

1 SITE PLAN
1 : 100

| LEVEL 1 | |
|------------------------|--------|
| LEVEL 1 - GROUND FLOOR | 55.3m2 |
| GARAGE | 75.8m2 |
| STORAGE / PLANT / LIFT | 57.7m2 |
| ENTRY PORCH | 66.7m2 |

| LEVEL 2 | |
|---------|---------|
| LEVEL 2 | 235.7m2 |
| BALCONY | 48.5m2 |

| LEVEL 3 | |
|-----------|--------|
| LEVEL 3 | 299m2 |
| BALCONY | 30.4m2 |
| COURTYARD | 62.7m2 |

| BUILT AREAS | | m2 |
|--|--|---------|
| FLOOR PLANS | | 590.0m2 |
| GARAGE | | 75.8m2 |
| ENTRY PORCH / BALCONIES & L3 COURTYARD | | 203.3m2 |
| STORAGE / PLANT ROOM | | 57.7m2 |
| WATER TANK STORAGE AND ACCESS | | 49m2 |

| | |
|----------------------------------|--|
| SITE AREA - 1189m2 | |
| TOTAL BUILDING FOOTPRINT - 383m2 | |
| DRIVEWAY - 31m2 | |

| |
|--|
| EXISTING NATIVE BUSHLAND - 311m2 |
| FRONT YARD / SOUTH SIDE - 75m2 |
| SLOPED REAR YARD AND COURTYARD - 312m2 |
| TOTAL - 698m2 |

% LANDSCAPE = 58%
plus proposed nature strip planting



F 31/05/2020 delete rear terraces
REVISION

CLIENT JOHN BUBB AND
CHRISTINA NEUMANN-BUBB

PROJECT DEVELOPMENT APPLICATION
PROPOSED NEW HOUSE

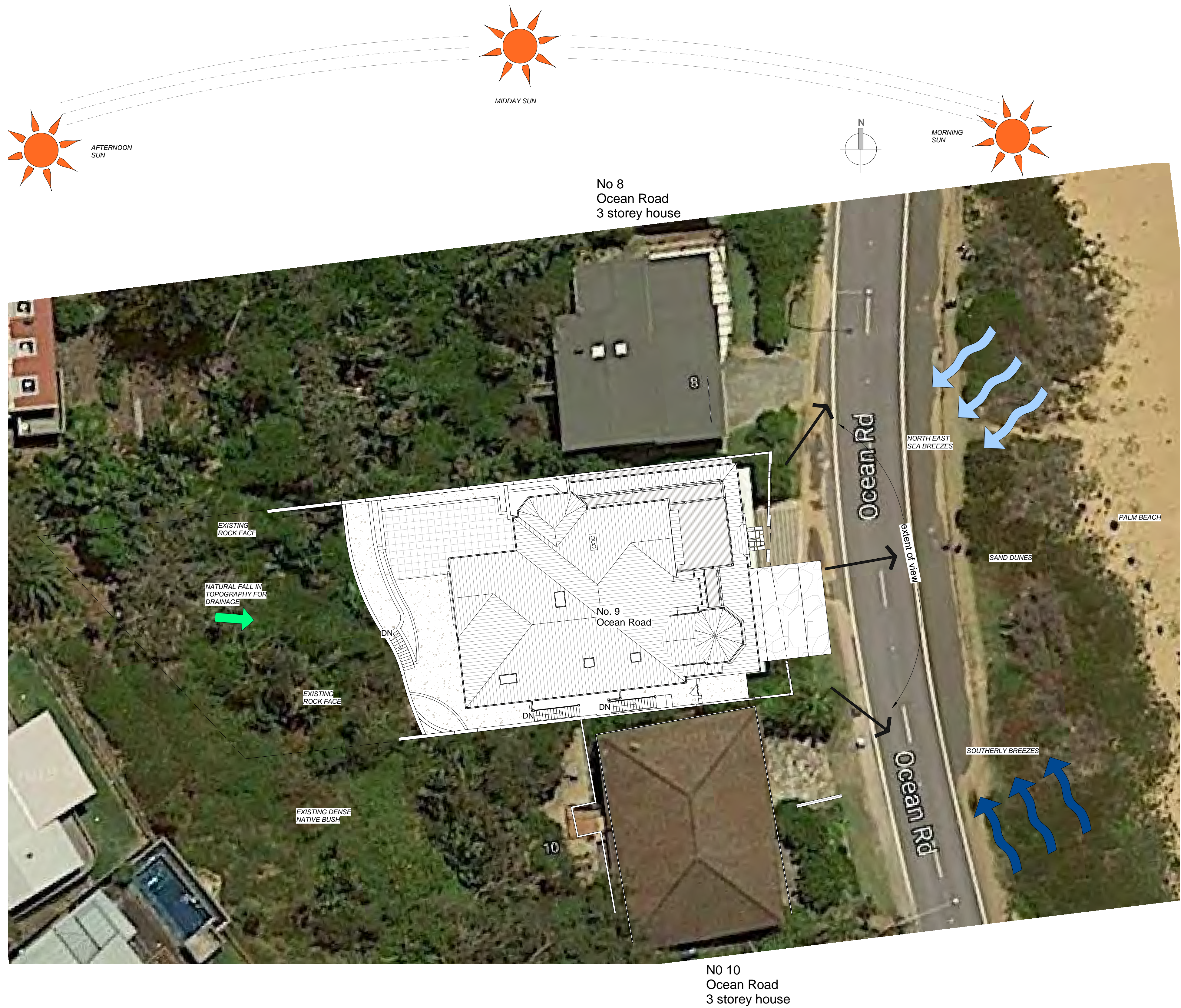
LOCATION 9 OCEAN ROAD PALM BEACH

map architecture + interiors

L1/255-259 Pacific Highway North Sydney NSW 2040
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SITE PLAN

| | | | |
|------------------------|-------------------|--------------------|-----------------------|
| DATE SEPTEMBER 2019 | SCALE 1 : 100 | DRAWN BY Author | CHECKED BY Checker |
| PROJECT NO. 1907 | DWG NO. DA-002 | F | |



NEIGHBOURING
RESIDENCES
TO RIDGE OF HILL
BEYOND

REAR BOUNDARY
DROPS APPROX 4M
FROM NORTH TO SOUTH
NEIGHBOURS APPROX 10M
ABOVE BOUNDARY LINE

NEIGHBOURING
RESIDENCES
TO RIDGE OF HILL
BEYOND

1 PLAN - SITE ANALYSIS

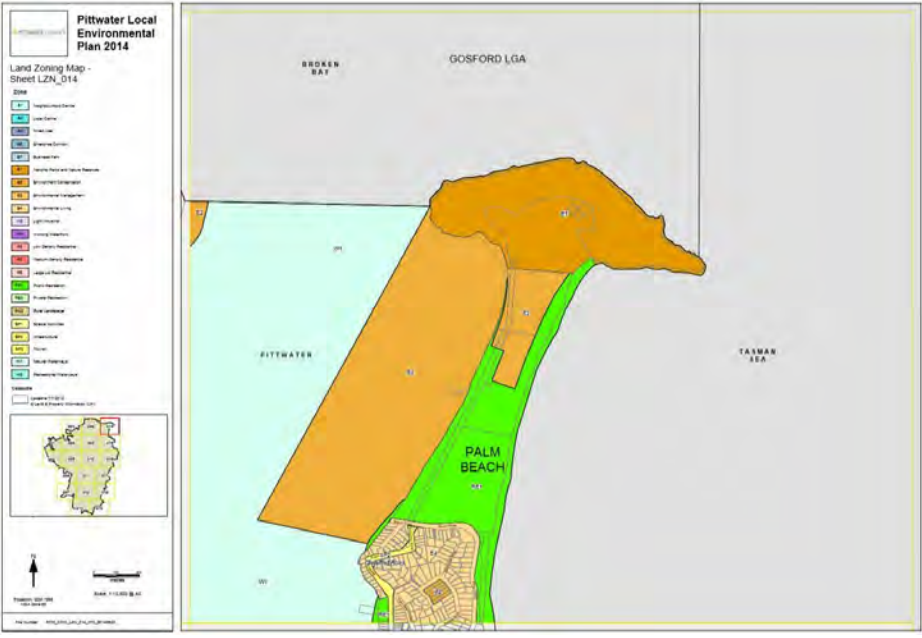
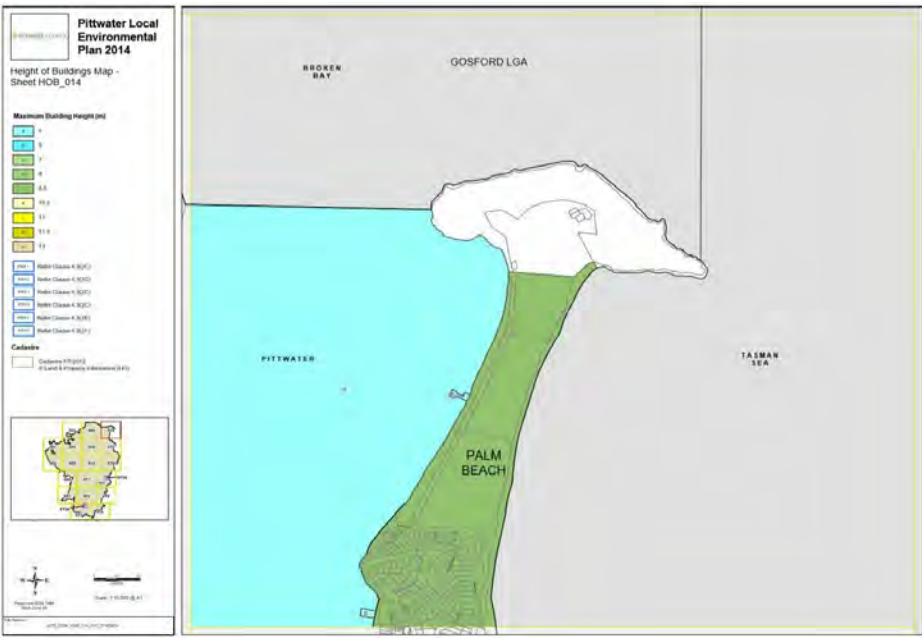
1 : 200



northern
beaches
council

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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0028



| | |
|-----------------------------------|---|
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| REVISION | |
| CLIENT | JOHN BUBB AND CHRISTINA NEUMANN-BUBB |
| PROJECT | DEVELOPMENT APPLICATION PROPOSED NEW HOUSE |
| LOCATION | 9 OCEAN ROAD PALM BEACH |

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| SITE ANALYSIS PLAN | | | |
|--------------------|---------|----------|------------|
| DATE | SCALE | DRAWN BY | CHECKED BY |
| SEPTEMBER 2019 | 1 : 200 | GJ | Checker |
| PROJECT NO. | DWG NO. | DA-003 | |
| 1907 | | F | |

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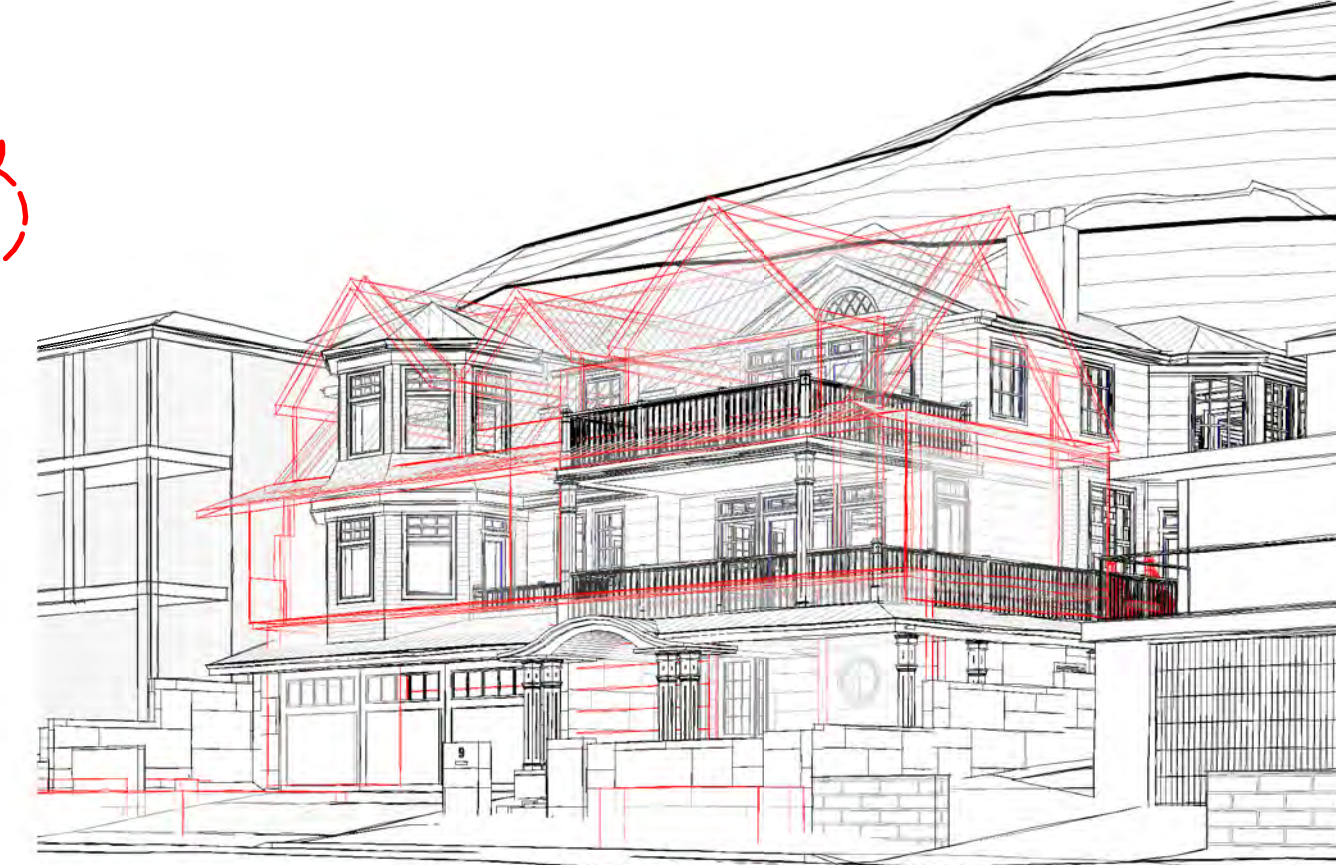


2 3D View SOUTH EAST CORNER



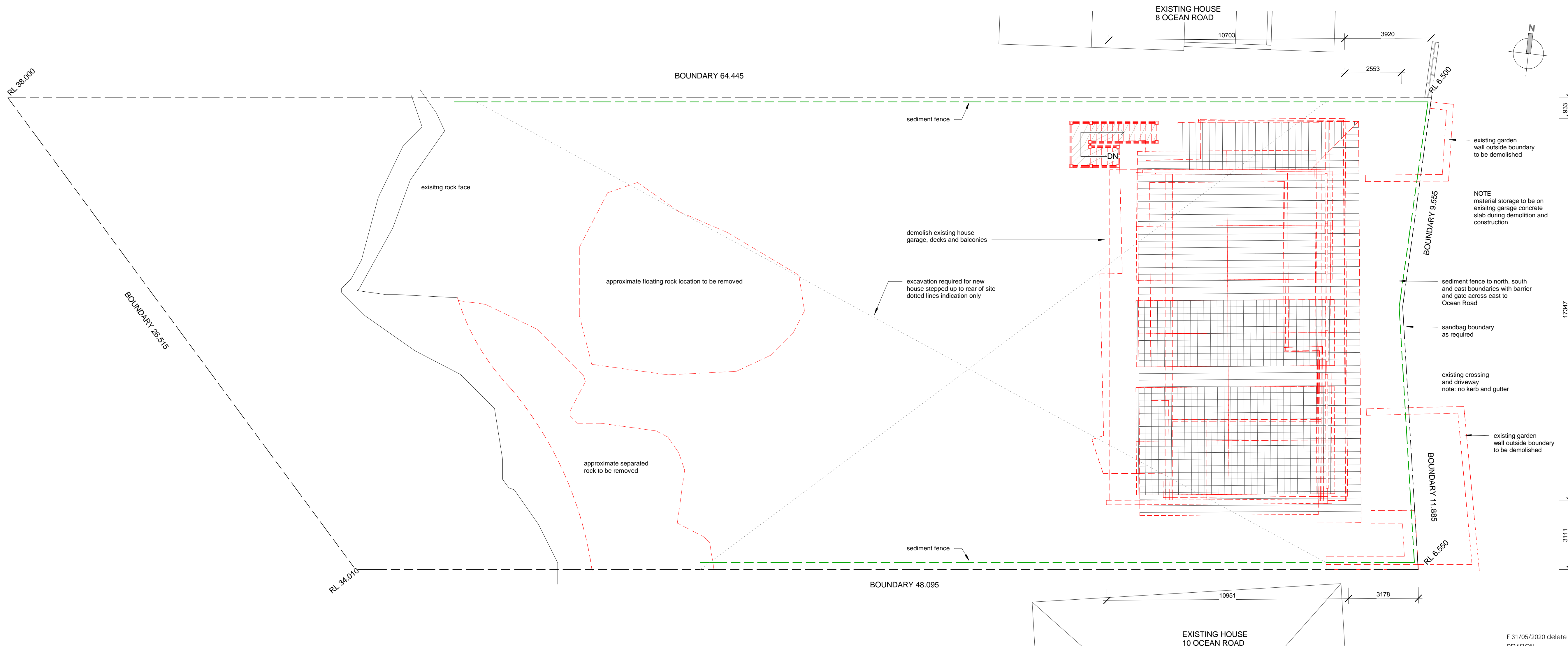
3 3D View EAST

REV E
proposed house height reduced

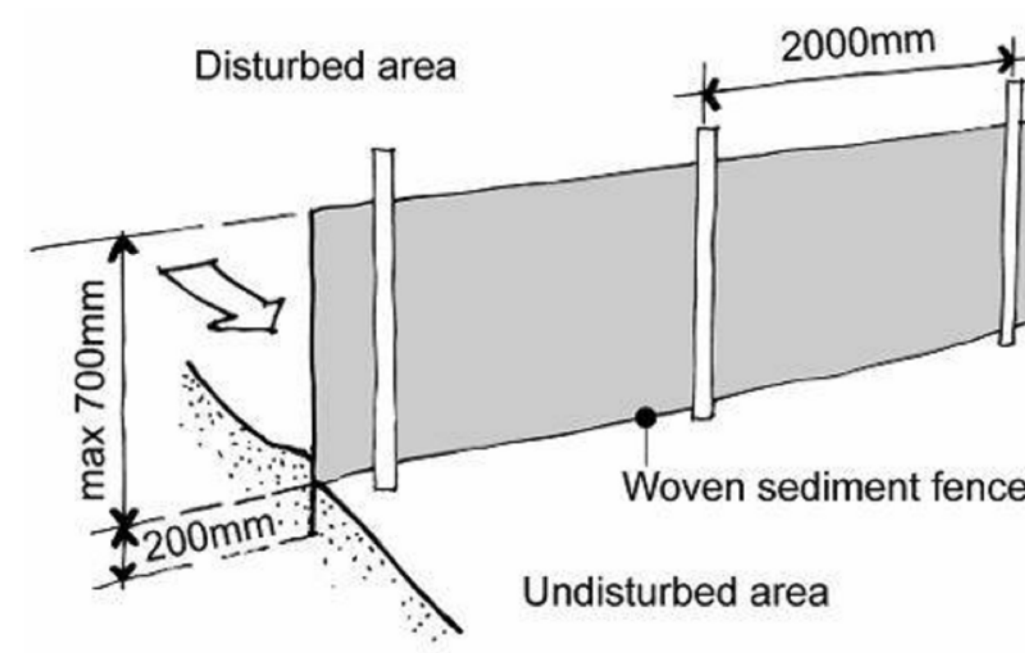


4 3D View NORTH EAST CORNER

EXISTING HOUSE TO BE DEMOLISHED - SHOWN RED OVERLAY OF PROPOSED NEW HOME



1 PLAN - DEMOLITION
1 : 100



NOMINAL SEDIMENT FENCE DETAIL

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PROJECT DEVELOPMENT APPLICATION
PROPOSED NEW HOUSE

LOCATION 9 OCEAN ROAD PALM BEACH

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DEMOLITION PLAN

| | | | |
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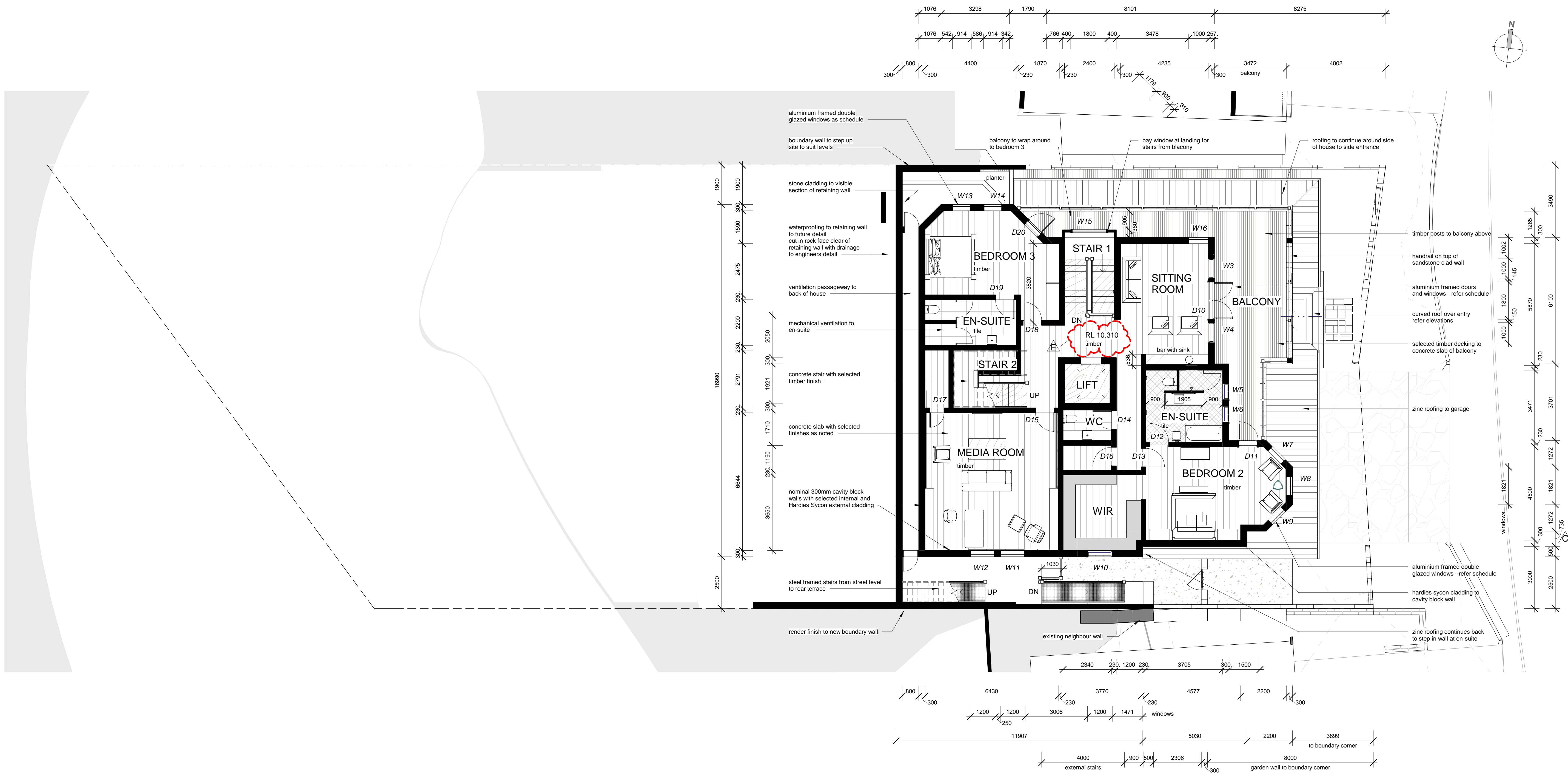
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PLAN - LEVEL 1

| | | | |
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1 LEVEL 2
1 : 100

| | |
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| PROJECT | DEVELOPMENT APPLICATION PROPOSED NEW HOUSE |
| LOCATION | 9 OCEAN ROAD PALM BEACH |

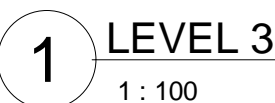
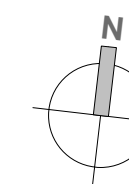
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| | | | |
|----------------|---------|----------|---------|
| PLAN - LEVEL 2 | | | |
| DATE | SCALE | DRAWN BY | CHECKED |
| SEPTEMBER 2019 | 1 : 100 | Author | BY |
| PROJECT NO. | DWG NO. | | |
| 1907 | DA-102 | F | |

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PROJECT NO. 1907 DWG NO. DA-103 F



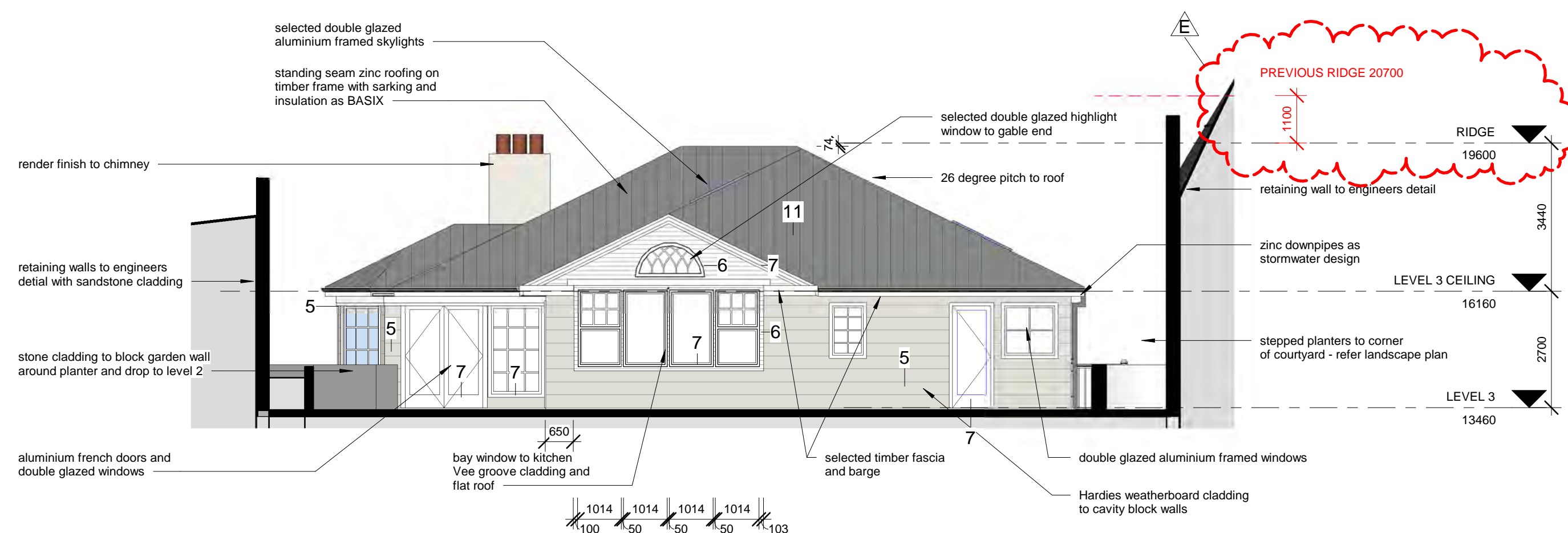
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PROJECT NO. 1907 DWG NO. DA-104 F

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Architectural section drawing of a three-story house with a driveway and retaining walls. The drawing includes detailed annotations for materials, structural elements, and landscaping. Key features include a new ramped driveway, automatic tilt garage doors, a textured render finish to retaining walls, and a standing seam zinc roof. The drawing also shows existing terrain, a boundary line, and a ridge line. A vertical scale on the left indicates levels from 7010 to 3440. A horizontal scale at the bottom indicates a road at 5970. A north arrow is located in the top left corner.

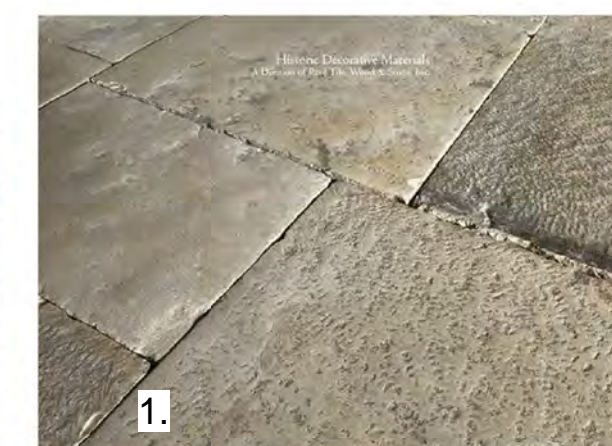
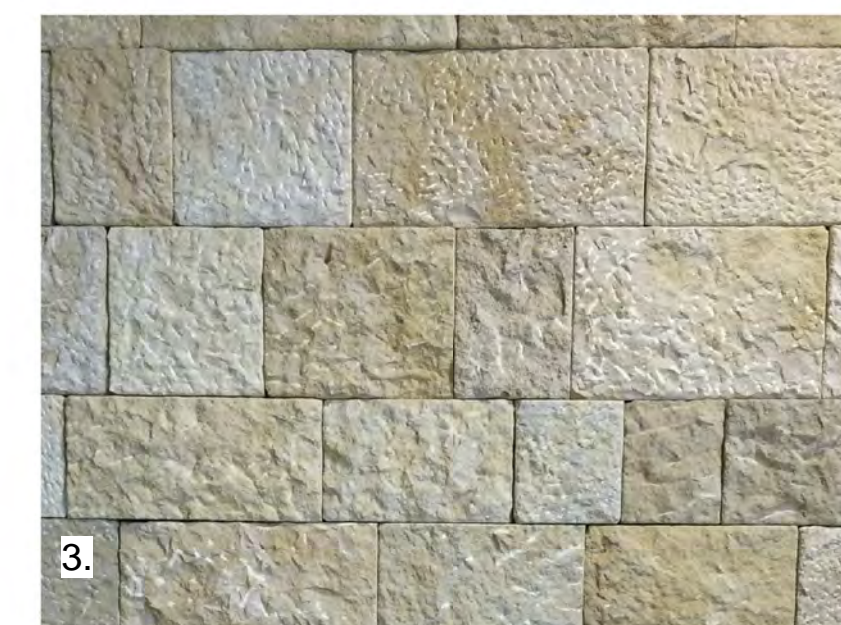
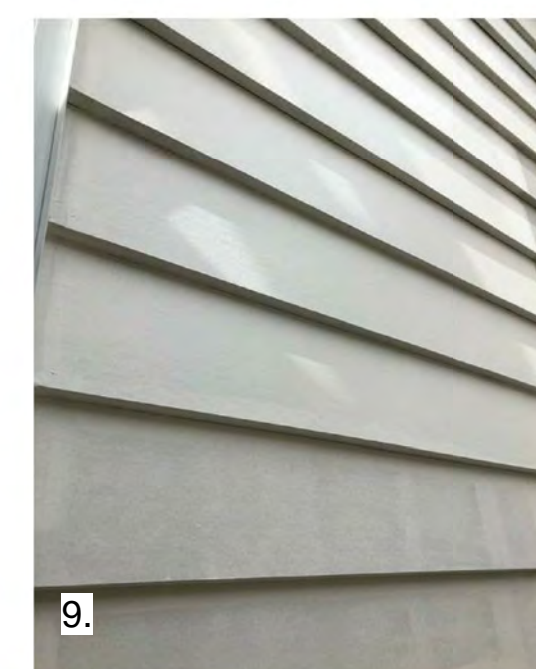
Annotations:

- standing seam zinc roofing on timber frame with sarking and insulation as BASIX pitch 26 degrees
- 28 degree pitch to hexagonal roof 9 degree pitch roof to bay window - standing seam zinc
- potential new rock face
- skylights to southern roof
- aluminium framed double glazed windows - refer schedule
- Hardies V groove board cladding to level 2 bay window below shingles and level 3 en-suite
- roofing continues back to stepped wall of en-suite
- new ramped driveway - no existing crossing confirm new crossing detail refer section for transition ramp
- automatic tilt garage doors
- selected pavers to entry
- selected sandstone cladding to block walls at level 1
- selected sandstone retaining garden walls refer landscape plan - both sides of new driveway
- render and paint stepped side retaining walls from house to boundary
- standing seam zinc roof to entry and garage - pitch 18 degrees with curved section to entry door
- timber posts to awning
- nominal 300mm wide walls cavity blockwork with Hardies Sycor weatherboard cladding
- timber handrail and posts to future detail
- ridge at 8 Ocean Road RL 16.170
- planter to front of retaining wall
- flat roof over bay window with Vee board cladding to gable end
- high light window to gable end refer schedule
- textured render finish to retaining wall - colour to blend with existing rock and surrounds
- render finish to chimney
- colour of proposed new walls to blend with existing rock face nominal top of curved retaining wall RL 19.060 - 540mm below ridge
- existing rock face
- boundary
- 16990
- 1900
- REV B reduce width of level 3 turret 250mm each side
- REV F delete terraced retaining walls
- NOTE: existing loose scree removed with slope stabilised to engineers and geotech detail planting to be confirmed subject to slope
- ridge at 10 Ocean Road RL 20.340
- PREVIOUS RIDGE 20700
- RIDGE 19600
- LEVEL 3 CEILING 16160
- LEVEL 3 13460
- LEVEL 2 10310
- LEVEL 1 7010
- 5970
- road

5. Resene Thorndon Cream

7. Resene White

6. Resene Eighth Thorndon Cream



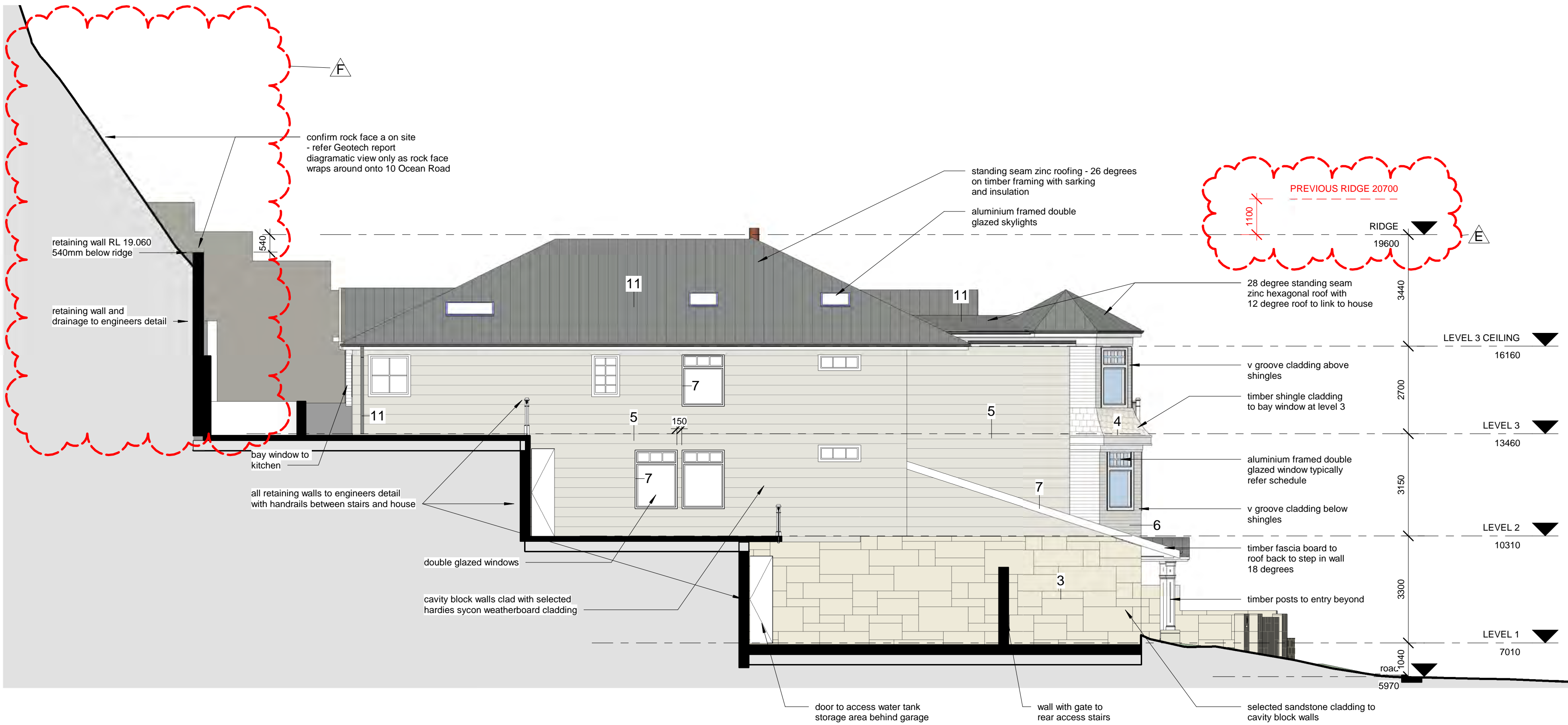
- F 31/05/2020 delete rear terraces
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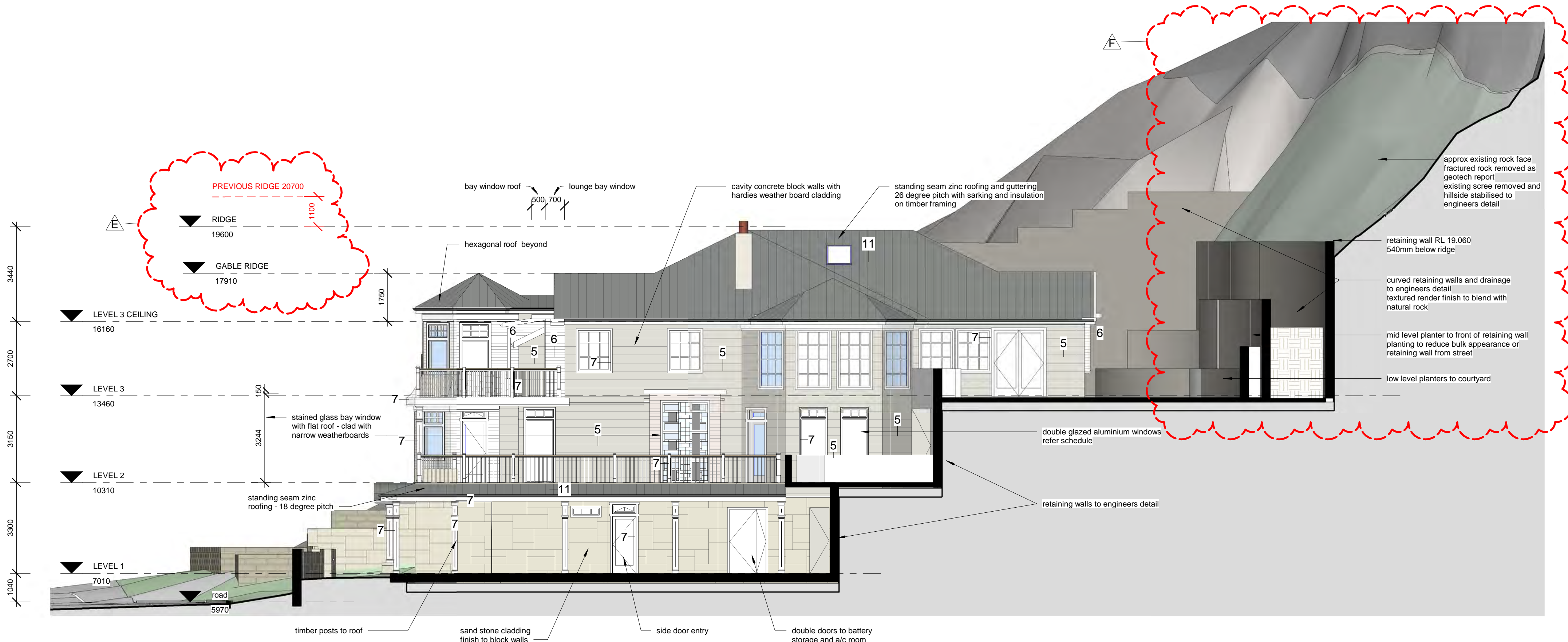
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ELEVATIONS - EAST AND WEST

| | | | |
|------------------------|------------------|-------------------|-------------------------|
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2 Elevation - SOUTH
1 : 100



1 Elevation - NORTH
1 : 100

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CLIENT JOHN BUBB AND CHRISTINA NEUMANN-BUBB

PROJECT DEVELOPMENT APPLICATION PROPOSED NEW HOUSE

LOCATION 9 OCEAN ROAD PALM BEACH

map architecture + interiors

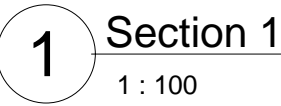
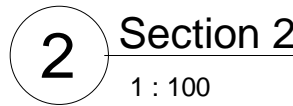
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ELEVATIONS - NORTH AND SOUTH

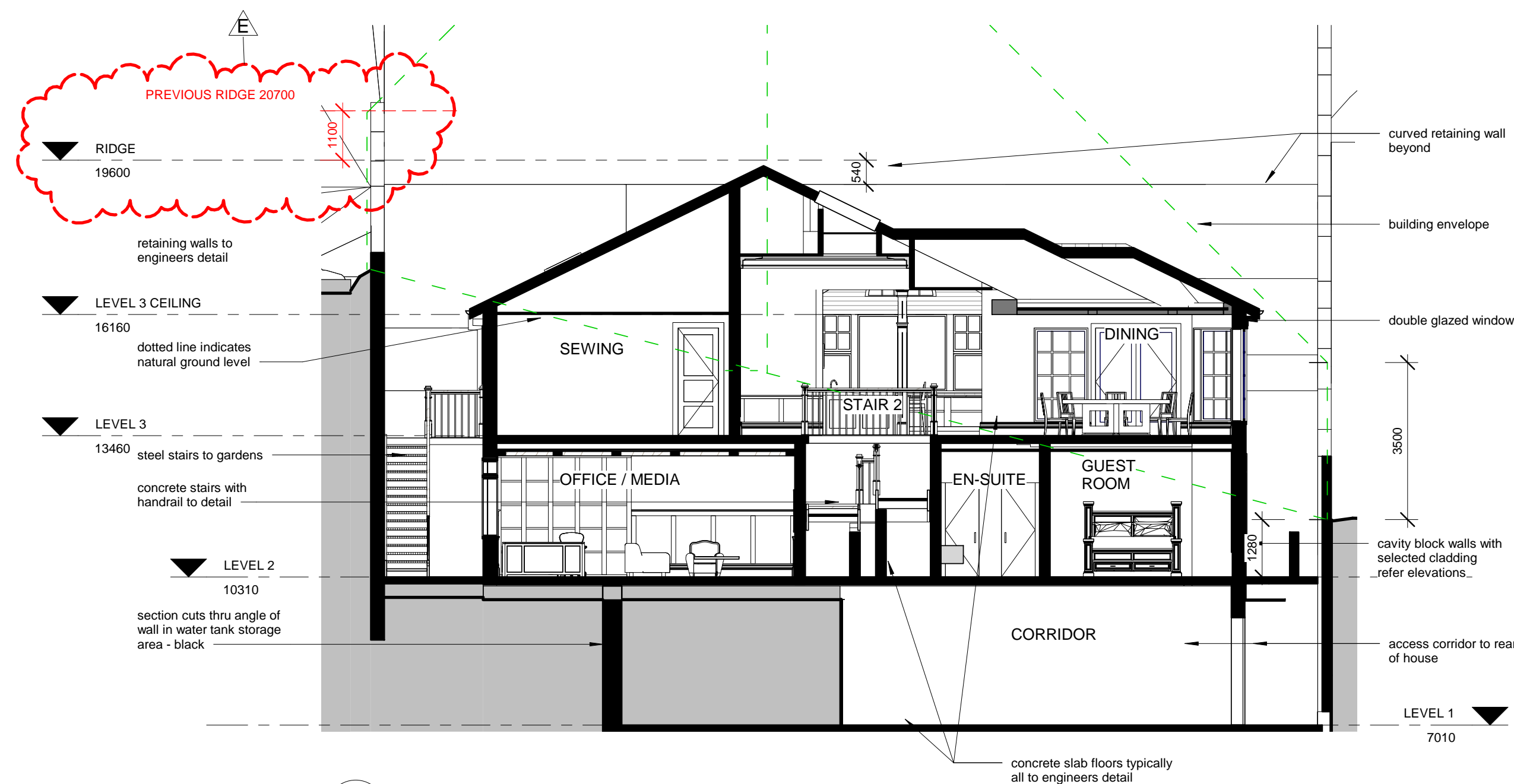
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| PROJECT NO. 1907 | DWG NO. DA-202 | F |
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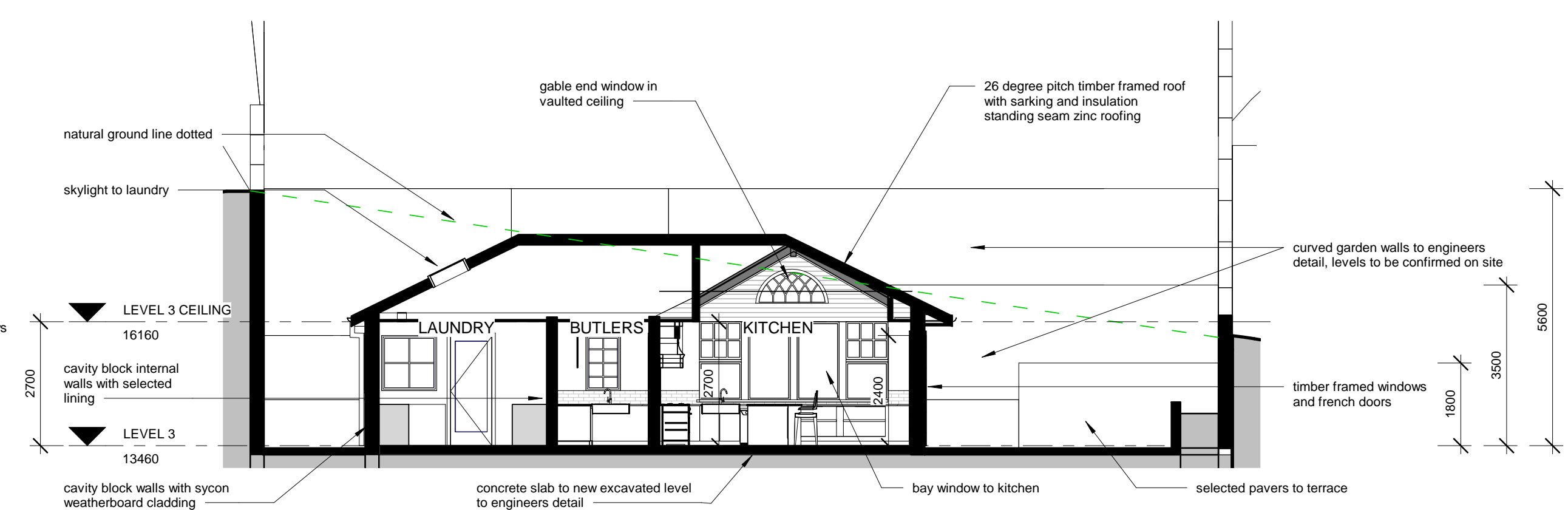
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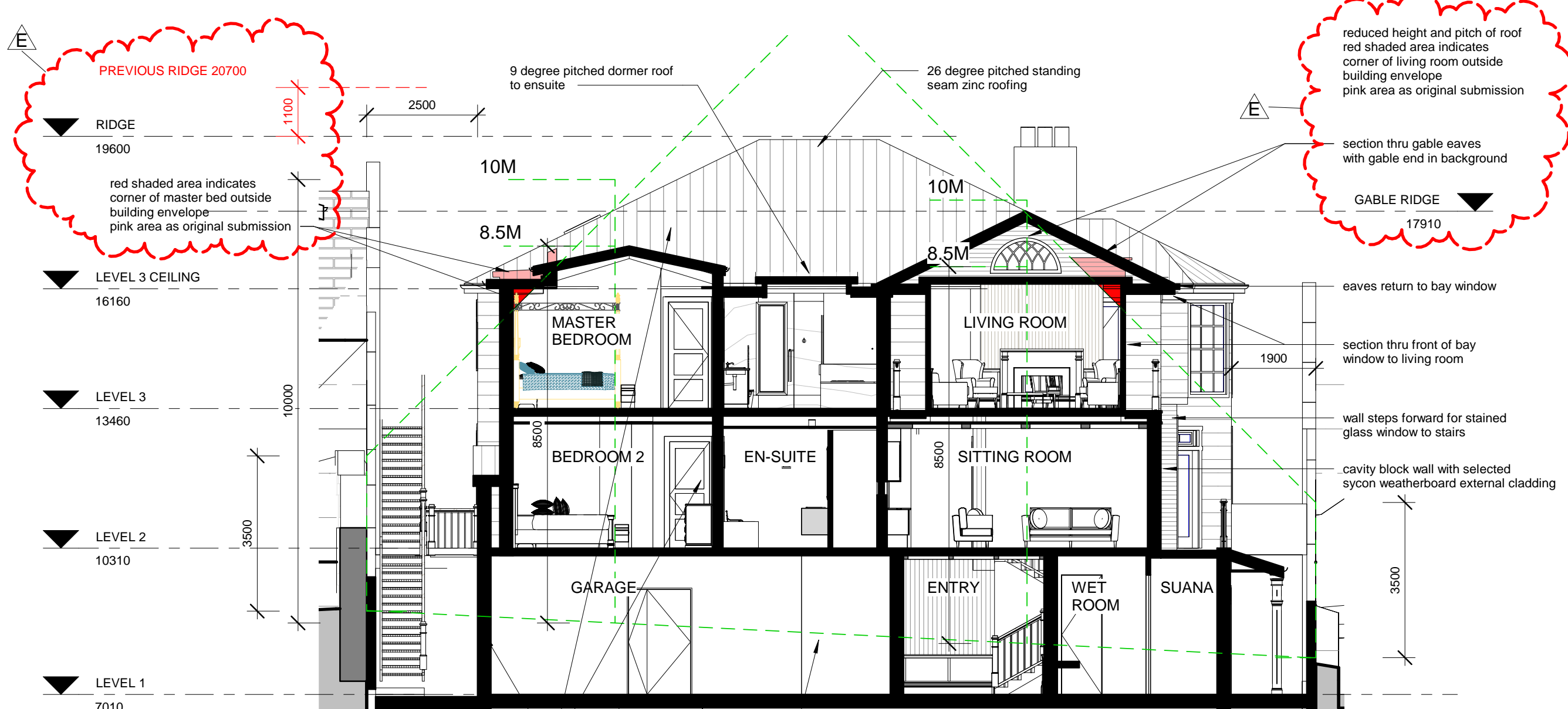
| | |
|---|---|
| F 31/05/2020 delete rear terraces REVISION | |
| CLIENT | JOHN BUBB AND CHRISTINA NEUMANN-BUBB |
| PROJECT | DEVELOPMENT APPLICATION PROPOSED NEW HOUSE |
| LOCATION | 9 OCEAN ROAD PALM BEACH |



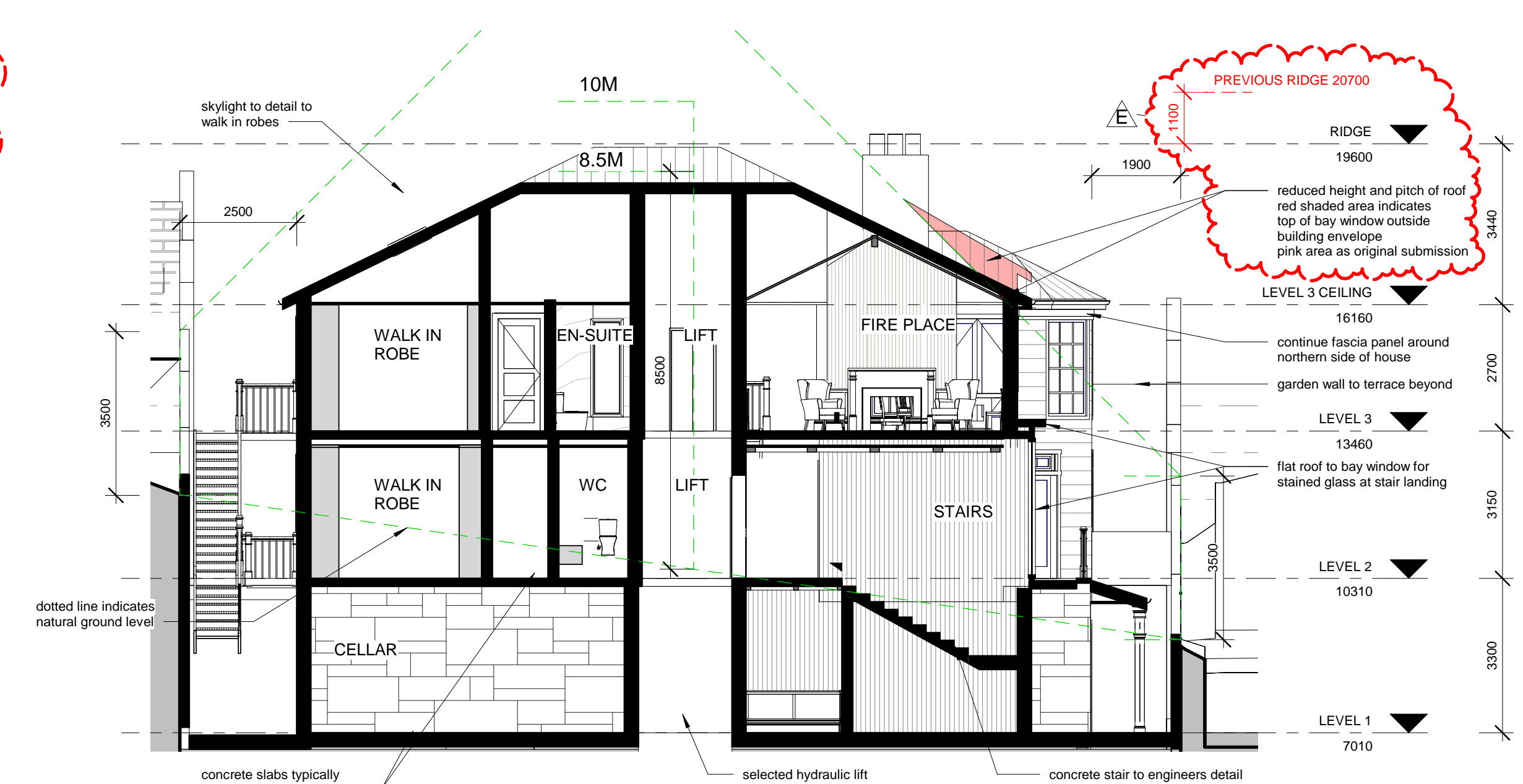
5 Section E - THRU CENTRE OF DINING ROOM
1 : 100



6 Section F - THRU LAUNDRY / KITCHEN
1 : 100



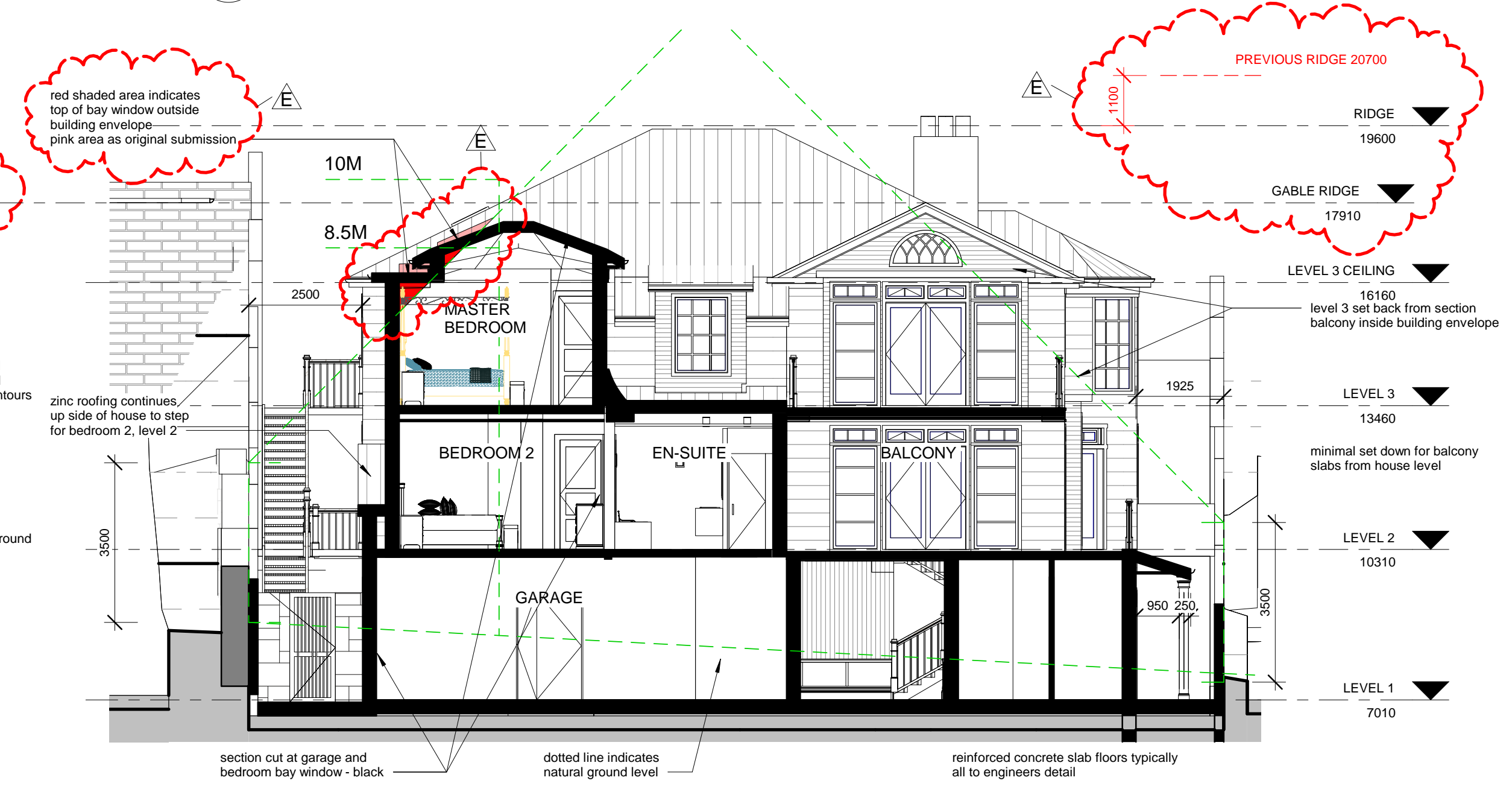
3 Section C - THRU LEVEL 3 BAY WINDOW
1 : 100



4 Section D - THRU LIFT
1 : 100



1 Section A - AT GARAGE
1 : 100



2 Section B - THRU CENTRE OF GARAGE
1 : 100

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F 31/05/2020 delete rear terraces

REVISION

CLIENT

JOHN BUBB AND
CHRISTINA NEUMANN-BUBB

PROJECT

DEVELOPMENT APPLICATION
PROPOSED NEW HOUSE

LOCATION

9 OCEAN ROAD PALM BEACH

map

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CROSS SECTIONS - A TO F

DATE

SCALE

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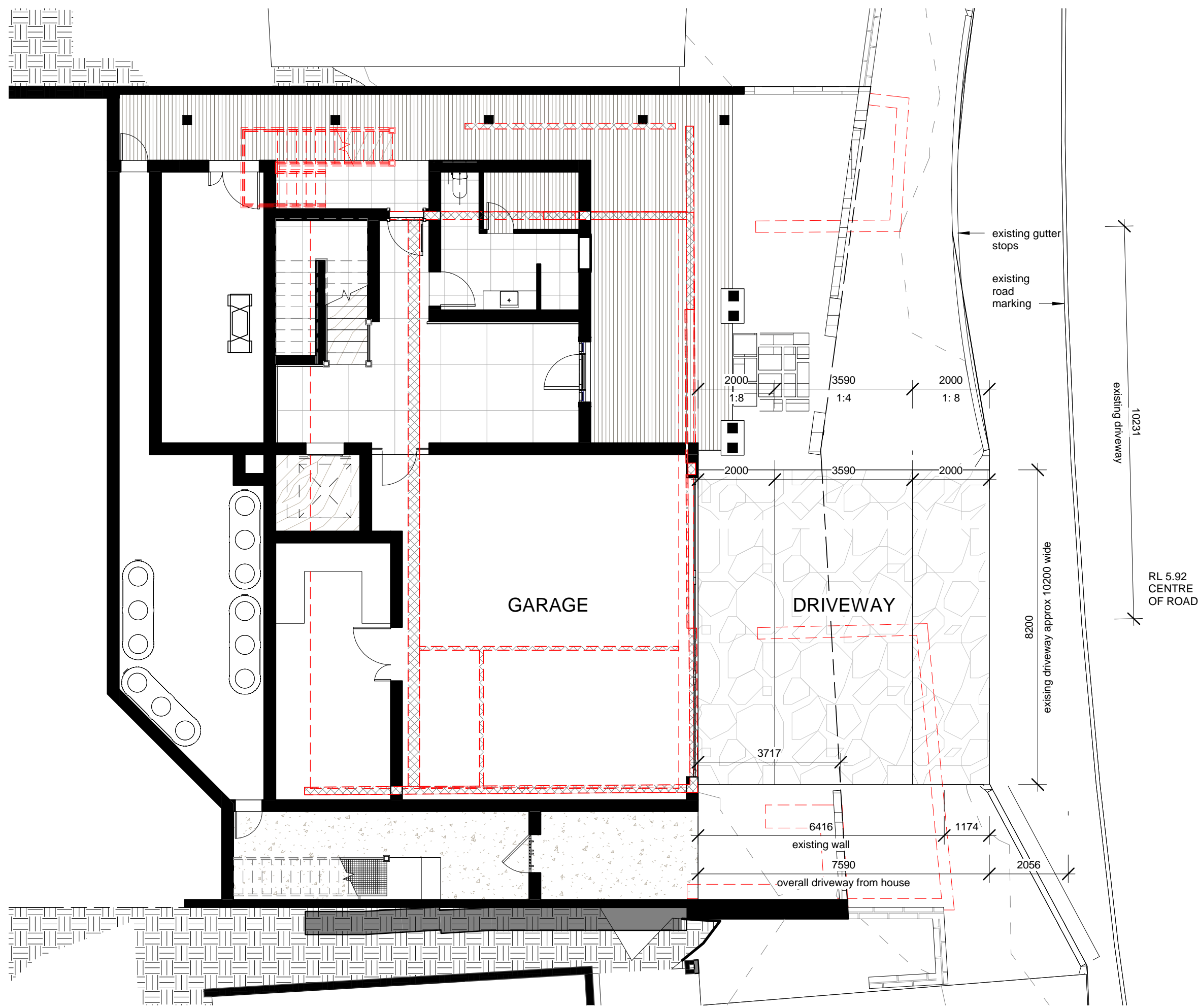
PROJECT NO.

DWG NO.

1907

DA-302

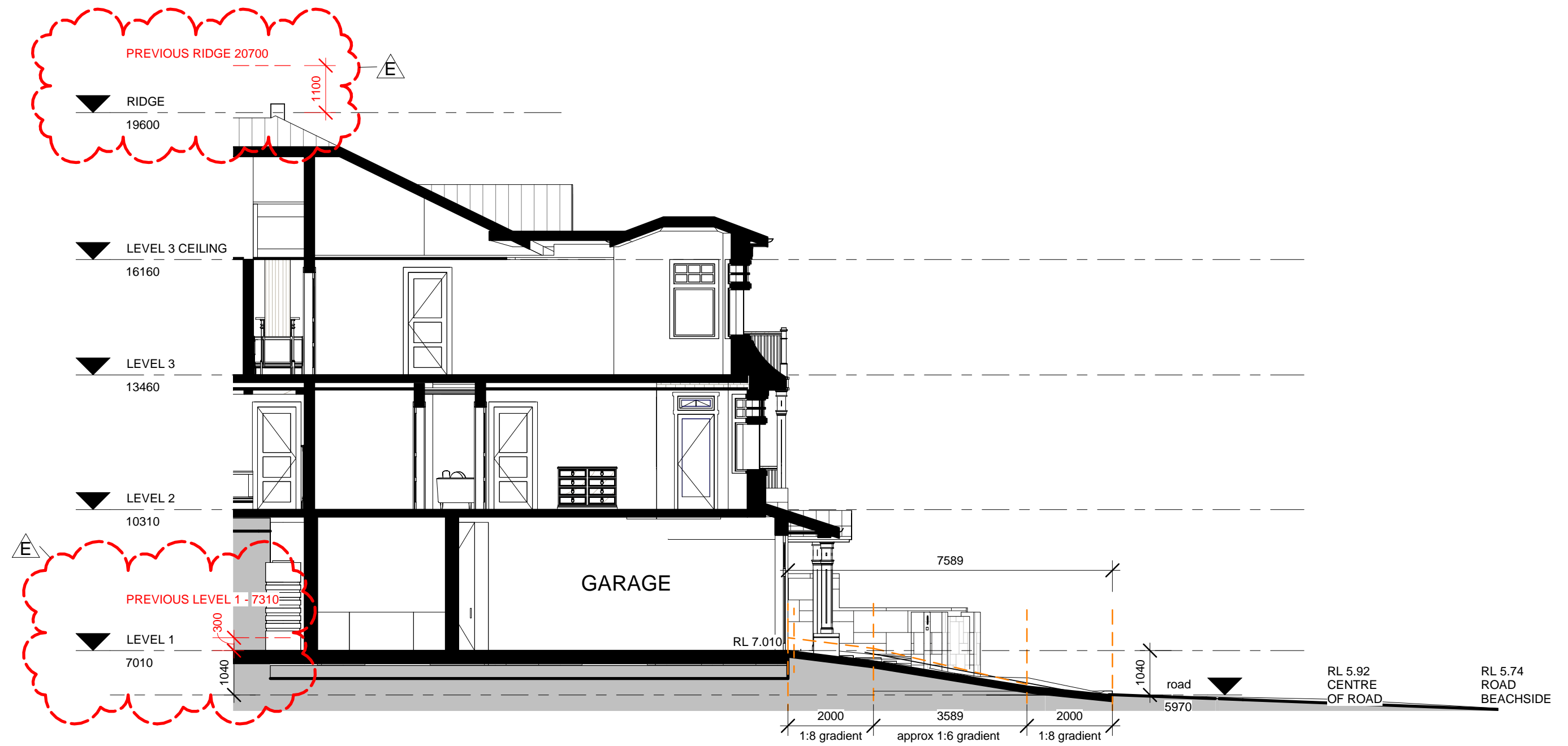
F



1 LEVEL 1 - DRIVEWAY GRADIENTS
1 : 100



3 3D View - PROPOSED NEW DRIVEWAY



2 Section - DRIVEWAY CROSSING
1 : 100

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REVISION

CLIENT JOHN BUBB AND
CHRISTINA NEUMANN-BUBB

PROJECT DEVELOPMENT APPLICATION
PROPOSED NEW HOUSE

LOCATION 9 OCEAN ROAD PALM BEACH

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SECTION - DRIVEWAY

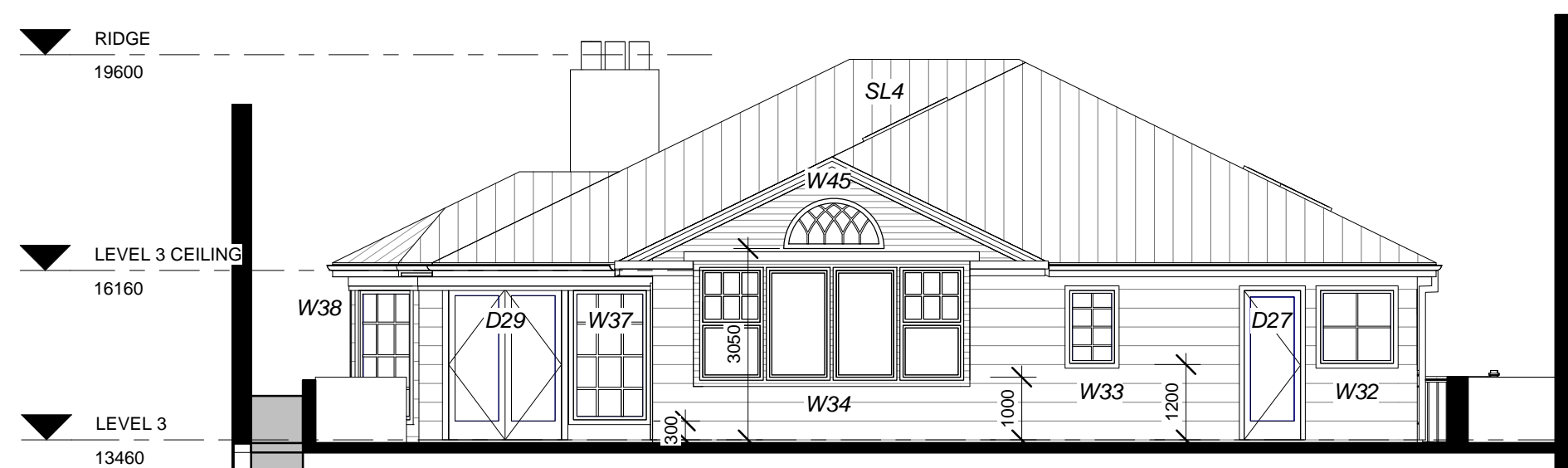
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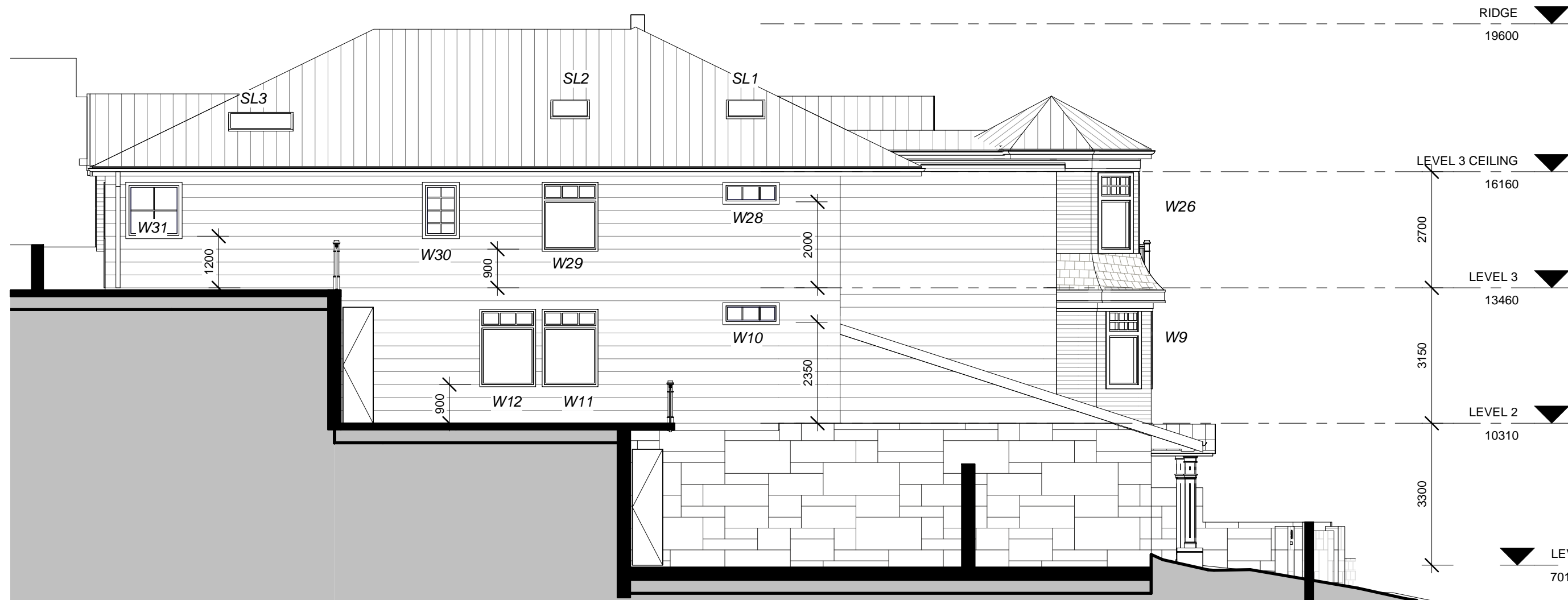
2 Windows - EAST ELEVATION
1 : 100



3 Windows - NORTH ELEVATION
1 : 100



4 Windows - WEST ELEVATION
1 : 100



5 Windows - SOUTH ELEVATION
1 : 100

WINDOW SCHEDULE
NOTE: ALL WINDOWS TIMBER FRAME DOUBLE GLAZED

| No. | width x height | description |
|---------|-----------------|--|
| LEVEL 1 | | |
| W1 | 800 DIA. | circular / fixed glass |
| W2 | 900 x 300 | 2 fixed /1 awning |
| LEVEL 2 | | |
| W3 | 1000 x 2700 | fixed and awning / fan light above |
| W4 | 1000 x 2700 | fixed and awning / fan light above |
| W5 | 800 x 1700 | 1000 sill / fixed and awning / obscure & clear glass |
| W6 | 800 x 1700 | 1000 sill / fixed and awning / obscure & clear glass |
| W7 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W8 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W9 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W10 | 1000 x 400 | 2300 sill / fixed / clear glass |
| W11 | 1200 x 1800 | 900 sill / fixed and awning / clear glass |
| W12 | 1200 x 1800 | 900 sill / fixed and awning / clear glass |
| W13 | 900 x 2100 | 300 sill / fixed and awning / clear glass |
| W14 | 900 x 2100 | 300 sill / fixed and awning / clear glass |
| W15 | 1800 x 3000 | fixed / stained glass |
| W16 | 1000 x 2700 | fixed and awning / clear glass |
| LEVEL 3 | | |
| W17 | 1000 x 2700 | fixed and awning / fan light above / clear glass |
| W18 | 1000 x 2700 | fixed and awning / fan light above / clear glass |
| W19 | 1200 x 1900 | 700 sill / fixed and awning / clear glass |
| W20 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W21 | DELETED | DELETED |
| W22 | 900 sill / 1700 | 900 sill / fixed and awning / clear glass |
| W23 | DELETED | DELETED |
| W24 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W25 | DELETED | DELETED |
| W26 | 950 x 1700 | 900 sill / fixed and awning / clear glass |
| W27 | DELETED | DELETED |
| W28 | 1000 x 400 | 2300 sill / fixed / clear glass |
| W29 | 1200 x 1800 | 900 sill / fixed and awning / clear glass |
| W30 | 750 x 1200 | 1200 sill / fixed and awning / obscure glass |
| W31 | 1200 x 1200 | 1200mm sill / fixed and awning / clear glass |
| W32 | 1200 x 1200 | 1200 sill / fixed and awning / clear glass |
| W33 | 750 x 1200 | 1200 sill / fixed / clear glass |
| W34 | 900 x 1700 x4 | 1000 sill / fixed and awning / clear glass |
| W35 | DELETED | DELETED |
| W36 | 1200 x 2100 x2 | 300 sill / fixed and awning / clear glass |
| W37 | 1200 x 2100 | 300 sill / fixed and awning / clear glass |
| W38 | 1200 x 2100 | 300 sill / fixed and awning / clear glass |
| W39 | 1200 x 2100 | 300 sill / fixed and awning / clear glass |
| W40 | 1200 x 2100 | 300 sill / fixed and awning / clear glass |
| W41 | 1200 x 2100 | 300 sill / fixed and awning / clear glass |
| W42 | 1200 x 1500 | 900 sill / fixed and awning / clear glass |
| W43 | 1200 x 1500 | 900 sill / fixed and awning / clear glass |

| | | |
|--------|------------|-------------------------------------|
| GABLES | | |
| W44 | 1700 x 850 | half round decorative / clear glass |
| W45 | 1700 x 850 | half round decorative / clear glass |

| | | |
|------------------------|-------------|---|
| DOOR SCHEDULE - GLAZED | | |
| D10 | 1800 x 2700 | 2300 high doors with 300 high fan light / clear glass |
| D11 | 900 x 2700 | 2300 high doors with 300 high fan light / clear glass |
| D20 | 900 x 2700 | 2300 high doors with 300 high fan light / clear glass |
| D21 | 1800 x 2700 | 2300 high doors with 300 high fan light / clear glass |
| D27 | 900 x 2700 | 2300 high doors with 300 high fan light / clear glass |
| D28 | 1800 x 2700 | 2400 high doors / clear glass |
| D29 | 1800 x 2700 | 2400 high doors / clear glass |


| | | |
|-----------|------------|-------|
| SKYLIGHTS | | |
| SL1 | 900 x 900 | fixed |
| SL2 | 900 x 900 | fixed |
| SL3 | 1500 x 900 | fixed |
| SL4 | 1500 x 900 | fixed |

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CLIENT JOHN BUBB AND
CHRISTINA NEUMANN-BUBB

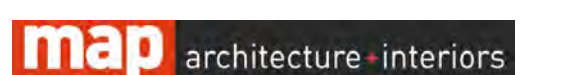
PROJECT DEVELOPMENT APPLICATION
PROPOSED NEW HOUSE

LOCATION 9 OCEAN ROAD PALM BEACH

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WINDOW SCHEDULE

| | | | |
|----------------|---------|----------|------------|
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| 1907 | | | |

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