

Statement of Environmental Effects

New Shutter and Access Ramp

Unit 3

Allambie Grove Business Park, 25 Frenchs Forest Road.

Frenchs Forest, NSW.

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1. INTRODUCTION

BN Group P/L on behalf of Knight Frank has prepared this Statement of Environmental Effects (SEE) to support an application to Northern Beaches Council for **the above noted works**. The application is lodged under the provisions of Part 4 of the Environmental Planning and Assessment Act 1979 (EPAA).

The following sections of the report address the following matters:

- Context;
- Proposed modification;
- Urban Planning framework and assessment
- Conclusion



Main Entrance to Unit 3



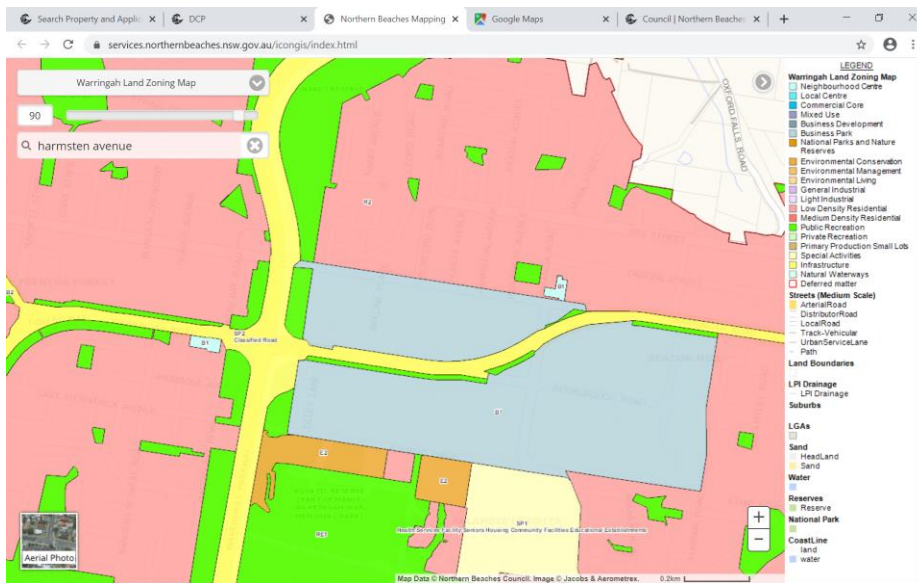
Area affected by Roller shutter works

2. CONTEXT

Allambie Grove is a combination of modern office, warehouse & technical accommodation, situated on a large site with mature landscaping between Warringah and Frenchs Forest Road.

Located at the gateway to the Northern Beaches, Frenchs Forest is surrounded by a diverse mix of commercial, industrial, retail and residential uses.

The site is zoned B7 (Business Park) under the Warringah LEP 2011



3. PROPOSED MODIFICATION

The proposed works comprise of the installation of a new roller shutter to Tenancy 3 in order to assist the new tenant from an operational viewpoint.

The modification proposes the removal of 3 panes of glass and associated framing, minor adjustments to the hedge which currently sits in front of the façade and the installation of an access ramp (non-disabled compliant due to operational use).

The tenant will be using Australia Post trolleys and pallet jacks to move and ship goods through the new tenancy access. Deliveries in a Startrack truck occur twice a week, usually in the morning, and will be unloaded by the Walkie forklift.

Pickups in an Australia Post truck will happen daily, usually in the afternoon, and will be loaded by the Walkie forklift.

The roller door is to be only used by the Walkie forklift.

The access through the roller shutter will result in 2 car parking spaces being removed. *(Please refer to traffic consultants report for additional detail)*

Site Suitability

The proposed works provide for operational enhancements to the existing tenancy in the form of a new delivery access. This change is considered appropriate given the land zoning, existing use, and consistency with local planning objectives.

Materials, Finishes and Presentation

The proposed materials & finishes are consistent with the current Allambie Grove Business Park aesthetic, and are considered to be consistent with the existing appearance of the building.

The proposed shutter is considered compatible with the scale and proportion of the existing building. Additionally, as a site precedent please note that the adjacent buildings in the Business Park have a number of existing front facing full height shutters.

Ramp Access and Compliance

The proposed ramp is not intended for Disabled access. Only for operational use, therefore compliance to AS.1428.1 (2009) is not a requirement. Minimum ramp gradient in accordance with the BCA is 1:8 which is what is proposed. Compliant Disabled access to the tenancy is via the newly refurbished main entrance. (Not part of this scope).

Waste Management

Refer to Waste Management plan for further details.

4. URBAN PLANNING FRAMEWORK AND ASSESSMENT

Statement how the proposed development complies with the relevant planning instruments, plans and policies

The EPAA is the main environment and planning legislation that applies to development in NSW. This application is subject to Part 4 of the EPAA.

Warringah Local Environmental Plan 2011

The LEP notes the following criteria:

Zone B7 Business Park

Objectives of zone

- To provide a range of office and light industrial uses.
- To encourage employment opportunities.
- To enable other land uses that provide facilities or services to meet the day to day needs of workers in the area.
- To create business park employment environments of high visual quality that relate favourably in architectural and landscape treatment to neighbouring land uses and to the natural environment.
- To minimise conflict between land uses in the zone and adjoining zones and ensure the amenity of adjoining or nearby residential land uses.

The site will operate as a Business Unit. The proposed works are an extension of this current allowable use and objectives within the B7 Business Park zone.

It is considered that the new access will provide improved operational convenience for the proposed user of the facility

Section 4.15 of the EP&A Act 1979 are considered in this SEE, in particular the following matters:

- *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality.*

BN is of the opinion that the environmental impact of the proposal is minor as no trees or other major natural elements are being proposed to be removed. The removal of a slight portion of the hedge and the proposed works are deemed of minimal impact to both the natural and built environments and provide a positive contribution to the Local Business Park socially and economically.

- *the suitability of the site for the development,*

Given that the tenancy has been split into two. Rear loading access as per the adjacent tenancies is not available, therefore deliveries are only available from the front and as a commercial unit in a Business Park, this is key to the operational aspects of the proposed tenant.

- *the public interest.*

The tenancy is currently un-occupied and therefore it is key in the public interest that it be leased to an appropriate local commercial business.

Warringah Development Control Plan 2011

The Warringah Development Control Plan 2011 (DCP) has been prepared in accordance with Division 3.6 of the Environmental Planning and Assessment Act 1979 (the Act) and with Part 3 of the Environmental Planning and Assessment Regulation 2000 (EP&A Regulation). The DCP provides more detailed provisions than the Warringah Local Environmental Plan 2011 (LEP) for development in Warringah.

A Development Control Plan (DCP) is a detailed guideline that shows what controls apply to a particular type of development or in a particular area.

Proposed works do not affect any setbacks or an increase in the building footprint.

The proposal will result in minor changes to the car parking numbers. *Please refer to Traffic Consultants report.*

The removal of a small area of the hedge is not affected by any requirements/conditions as noted in Part D1 (*Landscaped Open Space and Bushland Setting.*)

BN Group feel that the proposed development is consistent with clauses A-H as noted in the Warringah DCP 2011 and also in particular the following clauses:

- **C2 Traffic, Access and Safety - On-site loading and unloading**

BN note that the proposed facilities for the loading and unloading of service, delivery and emergency vehicles are to be appropriate to the size and nature of the development and are currently screened visually from the main road (Frenchs Forest East) by existing foliage. *Please refer to Traffic Report for further detailed vehicular access information affected by the proposed works.*

- **C8 Demolition and Construction**

The contractor (TBC) as part of their scope will be required to comply with the appropriate sections of the Waste Management Guidelines. *Please refer to Waste Management Plan for further details.*

- **C9 Waste Management**

The contractor (TBC) as part of their scope will be required to comply with the appropriate sections of the Waste Management Guidelines. *Please refer to Waste Management Plan for further details.*

5. CONCLUSION

In conclusion, the proposed modification will provide improved operational access to the tenancy. The modification still retains the aesthetic and proportions of the original building elevation with the inclusion of a small roller shutter in lieu of glazing.

The modification works are not considered to have any significant impacts on the surrounding uses, and will increase the functional operations for the new tenant in the facility.

The proposed development has been designed in accordance with the relevant Authority controls or otherwise satisfies their objectives and principles as identified in this S.E.E. The proposal is considered to be complementary to surrounding development and is consistent with the objectives of the relevant LEP, SEPPs and Development Control Plans.

It is requested that this Development Application be approved as submitted.

Prepared by BN Group 18th February 2020.