (glass and frame)</div></div> <div><div>Roof and Ceilings</div><div>Metal roof</div><div>Plasterboard ceiling with R4.0 insulation (insulation only value) where metal roof above</div><div>Plasterboard ceiling with R2.5 insulation (insulation only value) to Garage ceiling</div><div>External Colour</div><div>Dark (SA &gt; 0.70)</div></div> <div><div>Ceiling Penetrations</div><div>Sealed LED downlights not to exceed NatHERS certificate</div><div>LED recessed downlights (sealed and insulated) included at a rate of 1 per 5m²</div><div>Exhaust fans (sealed and insulated) included to all bathrooms and kitchen</div><div>1500mm ceiling fan to Ground floor Living and First floor study area</div></div> <div><div>Floor coverings</div><div>Tiles to bathroom and Timber elsewhere</div></div> <div><div>External Shading</div><div>Shading as per stamped drawings</div></div> <div><div>Ventilation</div><div>All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings.</div></div>						
	<p><i>'Colorbond Mini-Orb' or 'Lysaght long-line' metal sheet roofing in 'Monument'</i></p>	<p><i>'Dulux' eaves colour 'White on White'</i></p>	<p><i>'Dulux' trims and aluminium framed low-profile windows and doors colour 'Lexicon Quarter White'</i></p>	<p><i>'Dulux' external walls and cladding colour 'Riversand'</i></p>		
						
	<p><i>Timber feature battening and/or cladding proposed to be natural blackbutt timber (or timber look) finish (TBC).</i></p> <p><i>Timber details including proposed timber screens and gaate to be natural blackbutt timber (or timber look) finish (TBC).</i></p>		<p><i>External colour medium beige &amp; white low-profile aluminium framed windows and doors throughout.</i></p>			
						
	<p><i>'Lysaght Long-line' metal sheet roofing TBC in 'Monument'</i></p>	<p><i>'Colorbond Mini-Orb' metal sheet roofing TBC in 'Monument'</i></p>				
				<div><div><div><div><div><div>INE PLACE, MONA VALE</div><div>14 KRISTINE PLACE, MONA VALE, NSW, 2103</div><div>6DYSBC-01</div><div>26/09/2023</div></div></div><div><div><div><div>4.6</div><div>NATIONWIDE HOUSE ENERGY RATING SCHEME</div><div>72.9 MJ/m²</div><div>www.nathers.gov.au</div></div><div><div>#HR-6DYSBC-01 26/09/2023</div><div>Assessor Stefanie Simpson</div><div>Accreditation No. HERA 10035</div><div>Address 14 Kristine Place, MONA VALE, NSW, 2103</div><div>http://www.hero-software.com.au/pdf/HR-6DYSBC-01</div></div><div></div></div></div></div></div></div>		
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*Vertical weatherboard cladding options  
(TBC by Clients)*



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