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Scale 1:200

O Ø.8/S12/H13 NEW CARPORT (4.55 1A) SOUTH 13 DP 9891 LEGEND: NEW WORKS (SECTION 4.55 -1(A)

1 SITE PLAN - Section 4.55(1A)

05.08.2019

THIS PLAN IS TO BE READ IN

CONJUNCTION WITH

CONSENT

MOD2021/0528

DP No. 9891 LOT No. 6 Revision/Issue

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT

COUNCIL COMPLIANT PLANS

General Notes

LEGEND:

PROPOSED WORK

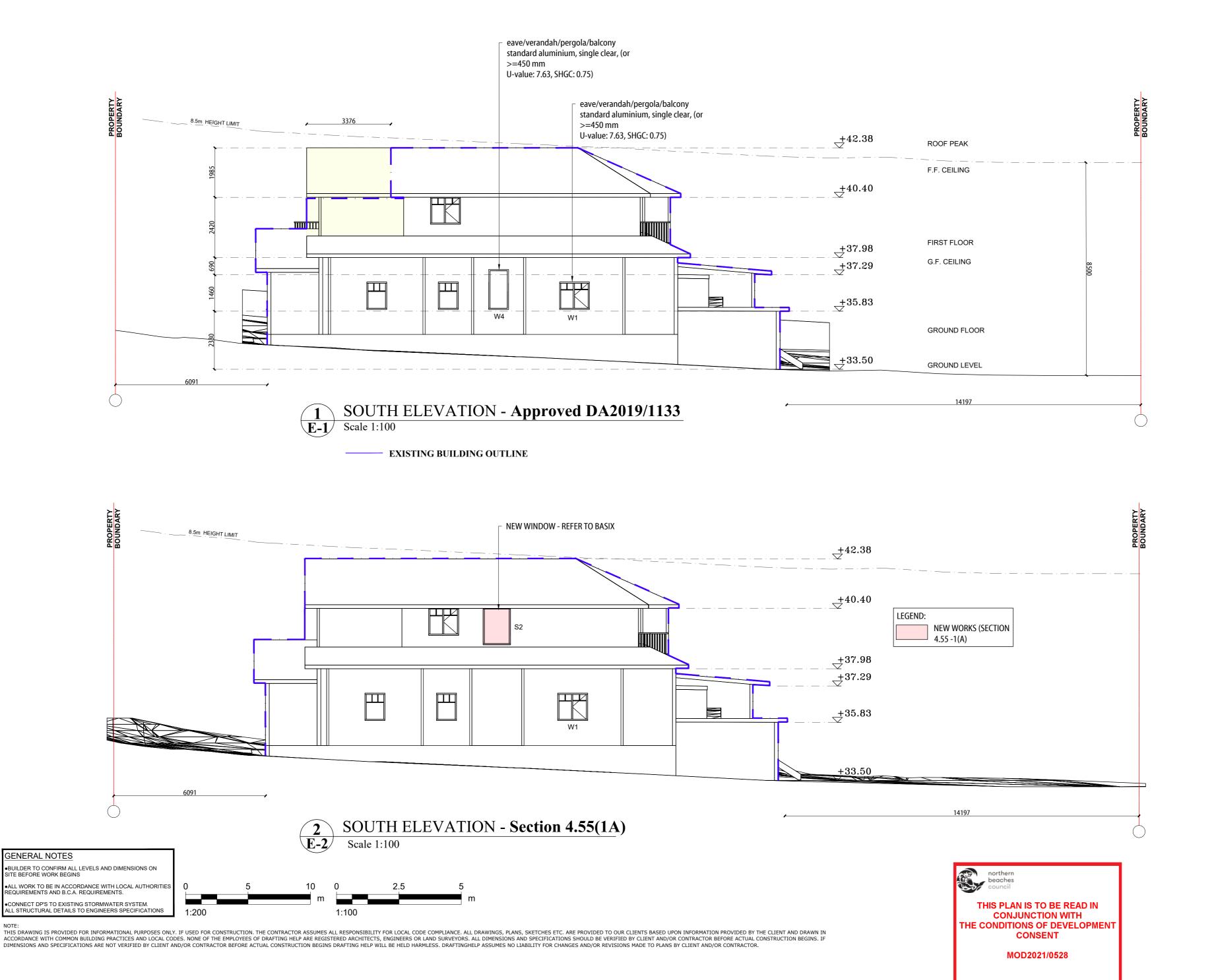
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JOHN O'LEARY 136 WOODLAND ST BLAGOWLAH SYDNEY 2093.NSW.





ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS

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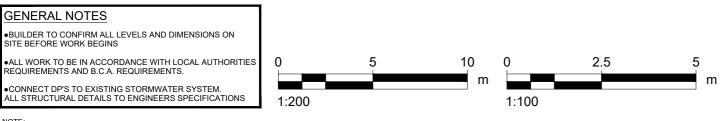
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General Notes

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Project Name and Address JOHN O'LEARY 136 WOODLAND ST **BLAGOWLAH** SYDNEY

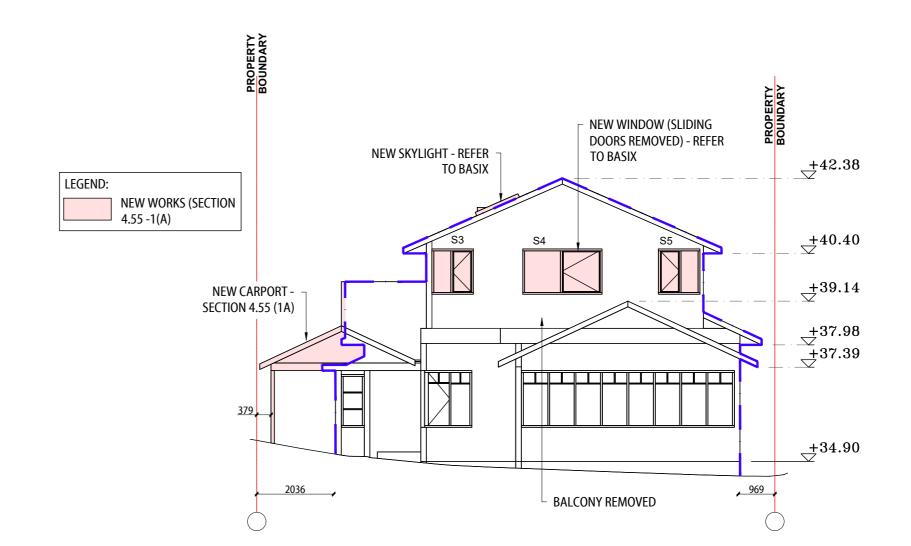
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external louvre/blind eave/verandah/pergola/balcony (adjustable) standard aluminium, single clear, (or standard aluminium, single >=450 mm clear, (or U-value: 7.63, SHGC: 0.75) U-value: 7.63, SHGC: 0.75) **ROOF PEAK** F.F. CEILING **+**40.40 [₹]+40.35 _W2 FIRST FLOOR ÷37.39 G.F. CEILING GROUND FLOOR 2036 , 969

WEST ELEVATION - Approved DA2019/1133 **E-2** Scale 1:100

EXISTING BUILDING OUTLINE



WEST ELEVATION - Section 4.55(1A)

Scale 1:100



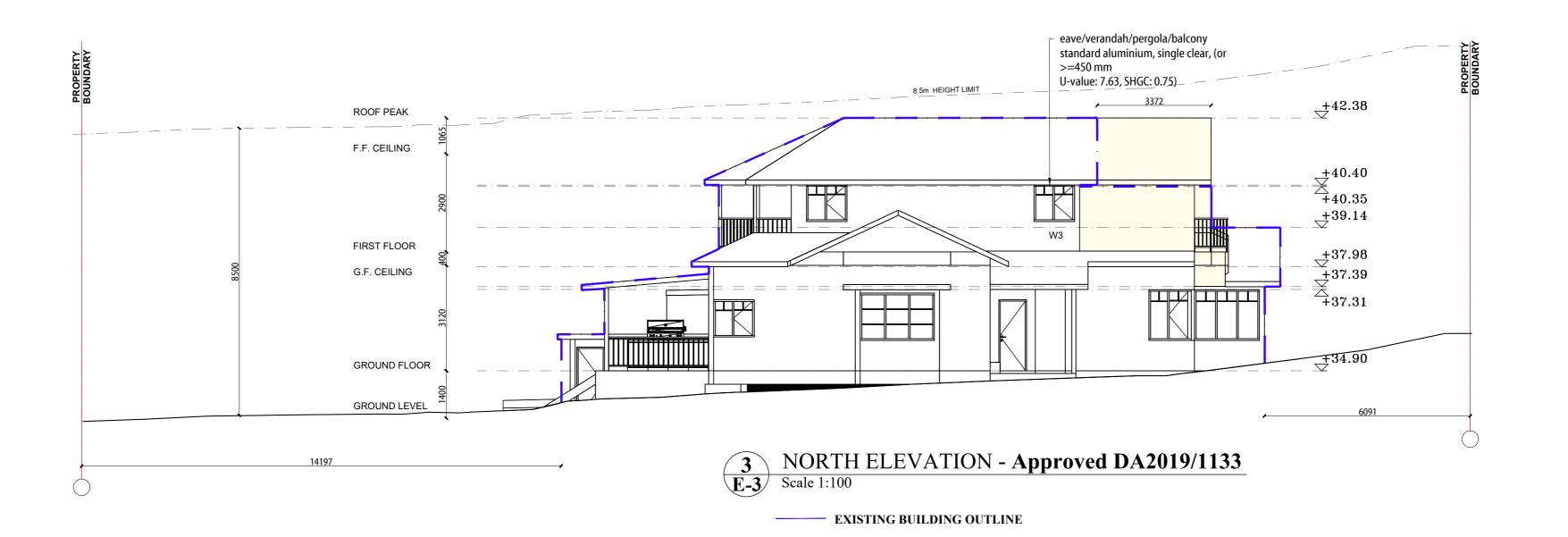
ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS LEGEND: **PROPOSED** WORK **General Notes** LOT No. 6

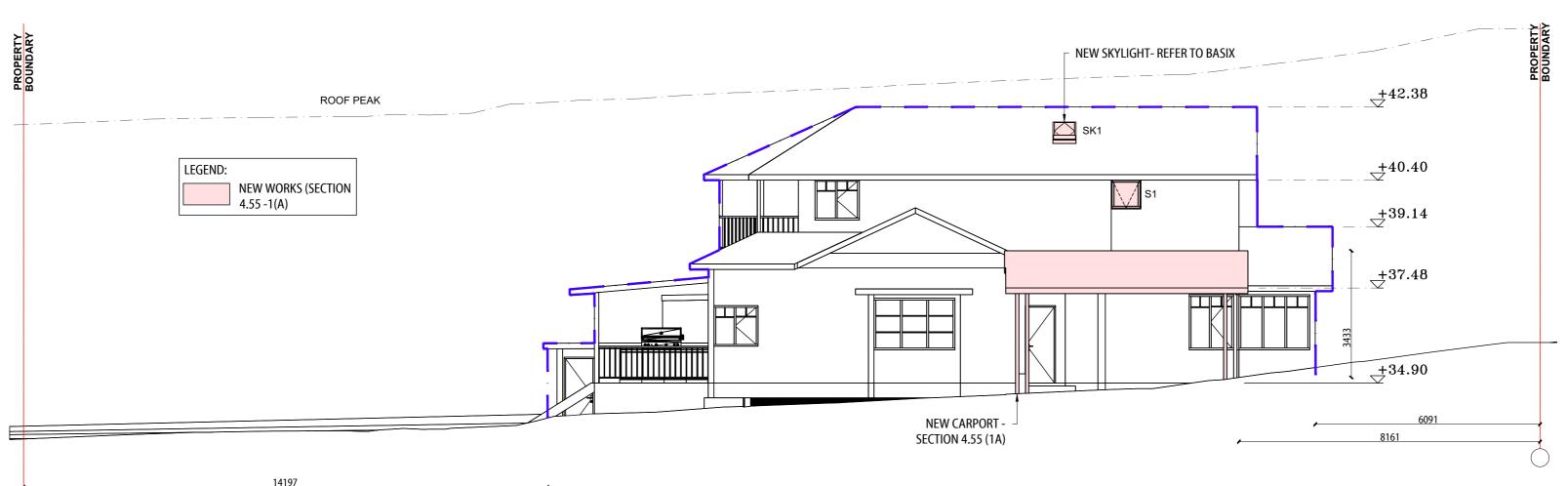
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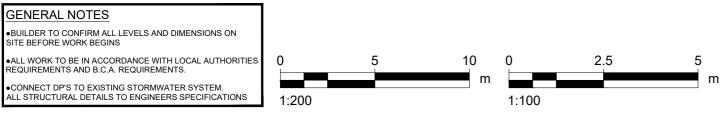
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E-1 Scale 1:100

NORTH ELEVATION - Section 4.55(1A)



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northern
beaches
council

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CONSENT

MOD2021/0528

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

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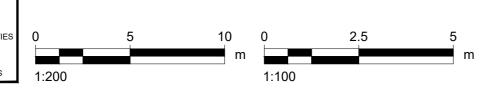
JOHN O`LEARY

136 WOODLAND ST

BLAGOWLAH

SYDNEY

2093.NSW.



•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS •ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS. •CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

E-4 EAST ELEVATION - Approved DA2019/1133

Scale 1:100

PROPERTY BOUNDARY PROPERTY BOUNDARY +42.38 +40.40 +39.65 LEGEND: +37.98 +37.29 NEW CARPORT -SECTION 4.55 (1A) 379, 2036 969

EAST ELEVATION - Section 4.55(1A) 4 E-4

> THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0528

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 $\stackrel{+42.38}{\swarrow}$

₹40.40

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+37.98

₹37.29

₹34.90

ROOF PEAK

F.F. CEILING

FIRST FLOOR

G.F. CEILING

GROUND FLOOR

GROUND LEVEL

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS LEGEND: PROPOSED WORK General Notes NEW WORKS (SECTION 4.55 -1(A)

9891 LOT No. 6

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> JOHN O'LEARY 136 WOODLAND ST **BLAGOWLAH** SYDNEY 2093.NSW.

÷42.38

±41.32

₹40.40

 $\begin{array}{c} +38.42 \\ +38.02 \end{array}$

≠34.90

S-1 Scale 1:100

EXISTING BUILDING OUTLINE



SECTION 'A-A' - Approved DA2019/1133

8.5m HEIGHT LIMIT

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ROOF PEAK

F.F. CEILING

FIRST FLOOR

G.F. CEILING

GROUND FLOOR

GROUND LEVEL

RL 42.38

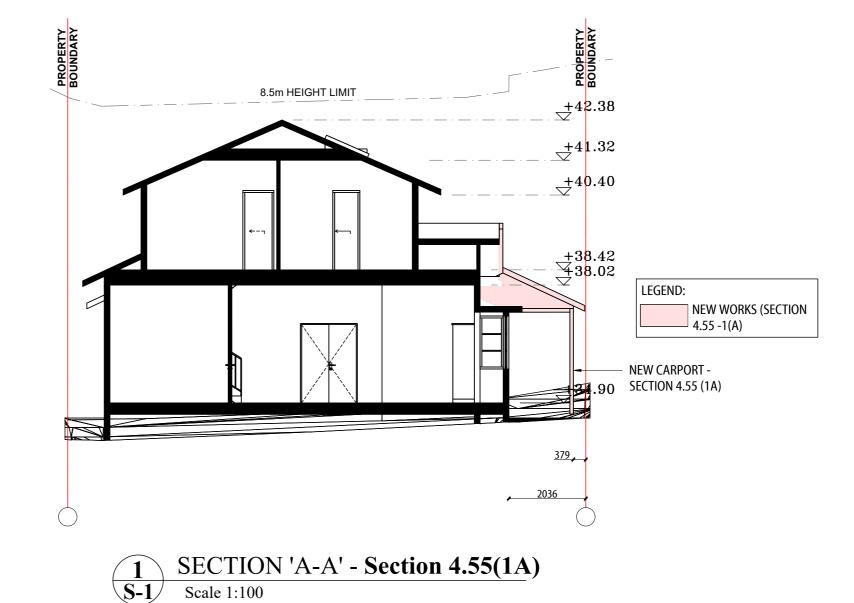
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RL 38.42

RL 38.02

GRND LVL

RL 33.50



THIS PLAN IS TO BE READ IN

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THE CONDITIONS OF DEVELOPMENT

CONSENT

MOD2021/0528

LOT No. 6 Date DRAFTING HELP 5/470 Sydney Rd Balgowlah 2093 NSW

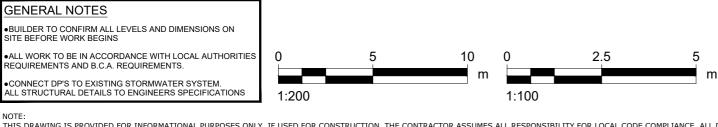
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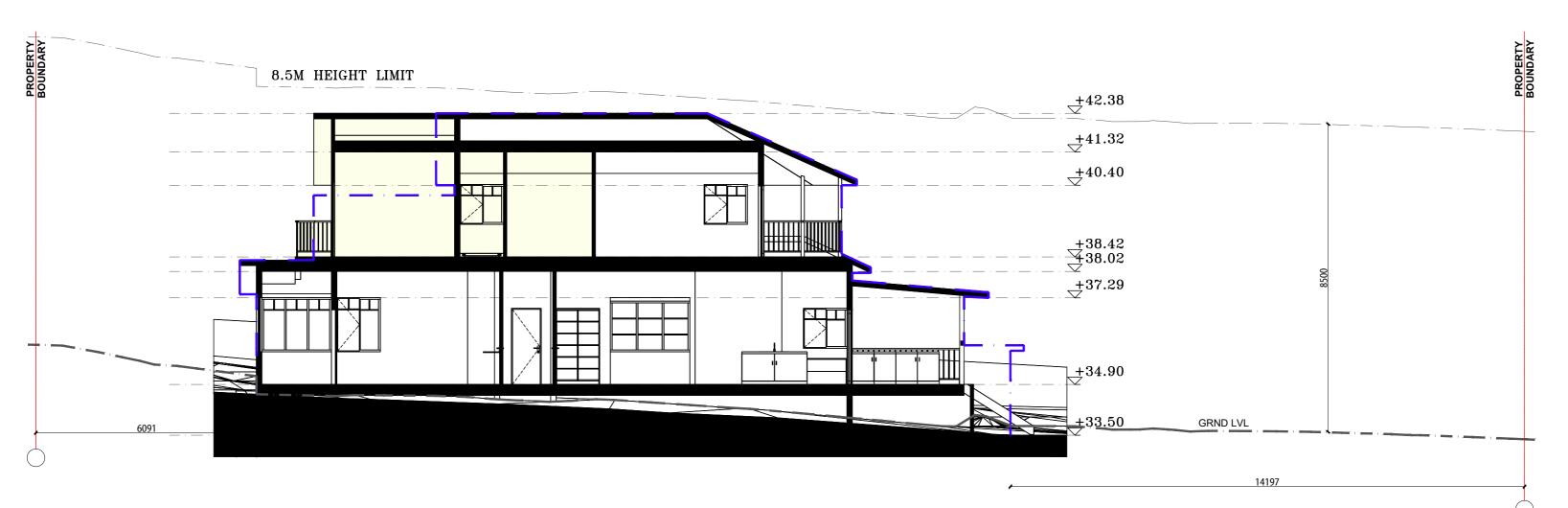
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DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

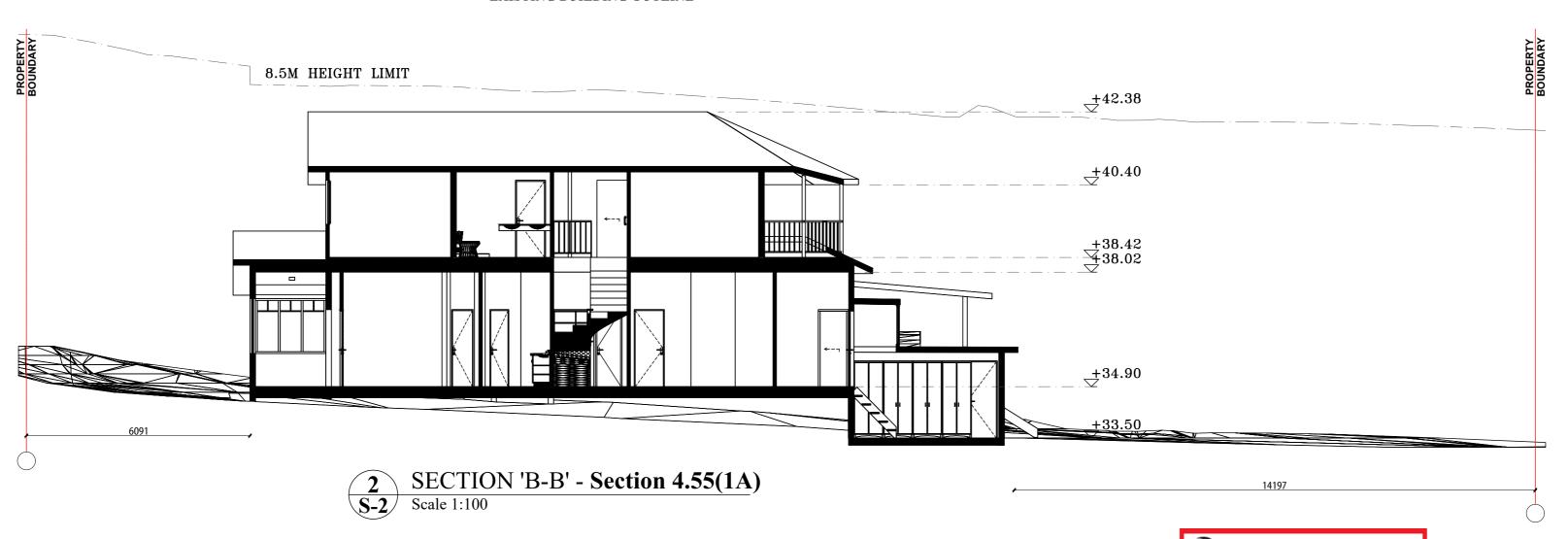


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SECTION 'B-B' - Approved DA2019/1133Scale 1:100

— EXISTING BUILDING OUTLINE



9 05.08.2019 9891 LOT No. 6

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

WORK

PROPOSED

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Project Name and Address

JOHN O`LEARY

136 WOODLAND ST

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CONSENT

MOD2021/0528

0

2.5 1:100

LEGEND:

120.150

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SUNROOM

NEW CARPORT -

SECTION 4.55 (1A)

NEW WORKS (SECTION

220.140

LIVING

BED 4

120.110

Ground Floor Plan - Section 4.55(1A)

DINING

•

KITCHEN

alfresco

L'DRY

4.55 -1(A)

CARPORT

TV ROOM

BED 3

80.110

PORCH

S ENTRY &

BATH

Scale 1:100

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THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0528

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS LEGEND: PROPOSED WORK

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•BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

REQUIREMENTS AND B.C.A. REQUIREMENTS.

NEW CARPORT -SECTION 4.55 (1A)

MASTER BED BALCONY BED 6 BED 2 $\mathbf{C}_{\blacktriangle}$ 150 120.110 110.146 2565 90_{1|} 2000 90_{1|} 150_{+|<} 2150 LEGEND: 475 735 **NEW WORKS (SECTION** 4.55 -1(A)

150 2150

First Floor Plan - Section 4.55(1A) Scale 1:100

5790

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ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS

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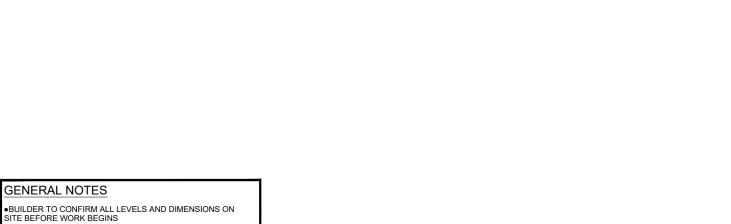
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•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

REQUIREMENTS AND B.C.A. REQUIREMENTS.



LEGEND:

NEW WORKS (SECTION

4.55 -1(A)

10 2.5 1:100

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> **Roof Plan - Section 4.55(1A)** Scale 1:100

LEGEND: PROPOSED WORK

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT COUNCIL COMPLIANT PLANS

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