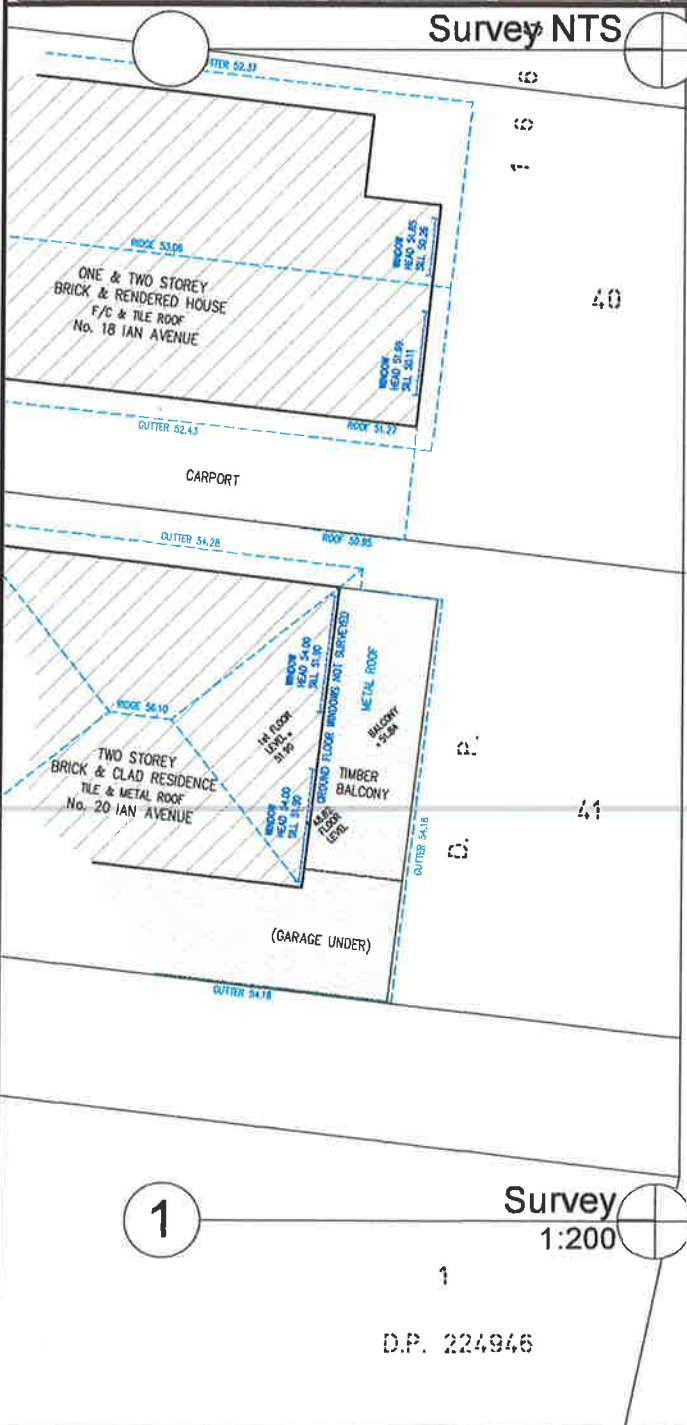




Builder to Check and Confirm all Measurements Prior to Commencement



Denotes New Works



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Email: greg@rapidplans.com.au



NOTES
1 Phyllis Street, Curl Curl is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1 Phyllis Street, Curl Curl is not considered a heritage item

Construction
Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95 Insulation With 75mm Foil Backed Blankets
Timber Framed Metal Sheet Roofs To Be Of R1.24 With 75mm Foil Backed Blankets
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
Basix Certificate Number A169104
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North
Z

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2086

Lot 32 D.P16602

Drawing Title:

Site Plans - Stormwater Plan

Stormwater Plan

Scale: A3 as noted Date: 19-11-2014

Status: DA MOD Checked By: GBJ

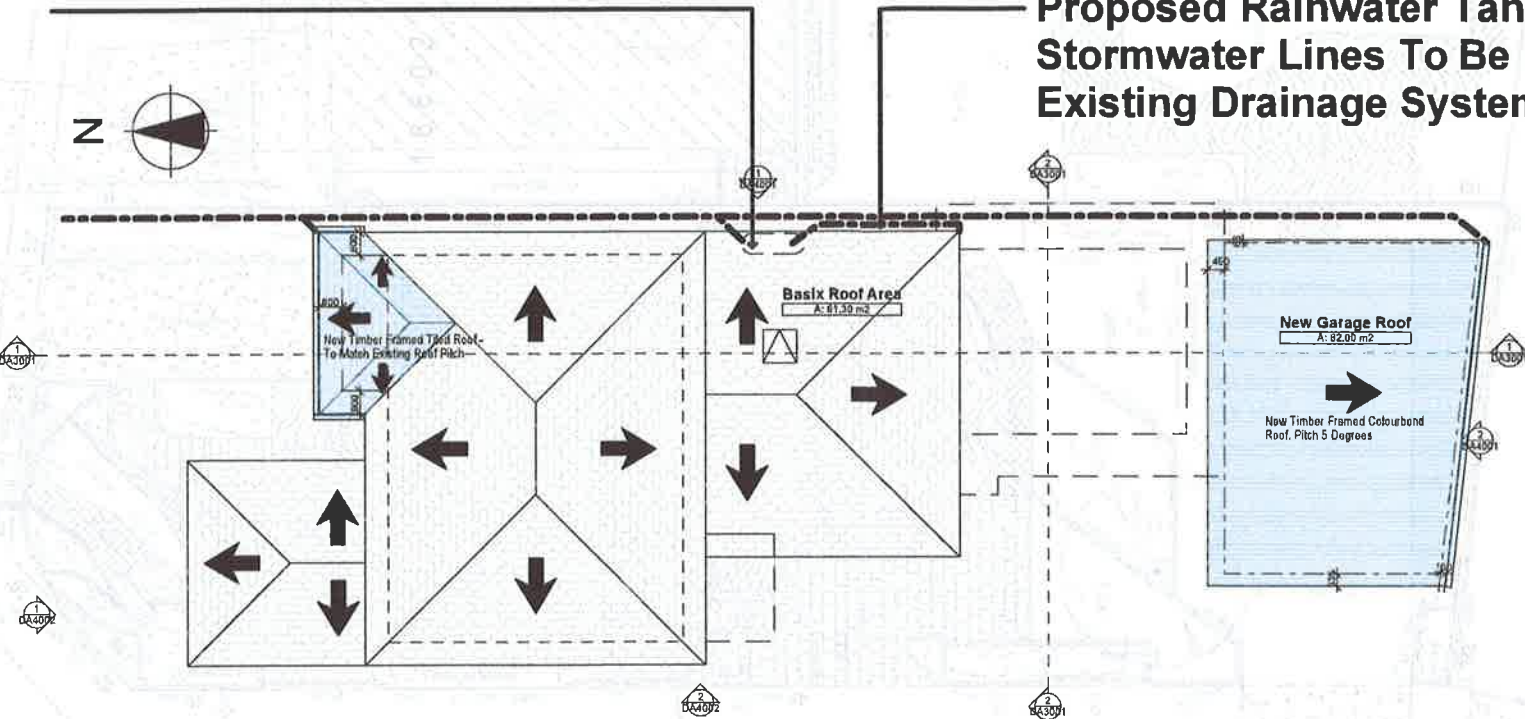
Project No:

Drawing No.

RP0513COL DA1013

Proposed Location Of Onsite 1.531KL Rainwater Tank To Satisfy Basix Requirements

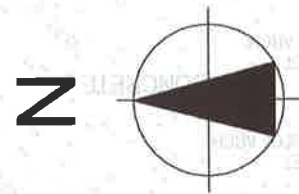
Proposed Stormwater Line From the Rear Ground Floor Roof Is To Be Fed Into The Proposed Rainwater Tank. All Other Onsite Stormwater Lines To Be Fed Into The Existing Drainage System



1 Stormwater Plan 1:200

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 1531 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 61.3 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 36 kilolitres.
The applicant must install a pool pump timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Site Information	Proposed	Compliance
Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m ²)	401.26m ²	No
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



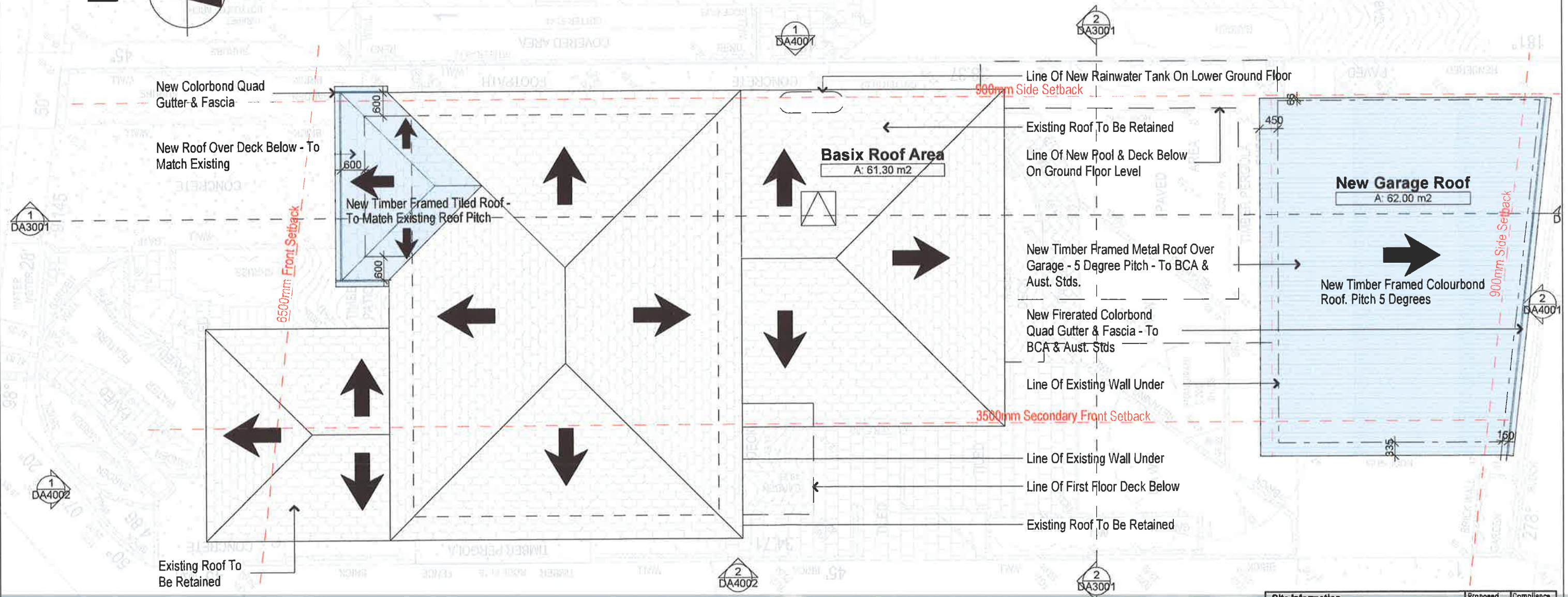
Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R value)	Other specifications
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes Approved
Works Under DA2013/1038



Roof Plan
1:100

Builder to Check and Confirm all
Measurements Prior to Commencement

Construction

Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95
Insulation With 75mm Foil Backed Blankets
Timber Framed Metal Sheet Roofs To Be Of R1.24
With 75mm Foil Backed Blankets
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Basix

Basix Certificate Number A168104

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

NOTES

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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1 Phyllis Street, Curl Curl is not considered a heritage item

DA MOD ONLY
NOT FOR CONSTRUCTION

Site Information	Proposed	Compliance
Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m ²)	401.26m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes



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Project North



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Client:
Jeremy Coleman

Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2096

Lot 32 D.P16902

Drawing Title:
Plans - Roof Plan

Scale: A3 as noted

Status: DA MOD

Project No.

RP0513COL

Date: 19-11-2014

Checked By: GBJ

Drawing No.

DA2004

200

150

length in millimeters at full size

100

50

40

30

20

10

10

20

30

40

50

100

length in millimeters at full size

150

200



Timber Deck Or Similar - Owner To Confirm Type & Finish

Site Information	Proposed	Compliance
Site Area	481.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m2)	401.26m2	No
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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NOTES
1 Phyllis Street, Curl Curl is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
1 Phyllis Street, Curl Curl
is not considered a heritage item
Construction
Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95
Insulation With 75mm Foil Backed Blankets
Timber Framed Metal Sheet Roofs To Be Of R1.24
With 75mm Foil Backed Blankets
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A168104
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North
N

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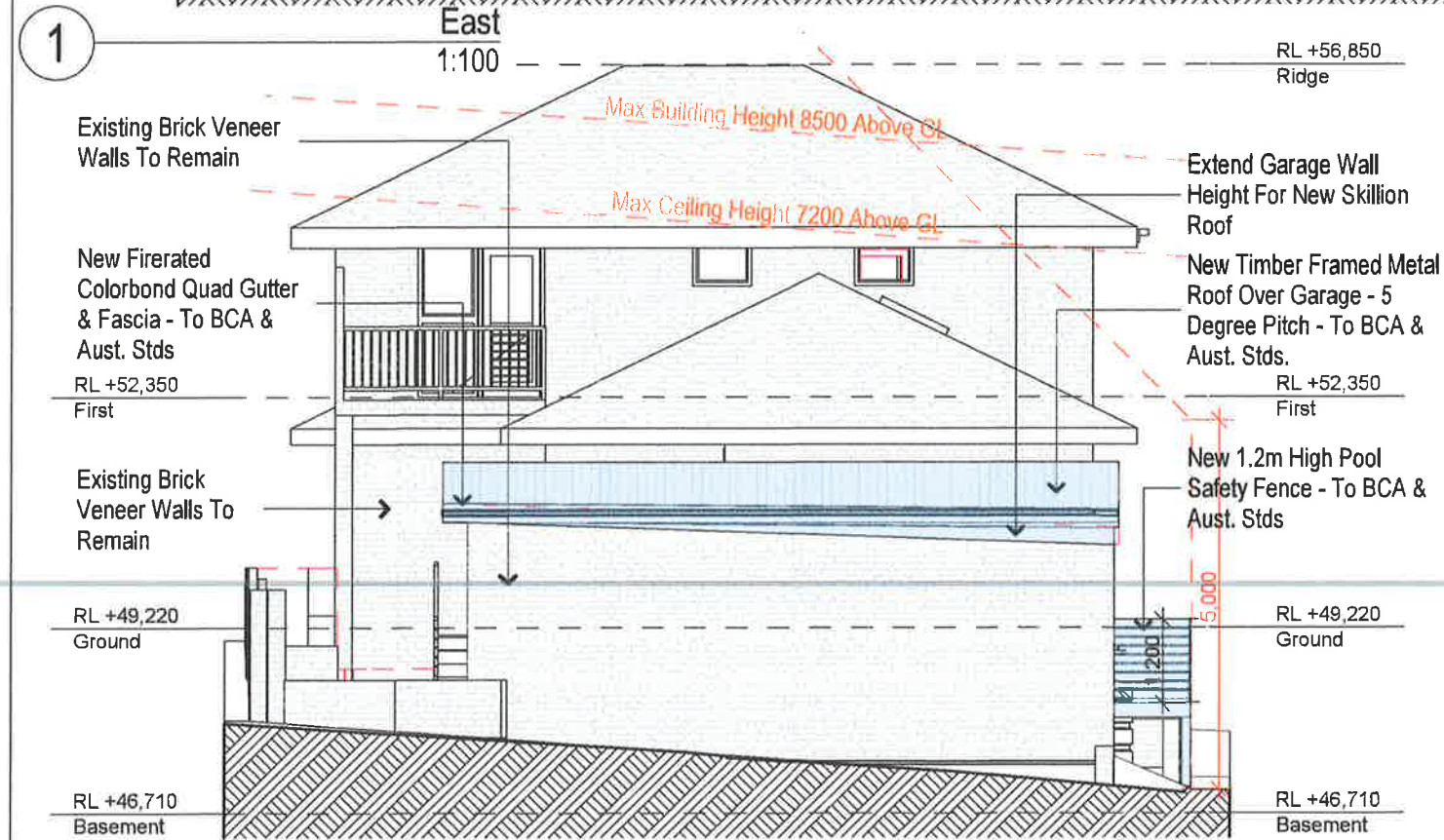
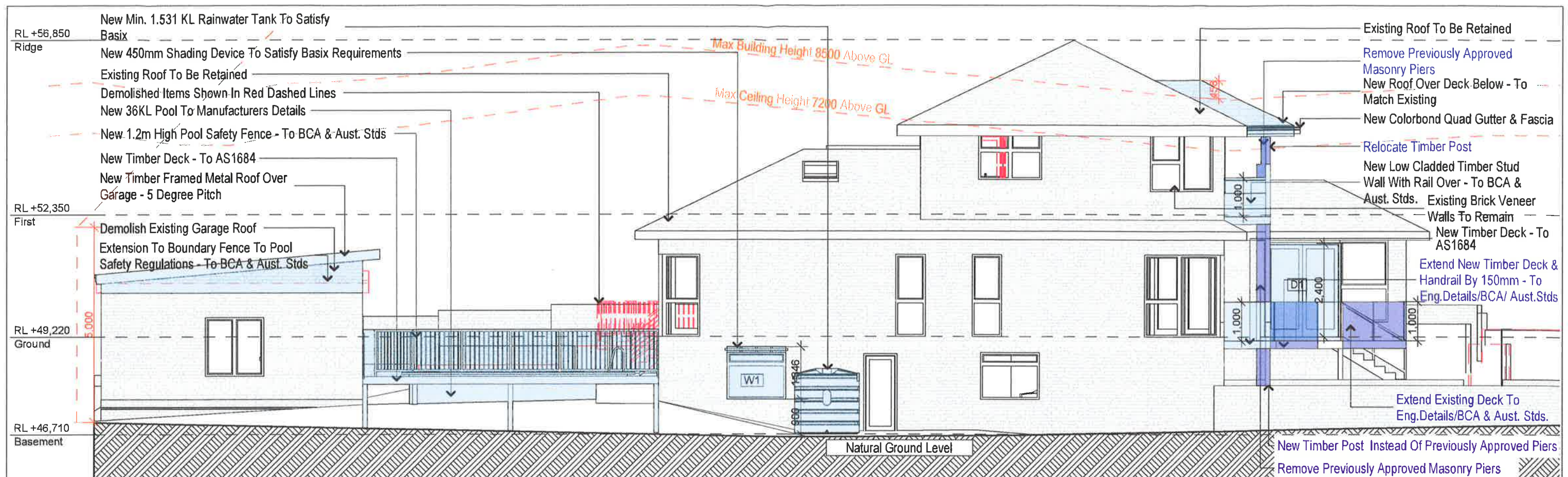
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Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2086

Lot 32 D.P16602
Drawing Title:
Schedules - Colours & Finishes Sample Board

Scale: A3 as noted Date: 19-11-2014
Status: DA MOD Checked By: GBJ

Project No:
Drawing No:
RP0513COL DA6001



Windows and glazed doors glazing requirements

Window / door no	Orientation	Area of glass inc. frame (m ²)	Overshadowing (Height (m) Distance (m))	Shading device	Frame and glass type
W1	E	1.8	0.85 1.3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	S	4	0 0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	0.81	4.2 13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	N	0.81	4.2 13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	N	0.81	4.2 13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
D1	E	4.55	0 0	eave/verandah/pergola/balcony >=800 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	5.04	0 0	eave/verandah/pergola/balcony >=800 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	W	4.32	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	N	6.1	0 0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

	Denotes Modified Works
	Denotes Approved Works Under DA2013/1038
	Denotes Demolished Items

Wall Legend

Builder to Check and Confirm all Measurements Prior to Commencement

Construction

Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95 Insulation With 75mm Foil Backed Blankets
Timber Framed Metal Sheet Roofs To Be Of R1.24 With 75mm Foil Backed Blankets
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix

Basix Certificate Number A168104

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Proposed	Compliance
Site Area	481.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Clause 4.6
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	3.5m	Yes
Minimum side boundary setback (Min.)	900mm	Yes
Building envelope	5m@45Deg	No
% of landscape open space (40% min)	17%	No
Impervious area (m ²)	401.26m ²	Yes
Maximum cut into ground (m)	1.8m	Yes
Maximum depth of fill (m)	N/A	Yes
Number of car spaces provided	2	Yes

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Client:
Jeremy Coleman

Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2096

Lot 32 D.P.16602

Drawing Title:

Elevations - Elevation 1

Scale: A3 as noted

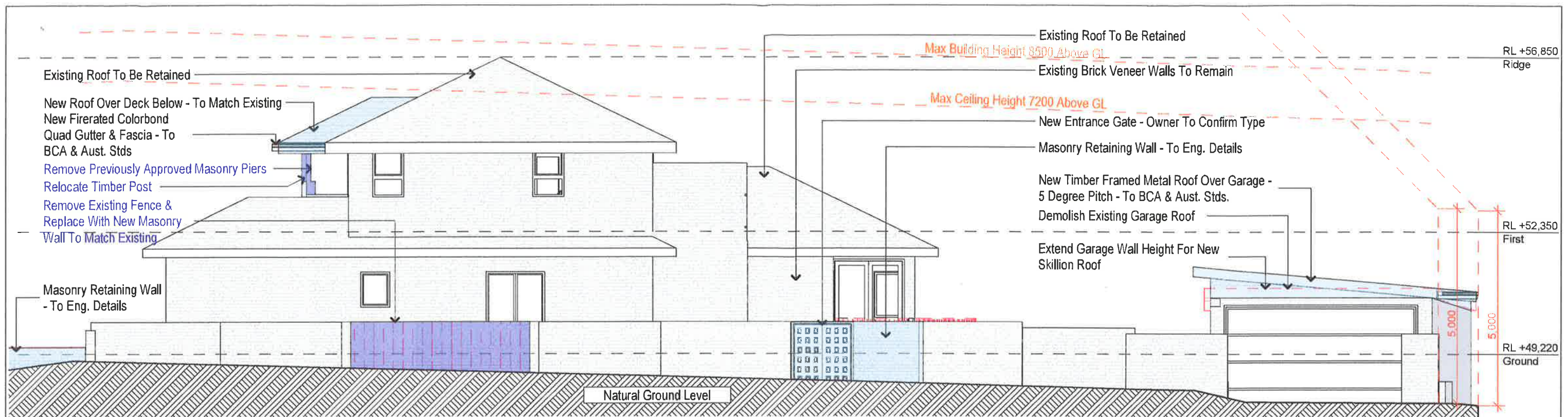
Status: DA MOD

Project No.
RP0513COL

Date: 19-11-2014

Checked By: GBU

Drawing No.
DA4001



Windows and glazed doors glazing requirements

Window / door no	Orientalion	Area of glass inc frame (m2)	Overshadowing Height (m)	Shading device Distance (m)	Shading device	Frame and glass type
W1	E	1.8	0.85	1.3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	S	4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	0.81	4.2	13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	N	0.81	4.2	13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	N	0.81	4.2	13.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
D1	E	4.55	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.49, SHGC: 0.46)
D2	NW	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	W	4.32	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	N	6.1	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

- Denotes Modified Works
- Denotes Approved Works Under DA2013/1038
- Denotes Demolished Items

Wall Legend

Builder to Check and Confirm all Measurements Prior to Commencement

Construction

Masonry Retaining & Brick Veneer Walls
Framed Tiled Pitched & Metal Sheet Roofs
Brick Veneer Walls To Be Of R1.7 Insulation
Timber Framed Pitched Tiled Roofs To Be Of R0.95
Insulation With 75mm Foil Backed Blankets
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Basix

Basix Certificate Number A168104

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NOTES

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New Works to be constructed shown in Shaded Blue
1 Phyllis Street, Curl Curl
is not considered a heritage item

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Client:
Jeremy Coleman

Client
Jeremy Coleman
Project Name
Alterations & Additions
1 Phyllis Street, Curl Curl
2096

Lot 32 D.P16602
Drawing Title:
Elevations - Elevation 2

Scale: A3 as noted
Status: DA MOD
Project No.: RP0513COL

Date: 10-11-2014
Checked By: GBJ
Drawing No.: DA4002



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