

existing elevations

1:200

RIDGE	R.L. 32.35
F.C.L.	R.L. 30.56
F.F.L.	R.L. 28.11
F.C.L.	R.L. 27.63
F.F.L.	R.L. 24.78

SURVEY INFORMATION PROVIDED BY:-
TOTAL SURVEYING SOLUTIONS
SUITE 5/21 ELIZABETH STREET
CAMDEN NSW 2570
Ph: (02) 4655 4035
Fax: (02) 4655 7094
Email: tss@totalsurveying.com.au

SHADOWING:

REGARDING NEW SHADOWING, DUE TO BLOCK ORIENTATION & EX. RIDGE, ANY NEW SHADOWING WILL BE MARGINAL & ONLY EFFECTING GARAGE/YARD FOR ADJOINING NEIGHBOURS. THEREFORE, AT THIS STAGES NO NEW DIAGRAM HAS BEEN DRAWN.

BASIX:

THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE CORRECT BASIX CERTIFICATE (A COPY IS ATTACHED). ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE REPORT.

SITE CALCULATIONS

SITE AREA 532.2 SQ. M

FSR: 85.19+88.91+86.39+51.06 311.55 SQ. M
FSR 0.6 -> 319.32 SQ. M OK!

TOTAL OPEN SPACE, OS3:

Proposed Open Space Area: 295.9 sq. m.
Reduction for areas smaller than 3m in width: - (0.9 + 50.6) 227.3 sq. m.
OS3 -> 55% EQUAL: 292.71 SQ.M.

LANDSCAPING:

Proposed Landscaping Area: ~188 SQ. M
35% of OS3 -> 102.45 sq. m. OK!

CARPARKING 2 CARS

NOTES

1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB.
2. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
3. ALL CONSTRUCTION IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
4. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE A.S.1684.
7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
11. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
13. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

B	17/5/2021	pool & crossover amended
A	12/5/2021	changes to garage, pool & deck/ pergola; new privacy screens
-	2/3/2021	issue to client for council approval
mark	date	amendments.

project.

Alteration & Addition

for

Mr. & Mrs. Perrett

90 Griffiths Street

Fairlight NSW 2094

drawing title.

WORKING DRAWINGS-
Site- & lower ground floor plan,
ground & first floor plan,
existing elevations

scale.

1:100 / 1:200

date.

MAY 2021

Draftperson.

ANNA HENRY

AH DESIGN

22 WANDEEN ROAD, CLAREVILLE NSW 2107

T. 0415 559 737

E. ahdesign@email.com

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project no.

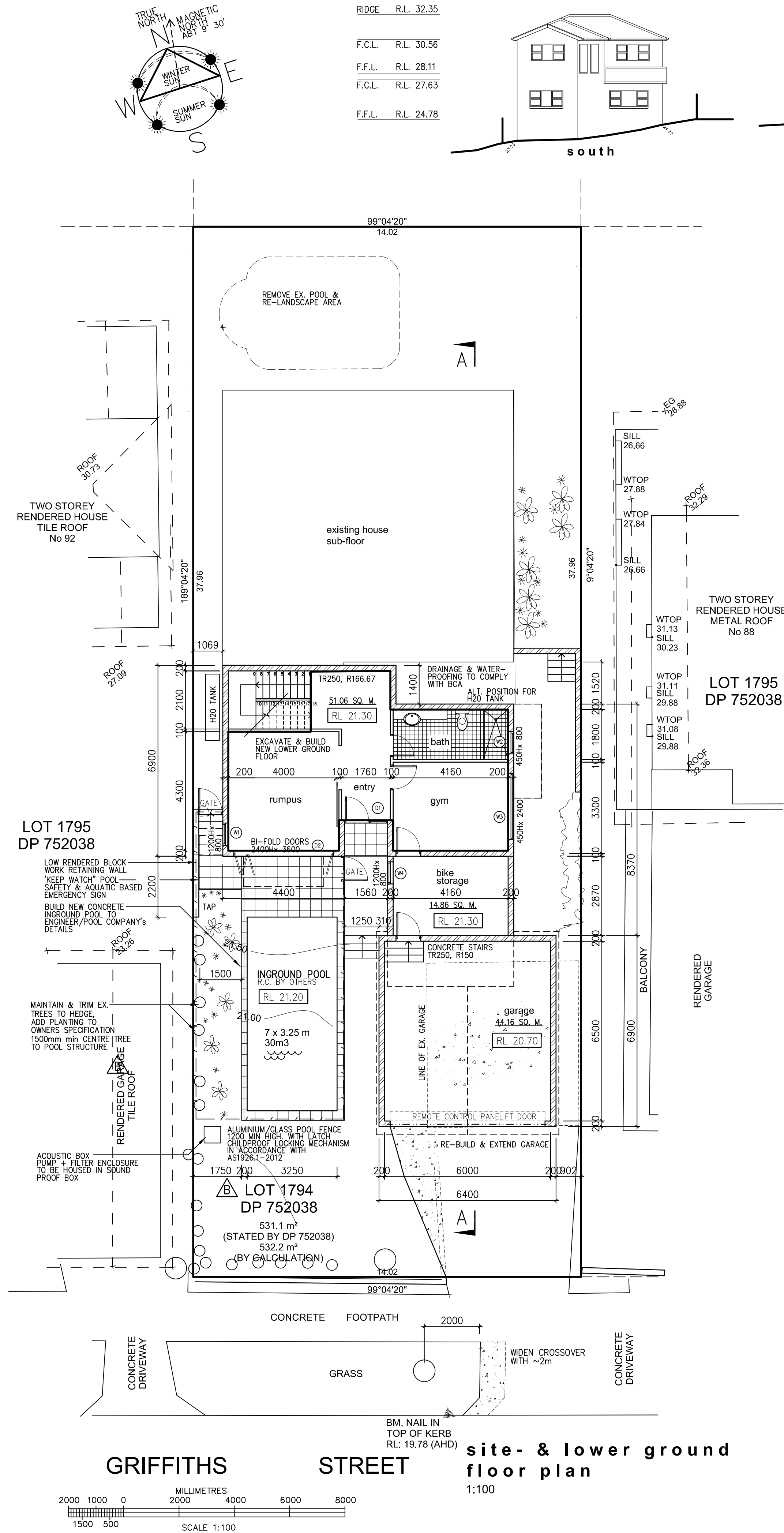
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A-121

1

2

amendments. B



ground floor plan

1:100

site- & lower ground floor plan

1:100

first floor plan

1:100

NOTES:

- *FIXTURES: SHOWERHEAD & TOILET TO BE MIN. 3 STARS TAP IN KITCHEN/BATH TO BE MIN. 3 STARS
- *LIGHTING: A MIN. OF 40% OF NEW & ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT OR LED LAMPS
- *ALL DOORS & WINDOWS TO BE INSTALLED AS SPECIFIED ON THE LIST IN BASIX: IMPROVED ALUMINUM FRAMED SINGLE CLEAR GLAZING: U-VALUE 6.44, SHGC 0.75 EXCEPT FOR WINDOWS W17 & W18, U-VALUE 5.7 & SHGC 0.47. WINDOW W4 TO HAVE AN AWNING
- *ALL SKYLIGHT WINDOWS TO BE OF TIMBER FRAMED, LOW-E INTERNAL ARGON FILL CLEAR EXTERNAL, U-VALUE 2.5, SHGC 0.456
- *NEW HOT WATER SYSTEM TO BE GAS INSTANTANEOUS
- *RAINWATER TANKS OF AT LEAST 1968L TO BE INSTALLED COLLECTING RAIN RUNOFF FROM MINIMUM 40sq.m. OF ROOF. CONNECTED TO MIN. 1 OUTDOOR TAP, MAX 10m FROM POOL
- *HEATING SYSTEM FOR THE POOL TO BE SOLAR ONLY.
- *A POOL PUMP TIMER MUST BE INSTALLED FOR THE POOL.
- *SMOKE ALARM TO BE FITTED •

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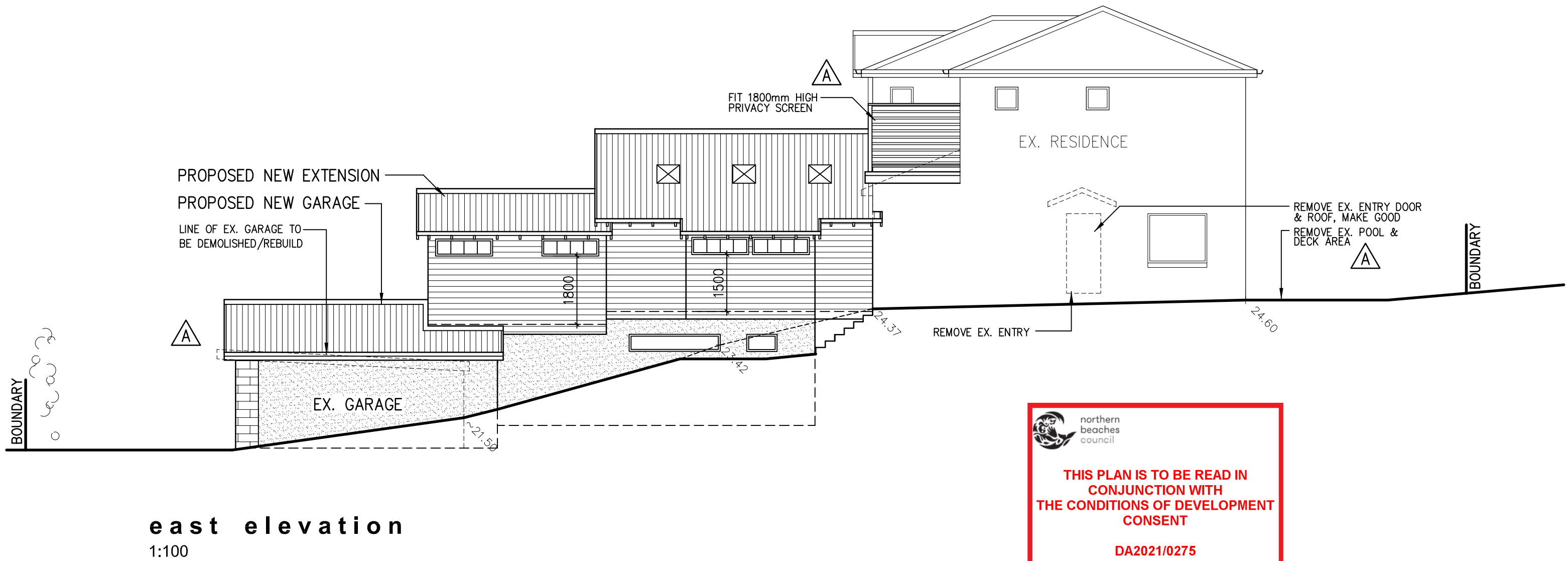
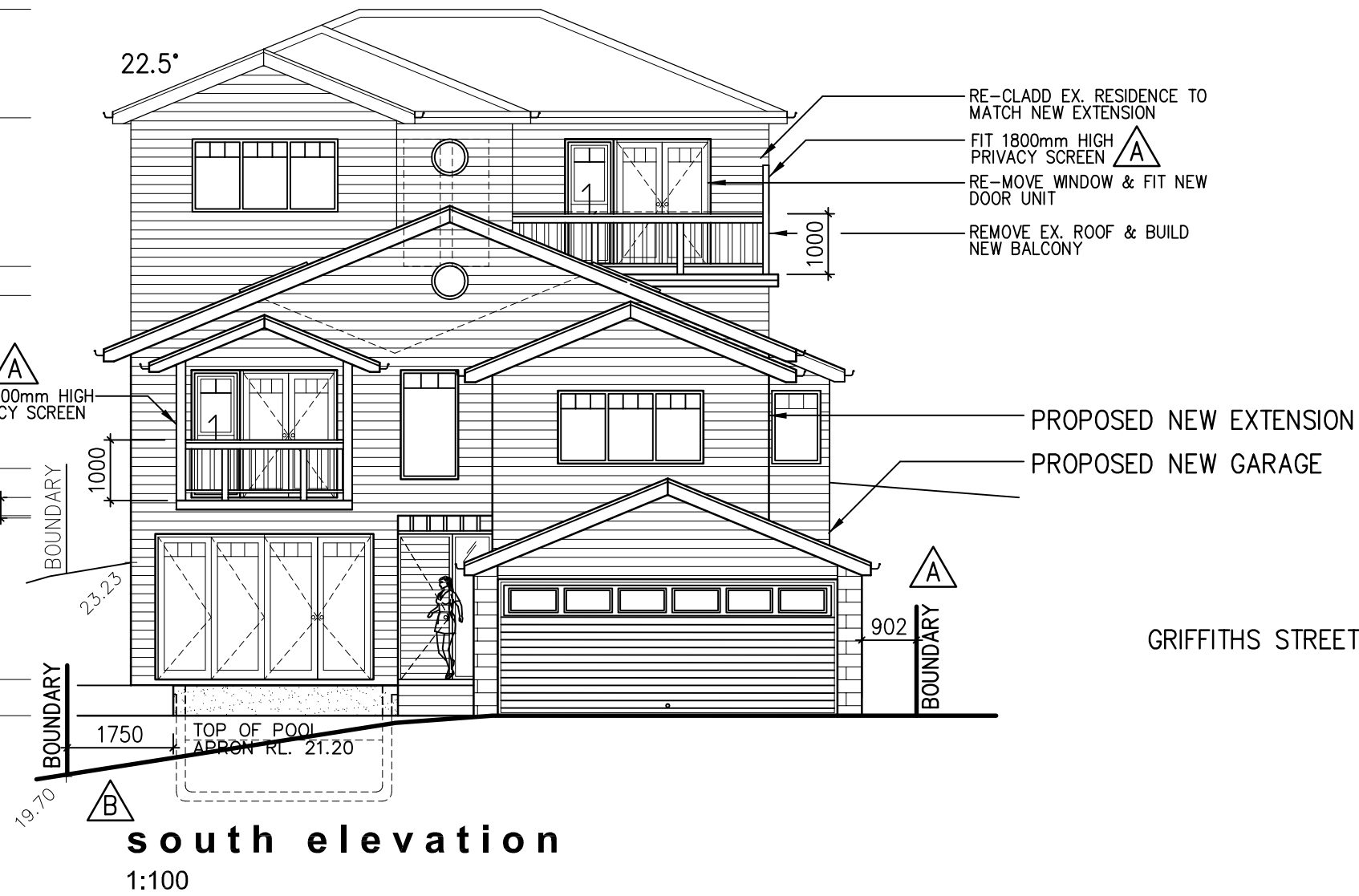
F.F.L. R.L. 24.78

F.F.L. R.L. 24.30

F.F.L. R.L. 23.96

F.F.L. R.L. 21.30

F.F.L. R.L. 20.70



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0275

RIDGE R.L. 32.35

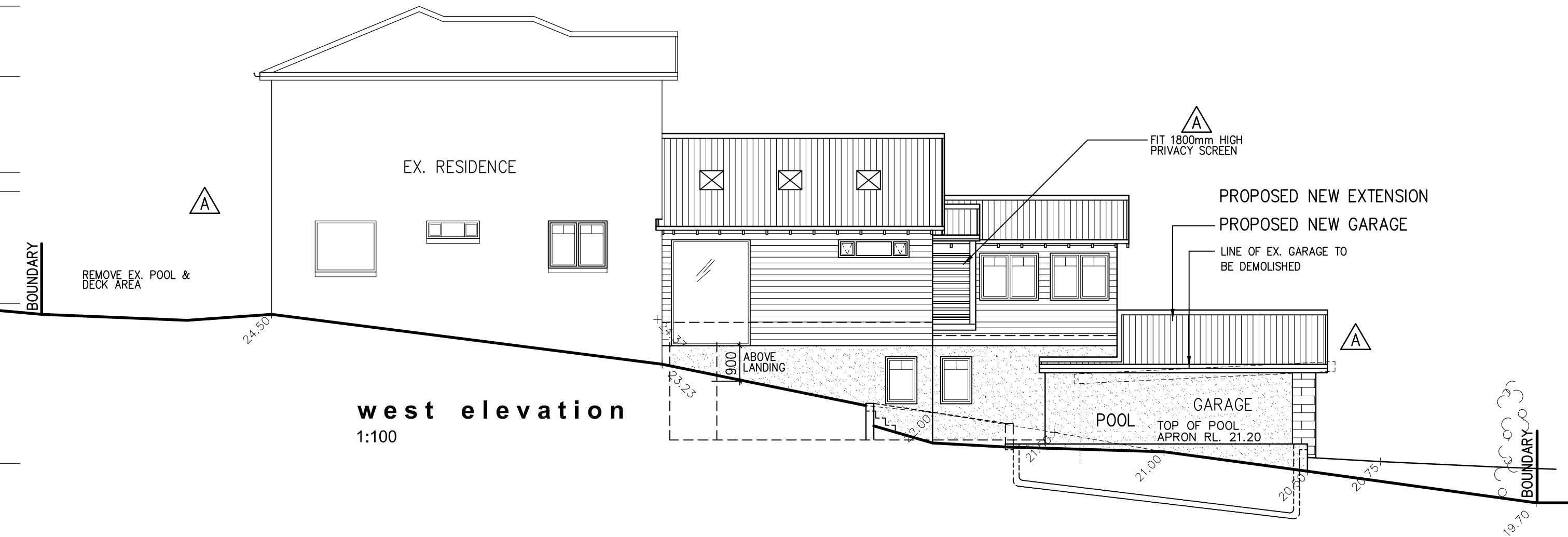
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Alteration & Addition
for
Mr. & Mrs. Perrett
90 Griffiths Street
Fairlight NSW 2094

drawing title.

**WORKING DRAWINGS-
Site- & roof plan, elevations,
sections**

scale. date.

1:100 / 1:200 MAY 2021

Draftperson.

ANNA HENRY
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project no. sheet no. of

A-121 2 2
amendments. **B**

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