

Certificate number: 1030488S

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 7000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 272.4 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the development		✔	✔
<ul style="list-style-type: none">the cold water tap that supplies each clothes washer in the development		✔	✔
<ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔
Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none">at least 3 of the living / dining rooms; dedicated		✔	✔
<ul style="list-style-type: none">the kitchen; dedicated		✔	✔
<ul style="list-style-type: none">all bathrooms/toilets; dedicated		✔	✔
<ul style="list-style-type: none">the laundry; dedicated		✔	✔
<ul style="list-style-type: none">all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	



Certificate no.: 0004031258

Assessor Name: Ian Fry

Accreditation no.: VIC/BDV/12/1441

Certificate date: 18 Jul 2019

Dwelling Address:
12 Springvale Avenue
Frenchs Forest, NSW
2086

www.nathers.gov.au



AREAS

SITE:	698.00 m²
GROUND FLOOR:	170.44 m²
FIRST FLOOR:	182.71 m²
GARAGE:	48.53 m²
PORCH:	4.79 m²
BALCONY:	N/A m²
ALFRESCO	21.80 m²
	m²
TOTAL:	428.27 m²

QUOTE	DATE	QUOTE NUMBER	REV				
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-				
AIR CONDITIONING			-				
STAIRS			-	F	30.07.19	EXTERNAL COLOURS	SM
LANDSCAPE				E	24.07.19	COORDINATE HYDRAULICS	MD
HYDRAULICS				D	19.07.19	DA DRAWINGS	PG.
ENGINEER				C	19.07.19	UPDATED CONTOUR	MD
PEG OUT				B	26.06.19	CONTRAC DRAWINGS	PG.
				A	29.04.19	TENDER	BG

CLIENT'S SIGNATURE: _____


DATE: _____

REV

DATE

AMENDMENTS

BY



BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (00) 000 0000

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DIMENSIONS TO BE READ IN REFERENCE TO DRAWING

PRODUCT:

MADISON 37
Chisholm
L/H Garage

Sapphire Specification

CLIENT:

Mr. LALLOTIS
Mrs. LALLOTIS

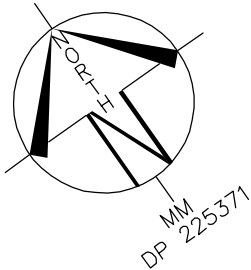
SITE ADDRESS:

Lot 33 No.12, D.P: 225371
Springvale Avenue
FRENCHS FOREST 2086

DA DRAWINGS

DRAWN: PG.	DATE: 26.06.19	Rev: F
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29913581	NSW

NORTH



DP 243056
LOT 10

LOT 33
D.P: 225371
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

SITE AREA 698 m²

ROOF AREA 272.4 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 313.2 m²
(MIN. DIMENSION OF 2.0m) 44.9 %

MIN. REQUIRED BY COUNCIL: 40 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 94.8 m²
(MIN. DIMENSION OF 5.0m)

MIN. REQUIRED BY COUNCIL: 60 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 8.5 m
MAXIMUM CEILING HEIGHT 7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

BUILDING ENVELOPE

BUILDING ENVELOPE TO BE PROJECTED AT
45° FROM A HEIGHT OF 4.0m AT BOUNDARY

SITE COVERAGE

STORMWATER CALCULATION

ROOF FOOTPRINT: 272.4m²
DRIVEWAY/ POOL/ PAVED AREAS: 106.2m²
TOTAL: 378.6m²
54.2 %

MAX SITE COVERAGE FOR OSD: 40%

Maximum 1000mm CUT

DROP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED OUTSIDE
BUILDING PERIMETER

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M"

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

STORMWATER TO
STREET VIA RAINWATER
TANK AND O.S.D
REFER TO HYDRAULIC DETAILS

LOT 32

GARAGE
EXISTING POOL
TO REMAIN

PROVIDE CONCRETE
LANDING AND STEPS
BY CLARENDON

APPROX. LOCATION
OF RETAINING WALL
BY OWNER AFTER
HANDOVER

LOCATION OF 2X7000L
MODLINE ABOVE GROUND
RAINWATER TANK
(3200Lx1150Wx2020H)

PROPOSED DRIVEWAY
& GRATED DRAIN
BY OWNER AFTER
HANDOVER

APPROX. LOCATION
OF SIP (REFER TO
HYDRAULICS)

LOT 33
698m² POOL

PROPOSED
RESIDENCE
FFL R.L. 130.710
FGL R.L. 130.400
(Levels are +/-100mm)

GARAGE
STEPDOWN
761mm
FFL R.L. 129.949
(Levels are +/-100mm)

HOUSE STEPDOWN
686mm
FFL R.L. 130.024
FGL R.L. 129.710
(Levels are +/-100mm)

DECK
PROVIDE CONCRETE
LANDING BY
CLARENDON

LOCATION OF AIR
CONDITIONING UNIT
LOCATION OF
METER BOX
DROP EDGE BEAM
0.750H F.F.L TO N.G.L

PROVIDE CONCRETE
LANDING AND STEPS
BY CLARENDON

APPROX. LOCATION
OF SEWER

SPRINGVALE AVENUE

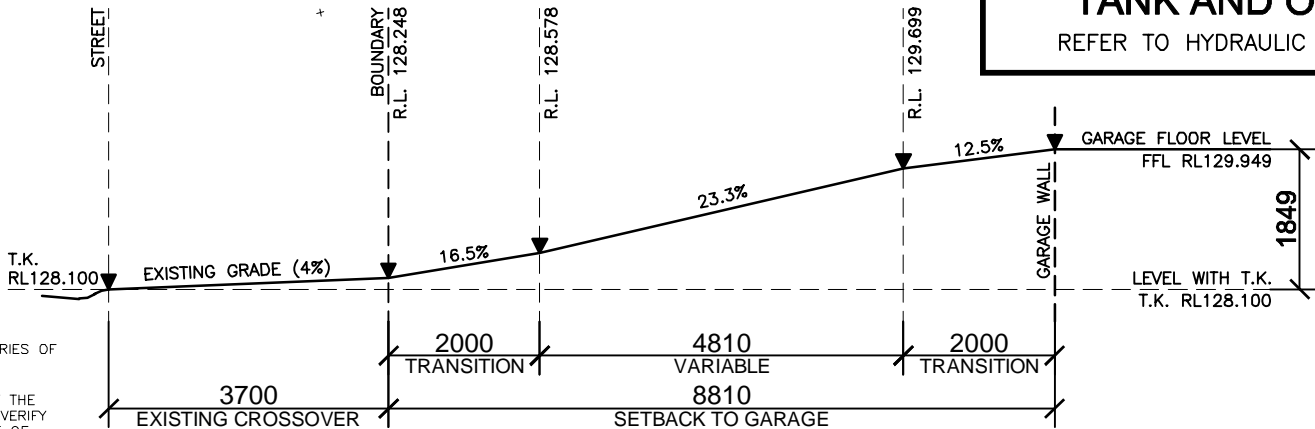
DENOTES TREES TO BE
REMOVED BY OWNER
PRIOR TO CONSTRUCTION

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5000

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DIMENSIONS TO BE READ IN
REFERENCE TO CONSTRUCTION

PRODUCT:

MADISON 37
Chisholm
L/H Garage

Sapphire Specification

CLIENT:

Mr. LALOTIS
Mrs. LALOTIS

SITE ADDRESS:

Lot 33 No.12, D.P: 225371

Springvale Avenue

EDENHILLS FOREST 2086


DA DRAWINGS

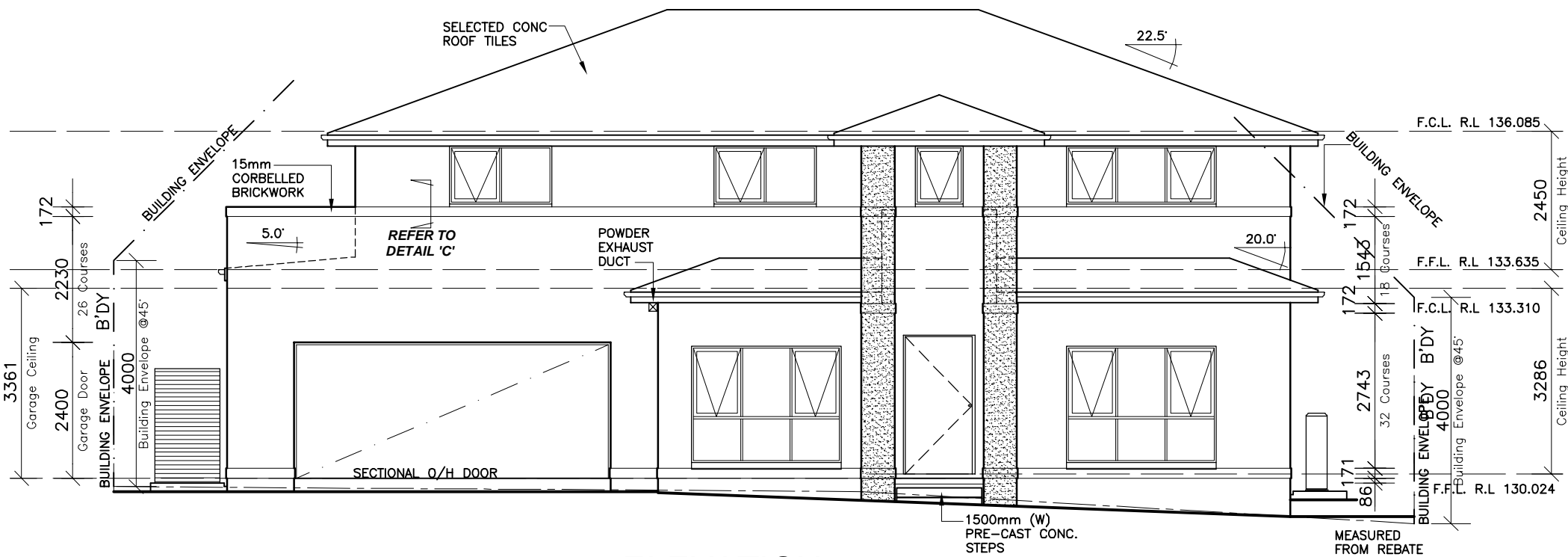
DRAWN: BG	DATE: 29.04.19	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913581	NSW

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

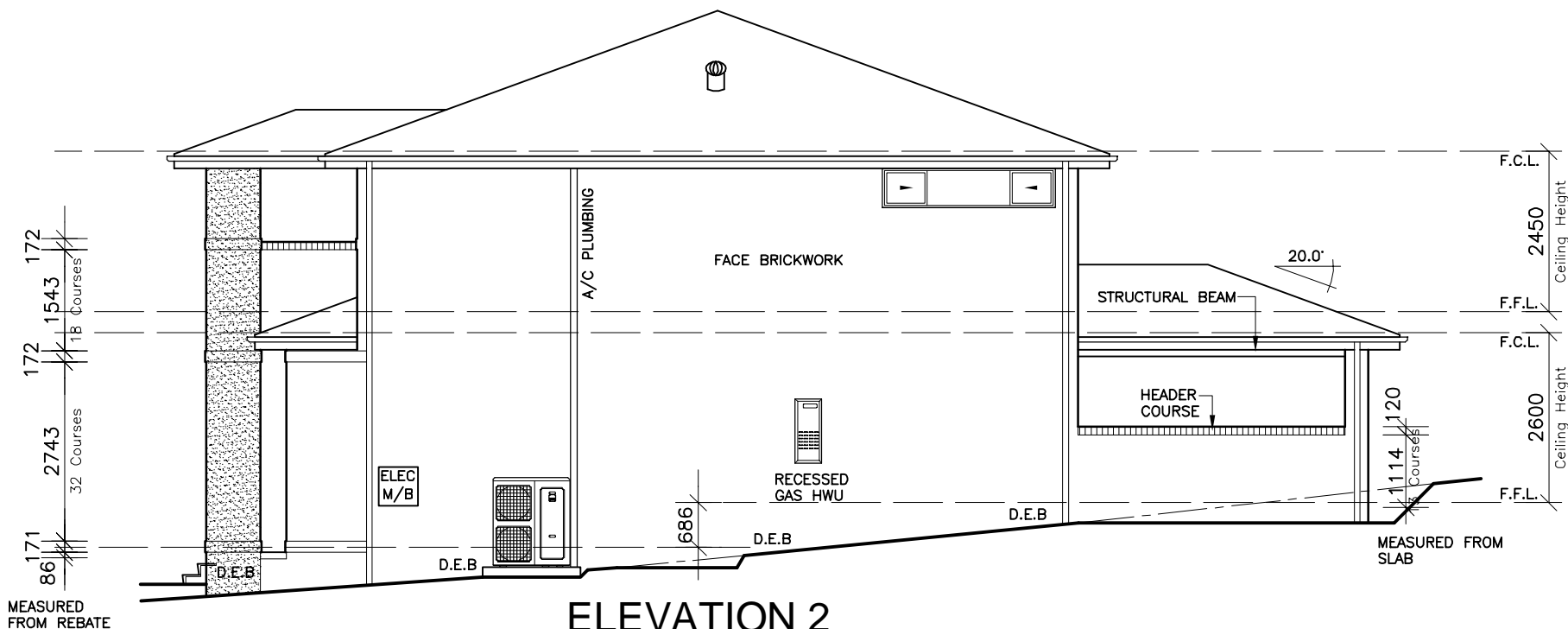
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

 DENOTES RENDER FINISH



ELEVATION 1
-SOUTH WEST-



ELEVATION 2
-SOUTH EAST-

CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH THE
SPECIFICATION

PRODUCT:
MADISON 37
Chisholm
L/H Garage

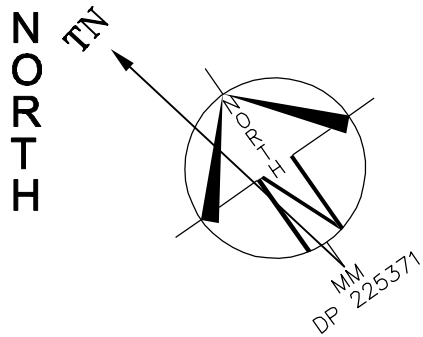
Sapphire Specification

CLIENT:
Mr. LALLOTIS
Mrs. LALLOTIS
SITE ADDRESS:
Lot 33 No.12, D.P: 225371
Springvale Avenue
EDENHILLS FOREST 2086

DA DRAWINGS

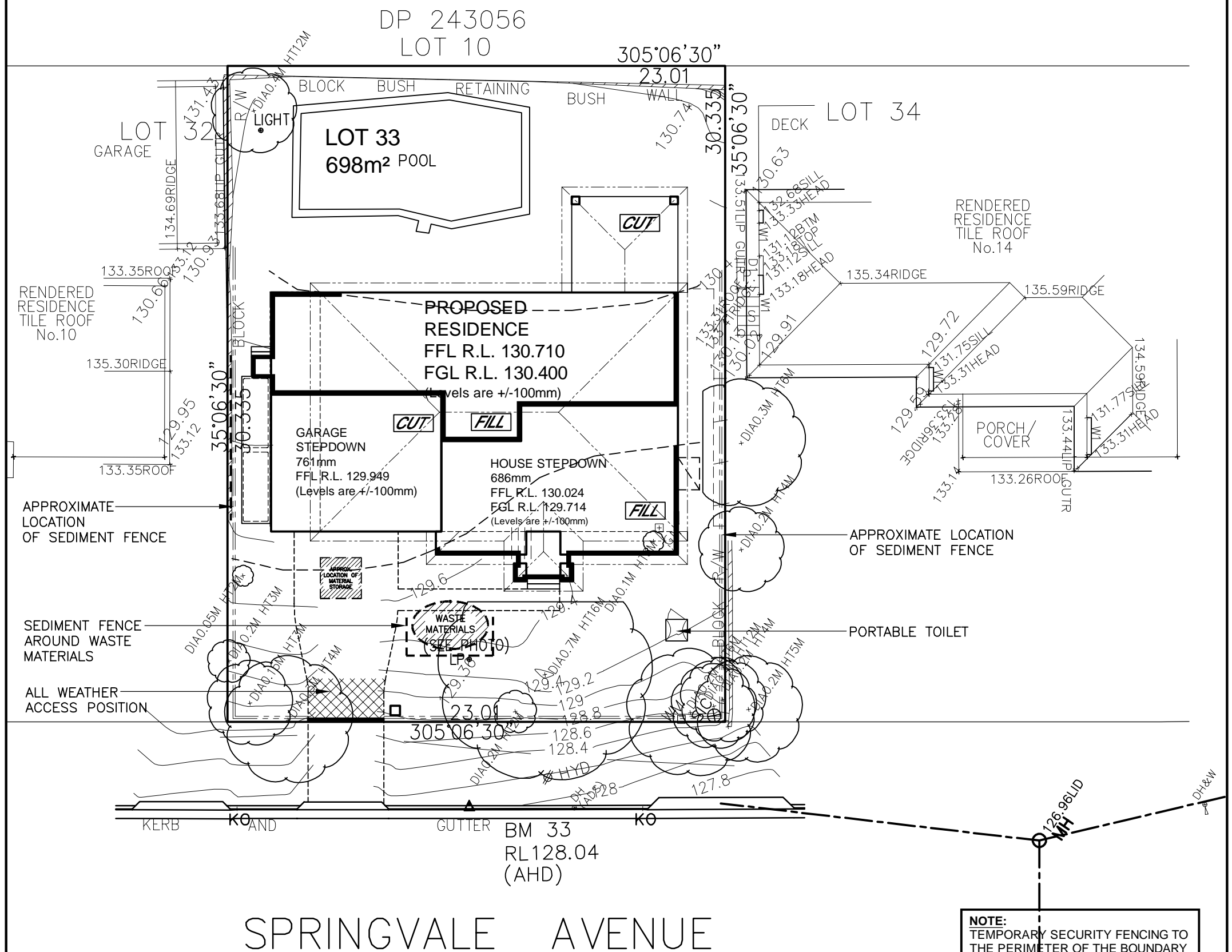
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SHEET: 5	JOB No: 29913581	NSW

NSW



LOT 33
D.P: 225371
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



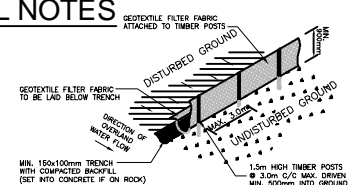
NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8854 5000

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DIMENSIONS TO BE READ IN
REFERENCE TO SCALE

PRODUCT:
MADISON 37
Chisholm
L/H Garage

Sapphire Specification

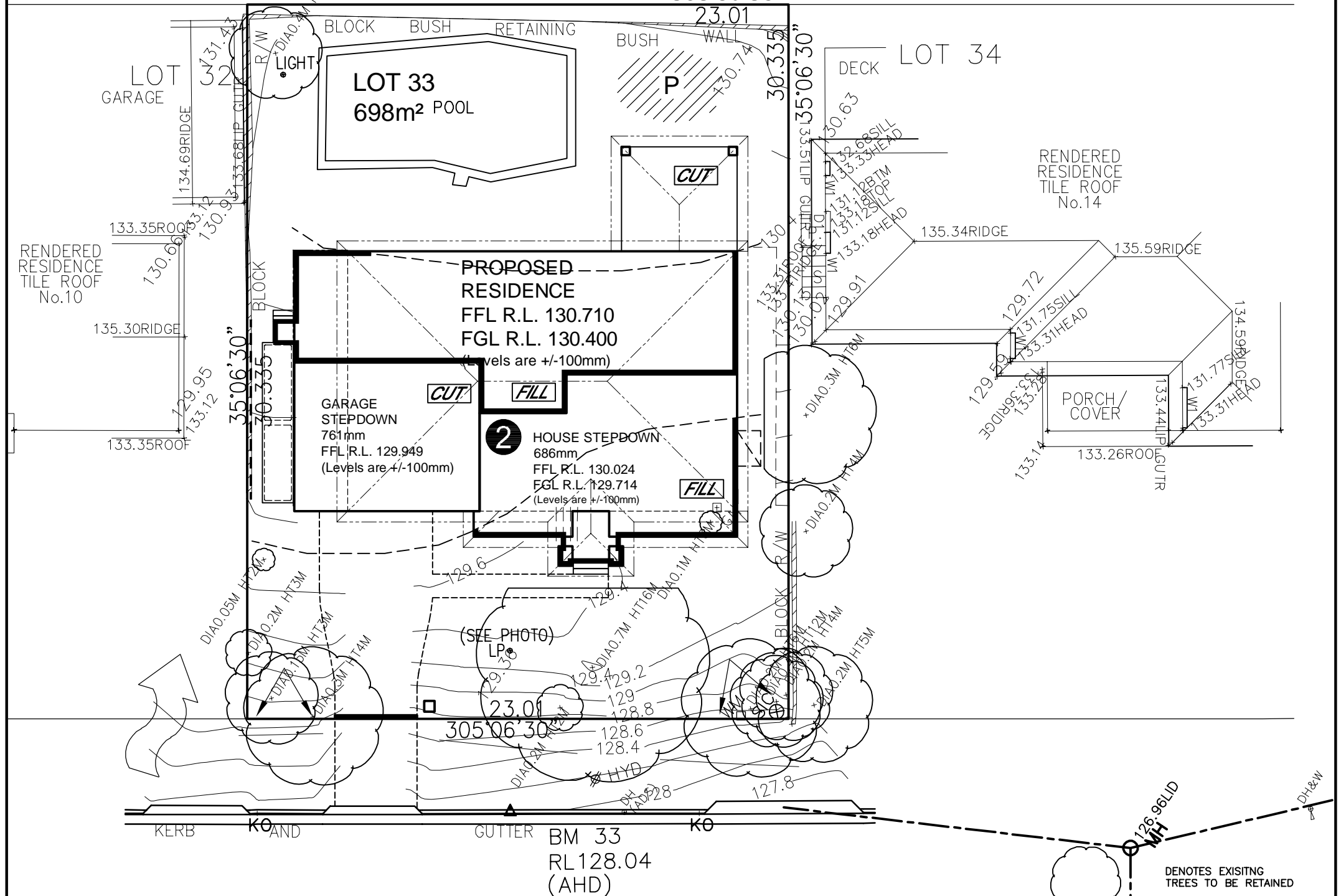
CLIENT:
Mr. LALOTIS
Mrs. LALOTIS
SITE ADDRESS:
Lot 33 No.12, D.P: 225371
Springvale Avenue
EDENHILLS FOREST 2086

DA DRAWINGS

DRAWN: PG.	DATE: 26.06.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2 1	JOB No: 29913581	NSW

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

305°06'30"



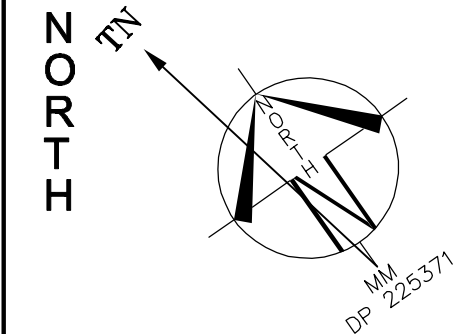
SPRINGVALE AVENUE

SITE ANALYSIS PLAN

ClarendonHomes

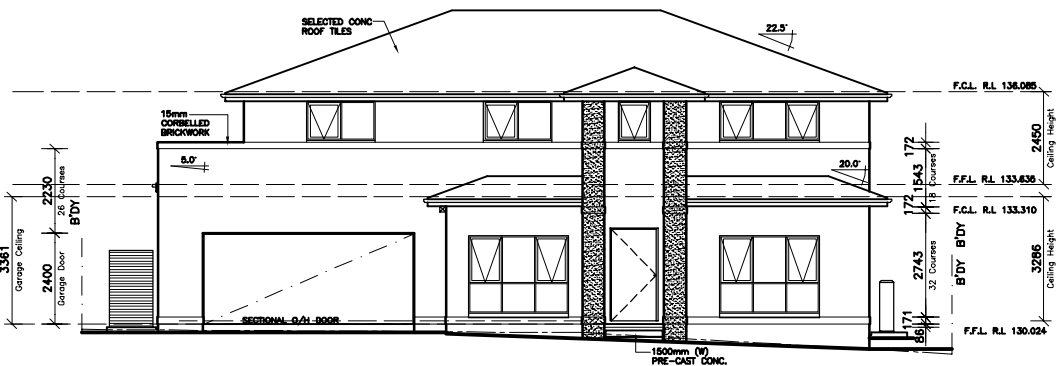
CLIENT:	Mr. LALLOTIS Mrs. LALLOTIS
SITE ADDRESS:	Lot 33 No.12, D.P: 225371 Springvale Avenue FRENCHS FOREST 2086

DRAWN: PG.	DATE: 26.06.19	Rev: F
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 22	JOB No: 29913581	NSW

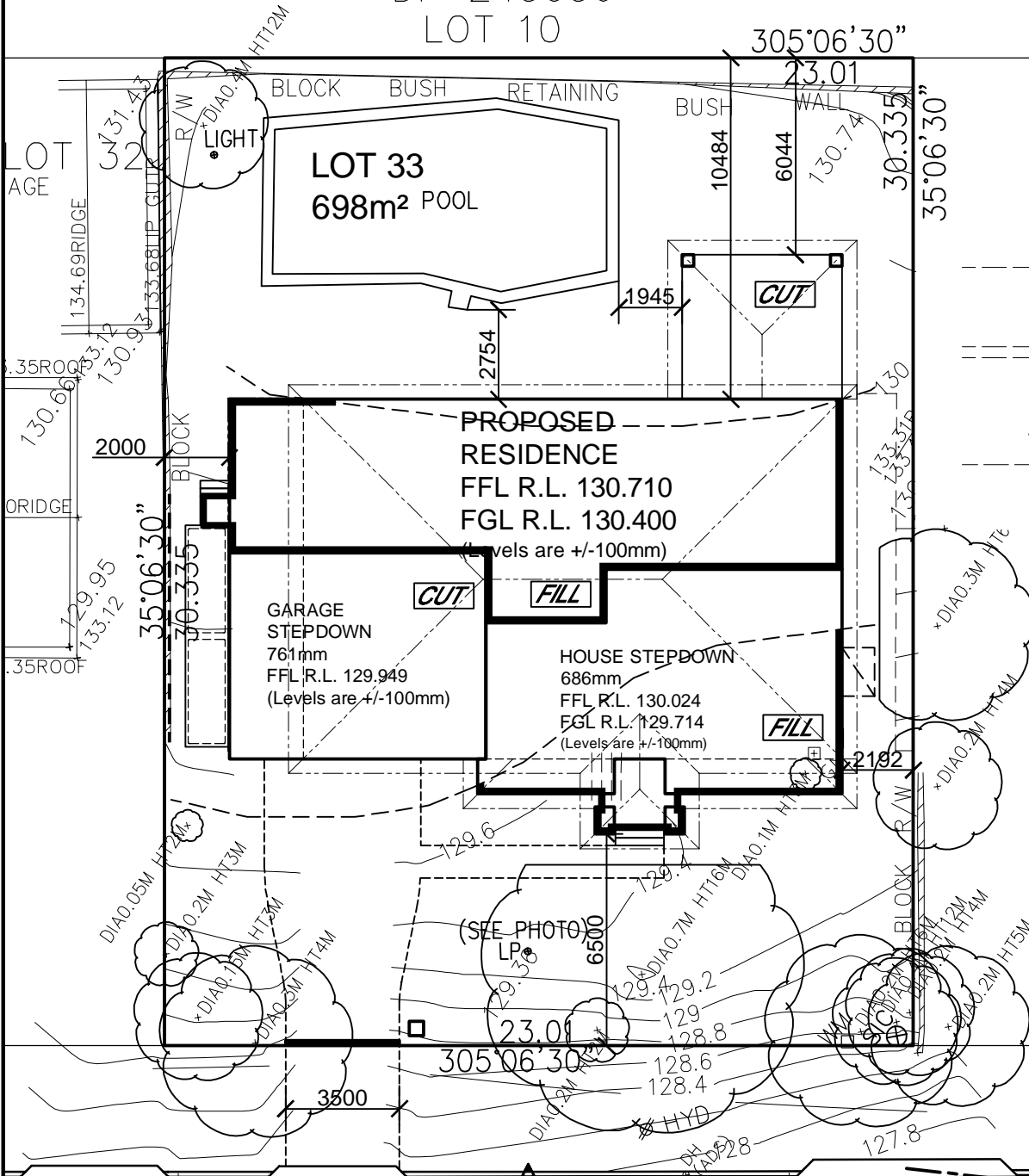


LOT 33
D.P: 225371
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**



**ELEVATION 1
- SOUTH WEST -**

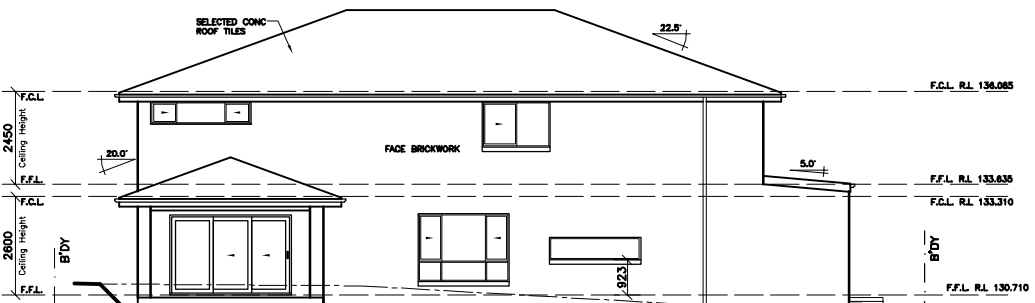


LOT 34

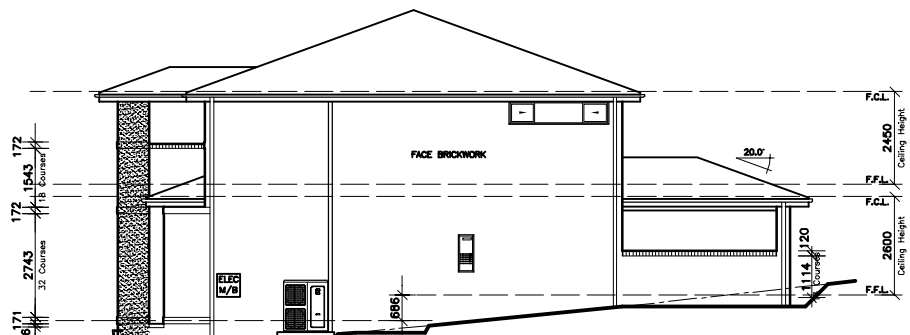


**ELEVATION 4
- NORTH WEST -**

SPRINGVALE AVENUE



**ELEVATION 3
- NORTH EAST -**



**ELEVATION 2
- SOUTH EAST -**

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8854 5000</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div> <div># DIMENSIONS TO BE READ IN CONJUNCTION TO DRAWING</div>	<div>PRODUCT:</div> <div>MADISON 37 Chisholm L/H Garage</div> <div>Sapphire Specification</div>	<div>CLIENT:</div> <div>Mr. LALLOTIS Mrs. LALLOTIS</div>	DA DRAWINGS		
			<div>SITE ADDRESS:</div> <div>Lot 33 No.12, D.P: 225371 Springvale Avenue EDENHURST FOREST 2086</div>	<div>DRAWN:</div> <div>PG.</div>	<div>DATE:</div> <div>26.06.19</div>	Rev: <div>F</div>
				<div>RATIO @ A3:</div> <div>1:200</div>	<div>CHECKED:</div> <div>J.S</div>	
				<div>SHEET:</div> <div>25</div>	<div>JOB No:</div> <div>29913581</div>	<div>NSW</div>


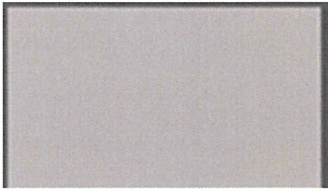
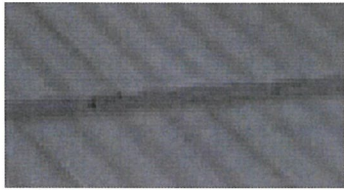



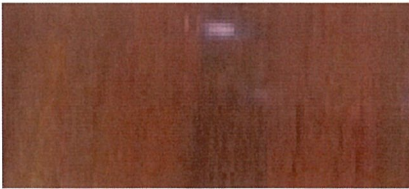

LIFESTYLE

- STUDIO -

BY CLARENDON HOMES

Client:	Mr George and Mrs Kathy Laliotis		
Site Address:	Lot 33 Springvale Avenue, Frenchs Forest		
Job Number:	29913581	House Type:	Madison 37
Date Issued:	26/7/19	Developer:	n/a

Roof BASIX Rating:	dark	Wall BASIX Rating:	dark
---------------------------	------	---------------------------	------

Main Brick: austral wilderness, rosewood 	Applied Render Finish: Dune cb04 	Roof Type/Style/Colour: Contour tile, gunmetal 
Window Frame Colour: Surfmist 	Gutter: monument Fascia: monument 	Downpipes: monument Watertank: monument 
Front Entry Door Colour: Stained, medium 	Lightweight Cladding: Not applicable	Garage Door Type/Colour: Flatline, surfmist 
Other:	Driveway Colour: grey *By client after handover	Letterbox: *By client after handover

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date 
---	--