



Statement of Environmental Effects

Stage 2 DA - Extensions to
Chisholm House

John Colet School, Belrose



6- 8 Wyatt Avenue, Belrose

Submitted to Northern Beaches Council

On Behalf of John Colet School and Templum Design Architects

December 2019

REPORT REVISION HISTORY

Revision	Date Issued	Revision Description	
01	19/09/19	Draft 01	
		Prepared by	Verified by
		Olivia Page <i>Project Planner</i>	 Mel Krzus <i>Director</i>
02	04/12/19	Final Report	
		Prepared by	Verified by
		Olivia Page <i>Project Planner</i>	 Mark Schofield <i>Director</i>

Disclaimer

This report has been prepared by City Plan Strategy & Development P/L with input from a number of other expert consultants (if relevant). To the best of our knowledge, the information contained herein is neither false nor misleading and the contents are based on information and facts that were correct at the time of writing. City Plan Strategy & Development P/L accepts no responsibility or liability for any errors, omissions or resultant consequences including any loss or damage arising from reliance in information in this publication.

Copyright © City Plan Strategy & Development P/L
ABN 58 133 501 774

All Rights Reserved. No material may be reproduced without prior permission.

TABLE OF CONTENTS

1. Introduction.....	8
2. Site Analysis	10
2.1. Regional Context	10
2.2. Local Context.....	10
2.3. Site Address and Legal Description.....	11
2.4. Site Description.....	12
2.4.1. Existing Improvements.....	12
2.4.2. Topography	13
2.4.3. Ecology	13
2.4.4. Trees	15
2.4.5. Hazards.....	15
2.4.6. Flooding	17
2.4.7. Heritage	17
2.4.8. Soils	17
2.4.9. Stormwater.....	18
2.4.10. Parking, Access and Transport.....	18
2.4.11. Site photos	18
2.5. Surrounding Development.....	24
2.5.1. Overview	24
2.6. Relevant Planning History	27
3. Description of development	29
3.1. Overview.....	29
3.2. Proposed Site Plan	30
3.3. Demolition.....	31
3.4. Tree Removal	31
3.5. Excavation and Filling.....	31
3.6. Development Statistics	32
3.7. Architectural Intent.....	33
3.8. Materiality and Façade Treatment.....	33
3.9. Landscaping	34
3.10. Access Parking	35
3.10.1. Pedestrian Access	35
3.10.2. Construction Access	36

3.11. Infrastructure and Utility Works.....	36
3.11.1. Stormwater and Drainage	36
3.11.2. Sediment and Erosion Control	36
3.12. Student and Staff Numbers	36
3.13. Construction Cost	37
3.14. Development Plans and Supporting Documentation	37
3.15. Feasible Alternatives Considered	37
3.16. Consequences of Not Carrying out the Development	38
3.16.1. John Colet School Intent.....	38
3.16.2. Consequences	38
3.17. Pre-Lodgement Consultation	38
3.17.1. Council	38
4. Statutory Planning Considerations	43
4.1. Overview.....	43
4.2. Environmental Planning and Assessment Act 1979	43
4.2.1. Section 1.3 – Objects.....	43
4.2.2. Section 4.15 of EP&A Act 1979	44
4.2.3. Section 4.46 – Integrated Development.....	44
4.3. Environmental Planning and Assessment Regulation 2000	45
4.3.1. Clause 92 – Demolition.....	45
4.3.2. Clause 98 – Compliance with the BCA	45
4.4. Biodiversity Conservation Act 2016	45
4.5. State Environmental Planning Policies	46
4.5.1. State Environmental Planning Policy No. 44 – Koala Habitat Protection.....	46
4.5.2. State Environmental Planning Policy No. 55 – Remediation of Land	46
4.6. Warringah Local Environmental Plan 2000	46
4.6.1. Relevant WLEP Provisions	46
4.6.2. Schedule 15 Statement of Environment Effects	57
4.6.3. Ecological Sustainable Development.....	59
4.6.4. Appendix C: Middle Harbour Suburbs Locality Statements: Locality C8 Belrose North	60
5. Other Planning Considerations.....	63
5.1. Greater Sydney Region Plan	63
5.2. North District Plan.....	65
5.3. Warringah Development Control Plan 2000	65

6. Environmental Impact Assessment	66
6.1. Overview	66
6.2. Built Environment	67
6.2.1. Height, Bulk and Scale	67
6.2.2. Setbacks	68
6.2.3. Design and Aesthetics	70
6.2.4. Solar Access	70
6.2.5. Internal Amenity	70
6.2.6. Privacy	71
6.2.7. Views	71
6.2.8. Heritage	71
6.2.9. Materials and Colour	71
6.2.10. Noise and Vibration	71
6.2.11. Building and Construction	72
6.2.12. Waste	73
6.3. Natural Environment	73
6.3.1. Ecology	73
6.3.2. Tree Removal	73
6.3.3. Landscape	74
6.3.4. Stormwater Management	74
6.3.5. Soil Management	74
6.3.6. Air and Microclimate	74
6.4. Movement and Access	75
6.4.1. Parking and Traffic	75
6.4.2. Accessibility	75
6.5. Site Suitability	75
6.5.1. Contamination	75
6.5.2. Bushfire	75
6.5.3. Services and Utilities	75
6.6. Social and Economic Effects	76
6.6.1. Crime and Safety	76
6.6.2. Social, Economic and Employment	76
6.6.3. Public interest	76
7. Conclusion	77

FIGURES

Figure 1: Location of the site within the broader context, subject site marked with a point (Source: Google Maps).....	10
Figure 2: Locality Map, subjected site outlined in red (Source: Six Maps)	11
Figure 3: Site Location Plan, site outlined in red (Source: Six Maps).....	12
Figure 4: Aerial View of the site and locality, outlined in red (Source: Six Maps).....	13
Figure 5: Map 3A: Caley's Grevillea habitat (Source: NSW Department of Planning Industry and Environment)	14
Figure 6: Duffy's Forest vegetation on and around the School (Source: SRL Consulting Australia).....	15
Figure 7: Extract of Draft Bush Fire Prone Land Map 2018 (Source: Australian Bushfire Protection Planners)	16
Figure 8: Extract of Amended Draft Bush Fire Prone Land Map 2018 (Source: Australian Bushfire Protection Planners)	17
Figure 9: Photograph of existing Chisholm House, Shakespeare House and the secondary entrance looking north (Source: Google Street View).....	19
Figure 10: Photograph of existing Chisholm House and Shakespeare House looking north (Source: City Plan)	19
Figure 11: Photograph of the existing Chisholm House looking looking south-west (Source: Google Street View).....	20
Figure 12: Photograph of the existing Garigal Quadrangle looking west (Source: Google Street View)....	20
Figure 13: Photograph of the existing Colet House Classroom 2 and Library looking north-west (Source: Google Street View)	21
Figure 14: Photograph of existing administration building looking south- east (Source: Google Street View)	21
Figure 15: Photograph of Demountable D7, Play Structure and Eora Playground looking north-west (Source: City Plan)	22
Figure 16: Upper Level of existing Chisholm House looking north-west (Source: City Plan)	22
Figure 17: Photograph of existing Upper Level of Chisholm House looking south-west (Source: City Plan)	23
Figure 18: Photograph of Eora Playground located to the west of Chisholm House, looking south-west (Source: City Plan)	23
Figure 19: Photograph of Eora Playground to the south of Chisholm House, looking south-west (Source: City Plan)	24
Figure 20: Wyatt Reserve, associated parking, play equipment and tennis courts located directly south of JCS (Source: Google Street View)	25
Figure 21: Bridle Trail located directly to the west of JCS (Source: City Plan).....	25
Figure 22: Sydney East TransGrid Substation located to the west of JCS on Wyatt Avenue (Source: City Plan)	25
Figure 23: Residential development located to the west of JCS on the north side of Wyatt Avenue (Source: Google Street View)	25

Figure 24: Residential development located to the west of JCS on the north side of Wyatt Avenue (Source: Google Street View)	25
Figure 25: Photograph of residential development located to the south-west of JCS on the south side of Wyatt Avenue (Source: Google Street View)	26
Figure 26: Aerial photograph of the surrounding development in vicinity of JCS and labelled accordingly in yellow (Source: Near Maps)	26
Figure 27: Extract of Existing Site Plan with the proposed shaded in red (Source: Templum Design Architects).....	30
Figure 28: Extract of Ground Floor Plan showing the removal of Chisholm House stairs (Source: Templum Design Architects)	31
Figure 29: Extract of Section 1 showing the excavation and fill proposed for the proposed works (Source: Templum Design Architects)	32
Figure 30: Extract of the Landscape Plan showing cut and fill on Eora Playground (Source: Conzept Landscape Architects)	32
Figure 31: Extract of Materials and Finishes Schedule (Source: Templum Design Architects)	34
Figure 32: Extract of Landscape Plan (Source: Conzept Landscape Architect).....	35
Figure 33: Extract of Proposed Stormwater Plan (Source: CMP Engineering)	36
Figure 34: "A Metropolis of Three Cities", subject site identified with a red star (Source: Greater Sydney Region Plan - GSC).....	64
Figure 35: Extract of Section 1 showing Portion of the Building that Varies the Maximum Building Height (Source: Templum Design Architects).....	67
Figure 36: South elevation of the proposed extension to Chisholm House (Source: Templum Design Architects).....	68
Figure 37: Extract of Western Elevation showing the Proposed Treatment (Source: Templum Design Architects).....	69
Figure 38: Extract of Landscape Plan (Source: Conzept Landscape Architect).....	69
Figure 39: Extract of landscape plan (Source: Conzept Landscape Architects)	70
Figure 40: Extract of elevation from south Wyatt Avenue elevation (Source: Templum Design Architects)	71
Figure 41: Extract of the western elevation (Source: Templum Design Architects)	72

TABLES

Table 1: Previous DA History	27
Table 2: Summary of Proposal, Level by Level	29
Table 3: Proposed Tree Removal.....	31
Table 4: Development Statistics.....	32
Table 5: Pre-Lodgement issues raised by Council.....	39
Table 6: Section 4.15 of EP&A Act 1979.....	44
Table 7: WLEP Compliance Assessment.....	46
Table 8: Consideration of Schedule 15 of the WLEP	57
Table 9: Consistency with the Greater Sydney Region Plan.....	63

APPENDICES

Appendix	Document	Prepared by
1	Clause 20 Variation Report	City Plan
2	Architectural Plans	Templum Design Architects
3	Survey Plan	Bee and Lethbridge
4	Detailed Landscape Plan	Conzept Landscape Architects
5	Stormwater Drainage Plan	Civil and Structural Consulting Engineers
6	Sediment and Erosion Control Plan	Templum Design Architects
7	Bushfire Protection Assessment	Australian Bushfire Protection Planners
8	Ecological Issues and Assessment Report/Flora and Fauna Report	Gunninah Environmental Consultants
9	BCA Compliance Statement	City Plan
10	Access Compliance Statement	City Plan
11	Waste Management Plan	Templum Design Architects
12	Cost Summary Report	Templum Design Architects
13	Arborist Report	Accurate Tree Assessment
14	Pre-DA Minutes	Northern Beaches Council

1. INTRODUCTION

This Statement of Environmental Effects (SEE) has been prepared for the applicant Templum Design Architects by City Plan Strategy and Development Pty Ltd (City Plan) to accompany a Development Application (DA) to Northern Beaches Council. The site is located within the grounds of John Colet School (JCS), 6- 8 Wyatt Avenue, Belrose (the site).

This SEE has been prepared pursuant to Section 4.12 of the *Environmental Planning and Assessment Act 1979* and Clause 50 of the *Environmental Planning and Assessment Regulation 2000*. The purpose of this SEE is to:

- Describe the proposed development and its context;
- Assess the proposal against the applicable planning controls and guidelines; and
- Assess the potential environmental impacts and mitigation measures.

This SEE relates to the detailed design of approved "Stage Q" pursuant to DA2015/0558, which comprises an extension to the existing Chisholm House, located within the south-western corner of the subject site.

This DA (referred to as the Stage 2 DA) is submitted concurrently with a Section 4.55(2) Modification Application to DA2015/0558, which seeks to vary the concept building envelope for Stage Q. For the purposes of this DA, the proposed building is known as the 'extension to Chisholm House'.

The development proposal comprises:

- Construction of a two (2) storey school building adjoining the existing Chisholm House;
- Provision of a new art room on the ground floor;
- An undercroft play area on the ground floor;
- Provision of two (2) classrooms on level 1; and
- Associated storage, amenities and landscaping.

The subject site is a "deferred matter" in the Warringah Local Environmental Plan 2011. Accordingly, the Warringah Local Environmental Plan 2000 (WLEP) is the primary environmental planning instrument (EPI) applicable to the site. The site is located in the C8 Belrose North Locality and is an existing Category Three development. In summary, the development proposes minor variations to the building height, front setback and side setback provisions in the C8 locality statement. A Clause 20 Variation Report accompanies this application in Appendix 1 and provides detailed justification for the contraventions. As noted above, the S4.55(2) modification application addresses the variations to the building envelope, from that previously approved in DA2015/0558, for the extension to Chisholm House. There are no adverse impacts arising from the proposed contraventions to the development standards. Specifically, materiality and façade treatment mitigate the bulk and scale of the building, particularly when viewed from the western elevation and the south boundary at Wyatt Avenue. Landscaping maintains compliant with the bushland setting of the WLEP 2000. The proposed landscape scheme screens and softens the built form.

A pre-lodgement meeting was held with Northern Beaches Council on 16 April 2019. As discussed in detail in Section 3.17 of this SEE, Council were generally supportive of the application and emphasised the importance that the detailed design addresses the Urban Designer's comments. Consequently, the western and southern elevations have been articulated and façade treatments proposed to break up the built form and create a positive interface with the public domain. Further consultation was undertaken with Council via email correspondence on the 24 July 2019. This consultation sought Council's advice on the articulation and materiality of the western elevation. Council confirmed that the matters relating to the western elevation had been addressed in email correspondence dated 5 August 2019.

The land to the north of the property and to the northwest, north and east of JCS is Crown Land. This land remains vacant as the vegetation on the land has been identified as Duffys Forest, an Endangered Ecological Community (ECC). The Warringah Council Bushfire Prone Land Map identifies this vegetation

and the vegetation within the northern portion of JCS as Category 1 Bushfire Prone Vegetation. The proposed extension to Chisholm House is therefore deemed to be a 'Special Fire Protection Purpose Development' pursuant to the provisions of Section 100B of the *Rural Fires Act 1997* and requires the issue of a Bushfire Safety Authority from the Commissioner of the NSW Rural Fire Service. The proposal is nominated as being 'integrated development' under Section 4.8 of the EP&A Act.

The SEE concludes this proposal is of an appropriate scale and mass for the site, is consistent with the desired future character of the area, is well designed and has no adverse amenity impacts. It is considered that the proposal will deliver a suitable and appropriate development for the site and is worthy of approval.

2. SITE ANALYSIS

2.1. Regional Context

The subject site, known as JCS, is located within the suburb of Belrose, within the Northern Beaches Local Government Area (LGA) and is located east of Garigal National Park. The site is located approximately 20km north of Sydney's Central Business District.

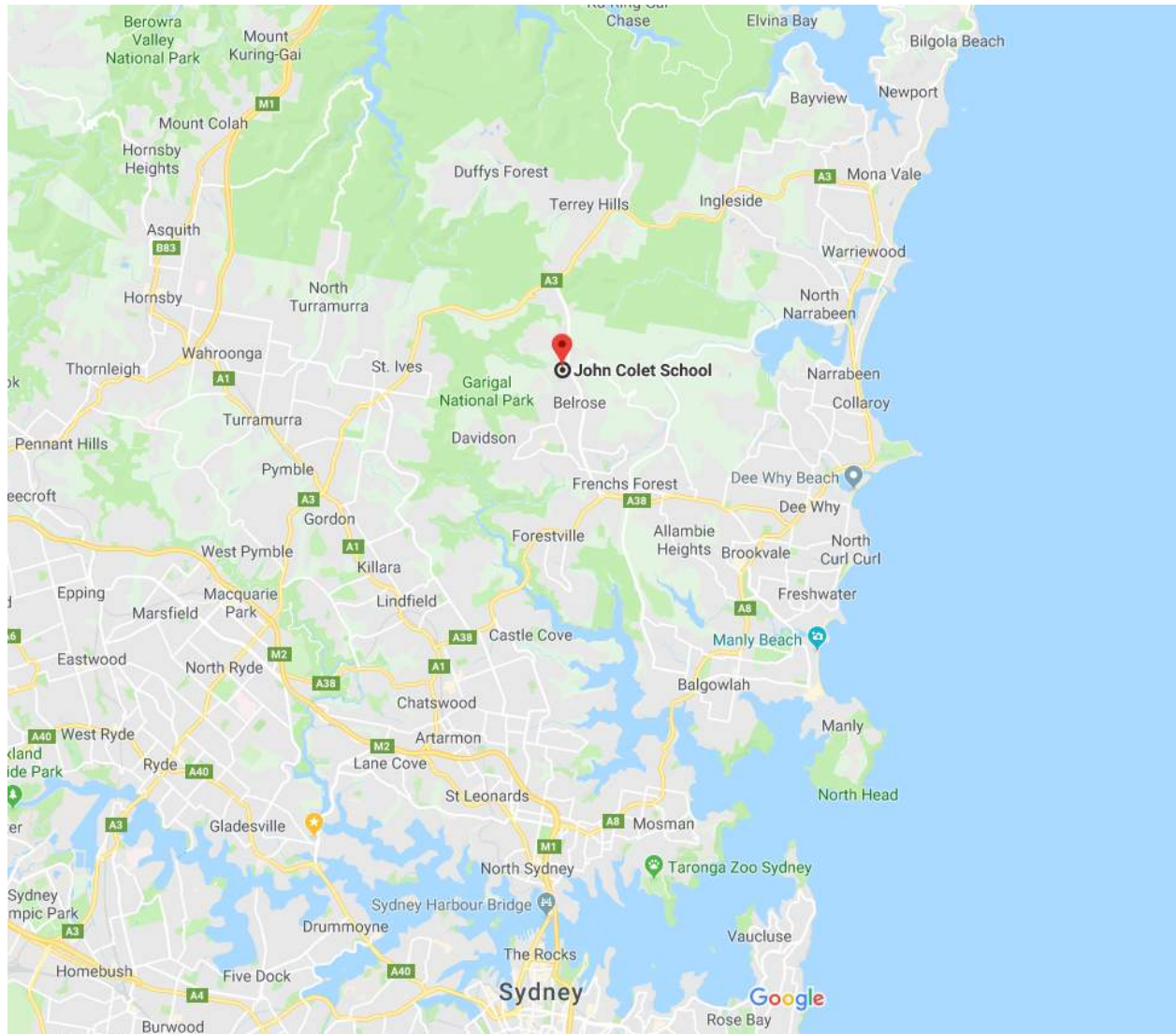


Figure 1: Location of the site within the broader context, subject site marked with a point (Source: Google Maps)

2.2. Local Context

Wyatt Avenue contains an eclectic mix of land uses and developments. The site is within proximity of a number of local facilities and services including but not limited to:

- Low density residential dwellings west of the subject site, on the south side of Wyatt Avenue and on either side of Wyatt Reserve;

- Wyatt Reserve (a sportsfield) opposite the school;
- Belrose Shopping Centre 600m southwest of the site;
- Belrose Uniting Church, Uniting Forest Pre-School and Uniting Wesley Gardens Belrose 300m from the site;
- Belrose Public School 850m from the site;
- LGA Belrose 900m from the site;
- Belrose Kindergarten 1km from the site;
- Terry Hills Golf Course 3.0km from the site.
- Glenrose Village 3.3km from the site;
- Forestway Shopping Centre 3.7km from the site; and
- Northern Beaches Hospital 4.0km from the site.

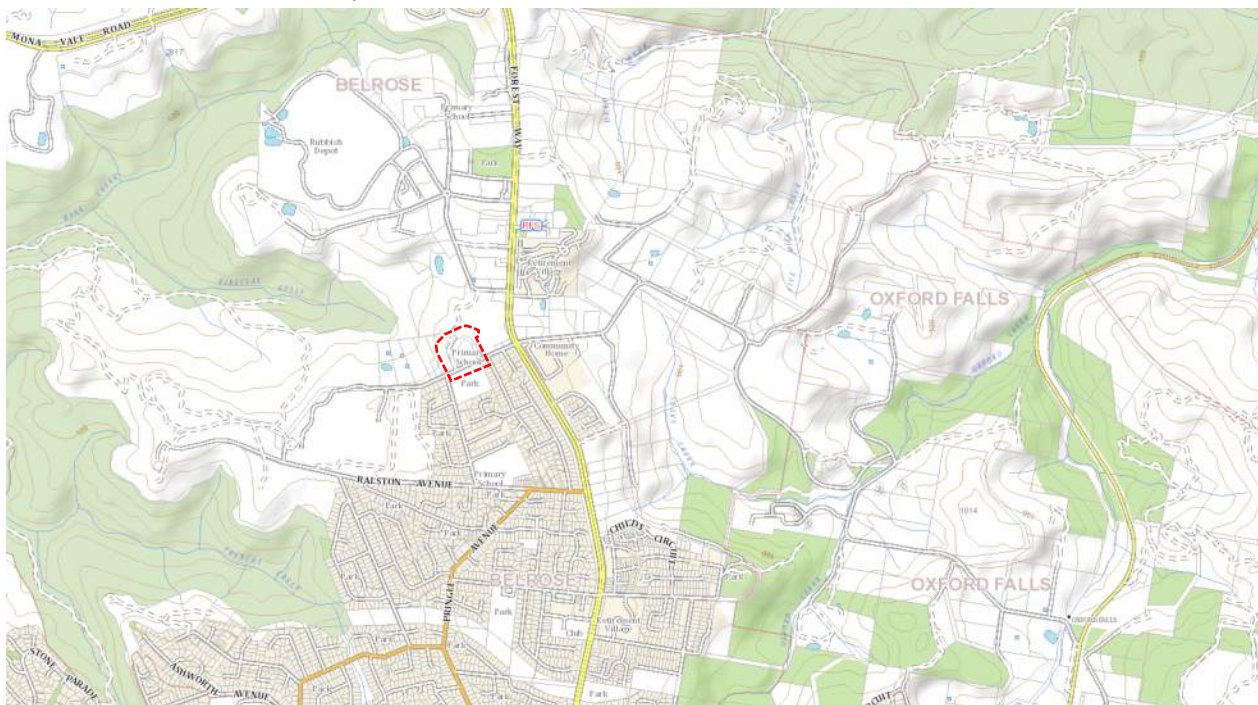


Figure 2: Locality Map, subjected site outlined in red (Source: Six Maps)

The site is located approximately 160 metres southwest of the intersection between Wyatt Avenue and the Forest Way. Directly to the north of the land is open bushland, identified as being part of the “Duffy’s Forest Ecological Community” by the National Parks & Wildlife Service (NPWS), which includes endangered flora, *Grevillea Caleyi* (Caley’s Grevillea). JCS has established a positive covenant on part of its land to protect the *Grevillea Caleyi* on the site.

2.3. Site Address and Legal Description

The site has a street address of 6-8 Wyatt Avenue, Belrose and is legally described as Lot 1 in Deposited Plan 601101 and Lot 101 in Deposited Plan 874509. A site location plan is below.

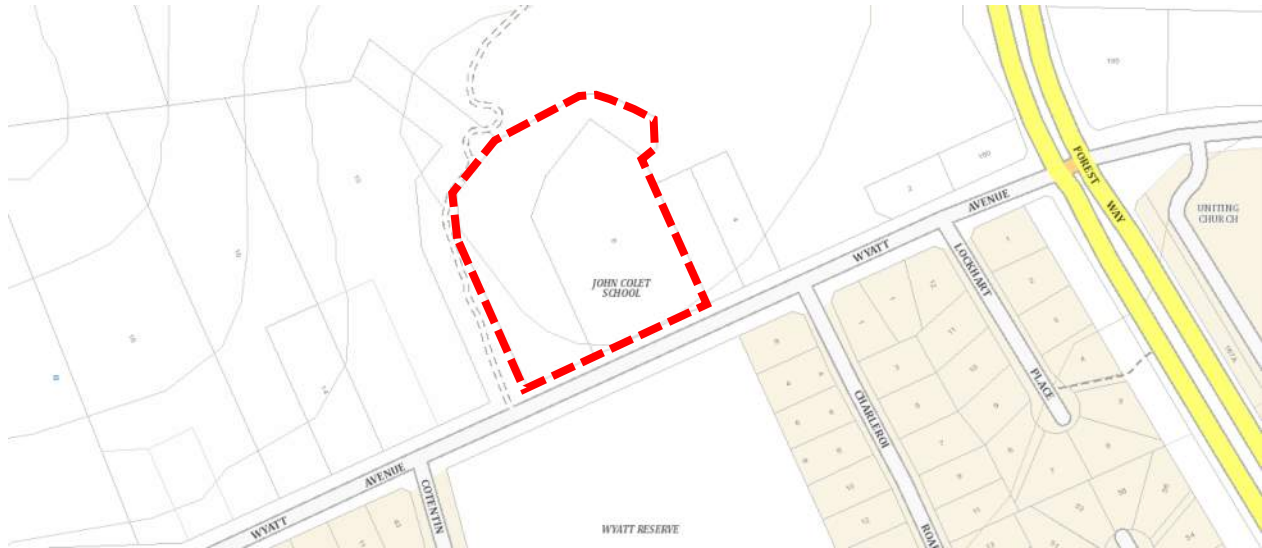


Figure 3: Site Location Plan, site outlined in red (Source: Six Maps)

2.4. Site Description

2.4.1. Existing Improvements

The site is used for the purposes of a primary school, known as JCS. The school occupies a total of seven (7) buildings, with parking for nineteen (19) vehicles. The school currently has a valid approval under DA2015/0558 for a maximum of 350 students (to be staged with the approved building works).

The land is identified as being in Locality C8 – Belrose North pursuant to the WLEP 2000. This locality comprises a mix of residential dwellings, and a variety of lot sizes and housing types. The western end of Wyatt Avenue is characterised by a variety of detached single and two storey dwellings.

The site has a total area of 11,790m². The land that comprises the site has a gradual rise of approximately 10 metres from the south (street front) to the north (rear) and has undergone various level changes over the years as a result of the development of the site by previous and current occupants. Currently located and operating on the site, JCS is accommodated in various buildings. The layout of the site is generally illustrated in the aerial photograph in Figure 4 below.



Figure 4: Aerial View of the site and locality, outlined in red (Source: Six Maps)

2.4.2. Topography

The overall site has a predominant fall from north to south and east to west. The area of the site to which the proposed extension to Chisholm House is proposed has a fall from east to west from RL189.02 to RL186.77 (2.25m) and north to south from RL190.14 to 187.04m (3.1m). Refer to the Survey Plan in Appendix 3.

2.4.3. Ecology

Flora and Vegetation

The vegetation on the subject site consists predominately of introduced plants, landscaped gardens and introduced grass play areas. There are a small number of remnant native trees present within the currently developed portions of the site, but most of the vegetation present is either highly modified and/or horticultural in origin.

As stated above, the northern portion of the site contains Duffy Forest vegetation which is an endangered ecological community (EEC) listed in the Threatened Species Conservation Act (TSC Act). In addition, this area contains specimens of Caley's Grevillea *Grevillea caleyi*, which is a threatened plant listed as endangered in the NSW Biodiversity Conservation Act (NSW BCon Act) and in the *Commonwealth Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act). The small fenced portion of the School, along the north boundary, which is protected as the Caley's Grevillea Reserve, contains an area of Duffys Forest open woodland vegetation. Furthermore, this area contains a relatively sparse open woodland characterised by Red Bloodwood and Sliver top- Ash, with a dense health understorey. Approximately 15 specimens of the threatened plant are located with the Caley's Grevillea Reserve, with several specimens located outside the school ground to the north. Nonetheless, there are no specimens of Caley's Grevillea on the subject site outside the identified reserve.



Figure 5: Map 3A: Caley's Grevillea habitat (Source: NSW Department of Planning Industry and Environment)



Figure 6: Duffy's Forest vegetation on and around the School (Source: SRL Consulting Australia)

Threatened Fauna Species

The site contains no threatened fauna species. As per the Ecological Issues and Assessment Report (EIAR) prepared by Gunninah Environmental Consultants in Appendix 8 the only threatened fauna species that could occur, on occasions, are highly mobile and wide ranging. These include:

- Microchiropteran bats;
- Grey-headed Flying Fox; and
- A few threatened birds (for example: Regent Honeyeater, Swift Parrot)

There is no likelihood of any threatened fauna species to be dependent on the area to be affected by the proposed development at the subject site.

2.4.4. Trees

The Survey Plan prepared by Bee and Lethbridge for DA2015/0558 identified 91 trees on the subject site. However, the Arborist Report in Appendix 13 identifies 14 trees located in proximity to the subject building on the site. Overall, the vegetation becomes progressively denser to the North of the site with cleared areas housing the school buildings and open space on the southern portion of the site. The northern portion of the site is retained as natural bushland and contains a population of endangered Caley's Grevillea as discussed above and is within a fenced area.

2.4.5. Hazards

The Draft Northern Beaches Bush Fire Prone Land Map (BPLM) 2018 is provided below and identifies the extent of the Category 1 Bushfire Prone Vegetation on the subject site and adjoining land.

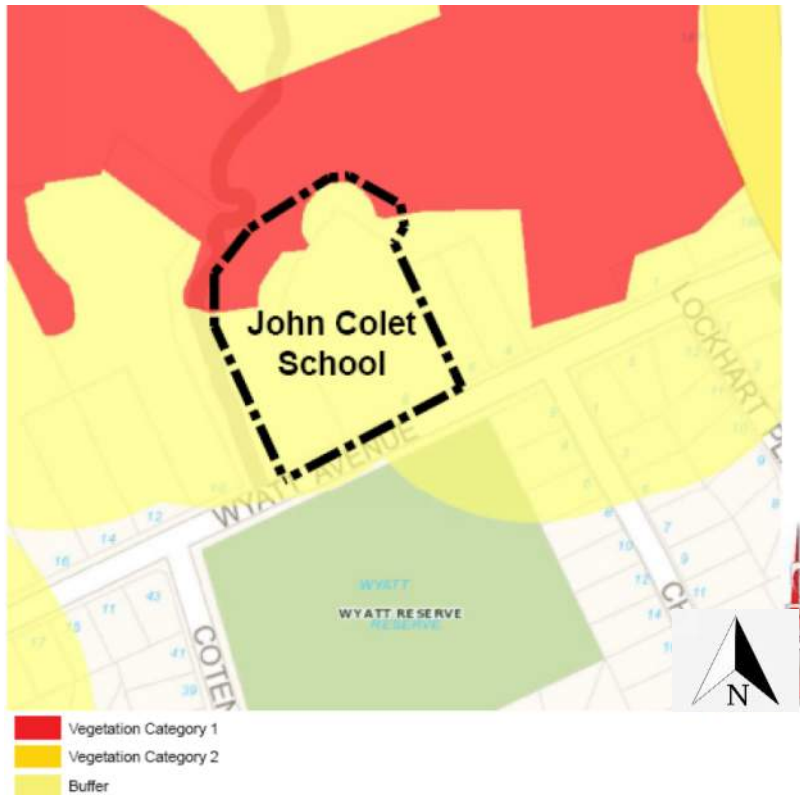


Figure 7: Extract of Draft Bush Fire Prone Land Map 2018 (Source: Australian Bushfire Protection Planners)

Notwithstanding, the Bushfire Report attached in Appendix 7, highlights that following a site inspection the Draft Bushfire Prone Land Map (BPLM) 2018 does not accurately record the extent of the Category 1 Bushfire Prone Vegetation on the site. It demonstrates the BPLM Category 1 occupying the northern portion of the site whereas this area of the site, except for the fenced pocket of Grevillia Caleyi, is managed with a retained tree canopy and is therefore not bushfire prone vegetation. Notably, the map accurately records the extent of Category 1 Bushfire Prone Vegetation on the Crown Land to the northwest, north, northeast and east of the school site.

An amended map by Australian Bushfire Protection Planners is extracted below showing how the subject site does not contain bushfire prone vegetation with the exception of the fenced pocket of Grevillia Caleyi.

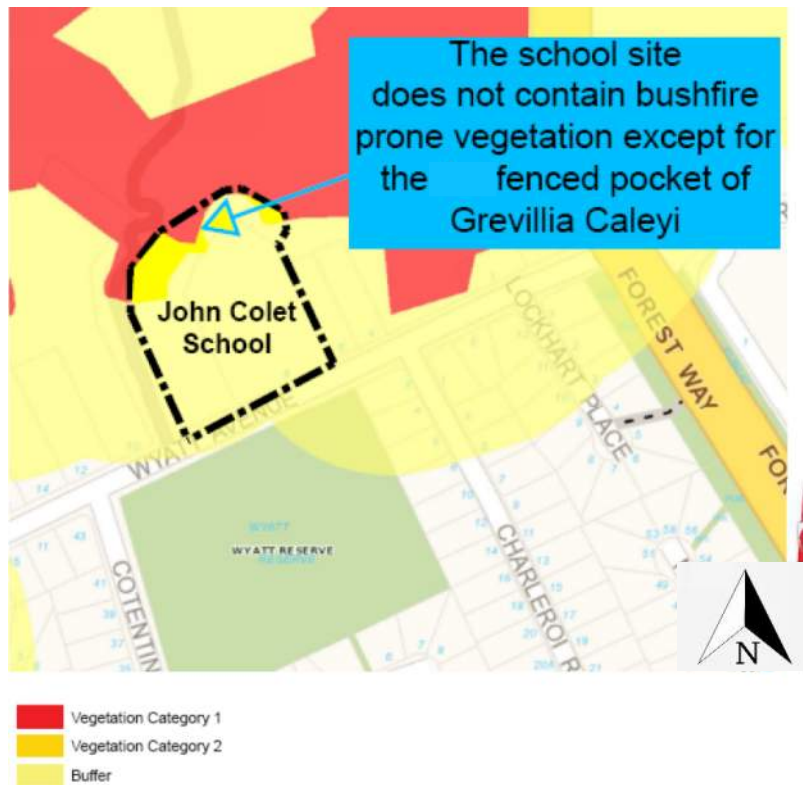


Figure 8: Extract of Amended Draft Bush Fire Prone Land Map 2018 (Source: Australian Bushfire Protection Planners)

2.4.6. Flooding

The subject site is not flood affected land.

2.4.7. Heritage

The site does not contain any heritage items. The Heritage Report that accompanied the Concept and Stage 1 DA considered Clause 80 and 83 of the WLEP 2000 relating to Aboriginal Heritage and Archaeology. In summary, the assessment concluded that there are no previous Aboriginal sites or places recorded within the site or the adjacent area. The site does not have any special or significant historical landscape qualities that would warrant further research into the area. Accordingly, the site is not affected by European or Aboriginal heritage.

2.4.8. Soils

The soil is mapped as the Somersby Soil Landscape (9130so) and has the following characteristics:

- Landscape - gently undulating to rolling rises in deeply weathered Hawkesbury Sandstone plateau. Local relief to 40m; slope <15% rock outcrop is absent. Crests are broad and convex, and slopes are long and drainage lines are narrow. Extensively cleared low eucalypt open-woodland and scrubland.
- Soils - moderately deep to deep (100-300cm) yellow earths and earthy sands on crests and slopes with grey earths in poorly drained and leached sands and siliceous sands along drainage lines.
- Limitation - localised permanent and seasonal waterlogging, moderate erosion hazard, stoniness, very low soil fertility, highly permeable soil.

2.4.9. Stormwater

The site currently contains two (2) on-site detention tanks. One (1) is located in front of Shakespeare House and the other is a surface OSD which will be replaced with the proposed OSD under the new art room on the south boundary (subject to this proposal).

2.4.10. Parking, Access and Transport

Wyatt Avenue is the primary road that facilitates access to JCS. Wyatt Avenue has the following features:

- It is a collector road;
- It is approximately 10- 11m in width; facilitating two lanes for moving traffic;
- Restricted parallel parking permitted on the school frontage (northern side of Wyatt Avenue) and facilitates angled 90 degree parking opposite the school (southern side of Wyatt Avenue);
- Sign posted speed limit of 50km/h, reducing to 40km/h during school zone periods;
- 1.2m wide footpaths on the school frontage;
- Two (2) school pedestrian gates fronting the road; and
- A wombat crossing with RMS approved supervisor.

Wyatt Avenue connects to Forest Way to the east of the subject site. Forest Way is an arterial state road, with a four lane divided road carriageway and a sign posted speed limit of 80km/h.

The school has two (2) vehicular access points. These are located on the south-east corner and the middle of the south boundary on the site. Student access is not permitted through these vehicular access points. Pedestrian access for students, teachers, parents and the like are provided through the pedestrian access path and gate located in the middle of the site on the south boundary. The wombat crossing directly connects to this path and gate.

The school has an existing “kiss and ride” drop off and pick up zone located on the south boundary at Wyatt Avenue. Subject to the approved Stage 1/Concept DA the site comprises 19 on-site parking spaces. These spaces are accessible from the main vehicle entrance on the eastern boundary of the site.

The area is serviced by buses. There are multiple bus stops located in close proximity to the school, notably to the north-east end of Wyatt Avenue beyond the school grounds. These stops allow patronage pick up and drop off for the following services 141, 271, 274, 282 and 283. The buses provide services to Austlink, Terry Hills, Davidson, Belrose, Terrey Hills, Frenches Forest, Warringah, Wakehurst, Seaforth, Manly, Roseville Chase, Castle Cove, Willoughby, Chatswood, Crows Nest and Sydney CBD.

2.4.11. Site photos

A series of photographs of the subject site are provided below in Figures 9 to 19.



Figure 9: Photograph of existing Chisholm House, Shakespeare House and the secondary entrance looking north (Source: Google Street View)



Figure 10: Photograph of existing Chisholm House and Shakespeare House looking north (Source: City Plan)



Figure 11: Photograph of the existing Chisholm House looking looking south-west (Source: Google Street View)



Figure 12: Photograph of the existing Garigal Quadrangle looking west (Source: Google Street View)



Figure 13: Photograph of the existing Colet House Classroom 2 and Library looking north-west (Source: Google Street View)



Figure 14: Photograph of existing administration building looking south-east (Source: Google Street View)



Figure 15: Photograph of Demountable D7, Play Structure and Eora Playground looking north-west (Source: City Plan)



Figure 16: Upper Level of existing Chisholm House looking north-west (Source: City Plan)



Figure 17: Photograph of existing Upper Level of Chisholm House looking south-west (Source: City Plan)



Figure 18: Photograph of Eora Playground located to the west of Chisholm House, looking south-west (Source: City Plan)



Figure 19: Photograph of Eora Playground to the south of Chisholm House, looking south-west (Source: City Plan)

2.5. Surrounding Development

2.5.1. Overview

Development adjoining the site consists of the following:

- Undeveloped Crown land to the north of the site known as “Duffy’s Reserve”;
- Vacant Crown Land owned by NSW Tafe to the east;
- Unformed road reserve (Bridle Trail) immediately adjacent the western boundary;
- Residential dwellings to the west and south-west;
- Public open space (Wyatt Reserve and sports fields) to the south of the site on the opposite side of Wyatt Avenue; and
- TransGrid Sydney East Substation at the furthest western end of Wyatt Avenue.

Photographs of the surrounding development are provided below in Figures 20 to 26.



Figure 20: Wyatt Reserve, associated parking, play equipment and tennis courts located directly south of JCS (Source: Google Street View)



Figure 21: Bridle Trail located directly to the west of JCS (Source: City Plan)



Figure 22: Sydney East TransGrid Substation located to the west of JCS on Wyatt Avenue (Source: City Plan)



Figure 23: Residential development located to the west of JCS on the north side of Wyatt Avenue (Source: Google Street View)



Figure 24: Residential development located to the west of JCS on the north side of Wyatt Avenue (Source: Google Street View)



Figure 25: Photograph of residential development located to the south-west of JCS on the south side of Wyatt Avenue (Source: Google Street View)



Figure 26: Aerial photograph of the surrounding development in vicinity of JCS and labelled accordingly in yellow (Source: Near Maps)

2.6. Relevant Planning History

The site benefits from a series of previous development approvals. A summary of the previous planning approvals relevant to the site is provided in the table below.

The most recent and relevant to the subject application is the approved staged development under DA2015/0558 (former Sydney East JRRP reference 2015SYE103). The determination for this DA was issued by Council on 10 June 2016 (approved by the JRPP on 18 May 2016). The DA approved the staged redevelopment of the school with new classrooms and ancillary works and a staged increase in student numbers up to a maximum of 350 students.

Table 1: Previous DA History

DA Reference	Details
DA 1995/135	Establishment of a primary school ("John Colet School") approved on 15/02/1995 (previously a church army school).
DA 6000/5411	Modification of DA 1995/135 to increase student numbers, approved on 26/06/1995
DA 1999/1206	Construction of a deck and pergola, approved on 17/02/1999.
DA 1999/2414	Construction of a demountable classroom, approved on 25/11/1999.
DA 2002/1832	Alterations and additions to the existing administration building to create a new hall, approved on 28/02/2003.
DA 2000/3893	Infill of an area on the site to create a playground area, approved on 30/04/2004.
DA 2006/1121	Construction of four (4) classrooms, "Shakespeare House"
DA 2007/1067	Installation of rainwater tanks on the site, approved on 30/01/2008.
DA 2008/0073	Modification of DA 2007/1067 with regards to bushfire safety in association with the installation of the rainwater tanks, approved on 13/05/2008.
DA 2008/0352	Alterations and additions to an existing school building, "Colet House".
DA 2009/0528	Alterations and additions to an existing school building "Top House", approved 19/06/2009.
FG 2009/0002	Nation Building Consents - Infrastructure Project Application No 09/0139 John Colet School, Belrose. Construction of Four Classrooms and a Toilet Block (extensions to Shakespeare House", now called "Chisholm House").
DA 2010/1170	Increase in student numbers at the school, approved 01/01/2010.
MOD 2011/0123	Modification to condition 18 ("ancillary requirements"), approved, 11/07/11.
MOD 2011/0192	Modification to condition 6 ("traffic management plan") approved, 24/01/12.
DA 2011/1370	Alterations and additions, approved 22/02/12.
MOD 2012/0254	Modification to condition 21 (increase in student numbers trial), approved, 08/05/13.
MOD 2013/0260	Modification to delete a condition for a trial period to increase in student numbers, refused 11/06/14. This application was refused by WDAP mainly on the basis of traffic and parking.

MOD 2014/0174	Modification to amend/extend a condition for a trial period to increase in student numbers, approved on 17.12.14. The extension is for 6 months.
DA2015/0558	Staged Development for alterations and additions to the existing John Colet School for new classrooms and ancillary works and staged increase in student numbers. Approved by the Joint Regional Planning Panel on 18 May 2016.

The latest staged DA, being DA2015/0558, is directly relevant to the subject DA. As noted above, DA2015/0558 granted consent for a masterplan concept for the school, a staged increase in student numbers, as well as the detailed design and construction of Stage 1 of the masterplan. The subject DA seeks consent for detailed design and construction of a future approved “conceptual” stage of the masterplan, being Stage Q. Stage Q was not originally intended to be the next stage of works, but the demands of the school have necessitated Stage Q being brought forward to effectively being “Stage 2”. It is important to note that the staging outlined in the approved concept masterplan was always intended to be indicative to provide flexibility in circumstances such as this, where the needs of the school change over time.

3. DESCRIPTION OF DEVELOPMENT

3.1. Overview

The proposal involves the detailed design of approved “Stage Q” pursuant to DA2015/0558, which comprises an extension to the existing Chisholm House, located within the south-western corner of the site.

We note that this DA (referred to as the Stage 2 DA) is submitted concurrently with a Section 4.55(2) Modification Application to DA2015/0558, which seeks to vary the approved building envelope for Stage Q.

For the purpose of this DA, the proposed building is known as the ‘extension to Chisholm House’. The extension of Chisholm House, specifically involves:

- Construction of a two (2) storey school building adjoining the existing Chisholm House;
- Provision of a new art room on the ground floor;
- An undercroft play area on the ground floor;
- Provision of two (2) classrooms on level 1; and
- Associated storage, amenities and landscaping.

The following table provides a summary of the proposal per level:

Table 2: Summary of Proposal, Level by Level

Level	Use	Details
Ground Floor	Teaching and Learning	New art room Paint cupboard Set-up area Storage room Wet area trough Teachers areas including a sink and fridge Enrichment area and library/reading area Undercroft play area Climbing wall New stairs to facilitate access to Level 1 Lift platform Landscaping Air conditioning units New retaining wall on western boundary
Level 1	Teaching, Learning and Play	Classroom 1 Take-Out Room 1 Storage Room 1 Classroom 2 Take-Out Room 2 Storage Room 2 One (1) Accessible Toilet Ambulant Toilet- Boys Ambulant Toilet- Girls

	Storage Room 3 Staircase External walkway Rooftop garden
Total	2 classrooms 1 art room

Refer to the Architectural Plans prepared by Templum Design Architects at Appendix 2 for further detail.

3.2. Proposed Site Plan

An extract of the proposed site plan is provided below in Figure 27. This plan identifies the works proposed under this application.

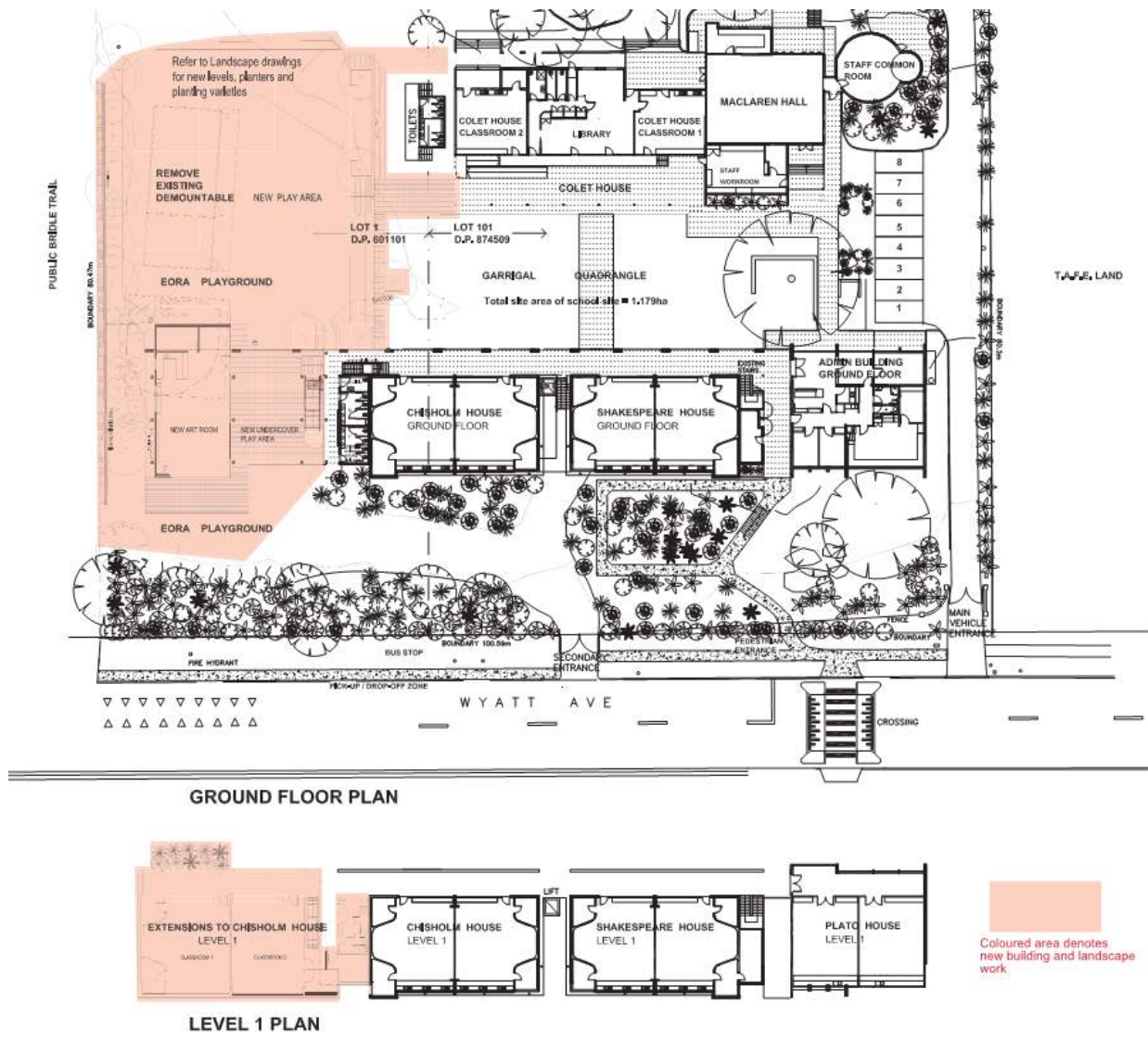


Figure 27: Extract of Existing Site Plan with the proposed shaded in red (Source Templum Design Architects)

3.3. Demolition

The application involves the demolition of the existing stairs at Chisholm House (Figure 28).

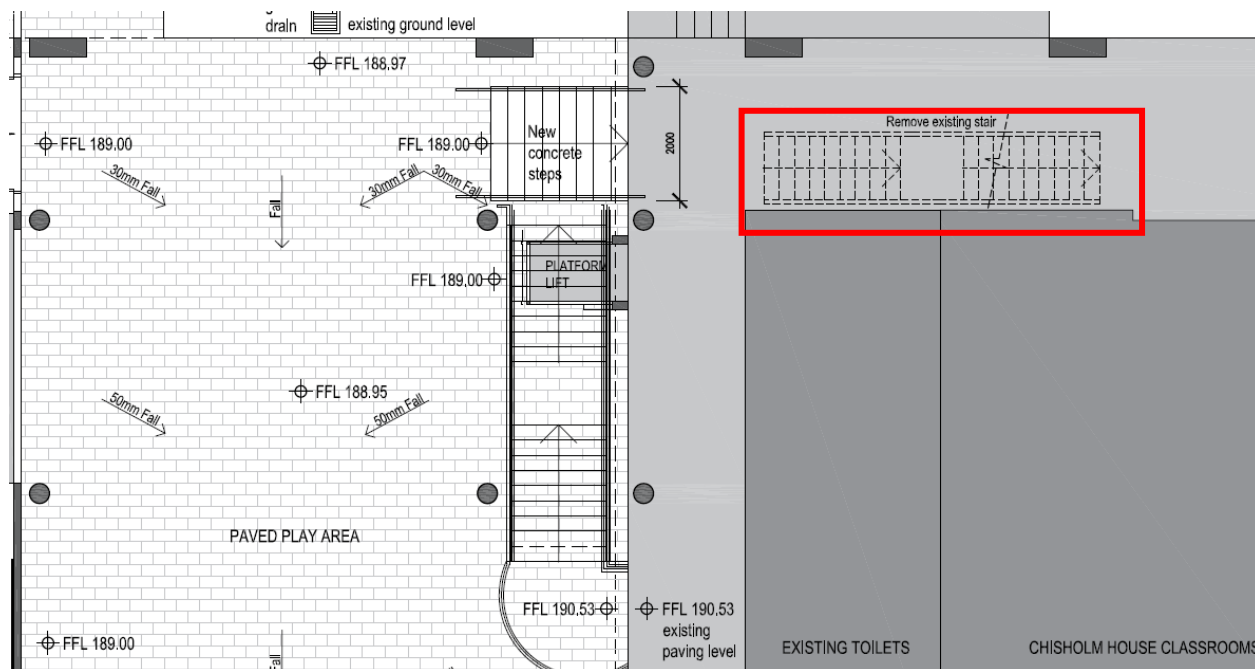


Figure 28: Extract of Ground Floor Plan showing the removal of Chisholm House stairs (Source: Templum Design Architects)

The proposal will also necessitate the removal of the existing demountable to the north of the subject building to enable the proposed landscaping to be provided.

3.4. Tree Removal

Table 3 outlines the four (4) trees which are proposed to be removed.

Table 3: Proposed Tree Removal

No. in Arborist Report	Common Name
37A	Lilly Pilly
37B	Lilly Pilly
38B	Water Gum
39	Red Bloodwood

Refer to the Arborist Report in Appendix 13 for detail.

3.5. Excavation and Filling

The proposed extension to Chisholm House involves minor excavation and fill. Figure 29 shades the fill and excavation work relative to the existing ground line. Fill is required to a maximum depth of 1.2m on the south-west corner of the building to establish the new ground line.

Figure 29: Extract of Section 1 showing the excavation and fill proposed for the proposed works (Source: Templum Design Architects)

Due to the change in ground levels, cut and fill is also required on the Eora playground (Figure 30).

Figure 30: Extract of the Landscape Plan showing cut and fill on Eora Playground (Source: Conzept Landscape Architects)

3.6. Development Statistics

The key statistics and elements of the project are shown in the table below:

Table 4: Development Statistics.

Element	Proposal
Site Area	1.79ha
Existing Gross Floor Area	2,306m ²

Proposed Gross Floor Area of the Extension to Chisholm House	408m ²
Total Gross Floor Area	2,577m ²
Permissible Building Height	8.5m
Minimum Building Height	9.6m
Maximum Building Height	11.0m
Permissible Building Height to Upper Most Floor	7.2m
Proposed Minimum Building Height to Upper Most Floor	7.7m
Proposed Maximum Building Height to Upper Most Floor	8.9m
Permissible Front Setback	20.0m
Proposed Front Setback	17.2m
Permissible Side Setback	10.0m
Proposed Maximum Western Side Setback	6.1m
Proposed Minimum Western Side Setback	5.0m
Play Area	5,165m ²
Landscaped Area	1,538m ²

3.7. Architectural Intent

DA2015/0558, as it related to 'future stage Q', comprised one (1) large classroom on the upper level at the end of the existing Chisholm House building and an open ended but covered play area on the ground level. JCS identified the need for additional classrooms to provide two streams from kindergarten to year-6, including rooms for art, music and the like. As site is constrained by its proximity to Duffys Forest EEC and bushfire, it was agreed the most appropriate location for the proposed additional bulk associated with classrooms was on the south-west corner of the site. The advantage of locating the proposed classrooms on the south boundary is reduced impact on open play space, ease of supervising children during play and maintenance of access to sunlight to the north, otherwise shaded by buildings. Therefore, the design development resulted in a building and associated landscaping, as proposed. The proposed art room is a significant improvement from that existing on the site which is currently located within a demountable.

The pitch of the roof and materiality, the white concrete framework, corner windows and round columns together reflect the existing appearance of buildings located on the southern boundary of the site. Timber grain solid aluminium panels is the only variation to the other buildings, so as not to be too relentless or repetitive in appearance. The western wall has been designed to minimise window openings and rather is articulated with panels, offset in some locations, creating shading as the sun moves across the building in the afternoon.

3.8. Materiality and Façade Treatment

The proposed extension to Chisholm House comprises various materials and finishes, as follows:

- Mondoclad solid aluminium panels with a variety of different wood grain finishes and colours, protruding at varying distances from backing wall on the southern elevation and flush on the western elevation;
- Dulux paint over fibrous cement cladding to match existing buildings;

- Dulux paint 'natural white' over concrete beams and slabs to match existing buildings;
- Charcoal grey powdercoating to aluminium window frames to match existing buildings;
- Colourbond 'ironstone' colour dark grey metal deck roof sheeting, fascia's and half round gutters; and
- Dark grey concrete paving to match existing paving used around Colet House.

Refer to the Materials and Finish Schedule extracted below.



Perspective view looking up at the southwest corner of Stage 1, with covered play area under

Figure 31: Extract of Materials and Finishes Schedule (Source: Templum Design Architects)

Colour and materials selections:

1. 'Mondotact' solid aluminium panels, using a variety of different wood grain finishes and colours, protruding at varying distances from backing wall



2. Dulux paint over fibrous cement cladding to match existing buildings
3. Dulux paint over fibrous cement cladding to match existing buildings
4. Dulux paint 'Natural White' colour over concrete beams and slabs to match existing buildings
5. Similar to '1.' but set flush with adjacent panels
6. Charcoal Grey powdercoating to aluminium window frames, to match existing buildings
7. Colorbond 'Ironstone' colour dark grey metal deck roof sheeting, fascias and half-round gutters
8. Dark grey concrete paving, to match existing paving used around Colet House
9. Charcoal Grey powdercoating to aluminium window frames, with colourback glass

3.9. Landscaping

The proposed extension to Chisholm House is supported by a detailed landscape scheme. This scheme relates to the area located to the north of building. The proposed scheme has been prepared by Concept Landscape Architects and extracted below.

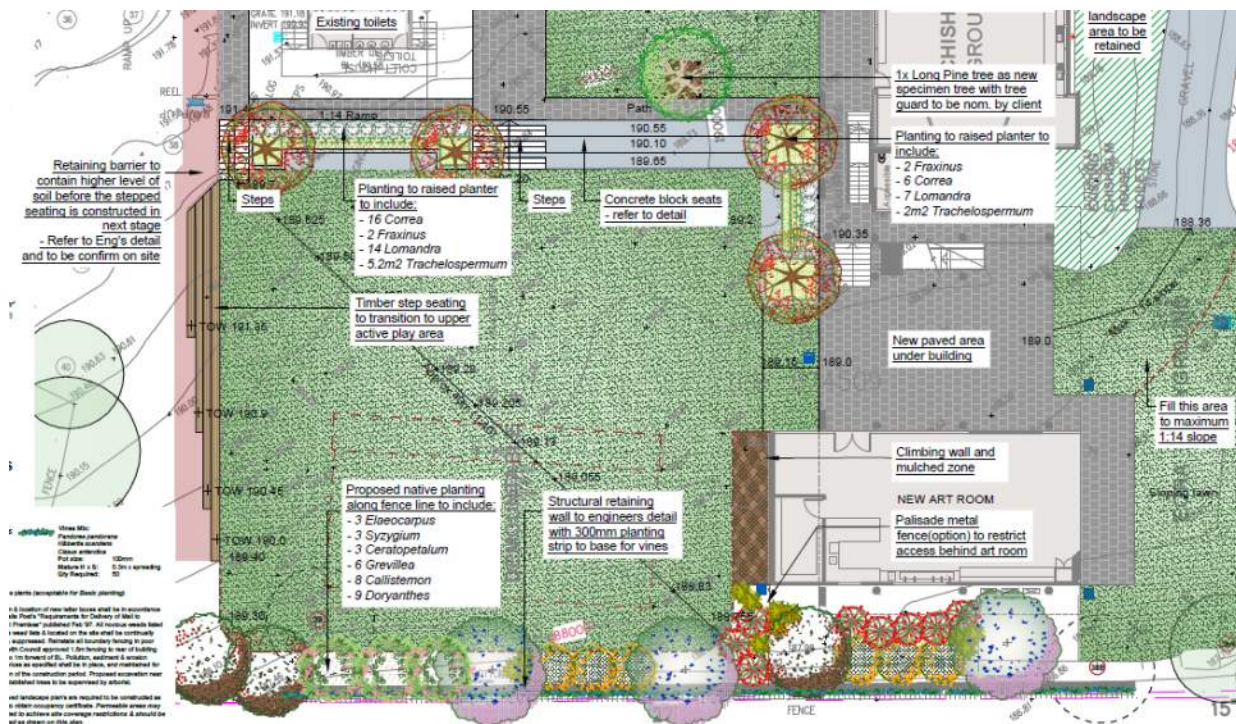


Figure 32: Extract of Landscape Plan (Source: Conzept Landscape Architect)

The scheme comprises a large lawn area with a maximum 1:40 slope. The northern wall of the art room is a climbing wall with a mulched zone below. Due to the change in levels, timber steps, proposed as seating, are provided on the northern edge of the lawn area. Similarly, concrete block seating is situated on the east boundary of the lawn. The design enhances the usability of the space for students and creates an improved landscape outcome on the site. It is to be noted that the modification application accompanying this DA involves the integration of future 'stage L' into 'stage Q'. Future 'stage L' relates to the Eora playground landscaping, vegetation buffer to the perimeter. The landscape design on the western boundary responds to the existing trees located on the western elevation and provides an additional seven (7) trees, beyond those eight (8) already approved in DA2015/0558, as recommended in the Arborist Report (Appendix 13). As far as possible, the cut of the upper part of the new playground area has been balanced by the fill in the lower part of the new playground and along the western retaining wall. The retaining wall to the west has been softened by the use of planting along the boundary, including vines.

Refer to Appendix 4 for the detailed Landscape Plans.

3.10. Access Parking

3.10.1. Pedestrian Access

Pedestrian access is proposed in the form of walking pathways and staircases connecting the existing Chisholm House with the proposed extension. Access stairs are proposed from the undercroft play area to the first floor classrooms. A platform lift is also proposed to facilitate equitable access to the existing Chisholm House, in light of the change in topography at this portion of the site.

3.10.2. Construction Access

Construction access will be provided from the existing secondary entrance as seen on the Site Plan in Appendix 2. This entrance is adequately separated from the existing pedestrian access. Nonetheless, a Construction Management Plan will be prepared for the Construction Certificate phase of the project.

3.11. Infrastructure and Utility Works

3.11.1. Stormwater and Drainage

The Stormwater Plans accompany this application in Appendix 5. The stormwater quality will be controlled with an OSD tank with a required volume of 45m³ and an orifice of 105mm. This is proposed to replace the existing basin and cater for proposed building. Refer to Figure 33 for detail.

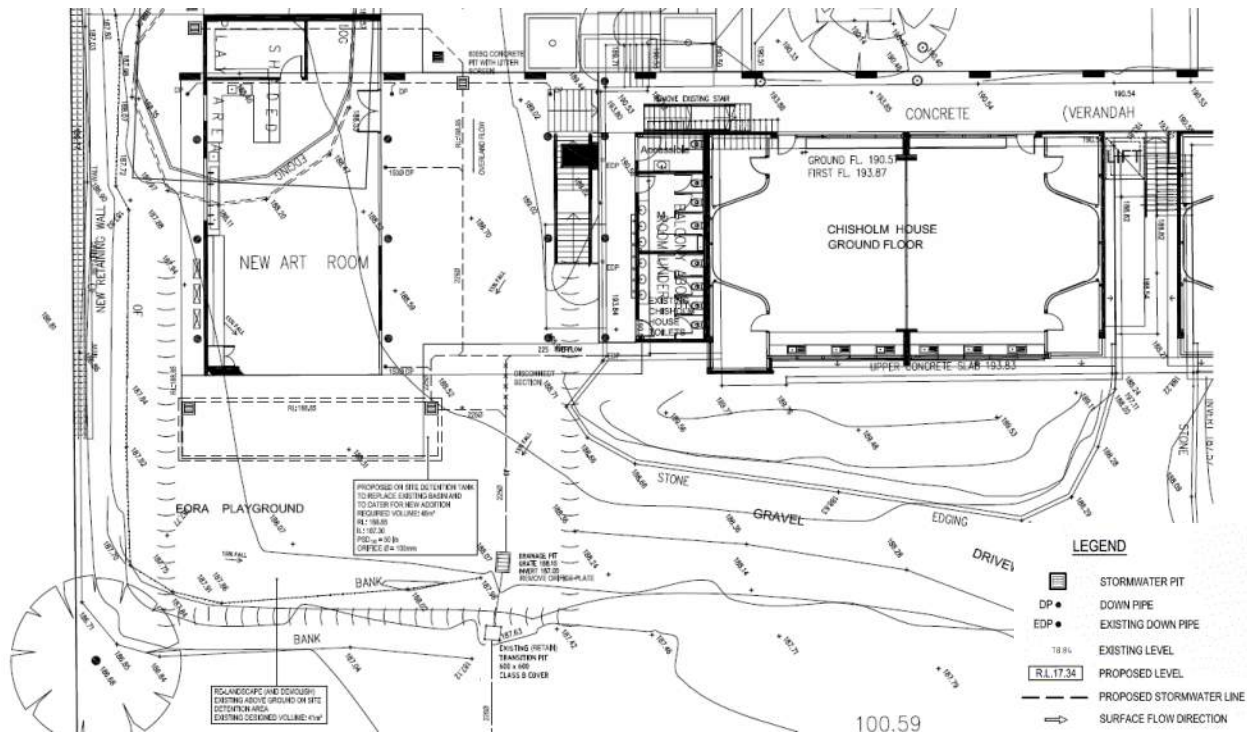


Figure 33: Extract of Proposed Stormwater Plan (Source: CMP Engineering)

3.11.2. Sediment and Erosion Control

The Sediment and Erosion Control Plan in Appendix 6 details a conceptual erosion and sediment plan and the subsequent controls. Accordingly, construction works will be carried out in accordance with the "Blue Book" erosion and sediment control requirements. The exact controls will vary depending on the construction methodology and timing, but typically consist of sediment fencing.

3.12. Student and Staff Numbers

Whilst DA2018/0558 granted consent for a stage intensification of the existing use, we can confirm that the subject detailed DA for "Stage Q" comprising the western elevation to Chisholm House does not seek consent for any increase in student or staff numbers.

3.13. Construction Cost

The construction cost of the project is estimated to be at \$1,688,263 including GST. Refer to the QS Report prepared by Templum Design Architects and provided in Appendix 12.

3.14. Development Plans and Supporting Documentation

This SEE has been prepared with regard to the following plans and technical reports which accompany the application:

- Architectural Plans prepared by Templum Design Architects
- Photomontages prepared by Templum Design Architects
- Site Survey prepared by Bee and Lethbridge
- Landscape Plans prepared by Conzept Landscape Architects
- Stormwater Management Plans prepared by CMP Engineering
- Erosion and Sediment Control Plan prepared by Templum Design Architects
- Bushfire Protection Assessment prepared by Australian Bushfire Protection Planners
- Ecological Issues and Assessment Report prepared by Gunninah Environmental Consultants
- Arboriculture Impact Assessment Report prepared by Accurate Tree Assessment
- BCA Compliance Statement prepared by City Plan
- Access Statement prepared by City Plan
- Waste Management Plan prepared by Templum Design Architects
- QS Report prepared by Templum Design Architects
- Pre-DA Meeting Minutes prepared by Northern Beaches Council

CPSD have relied on the information in these reports, prepared by professionals in their field, for the preparation of this SEE.

3.15. Feasible Alternatives Considered

The following discussion has been provided to us by Templum Design Architects. It explains the alternatives considered during the design development of the proposal.

‘Future stage Q’ in DA2015/0558 was approved with a smaller building scale as it sought to remain generally compliant with the building height, front and side setback provisions of the MLEP 2000. However, JCS considered that a new building with a single large classroom and open play space underneath, as approved in DA2015/0558, was not economically feasible. In considering design alternatives, JCS reaffirmed their desire was to maintain, at a minimum, one (1) large classroom and unobstructed play space. Therefore, it was decided the extension to Chisholm House be made a priority. In assessing the environmental constraints of this area of the site, visual impact and landscaping, the design developed to include an additional large classroom and an art room.

The indicative design of the extension to Chisholm House in DA2015/0558 involved a lower curved roof over the new building. Although this design was considered, it comprised the ceiling height of the new classrooms and made it difficult to add solar panels in the future. Therefore, the decision was made to follow the roof pitch of the other two (2) adjacent buildings, despite the contravention to the MLEP 2000 provisions. This ensures visual continuity, provides a functional ceiling height for the classrooms and offered an opportunity to provide solar panels on the north slope of the roof in the future (as it does not form part of this DA).

The treatment of the western façade has been carefully considered, as it is most visible from the public domain. JCS objected white-painted bagged brickwork and evidently a textured and articulated façade, facilitating sun protection is proposed.

3.16. Consequences of Not Carrying out the Development

3.16.1. John Colet School Intent

The intent of the original staged DA was to set a long-term vision for the school to respond to the increase in demand for enrolments and to provide the school and wider school community with certainty surrounding facilities and services to satisfy the demands of students and staff. The staged development approach enabled a certain degree of flexibility to be built into the Masterplan to ensure that modification could be made to respond to the changing needs of the school overtime.

The school is constantly reviewing demands for standard classrooms as well as room to accommodate additional classes including art, music, Shakespeare, Sanskrit, philosophy and the like. It has become clear that there is a need for larger classrooms and a more generously sized art room to provide students with the best possible space to enhance learning. The larger classroom format that would be accommodated within the extension to Chisholm House would align with the standard classrooms provided within adjacent Chisholm House and Shakespeare House. The current classroom size within Colet House is not sufficient to meet the needs of the expected future class sizes. Hence an alternative solution is proposed in this application, to meet the future needs for the school. Overall, the proposal enables the school to meet the future demand of students without considerably impacting the key useable play space on-site.

3.16.2. Consequences

As established above, this proposal arises from the demand for larger classrooms and a generously sized art room. This demand is reflective of the School's ongoing demand for enrolments and the transition process from a single stream school (one class per year level) to double stream (2 classes per year level). While this transition is taking place over a number of years (and approved under DA2015/0558) the demand consistently continues. A double stream of between 20 to 25 children in each class is financially sustainable. In order to meet this demand, JCS need to balance the student numbers (unchanged from that previously approved) with available facilities. The increased classroom sizes and new art room have become a matter of priority for the School.

The School needs certainty of consent to ensure the school community, including current and future families, can plan the education of their children for the years ahead. JCS is one of the top performing schools in the Northern Beaches area. The student body consistently performs very well in national testing. The School provides an enriched curriculum and in order to provide sufficient classroom spaces, and special purpose spaces for art, this subject extension is required. The standard of education that is expected at the school will not be able to be met if the proposed extension is not approved.

3.17. Pre-Lodgement Consultation

3.17.1. Council

A pre-lodgement meeting was held with Northern Beaches Council on the 16 April 2019. Table 5 provides a summary of Council's comments in the pre-DA meeting and subsequent minutes. All matters raised by Council have been addressed as noted in the table. Further consultation was made with Council via email correspondence on the 24 July 2019. This sought Council's advice on the proposed articulation and materiality of the western elevation and provided an update of the design following further development. In summary, the correspondence included:

- Confirmation of the solid aluminium folded panels, 3mm thick with a selection of timber finishes and complying with the most up-to-date fire safety requirements for a façade. On the southern elevation facing Wyatt Avenue this will be aligned and flat and on the western elevation stepping in and out, forming a varied articulation;
- The proposed new layout for the art room, access and relationship to the western boundary and the Bridle Trail;
- The layout of Level 1 showing the design of the classrooms and amenities, and the recessed glazed wall setback from the existing building line at the amenities, giving the appearance of a definite gap between the buildings; and
- Confirmation of the maximum building height at 11m, resulting in a 2.5m variation.

Council confirmed that the matters relating to the western elevation had been addressed in email correspondence dated 05/08/19.

Refer to Appendix 14 for the pre-DA minutes.

Table 5: Pre-Lodgement issues raised by Council.

Item	Comment
Built Form Controls	
Height of Buildings (Overall) <i>Measured from natural ground level</i>	
Permitted 8.5m Proposed 10.5m The total height of the building at the south-western corner is likely to be 2m over the maximum height, representing an 18% variation to the maximum standard. The acceptability of the variation proposed will hinge on how the western elevation of the building is expressed. The comments of Council's Urban Designer will need to be closely considered in the final design.	As confirmed in the email correspondence with Council on the 24/7/19, the proposed maximum building height is 11m, resulting in a variation of 2.5m. The proposed ridge of the roof aligns with the existing roof associated with adjacent Chisholm House. The matter of the western elevation has been addressed as noted above. This matter is addressed at Section 4.6.4, Appendix 1 and Section 6.2.1.
Building Height Natural ground to upper ceiling	
Permitted: 7.2m Proposed: 8.2m Does not comply. The variation to this control could be supported, if the issue of the variation to the Building Height control can be resolved.	The proposed extension to Chisholm House results in a variation to the building height provision from the natural ground level to the underside of the eave at the upper most floor (Level 01). This entails a minimum height of 7.7m (0.5m variation) and a maximum height of 8.9m (1.7m variation). This matter is addressed at Section 4.6.4, Appendix 1 and Section 6.2.1.
Front Setback	
Permitted: 20m Proposed: 18.4m Does not comply.	The Pre-DA Plans identified the approved front setback of the future 'Stage Q' as 18.4m. Nonetheless, the plans demonstrated the proposed envelope (to be amended by the accompanying

<p>Given that the development includes a minor extension which is in alignment to the existing buildings at the school, the variation is supported.</p>	<p>S4.55(2) modification) aligning with the existing Chisholm House, setback at 17.2m. Therefore the proposed front setback was and continues to be 17.2m. This is evidently non-compliant with the WLEP front setback provision. This matter is addressed in detail at Section 4.6.4, Appendix 1 and Section 6.2.2.</p>
Bushland Setting	
<p>Permitted: 50% Proposed: 63% Complies.</p>	<p>The proposal is compliant with the Bushland Setting provision of the WLEP in providing 70% landscape area with local species.</p>
Rear and Side Setback	
<p>Permitted: 10m (western side setback) Proposed: 5m Does not comply. As stated previously, the advice of Councils' Urban Design will need to be followed to ensure that this variation is acceptable. The remaining 5m of setback area will need to be properly landscaped to achieve the objectives of the control. Details of appropriate plantings to mitigate the visual impact of the western elevation will be required with any application.</p>	<p>The proposed side setback, at 5m, is addressed in Section 4.6.4, Appendix 1 and Section 6.2.2. As noted previously, the comments of Council's Urban Designer have been followed and measures taken to improve the articulation of the western elevation. A Detailed Landscape Plan also accompanies this application in Appendix 4 demonstrating the proposed planting to mitigate visual impact of the western elevation.</p>
National Park Setback	
<p>N/A</p>	<p>N/A</p>
Urban Design	
Setbacks	
<p>The increased building mass encroaches the side setback by approximately 5m for a length of approximately 18m as an extension from the previous approved DA building Stage Q. As noted in the pre-lodgement meeting notes from the applicant, the justification for the proposed modification and further encroachment into the setback zone relies predominately on the distance from surrounding neighbouring properties of approximately 75m. We note this and agree the distance and separation from receivers (neighbouring properties) favours a slight modification, although the setback has been reduced by almost 50% it is noted that a setback of 7m for Stage F (adjacent to Stage Q) was approved under the previous DA2015/0558. The 5m setback will allow for sufficient planting and screening to the western boundary to provide further acoustic buffer at this location, particularly as the use of these rooms involves music lessons, amongst other</p>	<p>Refer to Section 6.2.2 for detailed discussion on the environmental impact of the proposed setback, in particular visual impact and privacy. Despite the variation at 5m, the building is sufficiently distanced and separated from residential dwellings (a minimum 75m setback). Furthermore, the western elevation of the subject site is heavily landscaped, facilitating visual privacy. Vegetation contained within the bridle trail and on the eastern boundary of 10 Wyatt Avenue also facilitates to the acoustic privacy.</p>

<p>education streams. Notwithstanding, please also refer to the Landscape officer comments regarding the sufficiency of proposed setback to provide for adequate planting in the proposed modification.</p>	
Building Bulk	
<p>The applicant notes the extension in length of the proposed Stage Q building actually brings the built form into a logical rhythm and similar length to the existing buildings on this frontage.</p> <p>Additionally, the proposal has rationalised the roof form to be in keeping with that existing, thus providing a coherence and uniformity to the development frontage as a whole. As such, the change in roof typology and building bulk resulting from the revision/modification can be supported.</p> <p>The drawings submitted for the pre-lodgement meeting show little detail and articulation to the treatment of the western façade.</p> <p>Acknowledging that there are constraints in that this elevation faces west and has the height compounded/exaggerated by the fall in topography at this point the design development requires careful articulation of materials and through modulation softening or layering of materiality; open/closed, transparent/opaque strategies to reduce the impacts of the bulk and form of the end of the new building.</p> <p>Strategies that comprise layering of material' glazing, battening or other such treatment that engage in a dialogue with the surrounding neighbourhood and context is highly encouraged.</p>	<p>The building bulk is mitigated through the proposed materiality, finishes and articulation of these. Refer to Section 3.8 for detail of these. Section 6.2 discusses the environmental impacts and demonstrates the design, as amended following the pre-DA meeting, adequately addresses Council's concern.</p>
Height of Buildings	
<p>It is noted that the change in roof typology has resulted in an increase in height. However, as noted above the change in roof typology to better reflect coherence in building form and mass across the site overrides the height exceedance, from an Urban Design viewpoint. That fact of far greater separation between residences/receivers is also taken into account and as such can be supported by the Urban Design Officer.</p>	<p>Noted.</p>
General Plan Arrangement Comments	
<p>The drawing supporting the pre-lodgement meeting demonstrated in purely spatial adjacency and area analysis show that the art room as infill below the upper storey which extends beyond the building line of the upper storey to the north and seems to overlap with Stage F indicated in Drawing 1000 Rev E.</p> <p>As indicated in the pre-lodgement meeting Stage Q has been bought forward ahead of the previous stages for various reasons including recent responses from RFS. This could be seen as an opportunity to thoroughly consider the</p>	<p>The relationship of the proposed extension to Chisholm house and future 'Stage F' have been duly considered throughout design development. The Detailed Landscape Plans, in Appendix 4, demonstrate an appropriate interim solution for this area, enabling the ongoing use and enhancement of the play space. This proposal does not inhibit the ability of future 'Stage F' to proceed.</p>

<p>relationship between Stage Q, the form that Stage F may take and the requirements for inclusion of an amphitheatre located in the area of Stage F to bookend the quadrangle in an ordered, coherent and consistent manner.</p> <p>It could be argued that a better solution to infill under the upper levels remaining within the building line of enclosure established by the upper level could produce a better resolved form and articulation of the building mass both above and below.</p> <p>As Stage F is not complete, forward planning to ascertain the space requirements required under the regulations and the planning arrangements on the site may see the protruding extent of the art room below become a further constraint to the proposed floor area of the new building F or, as discussed in the pre-lodgement meeting, an amphitheatre or COLA that bookends the main quadrangle/outdoor play space in the future.</p> <p>Careful consideration and forward thinking of the art room in conjunction with how this may potentially resolve in a rationalised and well thought out masterplan across the site is highly encouraged to avoid further applications for modifications post Stage Q building.</p>	
Upper Level between Chisholm House and Building Q	
<p>The WC block between the proposed and existing Chisholm House shows a closed in circulation zone. The separation provided between the Chisholm and Shakespeare House could be reflected in this new connecting/circulation zone as a way to connected the greater landscape providing through site-link and views to the greater landscape and to break down the built form, whilst also providing a cross ventilation strategy for this area should be given further consideration.</p> <p>This may also provide further cohesion to the rhythm and articulation to the main street address and be seen holistically as a single development, rather than in-fill additions or extensions that may be at odds with the overall built form and design intent of the whole facility.</p>	<p>The built form of this portion of the proposed and existing Chisholm House has been amended since the pre-DA meeting. In particular, the amenities adjacent to Classroom 2 are setback 19.0m with a glazed finish. This mitigates the visual impact and creates the appearance of a definite gap between the buildings. Refer the Wyatt Street Elevation in Appendix 2.</p>
Traffic Engineer	
<p>Council's Traffic Engineer has no objection to the proposed modification, given that no additional parking spaces will be required and no change to the existing access arrangement will be required.</p>	<p>N/A.</p>

4. STATUTORY PLANNING CONSIDERATIONS

4.1. Overview

The relevant statutory framework considered in the preparation of this report comprises:

- *Environmental Planning and Assessment Act 1979;*
- *Environmental Planning and Assessment Regulation 2000;*
- *Biodiversity Conservation Act 2016;*
- *State Environmental Planning Policy No. 44 – Koala Habitat Protection;*
- *State Environmental Planning Policy No. 55 - Remediation of Land;*
- *Warringah Local Environmental Plan 2000;* and
- *Warringah Development Control Plan.*

Where relevant, these controls are addressed below.

4.2. Environmental Planning and Assessment Act 1979

4.2.1. Section 1.3 – Objects

The Environmental Planning and Assessment Act, 1979 (the Act) is the principle planning and development legislation in New South Wales. In accordance with Section 1.3, the objectives of the Act are:

1.3 Objects of Act

The objects of this Act are as follows:

- (a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources,*
- (b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,*
- (c) to promote the orderly and economic use and development of land,*
- (d) to promote the delivery and maintenance of affordable housing,*
- (e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,*
- (f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),*
- (g) to promote good design and amenity of the built environment,*
- (h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,*
- (i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,*
- (j) to provide increased opportunity for community participation in environmental planning and assessment.*

For the reasons set out below, it is considered that the proposed development satisfies the above stated objects of the Act:

- The proposed development will promote the social and economic welfare of the local community through the ongoing development of the existing JCS to continually improve the services and facilities offered to students;
- The proposed development will result in the creation of additional jobs during the construction and operations phases of Stage Q;
- The proposal will result in the orderly and economic use and development of the land as the site is of an appropriate size, location and land use zoning to enable the development;
- Proper construction methods and processes will be ensured through the preparation of a construction management plan;
- Appropriate utility services are provided; and
- There will be no unreasonable adverse impacts on the environment.

4.2.2. Section 4.15 of EP&A Act 1979

Section 4.15(1) of the Act as amended specifies the matters which a consent authority must consider when determining a development application. The relevant matters for consideration under Section 4.15 of the Act are addressed in the Table below.

Table 6: Section 4.15 of EP&A Act 1979.

Section	Comment
Section 4.15(1)(a)(i) Any environmental planning instrument	Consideration of relevant instruments is discussed in Section 4.
Section 4.15(1)(a)(ii) Any draft environmental planning instrument	Not relevant to this application.
Section 4.15(1)(a)(iii) Any development control plan	Consideration of relevant the development control plan is discussed in Section 5.
Section 4.15(1)(a)(iia) Any planning agreement	Not relevant to this application.
Section 4.15(1)(a)(iv) Matters prescribed by the regulations	Refer to Section 4.3.
Section 4.15(1)(a)(v) Any coastal zone management plan	Not relevant to this application.
Section 4.15(1)(b) - (e)	Refer to Section 6 of this SEE for consideration of (b), (c) and (e). Matter (d) relates to submissions and is a matter for the consent authority.

4.2.3. Section 4.46 – Integrated Development

This section of the Act defines integrated development as matters which require consent from Council and one or more approvals under related legislation. In these circumstances, prior to granting consent Council must obtain from each relevant approval body their General Terms of Approval (GTA) in relation to the development.

Under Section 100B of the Rural Fires Act 1997, as the development involves development of land for a "special fire protection purpose", the application will constitute "Integrated Development". We note that under Section 100B of the Rural Fires Act 1997, a "special fire protection purpose" includes "a school".

4.3. Environmental Planning and Assessment Regulation 2000

4.3.1. Clause 92 – Demolition

All demolition work will be undertaken in accordance with Clause 92 of the Regulation requiring the consent authority to consider AS 2601 - 1991: The Demolition of Structures.

4.3.2. Clause 98 – Compliance with the BCA

Pursuant to the prescribed conditions under Clause 98 of the Regulation, any building work *"must be carried out in accordance with the requirements of the Building Code of Australia"*. A BCA Compatibility Statement accompanies this application in Appendix 9. The report concludes the proposal is capable of complying with the BCA and will be subject to construction documentation that will provide appropriate details to demonstrate compliance.

4.4. Biodiversity Conservation Act 2016

The Biodiversity Conservation Act 2016 (BCon Act) lists and protects threatened species, populations and ecological communities that are under threat of extinction in NSW. Section 7.7(2) of the BCon Act states that if a *"proposed development is likely to significantly affected threatened species, the application for development consent is to be accompanied by a biodiversity development assessment report"*. The EIAR in Appendix 8 considers the proposed works and associated landscaping with regard to Section 7.2(1) of the BCon Act and provides the following assessment.

- a) *Likely to significantly affect threatened species or ecological communities, or their habitats according to the test in Section 7.3*

The proposal is not likely to significantly affect threatened species or ecological communities or their habitats according to the test in Section 7.3. Refer to Appendix 8 for detailed discussion on proposal against the test in Section 7.3 of the BCon Act.

- b) *The development exceeds the biodiversity offset scheme threshold if the biodiversity offset scheme applies to the impact of the development on biodiversity values.*

The proposal, including landscaping, does not exceed the biodiversity offset scheme threshold. It will not result in the clearing of native vegetation of an area declared by clause 7.2 (of the Regulation) as exceeding the biodiversity offsets scheme threshold. The area of native vegetation to be removed is represented essentially by a few trees and shrubs (all or most of which have been planted); and does not exceed the biodiversity offset scheme threshold, which at a minimum would be 2,500m². Additionally, the proposed development will not involve the clearing of native vegetation, or other action prescribed in clause 6.1, on land included on the Biodiversity Values Map published under clause 7.3 of the Regulation. This is because, firstly none of the land to be affected by the proposal contains native vegetation and, secondly, the proposal does not exceed into the BV mapped land on the subject site.

- c) *It is carried out in a declared area of outstanding biodiversity value.*

The subject site is not located in a declared area of outstanding biodiversity value.

The EIAR notes that given those considerations, the proposed extension to Chisholm House and associated landscaping is not likely to significantly affect threatened species and does not trigger any requirement for the application of the Biodiversity Offsets Scheme or the requirements of a Biodiversity Development Assessment Report.

4.5. State Environmental Planning Policies

4.5.1. State Environmental Planning Policy No. 44 – Koala Habitat Protection

The aims of State Environmental Planning Policy No. 44 – Koala Habitat Protection (SEPP 44) are to protect the Koala and its habitat by identifying matters for consent authorities to consider during the assessment of proposal.

SEPP 44 defines ‘potential koala habitat’, as native vegetation in which trees listed in Schedule 2 of the SEPP “constitute at least 15% of the total number of trees in the upper or lower strata of the tree component”. Schedule 2 of SEPP 44 provides a list of tree species recognised as Koala food trees. The vegetation on the development footprint does not have a tree canopy in which at least 15% of the canopy consists of those tree species identified in SEPP 44. Consequently, the site does not constitute potential koala habitat and cannot be “core koala habitat”.

4.5.2. State Environmental Planning Policy No. 55 – Remediation of Land

State Environmental Planning Policy No. 55 – Remediation of Contaminated Lands (SEPP 55) establishes State-wide provisions to promote the remediation of contaminated land.

Clause 7 of the SEPP 55 requires that a consent authority must not grant consent to a development unless it has considered whether a site is contaminated, and it is satisfied that the land is suitable (or will be after undergoing remediation) for the proposed use.

The site has been consistently used for educational purposes (formerly residential) for a significant period of time. There is no evidence to indicate that the land is contaminated and as such, no further consideration under Clause 7(1)(a) and (c) of SEPP 55 is required. Therefore, the land is suitable for continued use.

4.6. Warringah Local Environmental Plan 2000

The site is a "deferred matter" in the Warringah LEP 2011.

Therefore, the Warringah Local Environmental Plan 2000 (WLEP) is the primary environmental planning instrument (EPI) applicable to the site.

Consideration of the relevant provisions of the WLEP is provided below.

4.6.1. Relevant WLEP Provisions

Table 7: WLEP Compliance Assessment

Clause	Provisions	Complies	Comments
12 What matters are considered before consent is granted?	<p>(1) Before granting consent for development the consent authority must be satisfied that the development is consistent with:</p> <p>(a) any relevant general principles of development control in Part 4, and</p> <p>(b) any relevant State environmental planning policy described in Schedule 5 (State policies).</p>	Yes	Section 4.6 of this SEE, in conjunction with Section 4.4 above (relating to SEPPs), considers all relevant matters for consideration under Clause 12 of the WLEP and concludes the proposal is consistent with all relevant provisions.

Clause	Provisions	Complies	Comments
	<p>(2) Before granting consent for development, the consent authority must be satisfied that the development will comply with:</p> <ul style="list-style-type: none"> (a) the relevant requirements made by Parts 2 and 3, and (b) development standards for the development set out in the Locality Statement for the locality in which the development will be carried out. <p>(3) In addition, before granting consent for development classified as:</p> <ul style="list-style-type: none"> (a) Category One, the consent authority must consider the desired future character described in the relevant Locality Statement, or (b) Category Two or Three, the consent authority must be satisfied that the development is consistent with the desired future character described in the relevant Locality Statement, but nothing in a description of desired future character creates a prohibition on the carrying out of development. 		
16 How is existing Category Three development dealt with?	<p>(1) In this clause, existing Category Three development means development classified as Category Three that could have been lawfully carried out immediately before it became so classified, including development that could have been lawfully carried out at that time because it was an existing use, as defined in section 106 of the Act.</p> <p>(2) Development applications for existing Category Three development consisting of:</p> <ul style="list-style-type: none"> (a) alterations or additions to, or the rebuilding of, a building, or (b) the expansion or intensification of existing Category Three development, which, in the opinion of the consent authority, is of a minor nature and does not, to any significant extent, change the scale, size or degree of any building or land use, may be granted consent even if the development is not consistent 	Yes	<p>As the proposal involves an existing Category Three development that was lawfully approved prior to the WLEP 2000, Clause 16 of the WLEP applies.</p> <p>This SEE draws on the expertise of various technical consultants to conclude that the proposal will not, "to any significant extent", "change the scale, size or degree of any building or land use".</p> <p>Furthermore, the impacts of the proposal have been assessed as being either negligible or minor. Where any variation to built form standards is proposed, the impact resulting from such variation is again assessed as being minor and therefore acceptable. Therefore, consistency with the desired</p>

Clause	Provisions	Complies	Comments
	<p>with the desired future character of the locality.</p> <p>(3) The provisions of clauses 14 and 15 do not apply to such applications.</p> <p>Note. In deciding whether an application for consent to additions etc is of a minor nature, the Council will have regard to any relevant matter, including the built form controls (development standards) for the locality.</p>		<p>future character of the locality is not strictly a requirement under this Clause. Considering the planning history of the site, this SEE clearly demonstrates that the proposal is entirely consistent with the desired future character of the C8 locality. This is addressed following this compliance table.</p>
20 Can development be approved if it does not comply with a development standard?	<p>(1) Notwithstanding Clause 12(2)(b), consent may be granted to proposed development even if the development does not comply with one or more development standards, provided the resulting development is consistent with the general principles of development control, the desired future character of the locality and any relevant State environmental planning policy.</p>	Yes	<p>The proposal involves minor variations to the maximum building height, minimum (western) side setback and front setback standards. The Clause 20 Variation Request accompanies this SEE at Appendix 1 and clearly demonstrates the development is consistent with the general principles of development control, the desired future character of the locality and any relevant SEPP.</p>
22 When is a site analysis required?	<p>(1) Consent must not be granted for any development, except complying development, involving the erection of, or additions to, a building, or the subdivision of land unless the consent authority has considered a site analysis.</p> <p>(2) A site analysis should:</p> <p>(a) contain information, where appropriate, about the site and its surrounds as described in Schedule 8 (Site analysis), and</p> <p>(b) be accompanied by a written statement explaining how the design of the proposed development responds to the site analysis, and the relevant general principles of development control in Part 4 and the Locality Statement.</p>	Yes	<p>A site analysis has been prepared by Templum Design Architects and accompanies this SEE in Appendix 2.</p>
38 Glare and reflection	<p>Development is not to result in overspill or glare from artificial illumination, or sun</p>	Yes	<p>The proposed extension to Chisholm House is sufficiently setback from the street frontage, despite the</p>

Clause	Provisions	Complies	Comments
	reflection, which would unreasonably diminish the amenity of the locality.		non-compliance, and aligns with the existing built form on this elevation. To this end, there will be very minor impact as a result of the proposed windows. These impacts are similar to the impacts existing on the southern boundary and will not result in adverse impacts for adjoining property. Furthermore, the materials and finishes proposed will not result in any such adverse impact.
43 Noise	<p>Development is not to result in noise emission which would unreasonably diminish the amenity of the area and is not to result in noise intrusion which would be unreasonable to the occupants.</p> <p>In particular:</p> <ul style="list-style-type: none"> noise from the combined operation of all mechanical plant and equipment must not generate noise levels that exceed the ambient background noise level by more than 5 dB (A) when measured in accordance with the Environment Protection Authority's Industrial Noise Policy at the receiving boundary of residential and other noise-sensitive land uses, and development near existing noise generating activities, such as industry and roads, is to be designed to mitigate the effect of that noise, and waste collection and delivery vehicles are not to operate in the vicinity of residential uses between 10 pm and 6 am. 	Yes	<p>The proposed works are unlikely to generate an unreasonable level of noise beyond that already generated by the existing school. This is primarily due to the physical separation and is further assisted by the fact that for the majority of the day, the students are in classes. During this period, noise generation from the site is limited.</p> <p>Minor operational noise will be generated by the proposed air conditioning units on the western elevation of the building at ground floor. The western elevation is heavily landscaped and located 75m from the nearest residential development to the north-west. The proposed acoustic noise related to the air conditioning units is not expected to cause in adverse noise impacts.</p> <p>Notwithstanding this, we understand noise emissions from uses approved by Council are further regulated by Council's standard "General Requirements" condition, which require</p>

Clause	Provisions	Complies	Comments
			<p>compliance with accepted noise control regulations.</p> <p>As with previous developments approved by Council, we anticipate that a standard condition of consent to mitigate construction noise through restricted building hours will be applied in the issue of any consent notice for the development.</p>
44 Pollutants	<p>No development is to be carried out which, when in operation and when all measures proposed to minimise its impact on the locality have been employed (including measures to isolate the use from existing or likely future development on other land in the locality), would result in the emission of atmospheric (including odours), liquid or other pollutants which would unreasonably diminish the amenity of adjacent properties, the locality or waterways.</p>	Yes	<p>The proposed extension to Chisholm House will not contravene this clause.</p>
52 Development near parks, bushland reserves and other public open spaces	<p>Development adjacent to parks, bushland reserves and other public open spaces, including land reserved for public open space, is to complement the landscape character and public use and enjoyment of that land.</p> <p>In particular:</p> <ul style="list-style-type: none"> where appropriate, housing is to front public open spaces, public access to public open spaces is to be maximised, buildings are to be located to provide an outlook to public open spaces, without appearing to privatise that space, development is to provide a visual transition between open space and buildings including avoiding abutting public open spaces with back fences, views to and from public open spaces are to be protected, and buffers for bushfire protection are to be provided on private land and not on public land. 	Yes	<p>The site is opposite public open space, being the sports fields at Wyatt Reserve, but not directly adjacent and adjoins Duffys Forest ECC to the north. Notwithstanding, we consider the provisions of this clause, as follows:</p> <ul style="list-style-type: none"> As the proposal does not involve housing the first point is irrelevant. Public access to the public open space is maintained notwithstanding the proposed extension to Chisholm House. Point 3 is not applicable. The proposal will not restrict any "outlook to public open spaces". Visual transition between open space and the building remains

Clause	Provisions	Complies	Comments
	<ul style="list-style-type: none"> if public open space or land reserved for public open space contains bushland, development on that land is not to threaten the protection or preservation of the bushland. 		<p>unchanged in the context of the works and the proposed development will not result in any development "abutting" Wyatt Reserve.</p> <ul style="list-style-type: none"> Views to and from Wyatt Reserve will not be restricted. Point 6 is not contravened as a result of the proposal. The proposal will not threaten the protection or preservation of Wyatt Reserve or the bushland at the rear of the site. <p>There has been some concern in recent years by Council and the local community surrounding the ongoing use of Wyatt Reserve by JCS. DA2015/0558 established the increase in student numbers and identified no increased usage of Wyatt Reserve. This was demonstrated in the open space management plan prepared by JCS and that accompanied DA2015/0558.</p> <p>Furthermore, the subject proposal will represent no tangible increase in the intensity of the existing land use and will have a minor change visually when viewed from the adjoining Wyatt Reserve. In this regard the proposed development will not inhibit the public use of this land nor represent an impact on the landscape character of this adjoining land.</p>
54 Provision and location of utility services	If proposed development will involve a need for them, utility services must be provided to the site of the development,	Yes	Adequate provisions have been made in the design of the extension to Chisholm

Clause	Provisions	Complies	Comments
	<p>including provision for the supply of water, gas, telecommunications and electricity and the satisfactory management of sewage and drainage.</p> <p>Utility services including service structures, plant and equipment are to be located below ground or be designed to be an integral part of the development and suitably screened from public places or streets. Where possible, underground utility services are to be provided in a common trench.</p>		House, for essential utilities such as water, telecommunications and electricity. In addition, satisfactory management of sewage and drainage is demonstrated in the Stormwater Drainage Plans in Appendix 5.
56 Retaining distinctive environmental features on sites	<p>Development is to be designed to retain and complement any distinctive environmental features of its site and on adjoining and nearby land.</p> <p>In particular, development is to be designed to incorporate or be sympathetic to environmental features such as rock outcrops, remnant bushland and watercourses.</p>	Yes	The site has an area of remnant native vegetation, has been previously identified as containing a threatened flora species (<i>Grevillea Caley</i>) and as being part of an Endangered Ecological Communities (Duffys Forest).
58 Protection of existing flora	Development is to be sited and designed to minimise the impact on remnant indigenous flora, including canopy trees and understorey vegetation, and on remnant native ground cover species.	Yes	An Ecological Issues and Assessment Report accompanies this application in Appendix 8. This report confirms the proposal will not have any adverse impact (if at all) on the identified populations of threatened/endangered species on the site. The existing management processes for the small patch of Duffys Forest on the site will remain unchanged.
59 Koala habitat protection	<p>This clause applies to parcels of land, being all adjacent or adjoining land held in the same ownership, that are:</p> <ul style="list-style-type: none"> • greater than 1 hectare in area, and • potential koala habitat. <p>Before granting consent to development on land to which this clause applies, the consent authority, on information obtained from a person with appropriate qualifications and experience in biological science and fauna survey and management, must be satisfied as to whether or not the land is core koala habitat.</p>	Yes	<p>The site exceeds 1 hectare in area (1.1ha) and therefore requires consideration of the potential impact of the development on potential koala habitat.</p> <p>The Ecological Issues and Assessment Report prepared by Gunninah confirms that "the subject site...does not represent either "potential koala habitat" or "core koala habitat" as defined in SEPP</p>

Clause	Provisions	Complies	Comments
	Development within land that is core koala habitat must be consistent with a plan of management for that habitat prepared in accordance with Schedule 11 (Koala feed tree species and plans of management).		44 or Clause 59 of WLEP 2000.
62 Access to sunlight	Development is not to unreasonably reduce sunlight to surrounding properties.	Yes	Templum Design Architects have prepared Shadow Diagrams attached in Appendix 2. These demonstrate the proposed works do not unreasonably reduce sunlight access to surrounding properties, including the existing Bridle Trail. Minor additional overshadowing occurs onto the front garden of 10 Wyatt Avenue at 9am. These shadows are gone by 12pm.
63 Landscaped open space	<p>Landscaped open space is to be of such dimensions and slope and of such characteristics that it will:</p> <ul style="list-style-type: none"> ▪ enable the establishment of appropriate plantings to maintain and enhance the streetscape and the desired future character of the locality, and ▪ enable the establishment of appropriate plantings that are of a scale and density commensurate with the building height, bulk and scale, and ▪ enhance privacy between dwellings, and ▪ accommodate appropriate outdoor recreational needs and suit the anticipated requirements of dwelling occupants, and ▪ provide space for service functions, including clothes drying, and ▪ facilitate water management including on-site detention and the infiltration of stormwater, and ▪ incorporate the establishment of any plant species nominated in the relevant Locality Statement, and 	Yes	A Detailed Landscape Plan is provided in Appendix 4. This plan demonstrates adequate landscaped open space is provided in association with the extension to Chisholm House and the proposed development is consistent with the objectives of this General Principle. The proposed works will seek to improve the overall quality of landscaped open space on the site.

Clause	Provisions	Complies	Comments
	<ul style="list-style-type: none"> enable the establishment of indigenous vegetation and habitat for native fauna, and conserve significant features of the site. 		
66 Building bulk	<p>Buildings are to have a visual bulk and an architectural scale consistent with structures on adjoining or nearby land and are not to visually dominate the street or surrounding spaces, unless the applicable Locality Statement provides otherwise.</p> <p>In particular:</p> <ul style="list-style-type: none"> side and rear setbacks are to be progressively increased as wall height increases, large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief, and appropriate landscape plantings are to be provided to reduce the visual bulk of new buildings and works. 	Yes	<p>The visual bulk and scale of the proposed extension to Chisholm House is generally consistent with the adjoining structures and are not visually dominant from Wyatt Avenue or the adjoining Bridle Trail. Templum Design Architects have prepared perspectives which depict the proposed design and finishes ameliorating the dominance of the built form. In conjunction, the proposed setbacks from the south and west boundaries and the building height, although non-compliant, align with those existing, ensuring symmetry and overall consistency of the built form when viewed collectively. The accompanying landscape scheme assists in screening the built form and reduces the perceived bulk of the proposed extension to Chisholm House on the western elevation. In summary, despite the non-compliances of the built form, the proposal is complimentary to the adjoining buildings and does not negatively impact the streetscape.</p>
67 Roofs	<p>Roofs are to complement the local skyline. Lift overruns and other mechanical equipment is not to detract from the appearance of roofs.</p>	Yes	<p>The skyline in the local area varies due to the different land uses in proximity to the site. Nevertheless, as shown in the Architectural Plans in Appendix 2, the proposed roof line aligns with existing the Chisholm House and therefore compliments local</p>

Clause	Provisions	Complies	Comments
			skyline of the existing school.
71 Parking facilities (visual impact)	Parking facilities (including garages) are to be sited and designed so as not to dominate the street frontage or other public spaces.	N/A	No change to the existing on-site parking.
72 Traffic access and safety	<p>Vehicle access points for parking, servicing or deliveries, and pedestrian access, are to be located in such a way as to minimise:</p> <ul style="list-style-type: none"> ▪ traffic hazards, and ▪ vehicles queuing on public roads, and ▪ the number of crossing places to a street, and ▪ traffic and pedestrian conflict, and ▪ interference with public transport facilities. <p>Where practical, vehicle access is to be obtained from minor streets and lanes.</p>	N/A	No change to existing vehicular access.
74 Provision of car parking	<p>Adequate off-street car parking is to be provided within the subject property boundaries having regard to:</p> <p>1 space per staff member in attendance, plus</p> <p>as relevant, adequate pickup/setdown area on site plus</p> <p>adequate provision of bicycle racks plus</p> <p>adequate provision for student parking plus</p> <p>provision of bus standing and turning area.</p>	N/A	No change to existing carparking.
75 Design of car parking areas	<p>Car parking, other than for individual dwellings, is to:</p> <ul style="list-style-type: none"> ▪ avoid the use of mechanical car stacking devices, and ▪ not be readily apparent from public spaces, and ▪ provide safe and convenient pedestrian and traffic movement, and ▪ include adequate provision for manoeuvring and convenient access to individual spaces, and ▪ where possible, enable vehicles to enter and leave the site in a forward direction, and 	N/A	No change to the design of the car parking areas.

Clause	Provisions	Complies	Comments
	<ul style="list-style-type: none"> incorporate unobstructed access to visitor parking spaces, and be landscaped to shade parked vehicles, screen them from public view, assist in micro-climate management and create attractive and pleasant spaces, and provide on-site detention of stormwater, where appropriate, and make reasonable provision for the car parking needs of people with physical disabilities. 		
76 Management of stormwater	Stormwater runoff from development is to discharge to a Council drainage system approved by the Council for the purpose and is to have minimal impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake, waterway or the like. Water quality control measures are to be provided in accordance with the Northern Beaches Stormwater Management Plan.	Yes	Refer to the Detailed Stormwater Plan provided in Appendix 5.
78 Erosion and sedimentation	Development is to be sited and designed, and related construction work carried out, so as to minimise the potential for soil erosion.	Yes	There is minimal site disturbance proposed. An Erosion and Sediment Control Plan is attached in Appendix 6. This plan details the proposed sediment fencing along the western and southern boundary which assists in minimising the potential for soil erosion.
80 Notice to Metropolitan Aboriginal Land Council 83 Development of known or potential archaeological sites	Refer to clauses for detail.	N/A	Clause 80 states that on receipt of an application for consent to development that is likely to have an impact on an Aboriginal site, Aboriginal place or place of Aboriginal cultural significance, the consent authority must notify the Metropolitan Aboriginal Land Council and take into consideration any comments received in response within 21 days after the notice is sent.

Clause	Provisions	Complies	Comments
			The Concept and Stage 1 DA, DA2015/0558, was accompanied by a Heritage Impact Assessment. It was concluded that no specific area of Potential Aboriginal Archaeological Sensitivity had been identified in the course of preparing the HIS. The proposed development does not alter the findings of this report and it is therefore considered not necessary to notify the Metropolitan Land Council in regard to the subject DA. Clause 83 is similarly satisfied.

4.6.2. Schedule 15 Statement of Environment Effects

As noted in the table above, Schedule 15 is a matter for consideration and is addressed in the table below.

Table 8: Consideration of Schedule 15 of the WLEP

Requirement	Comment
(1) A summary of the statement of environmental effects.	A summary of the SEE is provided in the Introduction of Section 1.
(2) A statement indicating how the proposed development is consistent with the relevant desired future character statement and general principles of development control established by this plan.	Refer to Section 4.6.4 regarding the response of the development to the desired future character statement of the C8 Belrose North locality and the General Principles of Development Control under the WLEP.
(3) A statement of the objectives of the proposed development.	<p>The objectives of the proposed development are as follows:</p> <ul style="list-style-type: none"> ▪ To seek approval for a Stage 2 DA relating to the extension of Chisholm House involving a ground floor art room, undercroft play area, two (2) first floor classrooms, associated amenities and landscaping. ▪ To ensure that the proposal is consistent with the desired future character of the C8 Belrose North locality and to ensure that there is no adverse environmental impact (internally within the site and externally).
(4) An analysis of any feasible alternatives to the carrying out of the development, having regard to its objectives, including: (a) the consequences of not carrying out the development, and	<p>Feasible alternatives are discussed in Section 3.15 of this SEE.</p> <p>Consequences of not carrying out the development are set out in Section 3.16 of this SEE.</p>

(b) the reasons justifying the carrying out of the development.	This SEE concludes that there is adequate justification for carrying out the development.
<p>(5) An analysis of the development, including:</p> <ul style="list-style-type: none"> (a) a full description of the development, and (b) a general description of the environment likely to be affected by the development, together with a detailed description of those aspects of the environment that are likely to be significantly affected, and (c) a description of the likely impact on the environment of the development, having regard to: <ul style="list-style-type: none"> (i) the nature and extent of the development, and (ii) the nature and extent of any building or work associated with the development, and (iii) the way in which any such building will be erected in connection with the development, and (iv) any rehabilitation measures to be undertaken in connection with the development, and (d) a full description of the measures proposed to mitigate any adverse effects of the development on the environment. 	<p>All of these matters are addressed in the following sections:</p> <ul style="list-style-type: none"> (a) Section 3; (b) Section 2.2, 2.4 and Section 6.3; (c) Section 6; (d) Section 6.
(6) The reasons justifying the carrying out of the development in the manner proposed, having regard to biophysical, economic and social considerations and the principles of ecologically sustainable development.	Refer to Section 4.6.3 regarding ESD.
(7) The statement is to include a compilation (in a single section of the statement) of the measures proposed to mitigate any adverse effects of the development on the environment.	Section 6 of this SEE, in conjunction with Appendix 1, discuss measures to mitigate any adverse effects of the development on the environment. In summary, the proposed non-compliances have the potential to result in minor environmental impact, particularly visual impact. This has been ameliorated through façade articulation and consistency of the built form with that existing on the site.
(8) A list of any approvals that must be obtained under any other Act or law before the development may lawfully be carried out.	The development is "integrated" as the site is located on bushfire prone land and is a special fire protection purpose.

4.6.3. Ecological Sustainable Development

With reference to subclause (6) above, we note that the principles of ESD are defined by Clause 7(4) of Schedule 2 of the EP&A Regulation:

Schedule 2 Environmental Impact Statements

7 Content of environmental impact statement

(4) The principles of ecologically sustainable development are as follows:

(a) the precautionary principle, namely, that if there are threats of serious or irreversible environmental damage, lack of full scientific certainty should not be used as a reason for postponing measures to prevent environmental degradation. In the application of the precautionary principle, public and private decisions should be guided by:

(i) careful evaluation to avoid, wherever practicable, serious or irreversible damage to the environment, and

(ii) an assessment of the risk-weighted consequences of various options,

(b) inter-generational equity, namely, that the present generation should ensure that the health, diversity and productivity of the environment are maintained or enhanced for the benefit of future generations,

(c) conservation of biological diversity and ecological integrity, namely, that conservation of biological diversity and ecological integrity should be a fundamental consideration,

(d) improved valuation, pricing and incentive mechanisms, namely, that environmental factors should be included in the valuation of assets and services, such as:

(i) polluter pays, that is, those who generate pollution and waste should bear the cost of containment, avoidance or abatement,

(ii) the users of goods and services should pay prices based on the full life cycle of costs of providing goods and services, including the use of natural resources and assets and the ultimate disposal of any waste,

(iii) environmental goals, having been established, should be pursued in the most cost effective way, by establishing incentive structures, including market mechanisms, that enable those best placed to maximise benefits or minimise costs to develop their own solutions and responses to environmental problems."

The Precautionary Principle has been applied to the proposal through the careful evaluation of a range of options for the delivery of this vital piece of educational infrastructure. The proposal will not result in serious and irreversible damage to the environment and is therefore consistent with the Precautionary Principle.

The proposal will promote inter-generational equity by ensuring that the present and future generations are provided with an enhanced level of educational services for the existing school community and future students.

Furthermore, the proposed landscaping scheme for the subject development, incorporates planting which overall enhances the ecological integrity of the site and this planting also provides additional habitat for native fauna.

The principles of improved valuation, pricing and incentive mechanisms have also been considered in the weighing of value on the options considered for this project. The principles established in the design phase of this project seek to minimise costs in the life of the project as well as using long life cycle materials to avoid unnecessary waste and maintenance.

Further to the above, we note this project has been designed to ensure the consumption of resources, water and energy is minimised.

ESD architectural initiatives include:

- Effective use of energy and resources and reductions in ongoing life cycle costs.
- Waste minimisation: Initiatives include a proportion of construction to be recycled or reused, provision of a recycling area for management of operational waste.
- Durability and long life: Materials are durable and long-lasting to prolong the life span of the building.
- Energy efficient fittings: Energy efficient light fittings will be used throughout to minimise energy consumption.
- Low VOC materials: Low VOC materials, in particular paint, will be used throughout the proposed building.

4.6.4. Appendix C: Middle Harbour Suburbs Locality Statements: Locality C8 Belrose North

The desired future character of the Belrose North locality is set out below:

“The present character of the Belrose North locality will remain unchanged except in circumstances specifically addressed as follows:

The natural landscape including landforms and vegetation will be protected and, where possible, enhanced. Buildings will be grouped in areas that will result in the minimum amount of disturbance of vegetation and landforms and buildings which are designed to blend with the colours and textures of the natural landscape will be strongly encouraged.

Development will be limited to new detached style housing conforming with the housing density standards set out below and low intensity, low impact uses.

A dense bushland buffer will be retained or established along Forest Way. Fencing is not to detract from the landscaped vista of the streetscape.

Development in the locality will not create siltation or pollution of Middle Harbour.”

With regard to the above, we comment as follows:

- The proposal is consistent with the concept approval (as modified) for the site.
- The school was an intrinsic feature of the character of Belrose North locality when the WLEP 2000 was made. The enlargement and expansion of the school, shown in the concept approval, has already been determined to be consistent with the desired future character of the locality.
- The proposed extension to Chisholm House has been designed and located as to minimise disturbance of natural vegetation, to maximise the usability of open space on the site and enhance the landscaping setting of the site through additional planting along the western elevation of the extension.
- The proposed detailed design complements the existing buildings on the site, in particular Chisholm House, and the colours and textures of the natural landscape in the locality.
- The site will not create siltation or pollution of Middle Harbour.
- Fencing is proposed on the west boundary in the form of a structural retaining wall at 1.6m. It has 300mm planting strip to base for vines on the western boundary of the wall. A safety fence is proposed above the retaining wall at 1.1m to stop students climbing the retaining wall and leaving the school grounds on the western boundary. It is proposed as a black cyclone fence and in this regard is not visually dominant. Its visual impact is also screened by the landscaping on the eastern boundary of the existing bridle trail and is sufficiently separated from any nearby residential dwellings and surrounding public domain, therefore mitigating visual impact.

Land Use

The existing school is defined as a "category three" land use.

Built Form

Building Height

The WLEP states that the maximum allowable height of buildings is 8.5 metres in the C8 locality, where height is the distance measured vertically between the topmost point of the building (not being a vent or chimney or the like) and the natural ground level below. Furthermore, buildings are not to exceed 7.2 metres from natural ground level to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas located wholly within a roof space), but this standard may be relaxed on sites with slopes greater than 20 per cent within the building platform (measured at the base of the walls of the building), provided the building does not exceed the 8.5 metre height standard, is designed and located to minimise the bulk of the building and has minimal visual impact when viewed from the down slope sides of the land.

The proposed extension to Chisholm House involves a contravention to the maximum 8.5m height plane applicable to the site. However, it is important to note that the approved envelope for "Stage Q" as established in DA2015/0558 involved a variation to the building height standard. The proposed height increase is minor in nature and is purely due to the fall of the land to the west, where the building is being further extended to the west boundary (by 5m). The roof form is similarly proposed to be varied to ensure consistency with the existing Chisholm House and minimise the visual impact when viewed from Wyatt Avenue.

The extent of the building height variation ranges from a minimum of 1.1m to a maximum of 2.5m. In this regard, the proposed maximum building height is 11m (RL199.30). The existing ground falls from east to west resulting in the maximum variation occurring in the south-west corner of the building. A Clause 20 Variation Request accompanies this application in Appendix 1 to justify this variation. The proposed non-compliant building height aligns with the roof ridge line of the existing Chisholm House and creates a more coherent building form. This matter has been discussed with Council in a Pre-Lodgement Meeting and subsequent correspondence. Urban design resolutions, specifically materiality, have been integrated into the design to mitigate the visual impact of this non-compliance.

As noted above, the building is not to exceed 7.2m from natural ground level to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas located wholly within a roof space). The design involves a variation to this development standard, where the maximum height is 8.9m. A Clause 20 Variation Request accompanies this application in Appendix 1, detailing the justification for the contravention.

Front Setback

The WLEP states the minimum front setback for new buildings to all roads is 20 metres in the C8 locality. This setback zone is to be densely landscaped. The existing Chisholm House has a front setback of 17.2m from the south boundary of Wyatt Avenue. The proposed extension to this building is similarly setback 17.2m. While the consistent alignment of this building is vital, it results in a contravention to the front setback development standard. As evident on the Architectural Plans in Appendix 2, the wall adjoining the amenities is recessed an additional 1.8m to minimise the visual bulk of this portion of the building whereby addressing Council's concern raised in the Pre-DA meeting. This is discussed in detail and justified in the Clause 20 variation request accompanying this application in Appendix 1. While the Detailed Landscape Plans demonstrate how this front setback zone is densely landscaped with existing vegetation.

Rear and Side Setbacks

The WLEP states that in the C8 locality, development is to maintain minimum rear and side building setbacks of 10 metres. Further, the rear and side setback areas are to be landscaped and free of any structures, car parking or site facilities other than driveways and fences.

The built form of the extension to Chisholm House involves a compliant rear setback, significantly greater than 10m.

DA2015/0558 established the indicative built form of 'Building Q' known as the 'extension to Chisholm House' in this application. The approved side setback for the western boundary was 10m. However, this DA is concurrently accompanied by a S4.55(2) modification application to modify the approved built form of the subject extension. In doing so, this application seeks to re-establish the western setback to 5m. The Architectural Plans demonstrate the proposed setback to the concrete pier, comprising the air conditioning units, as 5m and similarly the first floor classrooms. While the art room on the ground floor is setback at 6.15m. Notwithstanding, the side setback is non-compliant with the C8 locality provision. This matter was discussed in detail with Council during the Pre-DA meeting. This non-compliance was deemed acceptable if the western elevation was treated in accordance with the Urban Designer's comments relating to materiality. This has been addressed accordingly and further discussion held with Council.

A Clause 20 Variation Report accompanies this application in Appendix 1 and provides detail and justification for the contravention.

Bushland Setting

The WLEP states that a minimum of 50% of the site area is to be kept as natural bushland or landscaped with local species in the C8 locality. The integration of future stage L into stage Q results in the provision of additional landscaping with local species on the site. In this regard, the proposal maintains compliance with the provision at 70%. The proposed landscape design in Appendix 4 improves the usability of play space in Eora playground whilst complementing the existing bushland setting and providing additional local species.

5. OTHER PLANNING CONSIDERATIONS

The relevant planning framework considered in the preparation of this report comprises:

- A Metropolis of Three Cities - the Greater Sydney Region Plan;
- North District Plan; and
- Warringah Development Control Plan (WDCP) 2000.

5.1. Greater Sydney Region Plan

A Metropolis of Three Cities - the Greater Sydney Region Plan was released in March 2018 and is the first Region Plan by the Greater Sydney Commission. Now adopted, this Plan will replace *A Plan for Growing Sydney*.

The Plan encompasses a global metropolis of three cities – the Western Parkland City, the Central River City and the Eastern Harbour City (see figure over page). It is envisioned that people of Greater Sydney will live within 30 minutes of their jobs, education and health facilities, services and great places.

The chapters of the Plan that are considered relevant to the proposed development are outlined in Table 9 below.

Table 9: Consistency with the Greater Sydney Region Plan

Direction	Comment
Chapter 4- Liveability A city for people Housing the city A city of great places	Greater Sydney is forecast to grow from 4.7 million people to 8 million people by 2056. To be adequately support the anticipated population growth of Sydney, there is a requirement for infrastructure, including schools, to be upgraded to meet the future demands and needs. Improvements to facilities within existing schools is of paramount important with limited opportunities for new schools to be developed in Metropolitan Sydney. This proposal is generally consistent with the Concept and Stage 1 DA (as proposed to be modified under the concurrent Section 4.55 modification application) and overall the development contributes to the long-term approach to “growing” the existing school in a wholly sustainable and environmentally sound manner.
Chapter 5 – Productivity A well-connected city Jobs and skills for the city	The Plan recognises that educational institutions are vital pieces of community infrastructure and by nature provide a critical platform to encourage creative innovation. With that said, infrastructure needs to be designed to adapt and transition with technological changes. The proposed new art room and classrooms directly address this key objective, in providing students with new facilities to enhance their learning and skills.
Chapter 6 – Sustainability A city in its landscape	The Plan looks to manage the effects of urban development on the natural environment, as well as

An efficient city
A resilient city

to reduce costs, carbon emissions and environmental impacts and contribute to a target towards net-zero emissions by 2050.

The proposed development seeks to minimise adverse environment effects and accordingly adopts a range of sustainability measures such as stormwater capture and refuse and extensive on-site landscaping complimentary to the existing bushland locality.

A map extract from the Plan showing the interrelationship between the three cities is included at Figure 34.

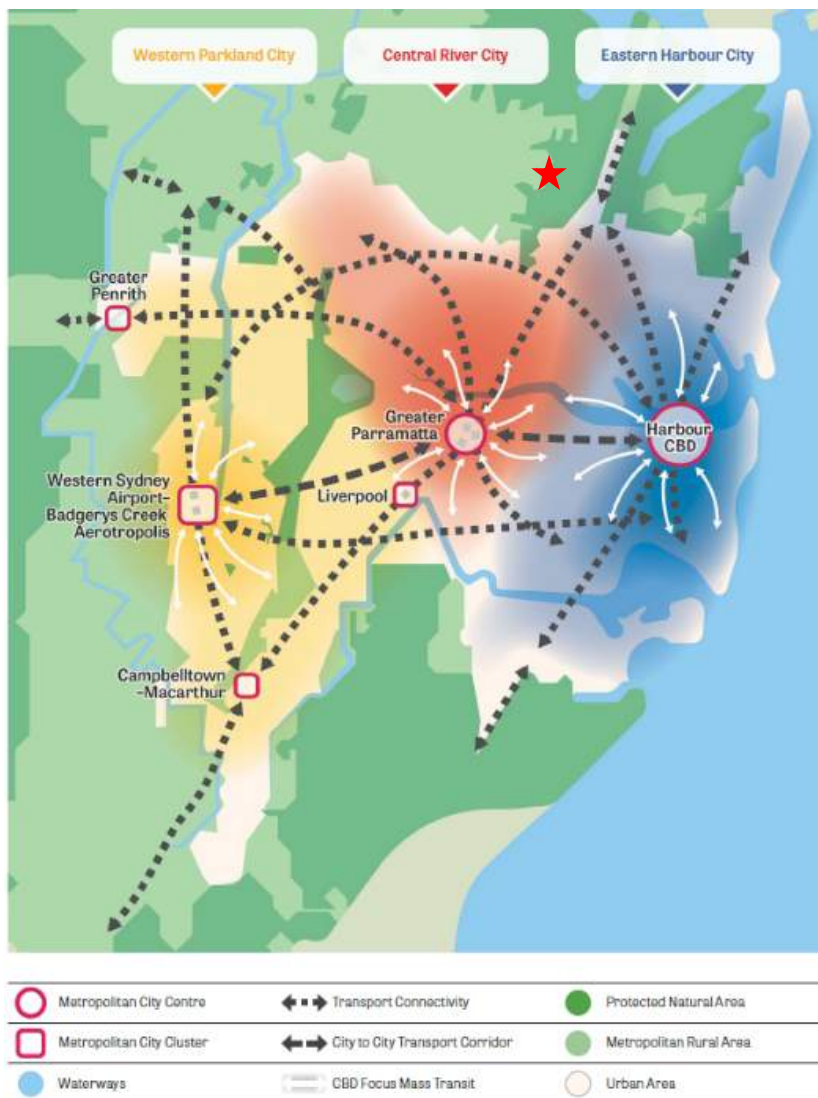


Figure 34: "A Metropolis of Three Cities", subject site identified with a red star (Source: Greater Sydney Region Plan - GSC).

5.2. North District Plan

The North District Plan provides a series of priorities and actions to guide development and accommodate the expected growth across the district. This District Plan has been prepared to give effect to the Greater Sydney Region Plan.

The NSW Department of Education estimates an extra 21,900 students will need to be accommodated in both government and nongovernment schools in the North District by 2036, a 20 per cent increase. The growth projected in the Northern Beaches has been identified as one of the greatest within the District, at 3,454 new students to be accommodated within existing and new schools. While the Concept and Stage 1 DA addressed the increased number of students required within the district, this proposal improves on-site facilities at the subject school in turn enhancing learning outcomes.

The North District Plan reinforces how schools help to create and support inclusive and vibrant neighbourhoods. Notably, existing schools must respond to growth and changing demand in innovative ways such as more efficient use of land, contemporary design, greater sharing of spaces and facilities, and flexible learning spaces. The extension to Chisholm House is an innovative building with future fitting classrooms, flexible play spaces and an innovative art room to encourage individual creativity.

5.3. Warringah Development Control Plan 2000

The Warringah Development Control Plan 2000 (WDCP) relates to the following:

- Exhibition, Advertisement and Notification of Applications; and
- Perseveration of Trees and Bushland Vegetation.

Exhibition and notification of the proposed extension to Chisholm House are matters for Council.

The proposal maintains the existing bushland vegetation and most trees located on the site. Where tree removal is proposed, replacement trees are provided.

6. ENVIRONMENTAL IMPACT ASSESSMENT

6.1. Overview

This section identifies and assesses the impacts of the development with specific reference to the heads of consideration under Section 4.15 of the Act.

The context and setting of the development site are described in of this Statement. It is considered that the proposal is compatible within the context and character of the locality.

Consideration of the proposal and its surroundings has been undertaken with regard to the Land and Environment Court Planning Principle on “compatibility with context” in *Project Venture Developments v Pittwater Council [2005] NSWLEC 191*. In order to test whether a proposal is compatible with its context, the following two question can be asked:

- **Are the proposal’s physical impacts on surrounding development acceptable? The physical impacts include constraints on the development potential of surrounding sites.**

The proposed extension to Chisholm House is located within the boundaries of the existing JCS and relates to the detailed design of future “stage Q” in the concept approval DA2015/0558.

The proposal’s physical impacts relate to bulk and scale, overshadowing, visual impact, ecology and tree removal. The building’s bulk and scale relate to the proposed building height and setbacks. The variations to the development standard result in a built form that is nonetheless consistent with other development along the southern boundary of Wyatt Avenue, specifically Shakespeare House and Chisholm House. Although the building encroaches the front and side setback area, it does not result in adverse visual, acoustic or overshadowing impacts on surrounding properties. The nearest residential development is a minimum 75m north-west of the proposed building. Minor overshadowing occurs at 9am onto the front garden and driveway of 10 Wyatt Avenue, Belrose, however is gone by 12pm.

Despite the proposed works, the site maintains its bushland setting and the design ensures landscaping dominates built form. The landscape scheme mitigates the physical impacts on surrounding development. The extension to Chisholm House requires the removal of four (4) trees. However, this removal does not result in physical impacts on surrounding development, as replacement trees are provided to mitigate the loss. The existing and proposed planting screen the built form when viewed from the southern and western elevation, therefore minimising the visual impact of the proposal when viewed from surrounding properties. The proposal does not result in adverse ecological impacts onto the subject property nor adjoining development.

Overall, the proposal does not constrain the development potential of surrounding sites and represents the orderly development of the school in accordance with the concept approval. The amenity impacts are addressed in detail throughout Section 6 of this SEE and in comprehensive specialist reporting that accompanies this application.

- **Is the proposal’s appearance in harmony with the buildings around it and the character of the street?**

The proposal’s appearance is in harmony with the buildings adjacent, specifically the existing Shakespeare House and Chisholm House. The materiality, roof ridge line, building height and front setback respond to the established built form on the southern boundary of Wyatt Avenue and that approved in DA2015/0558. As discussed in Section 2.5 above, the surrounding development varies in nature. The design creates continuity along Wyatt Avenue and is generally consistent with other development in the C8 Belrose North Locality.

6.2. Built Environment

6.2.1. Height, Bulk and Scale

Building Height

The proposed extension to Chisholm House involves a variation to the maximum 8.5m building height applicable to the subject site. The site falls from east to west, resulting in a minimum building height of 9.6m and a maximum building height of 11m on the south-west corner of the proposed building.

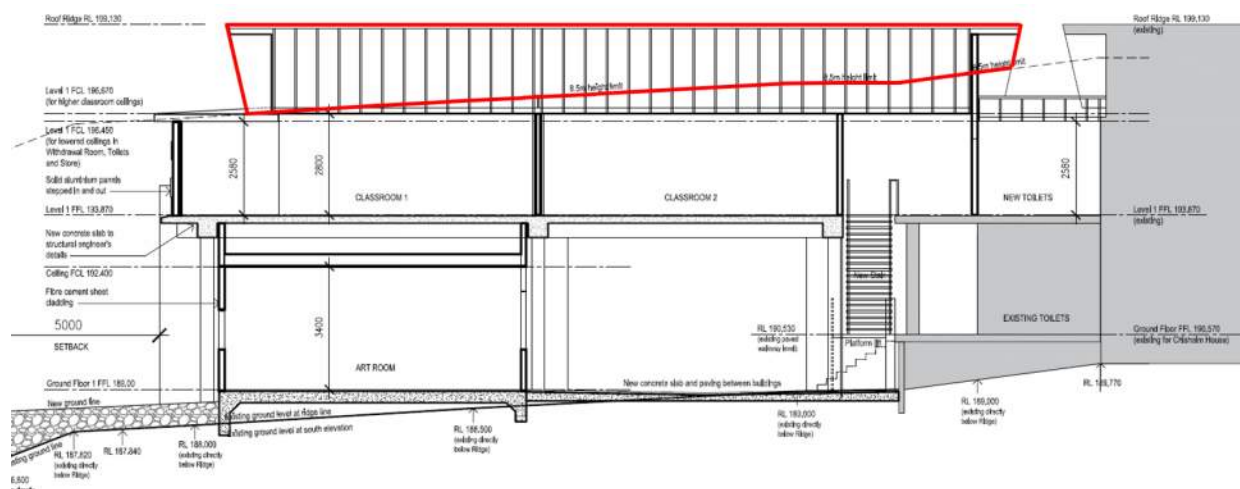


Figure 35: Extract of Section 1 showing Portion of the Building that Varies the Maximum Building Height (Source: Templum Design Architects)

Notwithstanding, the roof has been designed align with the roof ridge line of the existing Chisholm house and additionally Shakespeare House. This in turn mitigates the visual impact of the roof as viewed from Wyatt Avenue. As can be seen on the Architectural Plans in Appendix 2, urban design measures have been included on the north, south and west elevations. Specifically, solid aluminium cladding of varying tones and powder coated aluminium framed windows ameliorate the bulk of the built form. The rooftop garden is visible from the western and northern elevations and glazing minimises the visual impact of building. Although non-compliant, the proposed ridge roof line is consistent with that existing at Chisholm House and Shakespeare House. A Clause 20 Variation Report accompanies this application in Appendix 1. The report justifies the proposed contravention to the 8.5m building height control of the WLEP.

Additionally, buildings in the C8 Locality of the WLEP are not to exceed 7.2m from natural ground level to the underside of the ceiling on the upper most floor of the building (excluding habitable areas located wholly within a roof space). This standard may be relaxed on sites with slopes greater than 20 per cent within the building platform (measured at the base of the walls of the buildings), provided the building does not exceed 8.5m height standard, is designed and located to minimise the bulk of the building and has minimal impact when viewed from the down slope sides of the land. The proposed extension to Chisholm House comprises a variation to this development standard, where the maximum height is 8.9m on the south-west corner. Notably, the minimum variation is 7.7m. This matter, in conjunction with the building height variation, was discussed with Council in a pre-DA meeting. Overall, the detailed design has included urban design measures of materiality, roof form and recessing to reduce the bulk and scale effects of the built form. Although the site does not slope greater than 20% within the building platform and varies the building height of 8.5m, it has been designed to most appropriately integrate the built form with those existing adjoining buildings. The proposed solid aluminium cladding and powder coast aluminium framed windows minimises the visual impact of the non-compliant walls.

6.2.2. Setbacks

Front Setback

The WLEP states the minimum front setback for new buildings to all roads is 20m in the C8 Locality. This setback zone is to be densely landscaped. The existing Chisholm House has a front setback of 17.2m from the south boundary of Wyatt Avenue. DA2015/0558 established the front setback of the extension to Chisholm House, known as Building Q, at 18.4m. While the proposed setback of 17.2m is consistent with the existing alignment of buildings at this portion of the site, the proposal results in a contravention to the development standard. Please note, the modification application which concurrently accompanies this Stage 2 DA seeks a variation to the approved front setback of the extension to Chisholm House. The environmental impact of this variation is minimised through existing dense vegetation on the south boundary, materiality and recessing. As shown on the Architectural Plans in Appendix 2, the visual impact of the variation is minor. The wall adjoining the amenities is recessed an additional 1.8m, reducing the scale of the building and creating an appearance of a break in the building. This wall is treated with glazing and colourback fixed glass. Figure 36 demonstrates the visual appearance of the proposed building as viewed from Wyatt Avenue.



Figure 36: South elevation of the proposed extension to Chisholm House (Source: Templum Design Architects)

The area of the building which is non-compliant with the front setback provision is minimal and designed to align with the existing buildings along the south elevation. It is additionally screened by landscaping.

Refer to Appendix 1 for the Clause 20 Variation Request for detailed justification.

Rear Setback

The built form of the extension to Chisholm House comprises a compliant rear setback. This is significantly greater than 10m. No visual or other adverse environmental impact arises as a consequence.

Side Setback

In accordance with C8 Locality of the WLEP, development is to maintain minimum side building setbacks of 10m. Furthermore, side setback areas are to be landscaped and free of any structures, car parking or site facilities other than driveways and fences. As discussed in Section 4.6.4 above, DA2015/0558 established the indicative building envelope for 'Building Q' known as the 'extension to Chisholm House' in this Stage 2 DA. The western side setback was approved at 10m. The concurrent S4.55(2) modification application proposes to re-establish this side setback to 5m. The proposed setback to the concrete pier, comprising of the air conditioning units and the first floor classrooms are setback 5m. While the art room on the ground floor is setback at 6.15m. The visual and other environmental impacts of the proposed

This architectural elevation drawing illustrates the proposed facade for a building, distinguishing between new construction and existing structures. The drawing is divided into two main horizontal sections: the upper floor and the ground floor. The upper floor features a gabled roof with a white fascia, labeled 'Hardwood (timber fascia to match existing)'. The wall is clad in 'Solid aluminium cladding' with a pattern of orange and brown rectangular panels. A 'Metal balustrade to match existing' is shown on the left side of the upper floor. The ground floor has a 'Roof-top garden' on the left, a 'Sunshading' device, and a 'Climbing wall (concrete wall)'. The main wall is clad in 'Fibrous cement cladding' and features 'Powdercoated aluminium framed windows'. 'A/C package units' are indicated on the right side of the ground floor. The drawing also shows the 'New ground-level' and 'Existing ground-level' at the base.

[illegible]

As visible in Figure 37 and 38, landscaping and materiality together screen the built form, despite the variation to the development standard. In addition to the 5m setback from the western boundary line of the subject site, the bridle trail is approximately 20m wide. Therefore a minimum 75m setback is proposed

from the most western portion of the building to the residential property to the west. Notably, the development at 10 Wyatt Avenue, located directly to the west of the school, is separated from the proposed building by dense vegetation.

Therefore, the reduced side setback does not result in adverse environmental impact on surrounding development. A Clause 20 Variation accompanies this application in Appendix 1 to justify the contravention to the development standard.

6.2.3. Design and Aesthetics

The proposal has been designed to provide a new school building, containing large classrooms, a new art room, play space and associated landscaping. The materiality together with the overall design create a building which is complementary to the existing development at the school and minimises bulk and scale impacts where required.

The proposed western boundary fence is designed with a 300mm planting strip to the base for vines. Figure 39 shows the vines on the western elevation of the wall. This assist in screening the visual impact of the structure.

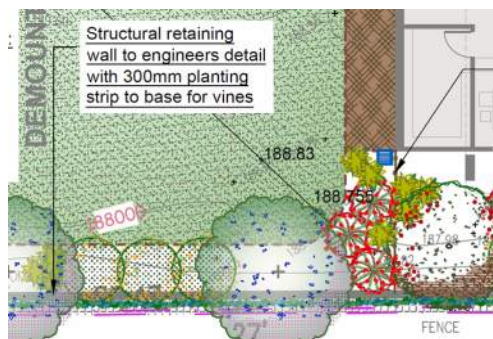


Figure 39: Extract of landscape plan (Source: Conzept Landscape Architects)

6.2.4. Solar Access

Templum Design Architects have prepared Shadow Diagrams in Appendix 2. These demonstrate the shadows cast from the extension of Chisholm House. As evident, shadows at 9am mostly fall on the Bridle Trail to the west of the proposed building. These shadows are negligible at 12pm. Shadows at 12pm and 3pm on June 21 fall on Eora Playground to the south of the proposed building. The impacts of these shadows are not adverse, given the nature Eora Playground and with the predominant playing area situated to the north of the subject building. Clause 62 of the WLEP prescribes the controls relating to access to sunlight. The development does not unreasonably reduce sunlight to surrounding properties. Specifically, adjoining housing continues to receive sunlight to at least 50% of the principal open spaces and is not reduced to less than 2 hours between 9am and 3pm on June 21. Therefore, there are no adverse overshadowing impacts resulting from the proposed extension to Chisholm House.

6.2.5. Internal Amenity

Increased classroom sizes and a new art room have become a matter of priority for the school. The internal amenity of the learning facilities has been enhanced as a consequence of the proposal. Improved classrooms settings provide more "usable" spaces within the school. This is in alignment with the future vision established in DA2015/0558.

6.2.6. Privacy

In the context of the proposed 5m side setback to the western boundary, the proposal does not result in adverse privacy impacts on the surrounding residential properties. Landscaping buffers the proposed built form, from residential properties located to the west, in addition the bridle trail creates an additional separation.

6.2.7. Views

The proposed works will not result in any loss of views from any surrounding properties. As such, it is considered that the proposal does not result in any unacceptable view loss and is acceptable in terms of the Land and Environmental Court Planning Principles established in *Tenacity Consulting v Warringah Council [2004] NSWLEC 140*.

6.2.8. Heritage

As discussed in Section 2.4.7 above, the site does not comprise any heritage items. Notwithstanding, the Concept and Stage 1 DA considered Clause 80 and 83 of the WLEP relating to Aboriginal Heritage and Archaeology. The assessment which accompanied DA2015/0558 concluded that Aboriginal heritage is not a consideration for the subject site. The proposed development does not alter the conclusions of the Aboriginal Heritage Assessment Report in DA2015/0558.

6.2.9. Materials and Colour

The proposed materials and finishes complement the existing development in the school streetscape. The materials are well balanced together and cohesively are visually interesting. In particular, the monoclod solid aluminium panels with different wood grain finishes both protruding and flush are sympathetic to the bushland nature and reflect the existing materiality on Shakespeare and Chisholm House. Figure 40 demonstrates the continuity in materiality along Wyatt Avenue.



Figure 40: Extract of elevation from south Wyatt Avenue elevation (Source: Templum Design Architects)

6.2.10. Noise and Vibration

The proposed extension to Chisholm House includes two (2) windows on the western boundary as shown in Figure 41. In addition, the air conditioning units are situated on the ground floor similarly on the western elevation of the proposed building.

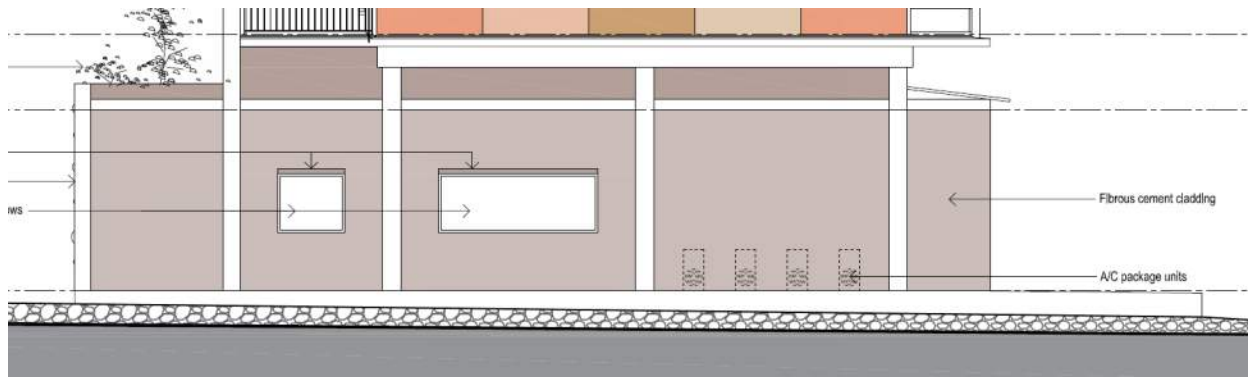


Figure 41: Extract of the western elevation (Source: Templum Design Architects)

The western elevation of the subject site is heavily landscaped with approved landscaping pursuant to DA2018/0558 and additional proposed tree plantings. Vegetation present on the boundaries of the bridle trail and on the eastern boundary of 10 Wyatt Avenue will also mitigate noise generated by the units. The proposal involves no change in the student numbers as previously approved in the concept approval which considered acoustic impacts.

The construction will adhere to the noise control and regulation measures in accordance with AS 2436:2010 "Guide to noise control on construction, maintenance and demolition sites."

Furthermore, the works will adhere to the EPA Construction Noise Guidelines which require the proponent to take into consideration and employ all reasonable and feasible measures to ensure that the impact on noise receivers is minimised. In addition, the works will not exceed the relevant vibration criteria to ensure that no architectural or structural damage to surrounding buildings occurs. It is anticipated appropriate conditions would be placed on the consent to ensure these measures are implemented.

6.2.11. Building and Construction

The BCA Compliance Statement in Appendix 9 demonstrates the building is capable of complying with the BCA. Compliance with the BCA will be demonstrated with the Construction Certificate documentation.

A final Construction Management Plan will be prepared by the appointed contractor, once the terms of any approval granted by Council are known. Accordingly it is anticipated that Council will include appropriate conditions within any consent notice requiring the preparation and approval of a CMP prior to works commencing.

The objectives of the CMP are typically to:

- Minimise inconvenience to the public and adjoining properties during the construction stage;
- Maintain effective communication with the developer and the community;
- Maintain a safe working environment; and
- Ensure the requirements of relevant approvals, licenses codes or standards are met.

To implement such objectives, a CMP will usually address the following matters:

- An overall construction management framework;
- Construction traffic management;
- Construction zones;
- Pedestrian management;
- Hoardings;

- Dust management;
- Hours of work;
- Materials handling;
- Waste management and recycling;
- Construction program; and
- Specific matters nominated within the consent notice.

6.2.12. Waste

The demolition and construction phase will be appropriately managed to mitigate the environmental impact of the development. Waste generation will be minimised and recycling of materials will be maximised to ensure that resources are conserved, and waste is processed responsibly. Ongoing waste will be managed in accordance with Council's regular waste and recycling scheme. Refer to the Waste Management Plan in Appendix 11.

6.3. Natural Environment

6.3.1. Ecology

Gunninah Environmental Consultants have prepared an EIAR in Appendix 8. The report concludes that the proposed extension to Chisholm House and associated landscaping is located within an existing highly modified and developed part of the subject site which has previously been cleared and/or developed for classrooms and recreational space. This area is of only extremely limited value for a few generally widespread, cosmopolitan and urban-tolerant native species.

No threatened biota will be adversely affected to any significant extent (if at all) by the proposed works, including Caley's Grevillea Reserve. No Duffys Forest nor any tree of that ECC are to be removed. A small and already managed patch of Duffys Forest on the site is located close to an area of proposed landscaping. The small patch (800m²) in the north-western corner of the site is already managed (under scrubbed) for bushfire protection purposes and is used to some extent by students. None of this area of vegetation is to be removed. Importantly, no native vegetation is to be removed from the area of mapped Biodiversity Values on the subject site and the proposed development does not trigger any requirement for the application of the Biodiversity Offsets Scheme pursuant to the BCon Act.

The proposed removal of a four (4) trees from the subject site is not likely to result in any relevant habitat for any threatened biota becoming fragmented or isolated from other areas of habitat and cannot be regarded as of importance with respect to the long term survival of any potential threatened biota known or likely to occur in the locality. The EIAR states that the removal does not relevantly constitute the removal of native vegetation and even if it did, that removal is of no ecological or biodiversity consequence or significance.

The proposed extension to Chisholm House and associated landscaping is not likely to impose a significant effect upon threatened biota, pursuant to Section 8.2 of the BCon Act. Furthermore, the subject site is of no relevance to the Koala. There is no potential for, or likelihood of, a significant impact being imposed upon any potentially matters of national environment significance listed and as such no requirement for referral to the Commonwealth pursuant to the Environment Protection Biodiversity Commonwealth act.

6.3.2. Tree Removal

As identified in Section 3.4 above, four (4) trees are proposed to be removed as a result of the proposed extension to Chisholm house. An Arborist Report has been prepared and is attached in Appendix 13. The retention value of the proposed trees for removal is both low (T37a and T37b) and moderate (T39 and T39B). The report concludes that the removal of the four (4) trees will not cause significant impact to the landscape amenity of the site, particularly as the removal are offset by the inclusion of additional planting

within the proposed landscape. The remaining nine (9) trees assessed by the Arborist are proposed to be retained. Where necessary tree protection zone fencing and other mitigation measures are detailed in the report and will be adhered with to minimise potential impact on trees during construction.

6.3.3. Landscape

Concept Landscape Architects have prepared a Detailed Landscape Plan in Appendix 4. The proposed landscape scheme is a significant improvement from the current landscaping on the site. The design creates a holistic landscape outcome, which provides an interim solution for the play area located to the north of the proposed building. Furthermore, the 'future stage L' is proposed to be incorporated into 'future stage Q' relating to the extension of Chisholm House. This is similarly an improved outcome. The scheme responds to the topography of the land and involves cut and fill to create an even levelled play space. The seating facilitates passive surveillance of the children playing while considering the change in levels. The design enhances the usability and functionality of the landscape area for students, staff and visitor alike. Specifically, the planting located along the western elevation assists in screening the built form and provides acoustic privacy for the nearby residential dwellings, located 75m from the subject building. As required by the Arborist Report, sufficient planting is proposed to offset the loss of four (4) trees on the site. Furthermore, the design responds to the landscape plan in DA2015/0558.

In summary, the proposed landscaping does not result in adverse environmental impacts rather improves the site amenity and creates an appropriate balance between built form and vegetation.

6.3.4. Stormwater Management

A Stormwater Plan has been prepared by CMP Engineering and is attached in Appendix 5. This plan demonstrates an on-site detention tank is proposed to replace the existing basin and cater for the additional required volume of 45m³. The plans demonstrate adequate provisions have been made with regard to the collection and disposal of stormwater.

6.3.5. Soil Management

Refer to Section 4.5.1 for the SEPP 55 assessment with regard to potential soil contamination. Sediment fencing is proposed on the western and southern boundary to minimise the potential for soil erosion as a result of the proposed works. Refer to Appendix 6 for further detail.

6.3.6. Air and Microclimate

Some dust is anticipated during the construction period, particularly given demolition and excavation is involved. This impact can be managed through measures such as wetting down work areas/stockpiles, stabilising exposed areas, preventing material tracking out onto public roadways, covering loads on all departing trucks and working to weather conditions. The proposal is otherwise not expected to give rise to any long term or adverse impacts on local or regional air quality.

A final CMP will be provided by the builder, once appointed, prior to the issue of the Construction Certificate.

The proposal is otherwise not expected to give rise to any long term or adverse impacts on local or regional air quality.

6.4. Movement and Access

6.4.1. Parking and Traffic

The proposed extension to Chisholm House does not impact the existing on-site parking nor is it classified as traffic generating development.

6.4.2. Accessibility

The proposed extension to Chisholm House includes access paths, staircases and a lift. Specifically, the access paths connect to the existing corridors at Shakespeare House and Chisholm House on the ground and first floor. City Plan Services have prepared an Access Report attached in Appendix 10. This report details the review for compliance capability with the accessibility requirements of the BCA, specifically Part D3 and clauses E3.6 and F2.4. The report concludes that the building works are capable of complying with the accessibility requirements of the BCA 2019. Detailed construction drawings will be provided at CC phase demonstrating compliance.

6.5. Site Suitability

6.5.1. Contamination

Refer to **Section 4.5.1** for the SEPP 55 assessment.

6.5.2. Bushfire

A Bushfire Protection Assessment is provided in Appendix 7. This report undertakes an assessment to review compliance with those matters identified by Clause 44 of the *Rural Fires Regulation* 2013 and determines the deemed-to-satisfy bushfire protection requirements for the proposed development, in accordance with the provisions of Section 4.2.5 'Infill Development' of *Planning for Bushfire Protection* 2006.

Bushfire prone vegetation which creates a hazard for JCS consists of Dry Sclerophyll Low Open Duffys Forest on the Crown Land to the northwest, north and northeast of the subject site. A 115 metre setback to the northwest is provided in addition to the road reserve and managed land on the property to the west and northwest. A 70 metre setback is provided to the north of the proposed Art Room. These setbacks are consistent with Table A2.6 of *Planning for Bushfire Protection* 2006. The proposed extension to Chisholm House does not increase the hazard to the existing or proposed buildings on the site. The available separation reduces the likelihood of flame contact and high levels of radiant heat on the building.

The report details two (2) recommendations relating to asset protection zone and construction standard to the proposed extension of Chisholm House. The recommendations will be adhered with and incorporated following the subject DA.

The assessment concludes that proposed extension to Chisholm House complies with the intent of the approved masterplan and the bushfire protection requirements determined on the site with the Rural Fire Service during the Concept Approval and Stage 1 DA process.

6.5.3. Services and Utilities

Air Conditioning

The proposal comprises air conditioning units on the ground floor located on the western elevation of the extension to Chisholm House. The acoustic impact is discussed in Section 6.2.10 above. The units are situated a minimum 75m from the nearest residential dwelling and significant landscaping separates the

residential dwelling from the service. The visual impact of this structures has been discussed with Council in a pre-DA meeting and addressed in Section 6.2.2 above. This service is provided to adequately heat and cool the proposed art room and classrooms on the first floor.

Other Services

Sufficient services are provided for the proposed building. All servicing installation will be capable of meeting the requirements of the Building Code of Australia and the Australian Standards where relevant. Refer to Appendix 9.

6.6. Social and Economic Effects

6.6.1. Crime and Safety

The existing security measures for JCS will continue to be implemented for the proposed extension to Chisholm House.

6.6.2. Social, Economic and Employment

The proposed development will have a positive economic impact by promoting additional jobs during the construction and operational phases of the development. The development is an integral part of the long-term vision for the school and brings a level of certainty surrounding future development stages and associated student enrolments, which in turn assists in the ongoing economic sustainability of the school.

Overall, the proposal improves the existing facilities at the school. In a city that continues to grow, the provision of such infrastructure and services is fundamental for sustainable population growth.

6.6.3. Public interest

Pursuant to case law of *Ex Gratia P/L v Dungog Council* (NSWLEC 148), the question that needs to be answered is “*whether the public advantages of the proposed development outweigh the public disadvantages of the proposed development*”.

There are no unreasonable impacts that will result from the proposed development, therefore, the benefits of providing the proposed development on the site outweigh any disadvantages and as such the proposed development will have an overall public benefit.

7. CONCLUSION

This DA seeks approval for the Stage 2 DA at JCS relating to the detailed design for the extension to Chisholm House.

This SEE has undertaken an environmental assessment of the proposal and has concluded that the proposal provides a built form which is consistent with the Concept Approval DA2015/0558 (as modified by the concurrent S4.55(2) modification application).

This proposal has been prepared in the context of the following considerations:

- The site's location within the C8 Locality of the Warringah Local Environmental Plan 2000 and as an existing Category Three development;
- The development history of the site;
- The context of the site and neighbourhood;
- The capability of the proposal to have a minimal impact on the amenity of the surrounding properties;
- The desired future character for the C8 Belrose North Locality which will not be compromised as a result of the proposed extension to Chisholm House;
- The relevant matters for consideration under Section 4.15(1) of the EP&A Act;
- The aims, objectives and provisions of the relevant statutory and non-statutory planning instruments;
- The environmental assessment of the proposal which demonstrates that there will be no adverse environmental effects and no adverse impacts by way of landscaping, visual impact, tree removal, ecology, solar and stormwater management;
- The social benefits of the proposal by increasing the welfare of the students and the wider school community through the provision of two (2) new larger classrooms and a state of the art, art-room;
- The pre-lodgement advice received from Northern Beaches Council; and
- The proposal will also ensure the longevity of JCS, which is already a key contributor to providing high quality schooling to the community.

The benefits provided by the proposed development outweigh any potential impacts and is it is therefore considered to be in the public interest. The proposal will deliver a suitable and appropriate development and is worthy of approval.