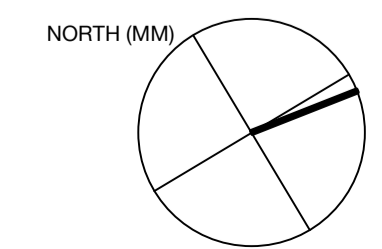



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**MOD2023/0211**

**EATON MOLINA ARCHITECTS**  
 PO Box 849, Manly NSW 1655  
 admin@eatonmolina.com

client  
**BOWER RESIDENCE**  
 address  
**32 Bower Street Manly**

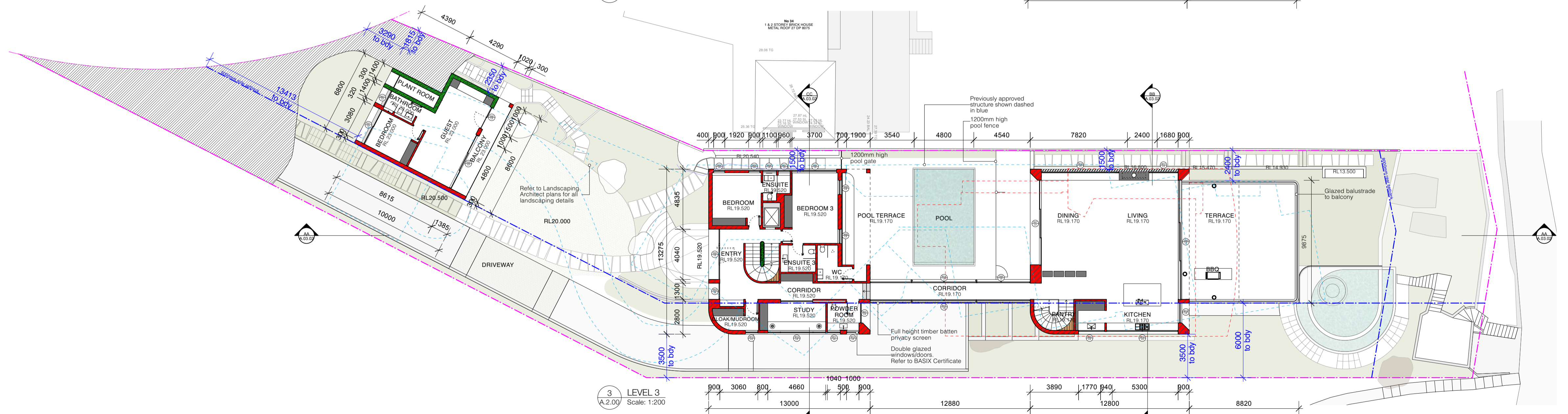
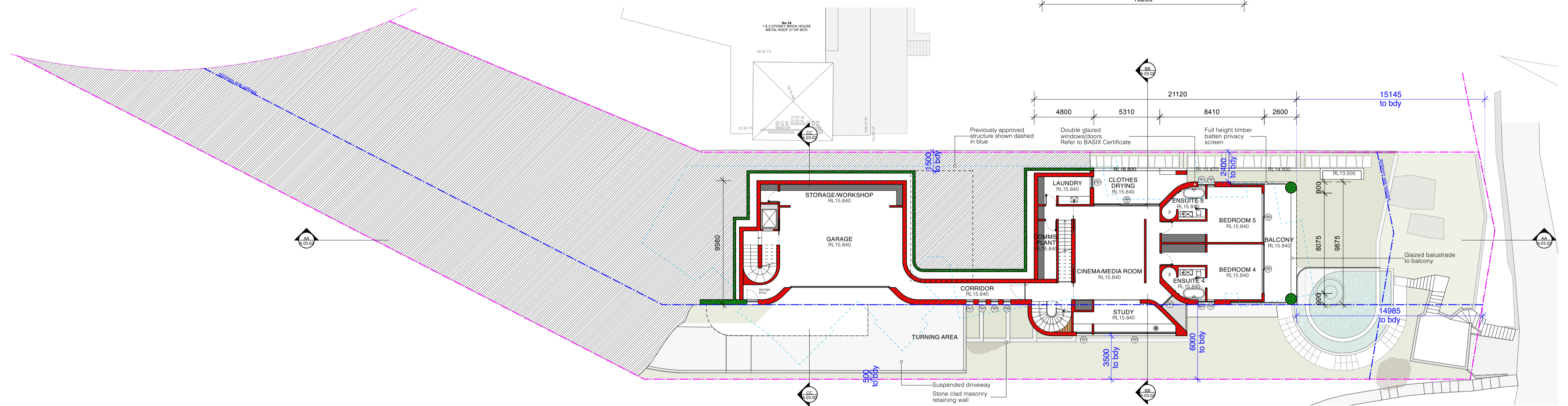
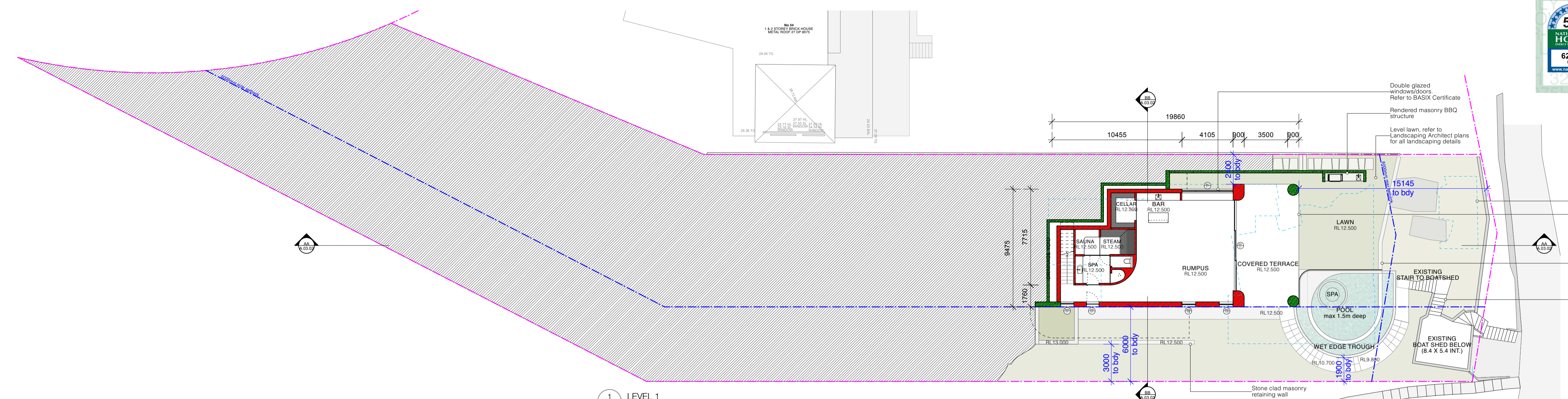


A amendment  
 S4.55 Submission  
 07.03.2023

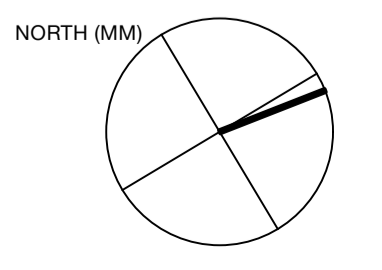
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 scale 0059 drawn by  
 drawing title drawing number  
**GENERAL ARRANGEMENT A.01.01-A**  
**SITE PLAN**

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction.





**northern beaches council**  
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 MOD2023/0211

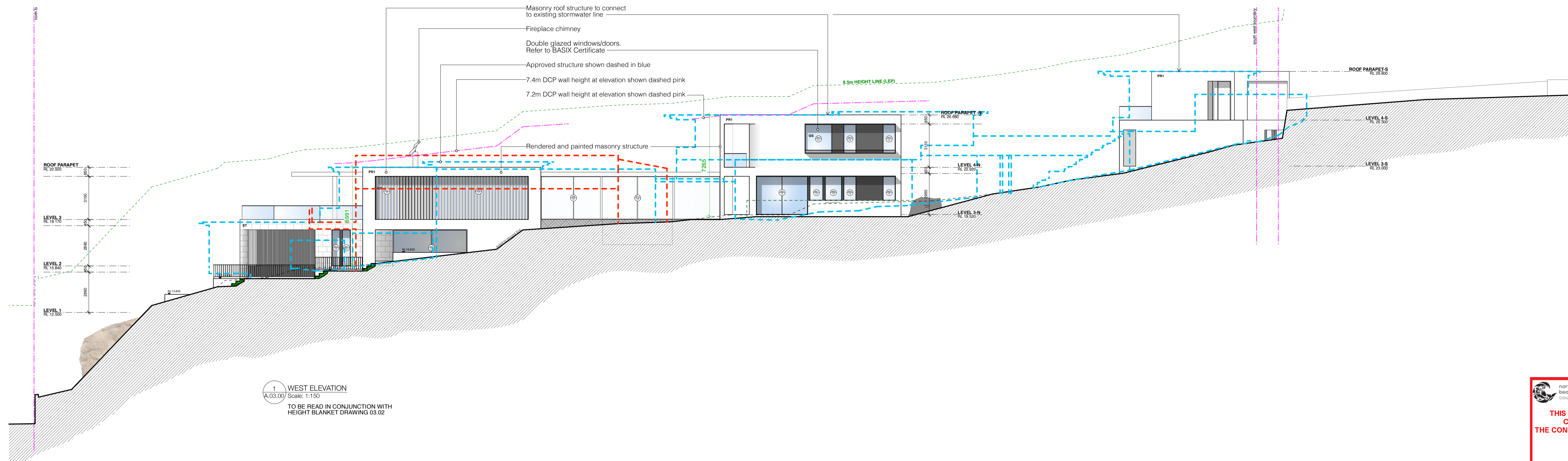


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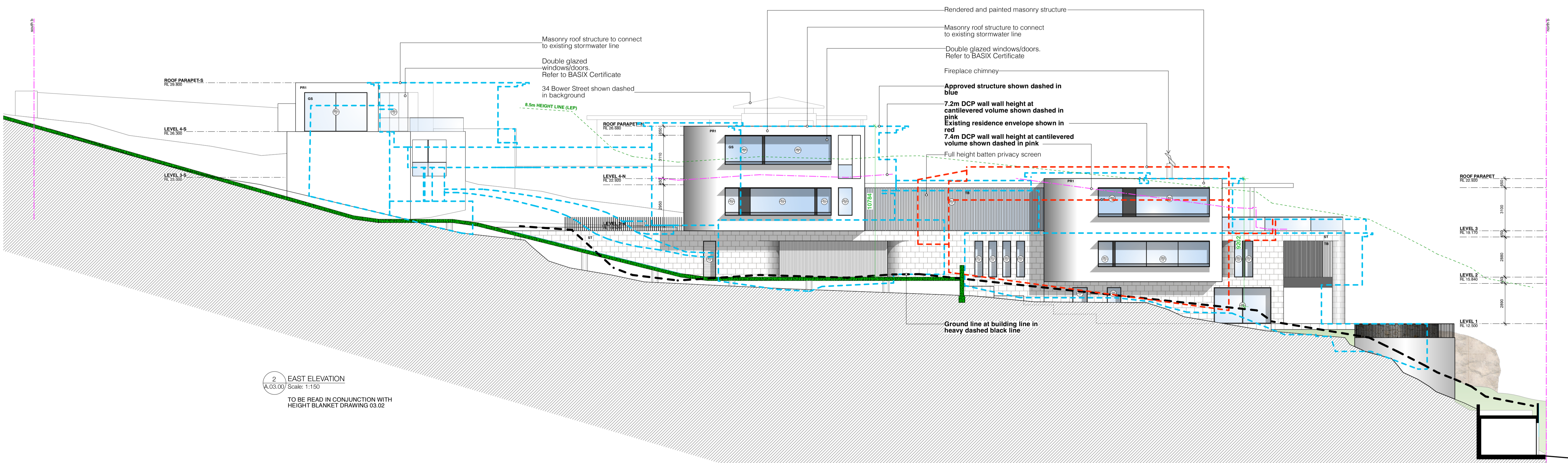


1 WEST ELEVATION  
Scale: 1:150  
TO BE READ IN CONJUNCTION WITH  
HEIGHT BLANKET DRAWING 03.02

northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

MOD2023/0211



2 EAST ELEVATION  
Scale: 1:150  
TO BE READ IN CONJUNCTION WITH  
HEIGHT BLANKET DRAWING 03.02



1:100 @ A1, 1:200 @ A3 project number BB  
scale 0059 drawn by

drawing title drawing number  
GENERAL ARRANGEMENT A.03.00-B  
EAST ELEVATION  
WEST ELEVATION

B S4.55 Submission - Additional Information 06.07.2023  
A S4.55 Submission 07.03.2023  
amendment

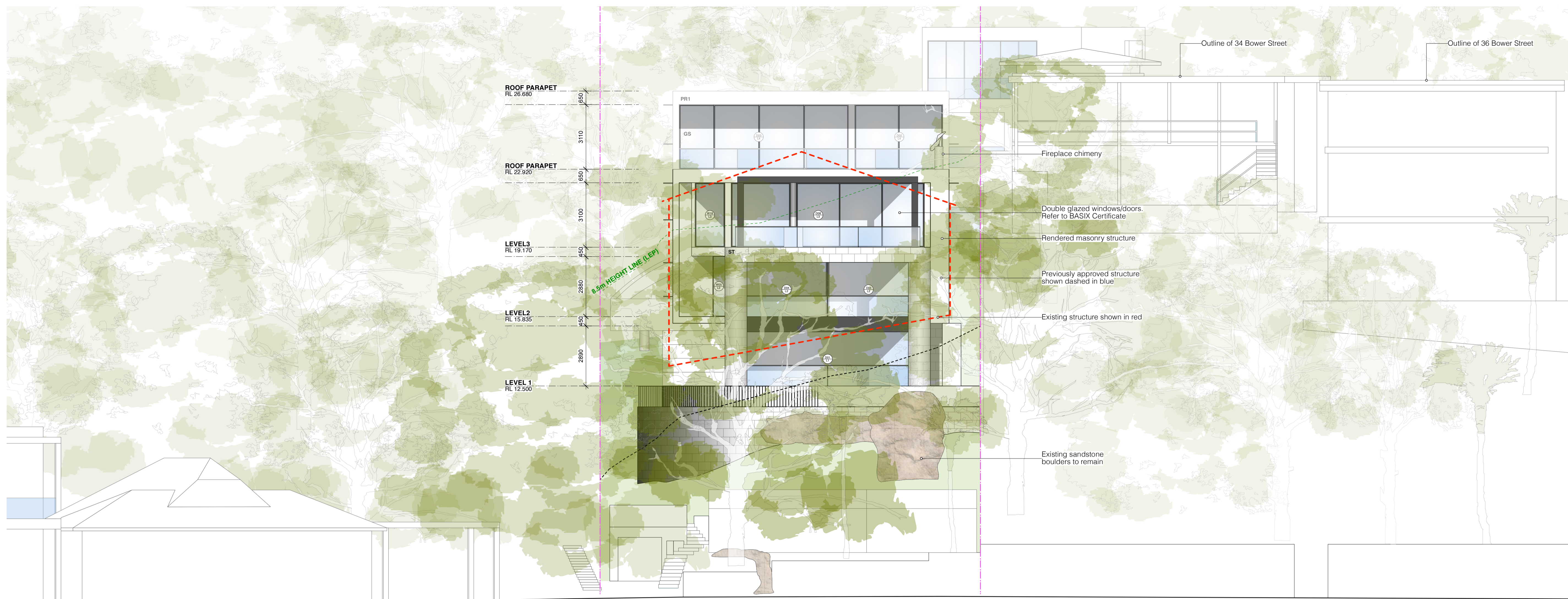
**EATON MOLINA ARCHITECTS**  
PO Box 849, Manly NSW 1555  
admin@eatonmolina.com

client  
**BOWER RESIDENCE**

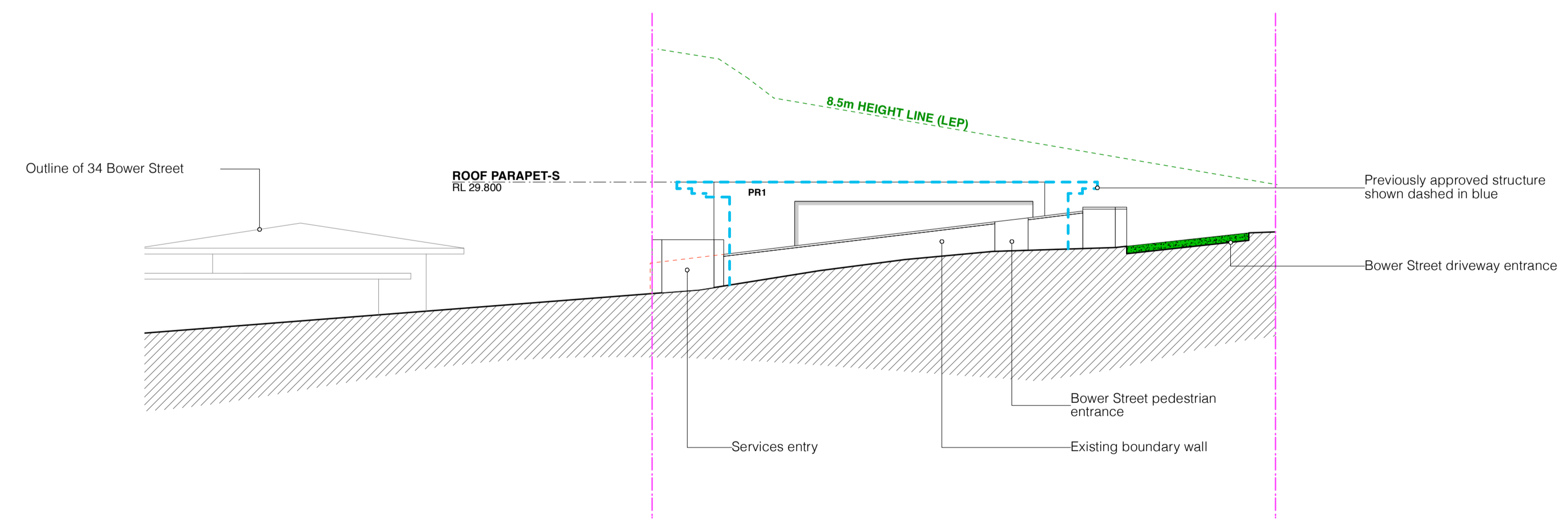
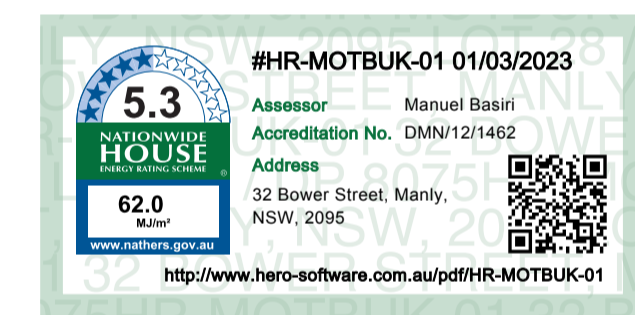
address  
**32 Bower Street Manly**

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1 NORTH ELEVATION (SHELLY BEACH)  
A.03.01 Scale: 1:100



2 SOUTH ELEVATION (BOWER STREET)  
A.03.01 Scale: 1:100

**northern beaches council**  
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MOD2023/0211

**EATON MOLINA ARCHITECTS**  
PO Box 849, Manly NSW 1655  
admin@eatonmolina.com

client  
**BOWER RESIDENCE**  
  
address  
**32 Bower Street Manly**

**LEGEND**

	existing structure to be retained		landscaping - refer to landscape architect's plans
	proposed brickwork structure		earth / ground condition unknown
	proposed lightweight structure		proposed fill / soil
	proposed concrete structure		
	existing structure to be demolished		



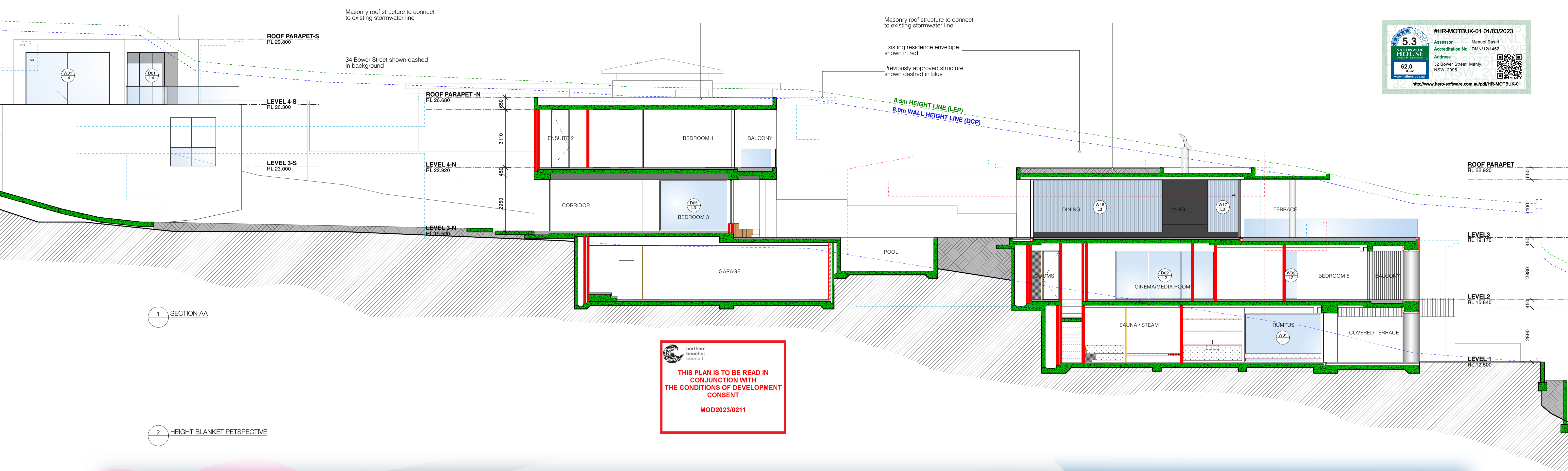
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scale 0059 drawn by

drawing title  
**GENERAL ARRANGEMENT  
NORTH ELEVATION,  
SOUTH ELEVATION**  
drawing number  
**A.03.01-A**

A amendment S4.55 Submission 07.03.2023

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction.

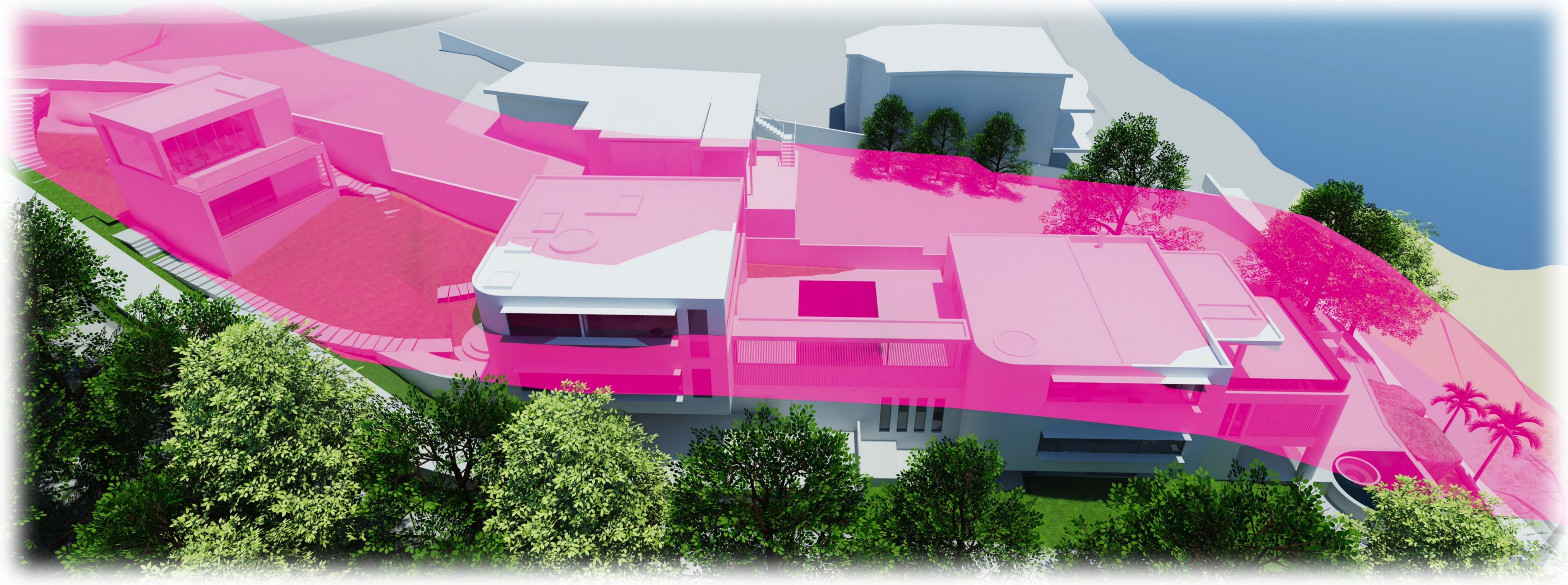




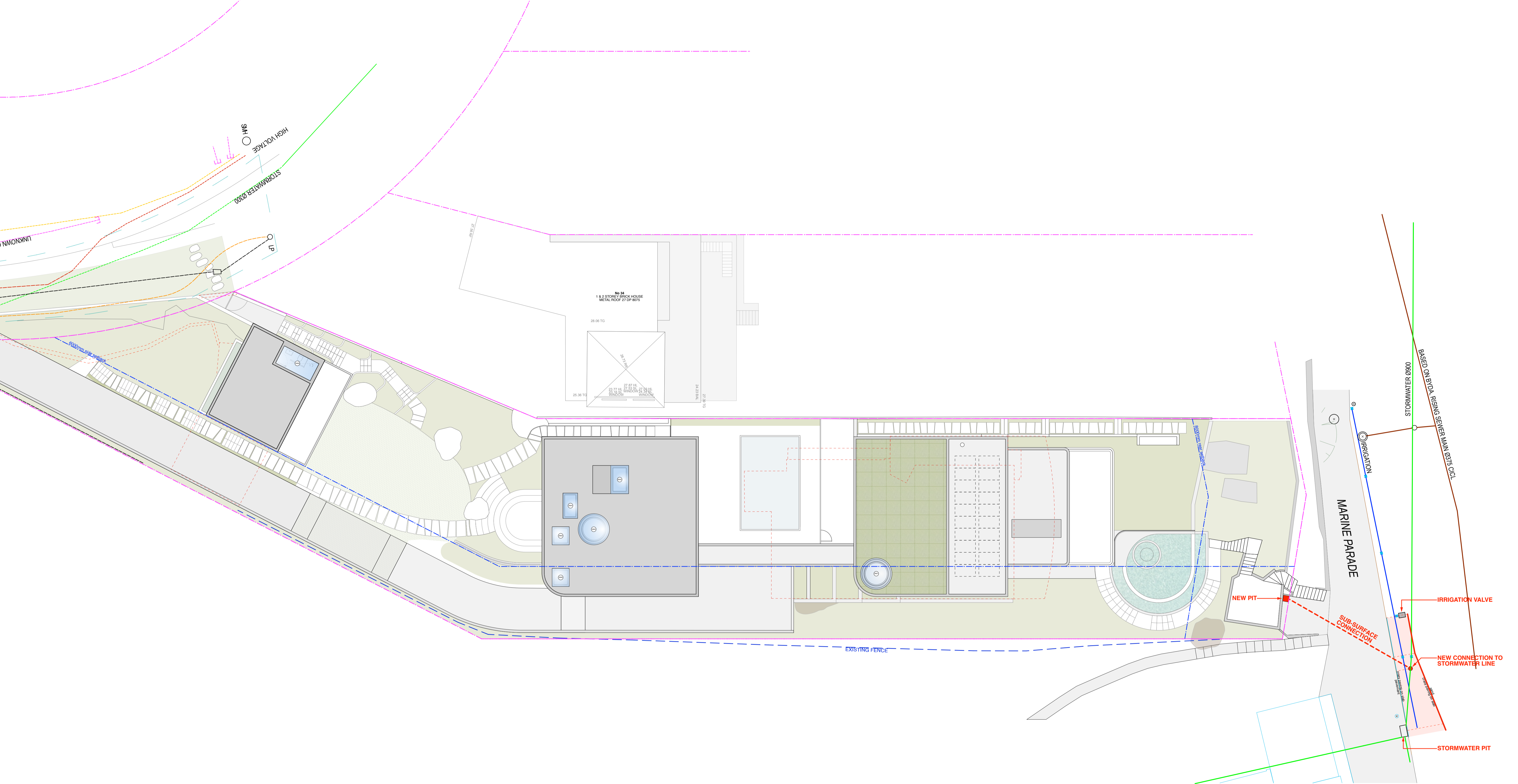
1 SECTION AA


2 HEIGHT BLANKET PERSPECTIVE

northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
 MOD2023/0211



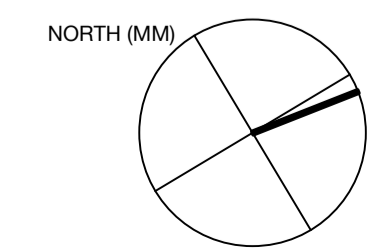





 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
 MOD2023/0211

**EATON MOLINA ARCHITECTS**  
 PO Box 849, Manly NSW 1655  
 admin@eatonmolina.com

client  
**BOWER RESIDENCE**  
 address  
**32 Bower Street Manly**








A amendment  
 S4.55 Submission - additional information  
 25.08.2023

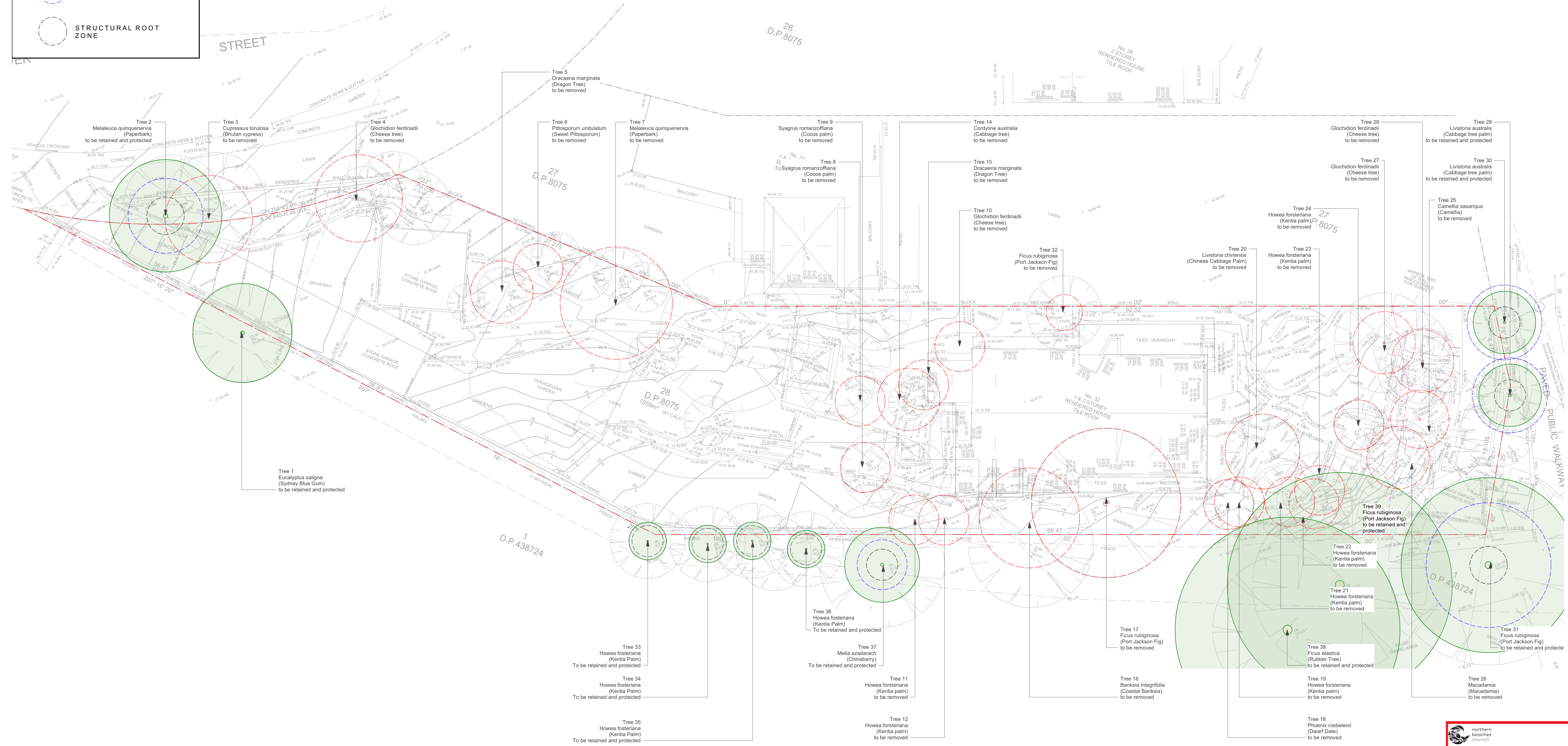
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 drawing title  
**SITE PLAN  
 MARINE PARADE STORMWATER CONNECTION**  
 drawing number  
**A.07.01-A**

All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes, and with Manufacturers' recommendations and instructions. Do not scale from drawings. Verify all dimensions on site prior to construction.



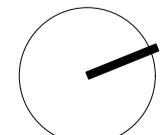
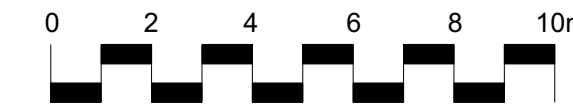
**LEGEND**

-  SITE BOUNDARY
-  TREES TO BE RETAINED
-  TREE TO BE REMOVED
-  TREE PROTECTION ZONE
-  STRUCTURAL ROOT ZONE

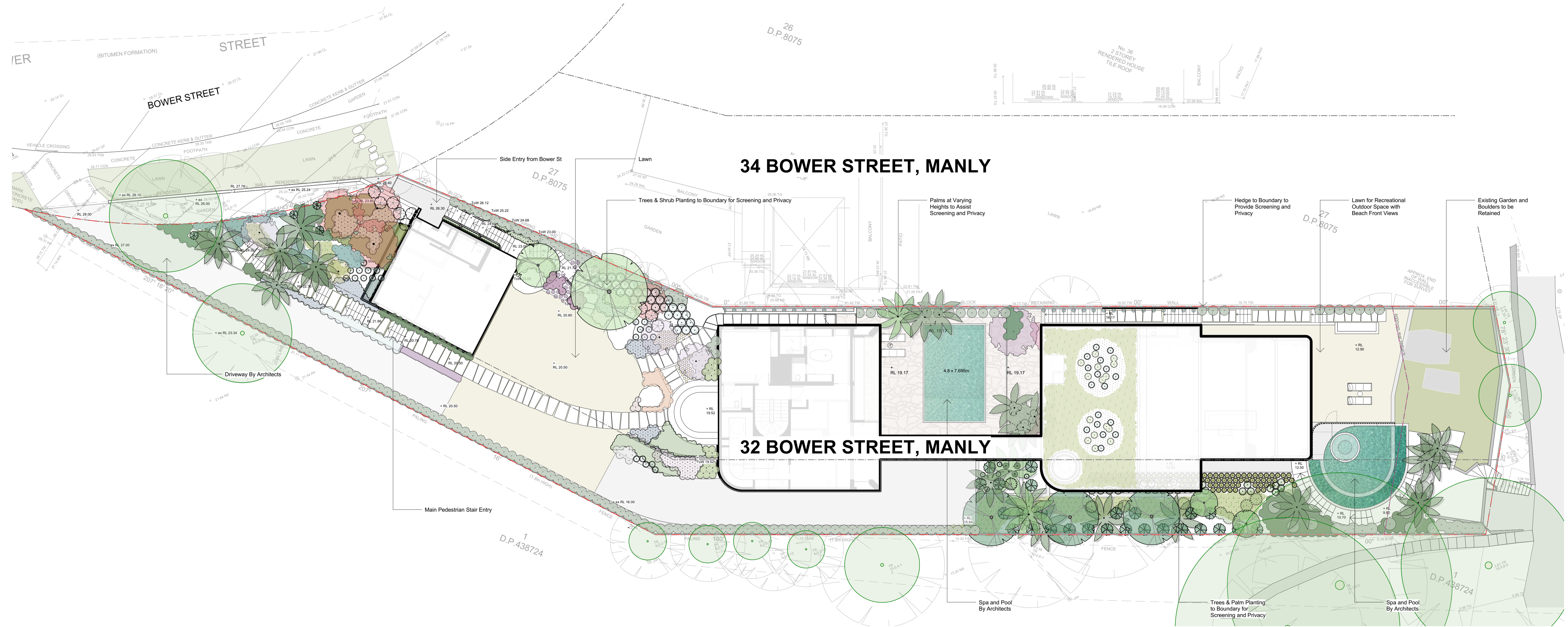


Refer to Arboricultural Impact Assessment Report by Botanics Tree Wise People 28/02/23


**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
MOD2023/0211

<p>S4.55 NOT FOR CONSTRUCTION</p>	Rev	Amendment	Date	By	  <p>1:150</p>	<p><b>IMPORTANT NOTES:</b></p> <p>20/02/2023</p> <p>21/02/2023</p> <p>22/02/2023</p> <p>23/02/2023</p> <p>24/02/2023</p> <p>25/02/2023</p> <p>26/02/2023</p> <p>27/02/2023</p> <p>28/02/2023</p> <p>29/02/2023</p> <p>30/02/2023</p> <p>31/02/2023</p> <p>01/03/2023</p> <p>02/03/2023</p> <p>03/03/2023</p> <p>04/03/2023</p> <p>05/03/2023</p> <p>06/03/2023</p> <p>07/03/2023</p> <p>08/03/2023</p> <p>09/03/2023</p> <p>10/03/2023</p> <p>11/03/2023</p> <p>12/03/2023</p> <p>13/03/2023</p> <p>14/03/2023</p> <p>15/03/2023</p> <p>16/03/2023</p> <p>17/03/2023</p> <p>18/03/2023</p> <p>19/03/2023</p> <p>20/03/2023</p> <p>21/03/2023</p> <p>22/03/2023</p> <p>23/03/2023</p> <p>24/03/2023</p> <p>25/03/2023</p> <p>26/03/2023</p> <p>27/03/2023</p> <p>28/03/2023</p> <p>29/03/2023</p> <p>30/03/2023</p> <p>31/03/2023</p> <p>01/04/2023</p> <p>02/04/2023</p> <p>03/04/2023</p> <p>04/04/2023</p> <p>05/04/2023</p> <p>06/04/2023</p> 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CB</p> <p>DRAWN: DS</p> <p>STAGE: S4.55</p>	<p>DWG. TITLE: Tree Protection and Removal Plan</p> <p>PROJECT: 32 Bower St - Manly</p>	<p>360°</p> <p>Level 1, 1 Mary's Place Surry Hills, 2010</p> <p>P 02 9332 3601 W 360.net.au ABN 90 146 901 322</p> <p>L-S4.55-03</p>
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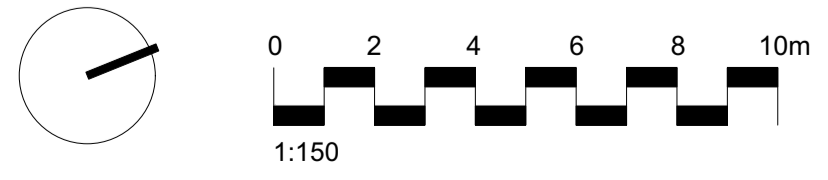


**BOWER STREET RESERVE**


  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
  
 MOD2023/0211

S4.55  
**NOT FOR CONSTRUCTION**

Rev	Amendment	Date	By
A	S4.55 Issue	22/02/23	DS



**IMPORTANT NOTES:**  
 1. All dimensions are in meters.  
 2. All dimensions to be sought to the center of the object unless otherwise stated.  
 3. All dimensions to be sought to the center of the object unless otherwise stated.  
 4. All dimensions to be sought to the center of the object unless otherwise stated.  
 5. All dimensions to be sought to the center of the object unless otherwise stated.  
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 8. All dimensions to be sought to the center of the object unless otherwise stated.  
 9. All dimensions to be sought to the center of the object unless otherwise stated.  
 10. All dimensions to be sought to the center of the object unless otherwise stated.

CLIENT I've Got Time Group	CHECKED CB
ARCHITECT Eaton Molina	DRAWN DS
SCALE 1:150	SIZE A1
STAGE S4.55	

**DWG. TITLE**  
 Landscape Plan - Masterplan

**PROJECT**  
 32 Bower St - Manly

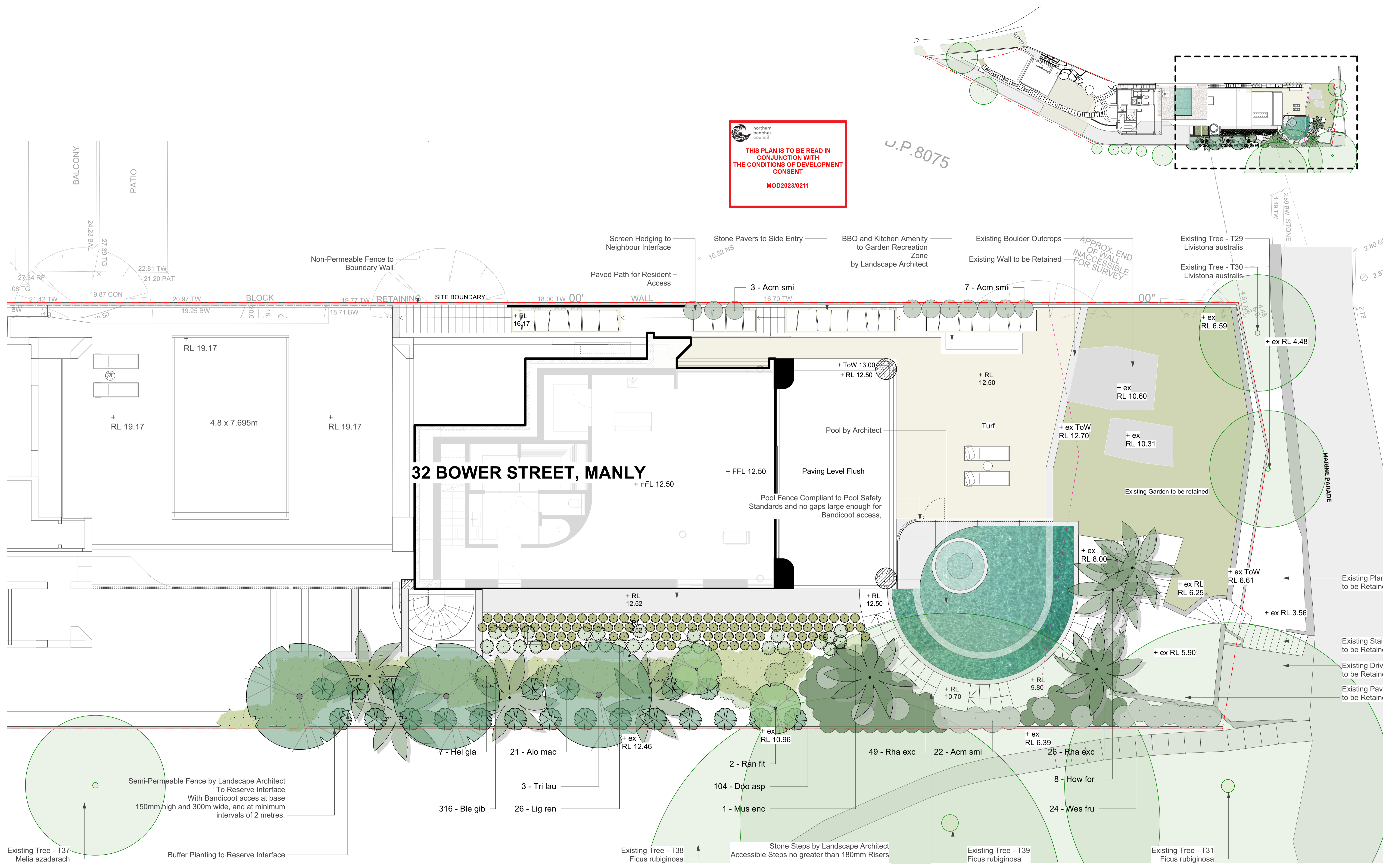

  
 Level 1, 1 Mary's Place  
 Surry Hills, 2010  
 P 02 9332 3601  
 W 360.net.au  
 ABN 90 146 901 322

**L-S4.55-04**



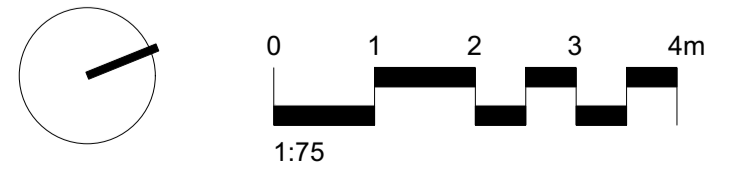
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**MOD2023/0211**

J.P.8075



S4.55  
**NOT FOR CONSTRUCTION**

Rev	Amendment	Date	By
A	S4.55 Issue	22/02/23	DS



**IMPORTANT NOTES:**  
 1. This drawing is for information only.  
 2. All dimensions are to be taken to the center of the object unless otherwise stated.  
 3. All dimensions are in meters unless otherwise stated.  
 4. All work shall be carried out in accordance with the Australian Standard AS/NZS 4586:2012 and all applicable Government Regulations.  
 5. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities.  
 6. The client is responsible for ensuring that the site is suitable for the proposed development.  
 7. The client is responsible for ensuring that the site is suitable for the proposed development.  
 8. The client is responsible for ensuring that the site is suitable for the proposed development.  
 9. The client is responsible for ensuring that the site is suitable for the proposed development.  
 10. The client is responsible for ensuring that the site is suitable for the proposed development.

CLIENT I've Got Time Group	CHECKED CB
ARCHITECT Eaton Molina	DRAWN DS
SCALE 1:75	SIZE A1

**DWG. TITLE**  
**Landscape Plan - Level 1**

**PROJECT**  
**32 Bower St - Manly**

**360°**  
 Level 1, 1 Mary's Place  
 Surry Hills, 2010  
 P 02 9332 3601  
 W 360.net.au  
 ABN 90 146 901 322

**L-S4.55-05**



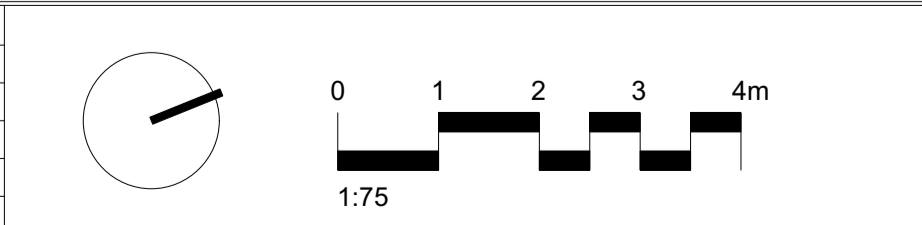






S4.55		NOT FOR CONSTRUCTION	
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Rev	Amendment	Date	By
A	S4.55 Issue	22/02/23	DS



**IMPORTANT NOTES:**  
 1. Do not scale from drawings.  
 2. All dimensions to be sought to the center of the object unless otherwise stated.  
 3. All dimensions to be sought to the center of the object unless otherwise stated.  
 4. All dimensions to be sought to the center of the object unless otherwise stated.  
 5. All dimensions to be sought to the center of the object unless otherwise stated.  
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 9. All dimensions to be sought to the center of the object unless otherwise stated.  
 10. All dimensions to be sought to the center of the object unless otherwise stated.

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ARCHITECT Eaton Molina	DRAWN DS
SCALE 1:75	STAGE S4.55

**DWG. TITLE**  
Landscape Plan - Level 4

**PROJECT**  
32 Bower St - Manly

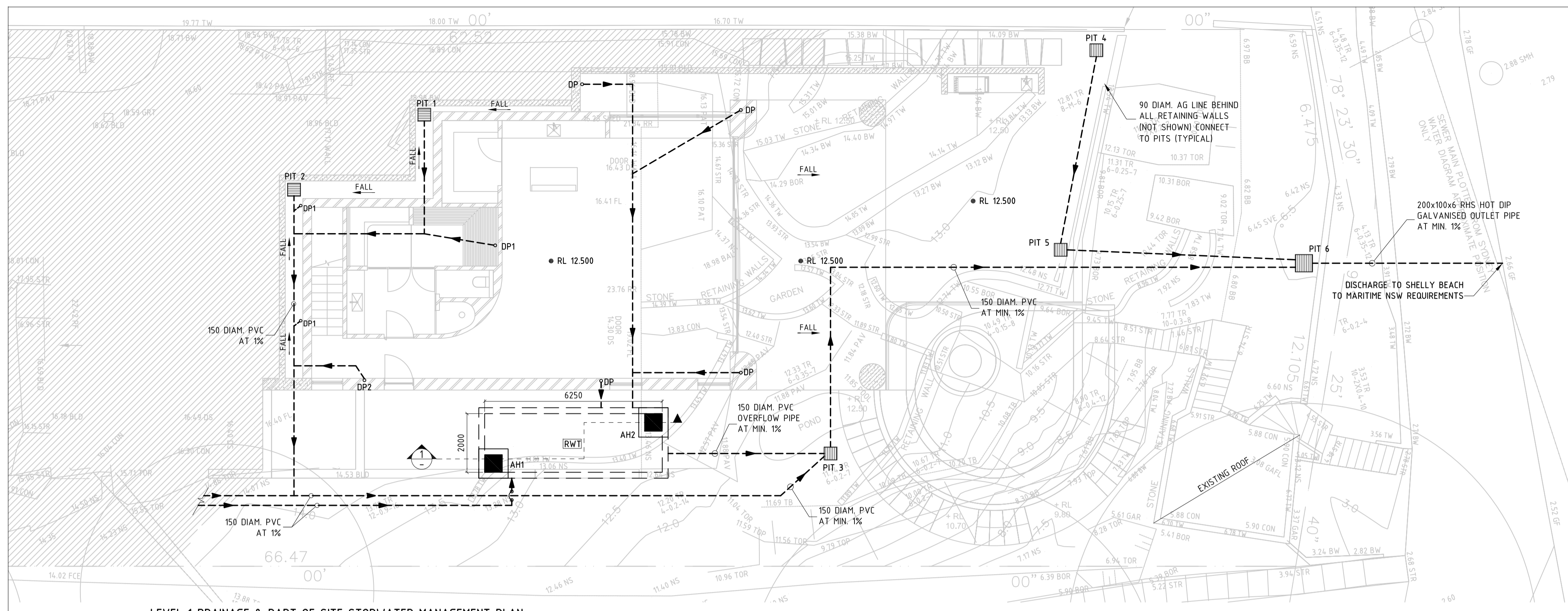
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 Level 1, 1 Mary's Place  
 Surry Hills, 2010  
 P 02 9332 3601  
 W 360.net.au  
 ABN 90 146 901 322

L-S4.55-07

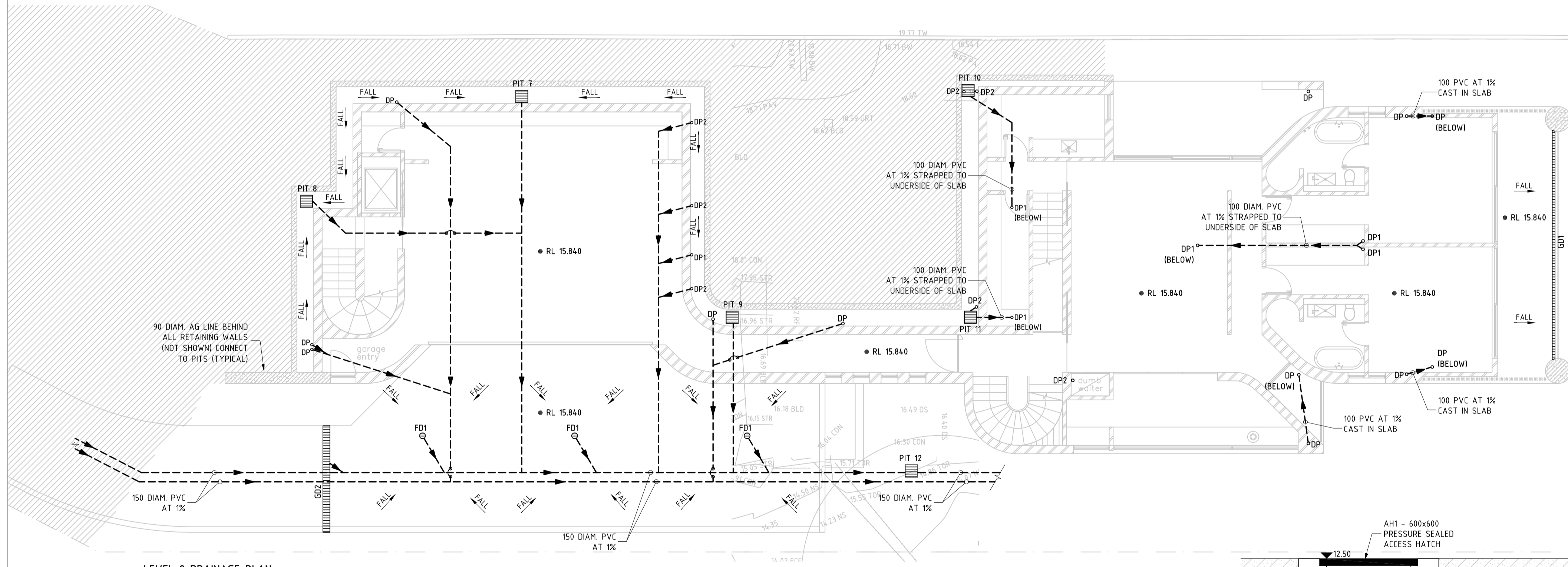








LEVEL 1 DRAINAGE & PART OF SITE STORWATER MANAGEMENT PLAN  
1:100



LEVEL 2 DRAINAGE PLAN  
1:100

MARK	SIZE/TYPE	FSL	INV.
AH1	600x600 PRESSURE SEALED ACCESS HATCH	12.50	-
AH2	600x600 PRESSURE SEALED ACCESS HATCH	12.50	-
PIT 1	450x450 PIT WITH GRATED COVER	12.30	11.90
PIT 2	450x450 PIT WITH GRATED COVER	12.30	11.90
PIT 3	450x450 PIT WITH GRATED COVER	11.75	11.25
PIT 4	450x450 PIT WITH GRATED COVER	12.50	12.10
PIT 5	450x450 PIT WITH GRATED COVER	12.50	12.00
PIT 6	600x600 PIT WITH GRATED COVER	6.50	6.00
PIT 7	450x450 PIT WITH GRATED COVER	15.64	15.24
PIT 8	450x450 PIT WITH GRATED COVER	15.64	15.24
PIT 9	450x450 PIT WITH GRATED COVER	15.64	15.24
PIT 10	450x450 PIT WITH GRATED COVER	15.64	15.24
PIT 11	450x450 PIT WITH GRATED COVER	15.64	15.24
PIT 12	450x450 PIT WITH GRATED COVER	14.80	14.30
DP	100 DIAMETER PVC DOWNPIPE (ROOF ONLY)	-	-
DP1	100 DIAMETER PVC DOWNPIPE (TERRACE/BALCONY)	-	-
DP2	100 DIAMETER PVC DOWNPIPE (PLANTER)	-	-
FD1	200 DIAMETER FLOOR DRAIN (TERRACE/BALCONY)	-	-
GD1	STORMTECH 100MM FLOOR DRAIN TO ARCH DETAIL	-	-
GD2	100 DEEP x 250 WIDE GRATED DRAIN	-	-
INV	- INVERT	-	-
RWT	11250 LITRE BELOW GROUND RAINWATER RE-USE TANK (6250Lx2000Wx900D). TANK TO COLLECT ROOF RAINWATER RUNOFF AS SHOWN & BE USED FOR LAUNDRIES & BE CONNECTED TO ONE OUTDOOR TAP & ONE TAP WITHIN 10 METRES OF THE EDGE OF THE POOL IN THE DEVELOPMENT. TANK TO BE FITTED WITH FIRST FLUSH DEVICE & WATER FILTRATION DEVICES & INSTALLED IN ACCORDANCE WITH ASS3500, BASIX & SYDNEY WATER REQUIREMENTS.	-	-

NOTE:  
- ALL PIPES UNDER SUSPENDED FLOOR TO BE STRAPPED TO UNDERSIDE OF FLOOR STRUCTURE AT MIN. 1% U.O.

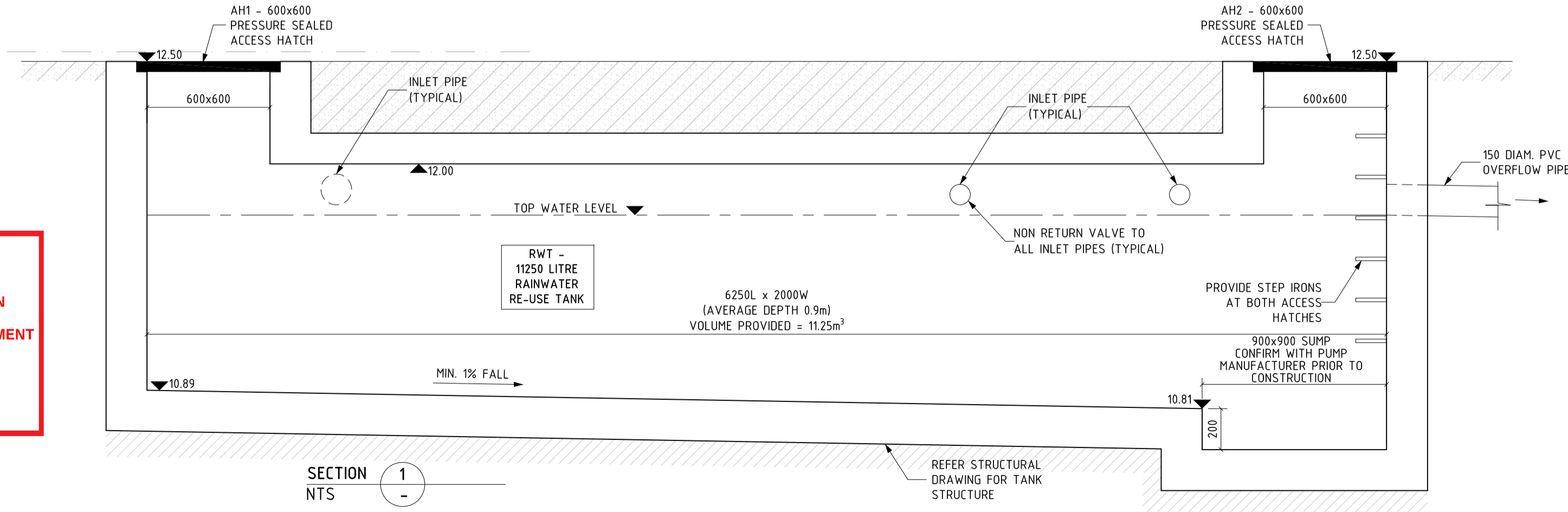
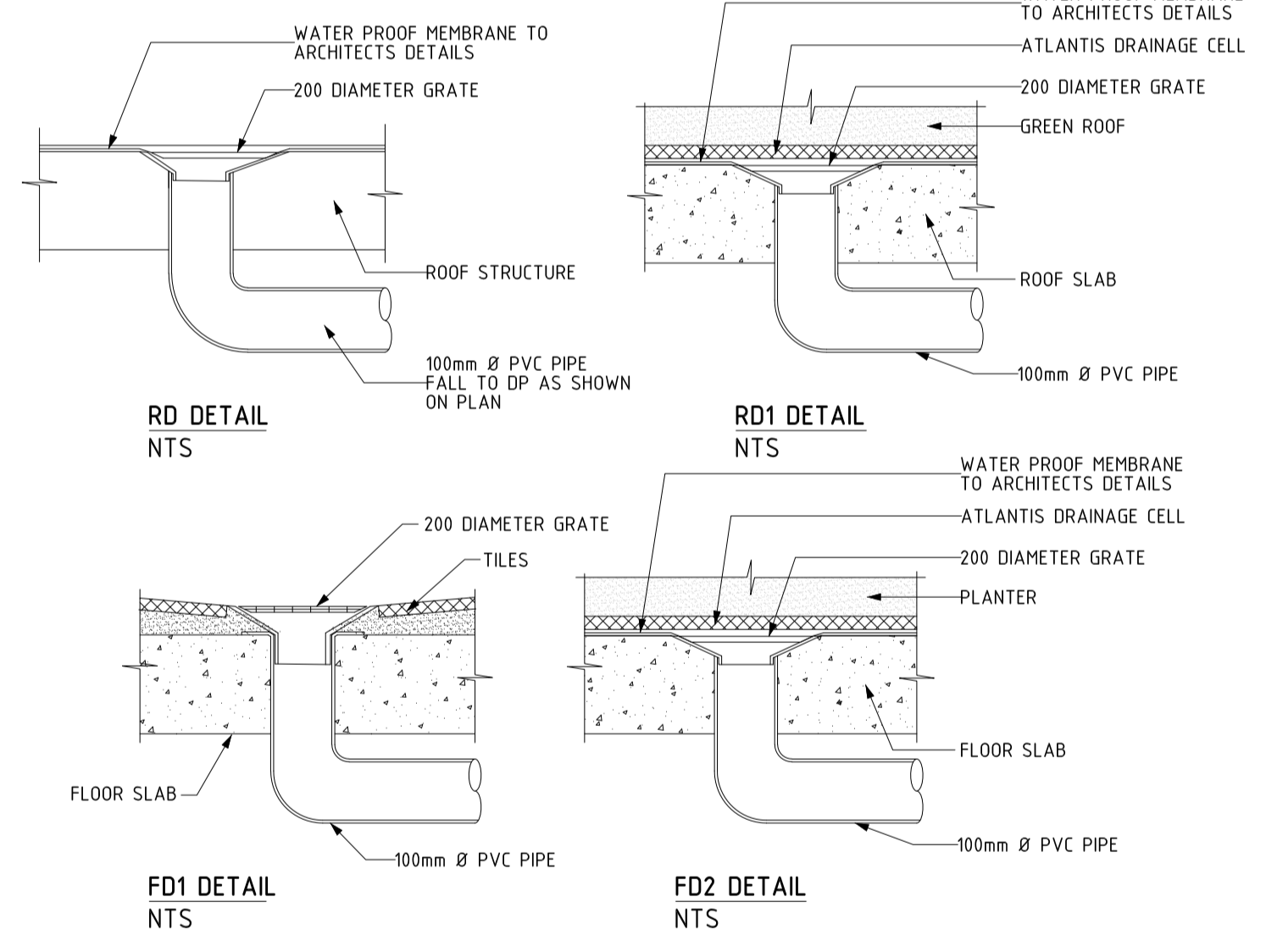
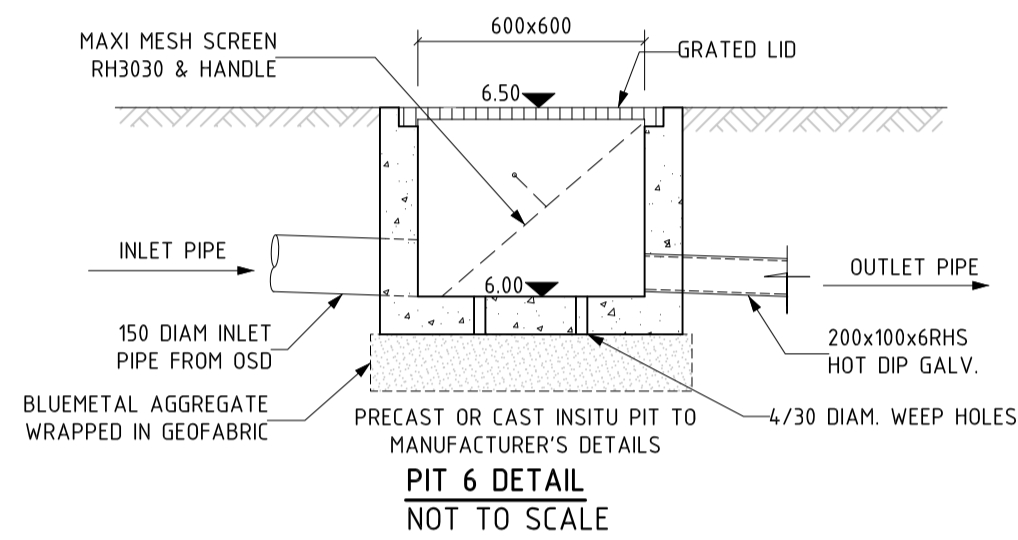
- STORMWATER NOTES:**
1. ALL PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
  2. ALL PIPES TO BE uPVC UNLESS NOTED OTHERWISE.
  3. ALL PIPES TO BE LAID AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE.
  4. ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS. (NO COMPACTION REQUIRED BELOW LANDSCAPING) COVER TO SURFACE FROM TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN. TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.
  5. ALL PIPES SHOWN ON PLAN ARE SHOWN INDICATIVELY ONLY & MINIMUM CLEARANCES FROM THE EXTERNAL WALLS OF BUILDINGS, FOR THE EXCAVATION OF TRENCHES, ARE TO BE PROVIDED IN ACCORDANCE WITH ASS3500.
  6. ALL DOWN PIPES TO BE 90mm Ø UNLESS NOTED OTHERWISE.
  7. DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
  8. PROVIDE CLEANING EYES AT ALL DOWNPIPES U.O.
  9. ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
  10. ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
  11. ALL LEVELS SHOWN ARE TO AHD.
  12. ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
  13. EXCAVATION OF TRENCHES ADJACENT TO TREES TO BE CARRIED OUT USING HAND TOOLS ONLY.
  14. ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.
  15. ALL WORKS TO BE IN ACCORDANCE WITH ASS 3500.
  16. THE FOLLOWING ABBREVIATION DENOTES:  
FSL - FINISHED SURFACE LEVEL  
INV - INVERT
  17. PROVIDE FALLS IN SURFACES TO ALL PITS, GRATED DRAINS & FLOOR DRAINS IN ACCORDANCE WITH ASS3500 & ARCHITECT'S DETAILS.


• RL 12.500 DENOTES EXISTING LEVELS  
• RL 12.500 DENOTES PROPOSED LEVELS

**CALCULATIONS**

SITE AREA: 1859.0m<sup>2</sup>  
PRE DEVELOPMENT IMPERVIOUS AREA: 762.7m<sup>2</sup>  
POST DEVELOPMENT IMPERVIOUS AREA: 1089.7m<sup>2</sup>  
INCREASE IN IMPERVIOUS AREA: 327.0m<sup>2</sup>

ACCORDING TO PRE DA LODGEMENT MEETING WITH NORTHERN BEACHES COUNCIL, OSD & WSUD IS NOT REQUIRED.



 northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
 MOD2023/0211

**ISTRUCT** CONSULTING ENGINEERS

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w: www.istruct.com.au

REV.	DATE	REVISION DESCRIPTION	BY	REV.	DATE	REVISION DESCRIPTION	BY
A	20.02.23	ISSUE FOR S4.55 SUBMISSION ONLY	DI				

ARCHITECT  
**EATON MOLINA ARCHITECTS**

CLIENT  
**THE I'VE GOT TIME GROUP**

STATUS: **ISSUE FOR S4.55 SUBMISSION ONLY**

PROJECT: **32 BOWER ST, MANLY**

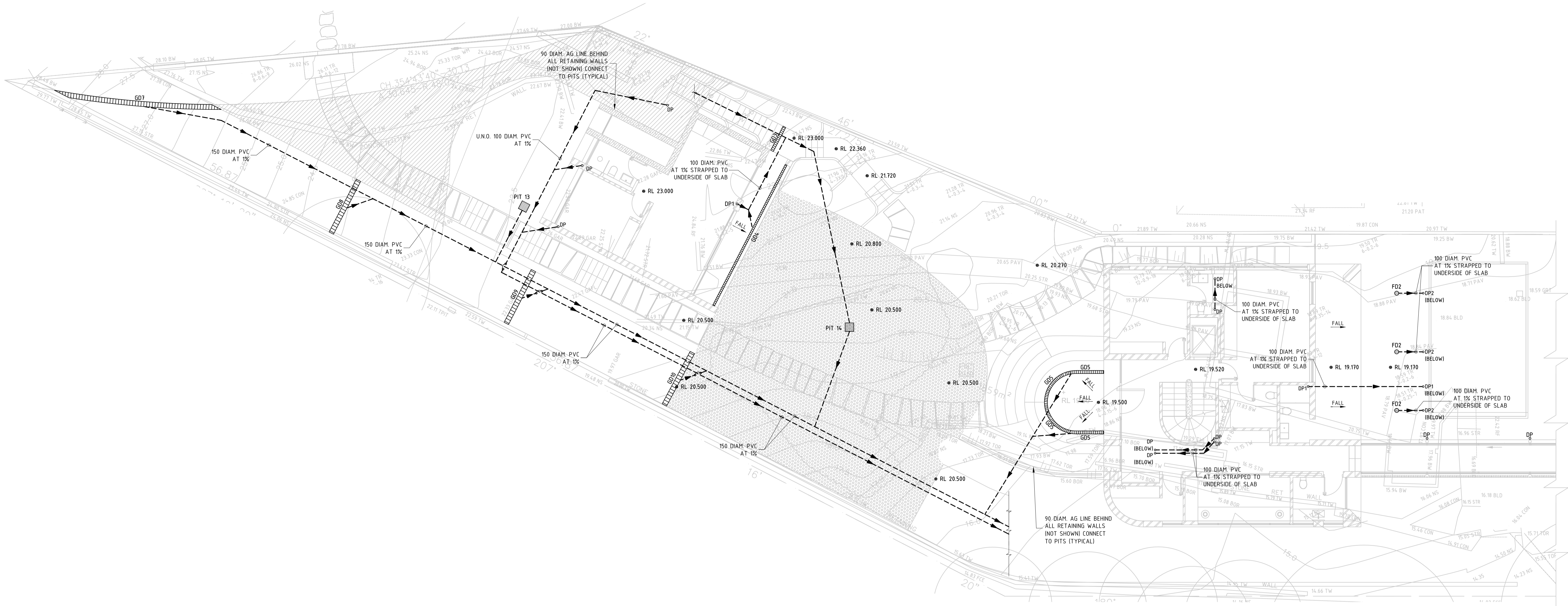
DRAWING: **STORMWATER MANAGEMENT PLAN 1**

DATE: **FEB 2023**

PROJECT NUMBER: **221102**

DRAWING NUMBER: **D01**

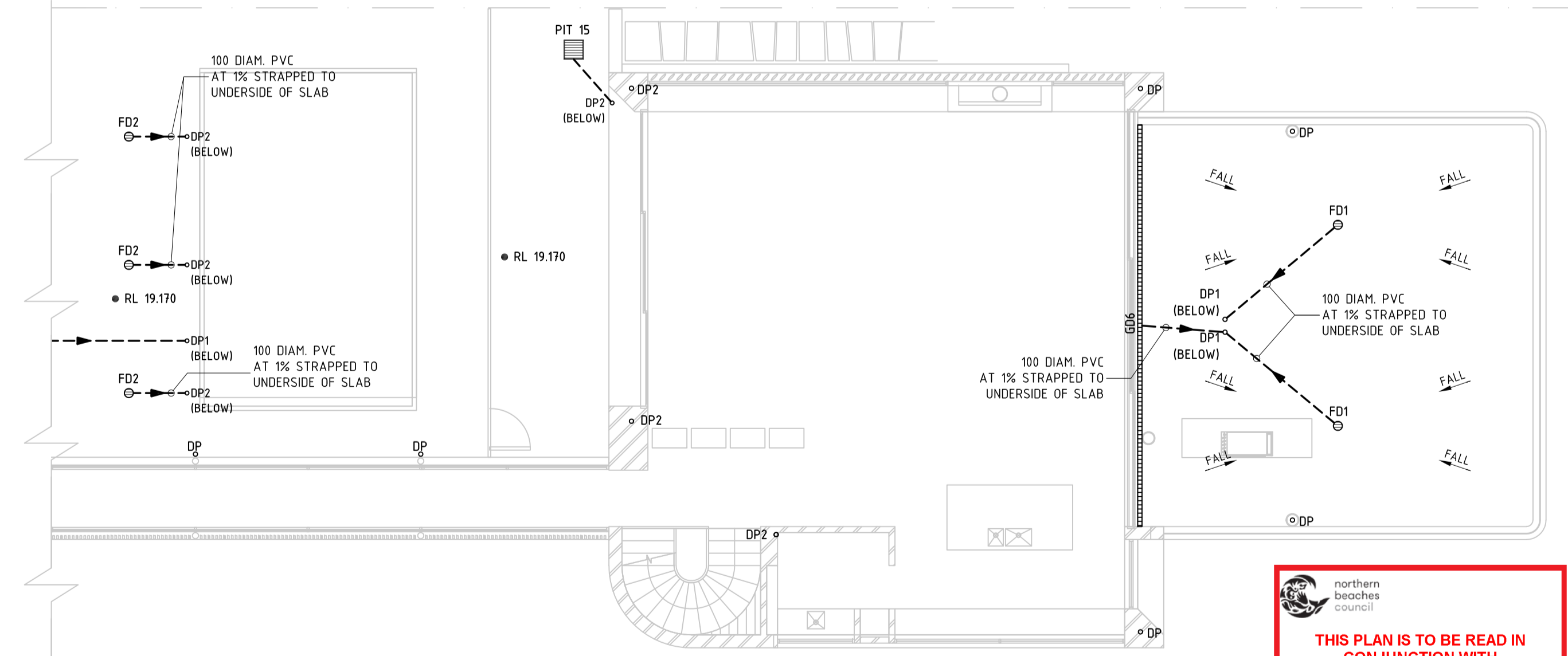




**LEVEL 3 DRAINAGE & PART OF SITE STORWATER MANAGEMENT PLAN**  
1:100

MARK	SIZE/TYPE	FSL	INV.
PIT 13	450x450 PIT WITH GRATED COVER	22.48	21.98
		COS	COS
PIT 14	450x450 PIT WITH GRATED COVER	20.50	20.00
		COS	COS
PIT 15	450x450 PIT WITH GRATED COVER	19.17	18.67
		COS	COS
DP	100 DIAMETER PVC DOWNPIPE (ROOF ONLY)	-	-
DP1	100 DIAMETER PVC DOWNPIPE (TERRACE/BALCONY)	-	-
DP2	100 DIAMETER PVC DOWNPIPE (PLANTER)	-	-
FD1	200 DIAMETER FLOOR DRAIN (TERRACE/BALCONY)	-	-
FD2	200 DIAMETER FLOOR DRAIN (PLANTER ONLY)	-	-
GD3	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-
GD4	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-
GD5	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-
GD6	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-
GD7	100 DEEP x 250 WIDE GRATED DRAIN	-	-
GD8	100 DEEP x 250 WIDE GRATED DRAIN	-	-
GD9	100 DEEP x 250 WIDE GRATED DRAIN	-	-
GD10	100 DEEP x 250 WIDE GRATED DRAIN	-	-

**NOTE:**  
- ALL PIPES UNDER SUSPENDED FLOOR TO BE STRAPPED TO UNDERSIDE OF FLOOR STRUCTURE AT MIN. 1% U.N.O.



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
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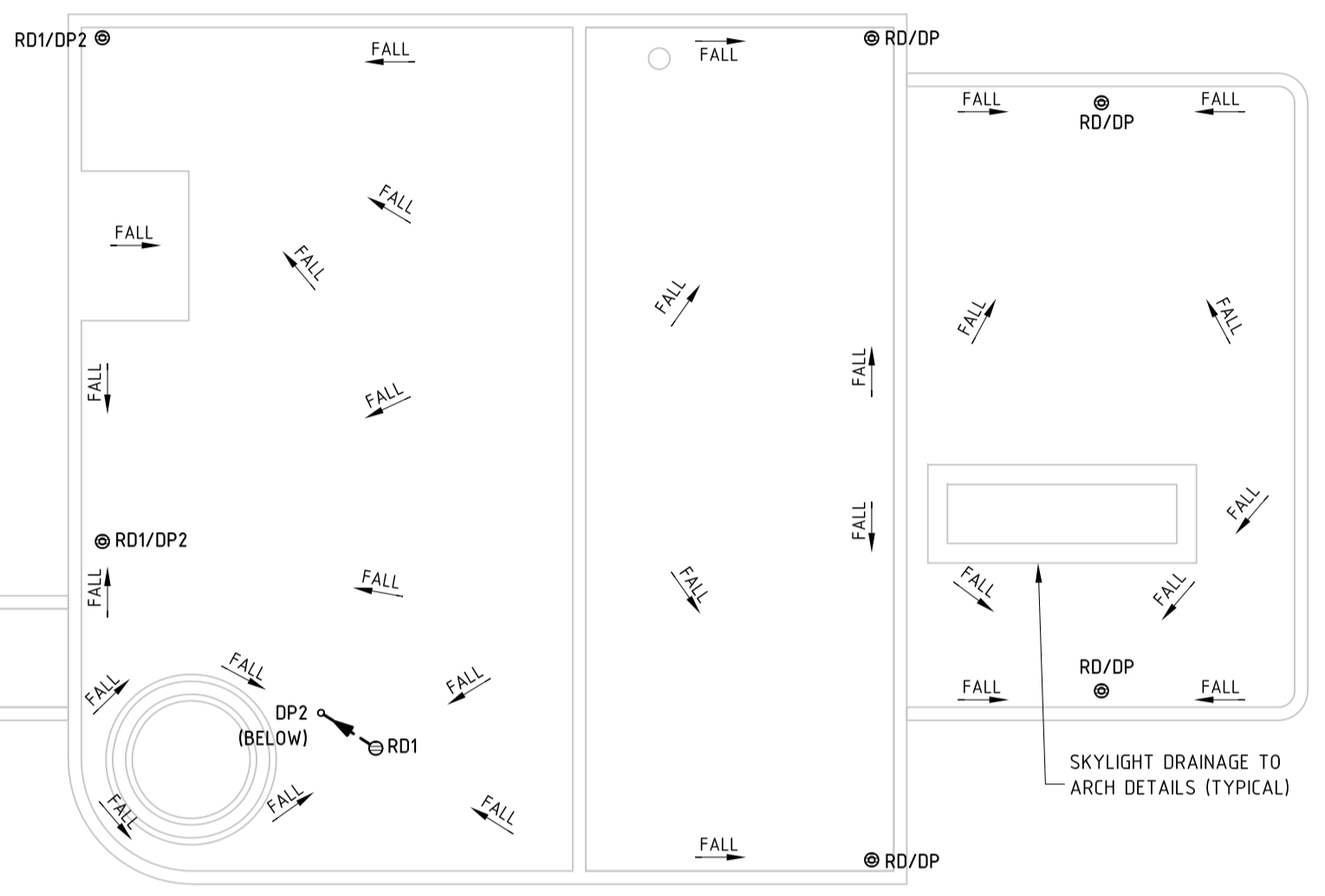
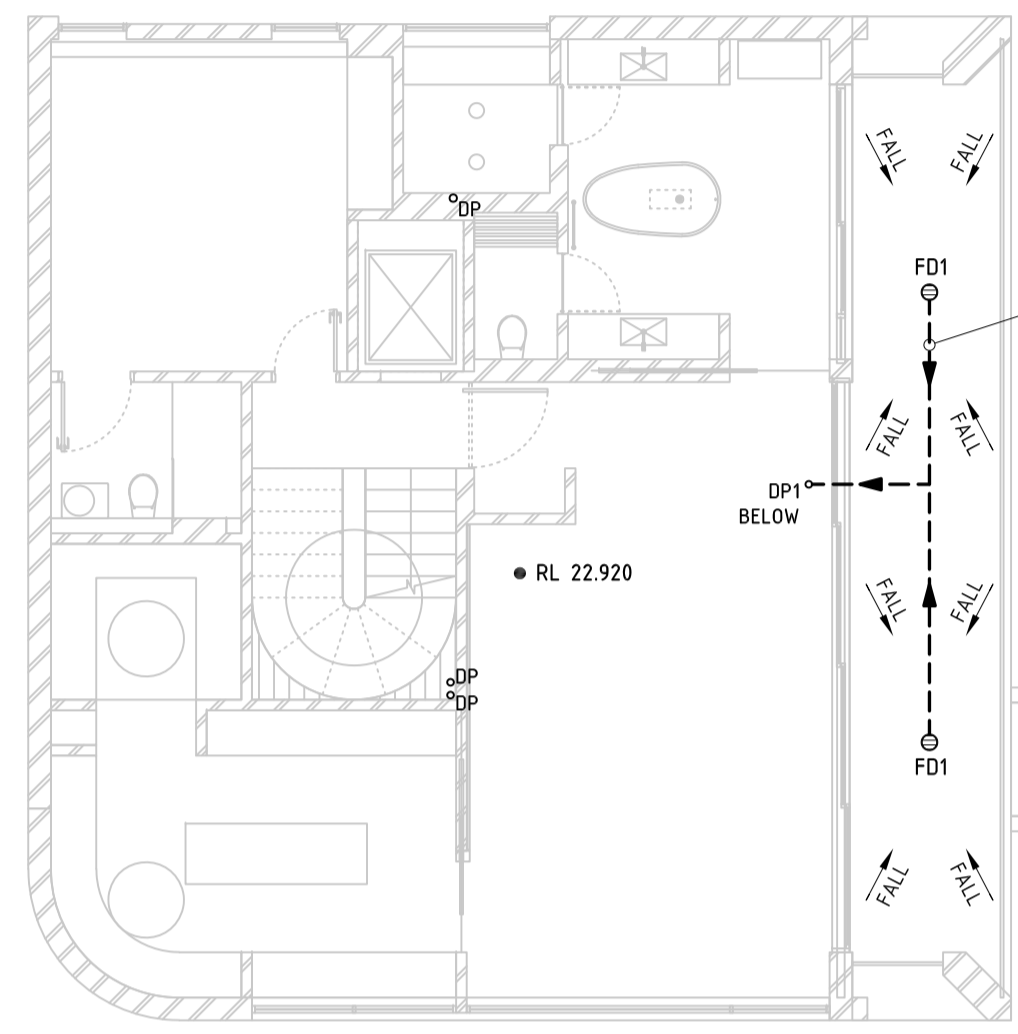
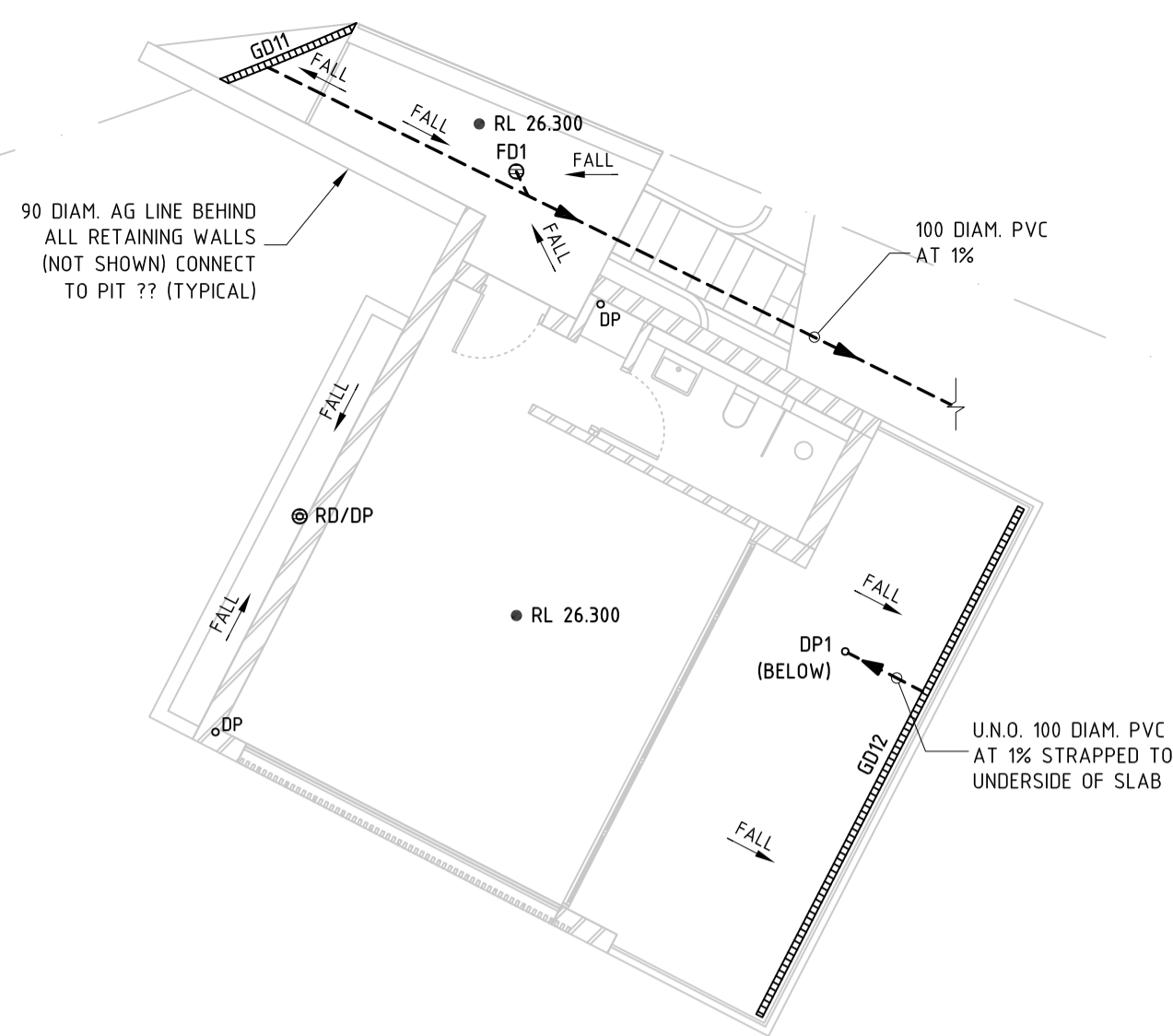
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ARCHITECT	EATON MOLINA ARCHITECTS
CLIENT	THE I'VE GOT TIME GROUP

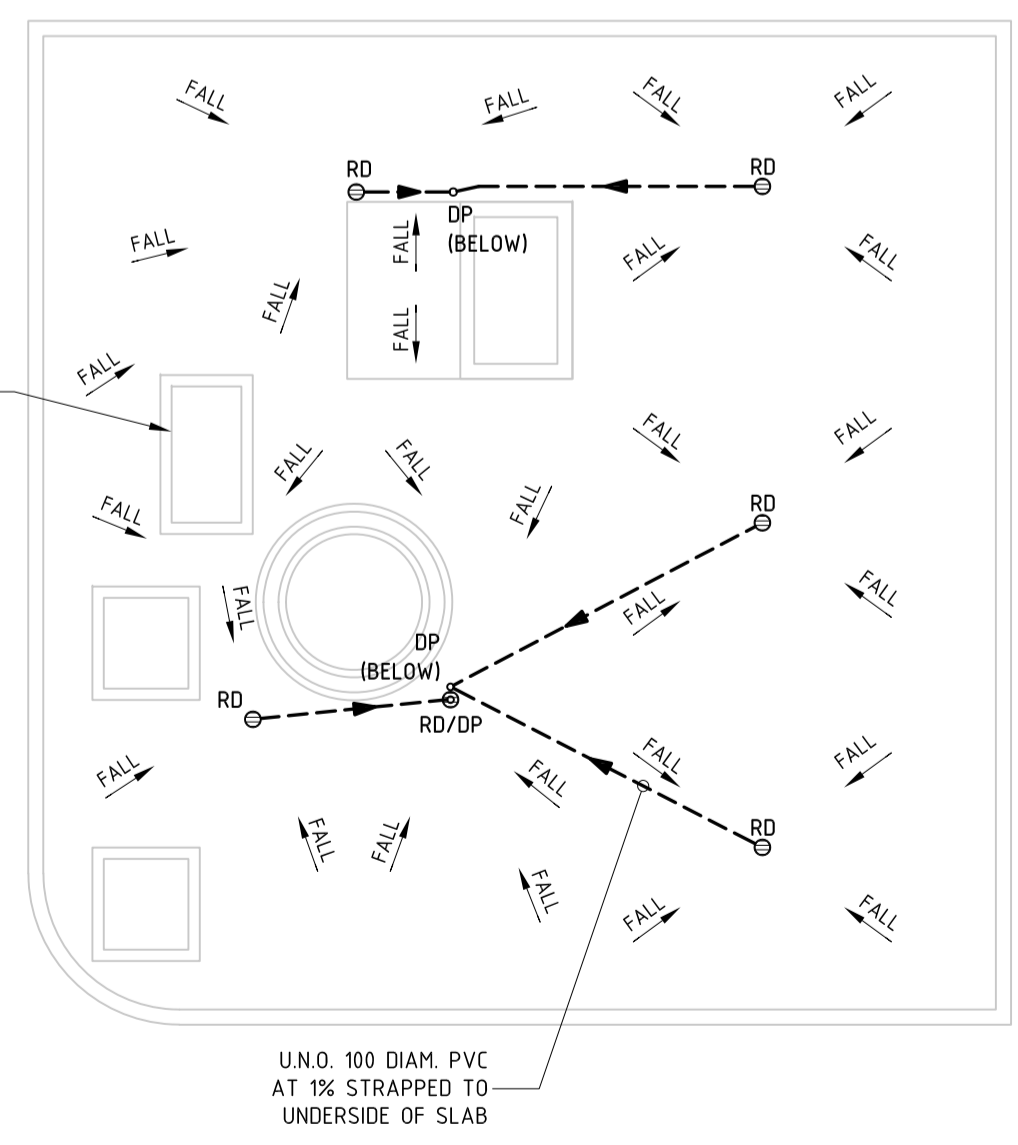
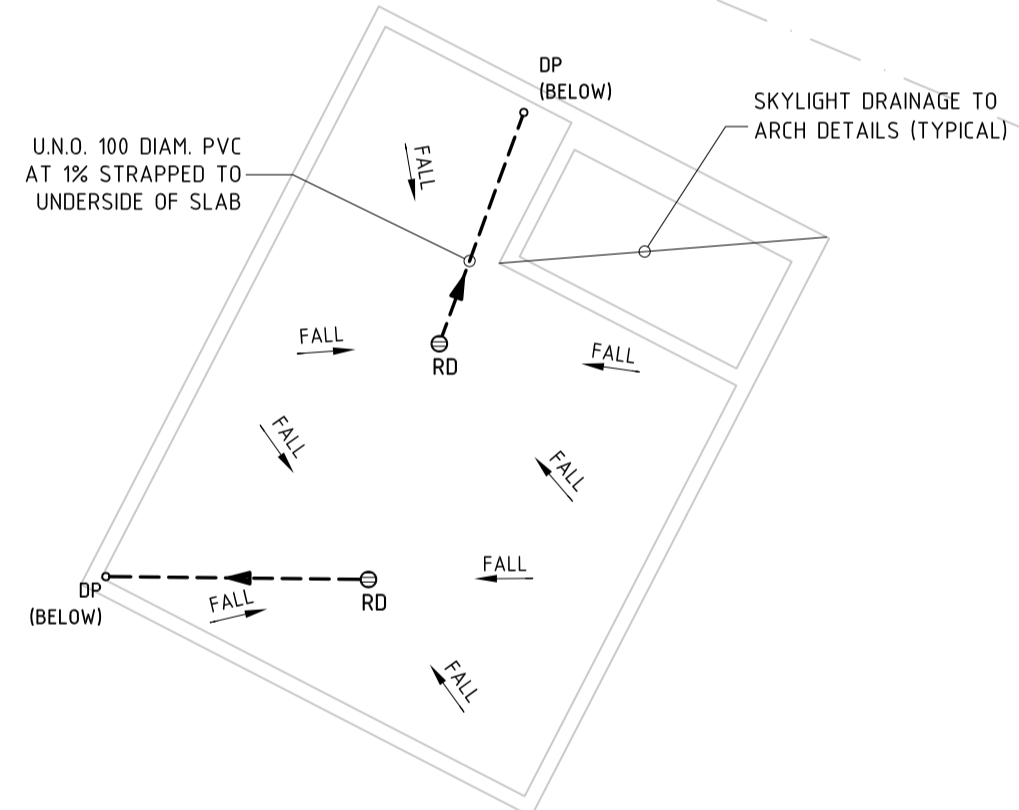
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PROJECT	32 BOWER ST, MANLY	PROJECT NUMBER	221102
DESIGNED	JD	SCALE	1:100
DRAWN	JD	PAGE SIZE	A1
CHECKED	DI	REVISION	A
		DRAWING NUMBER	D02



MARK	SIZE/TYPE	FSL	INV.
DP	100 DIAMETER PVC DOWNPIPE (ROOF ONLY)	-	-
DP1	100 DIAMETER PVC DOWNPIPE (TERRACE/BALCONY)	-	-
DP2	100 DIAMETER PVC DOWNPIPE (PLANTER ONLY)	-	-
RD	200 DIAMETER ROOF DRAIN (ROOF ONLY)	-	-
RD1	200 DIAMETER ROOF DRAIN (PLANTER ONLY)	-	-
FD1	200 DIAMETER FLOOR DRAIN (TERRACE/BALCONY)	-	-
GD11	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-
GD12	STORMTECH 100ARI FLOOR DRAIN TO ARCH DETAIL	-	-



LEVEL 4 & LOWER ROOF DRAINAGE PLAN  
1:100



UPPER ROOF DRAINAGE PLAN  
1:100

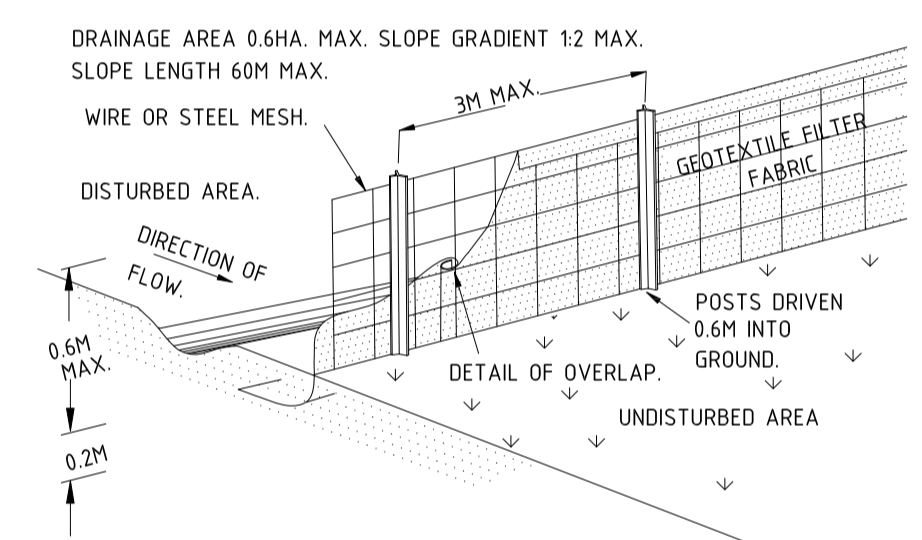
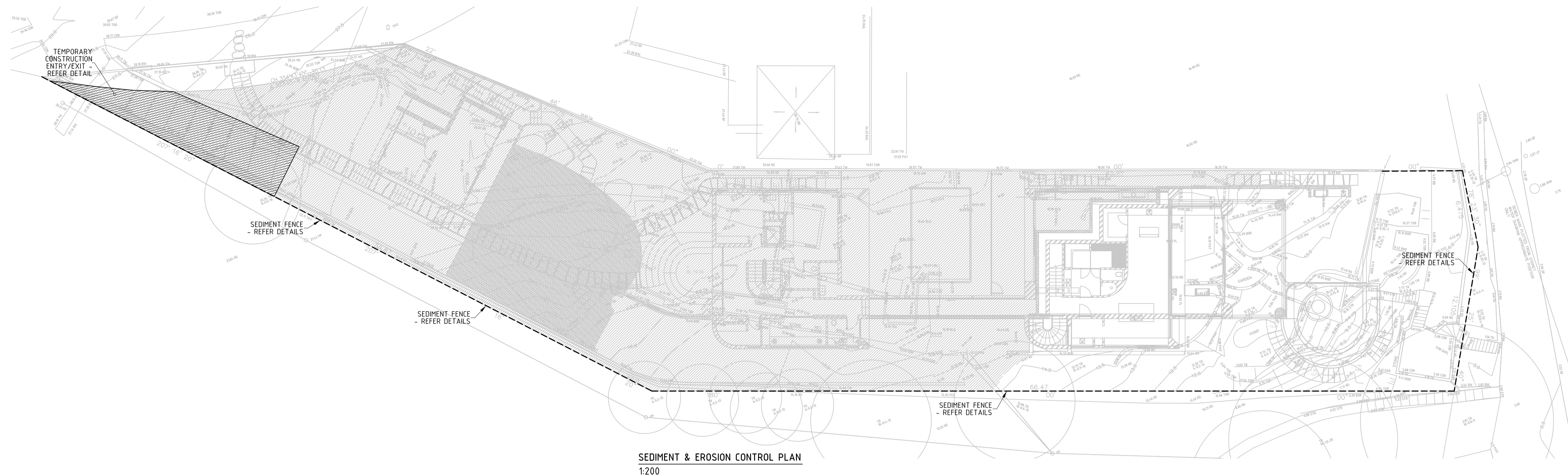

  
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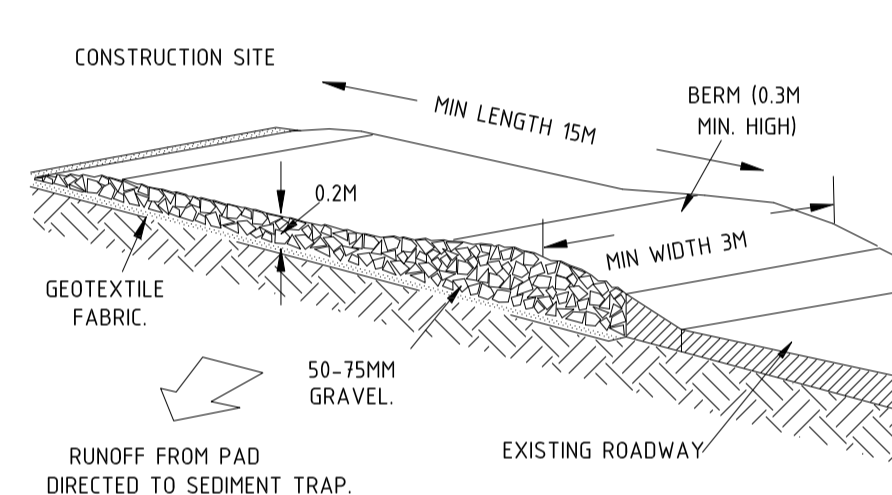
ARCHITECT	EATON
ARCHITECT	EATON MOLINA ARCHITECTS
CLIENT	THE I'VE GOT TIME GROUP

STATUS	ISSUE FOR S4.55 SUBMISSION ONLY	DATE	FEB 2023
PROJECT	32 BOWER ST, MANLY	DESIGNED	JD
		SCALE	1:100
		DRAWN	JD
		PAGE SIZE	A1
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		PROJECT NUMBER	221102

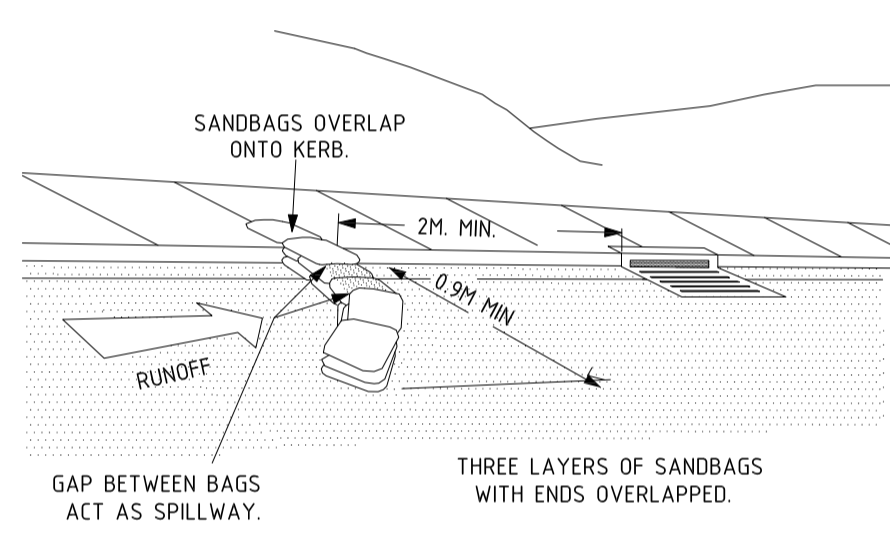




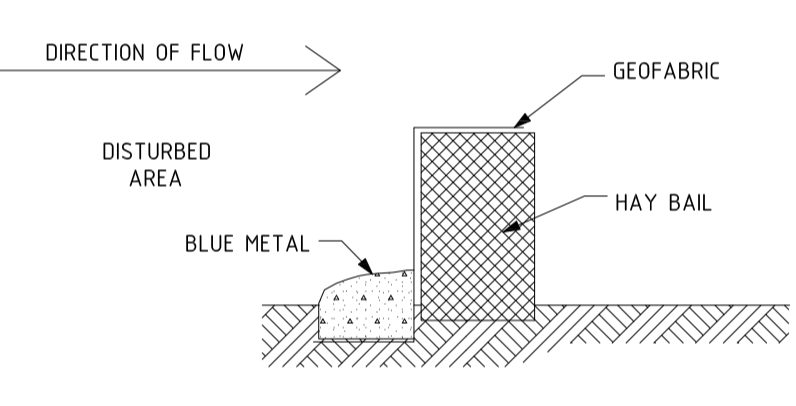
- SEDIMENT FENCE**
- CONSTRUCTION NOTES:
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
  2. DRIVE 15 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
  3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  4. BACKFILL TRENCH OVER BASE OF FABRIC.
  5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.




- TYPICAL TEMPORARY CONSTRUCTION ENTRY/EXIT DETAIL**
- CONSTRUCTION NOTES:
1. STRIP TOPSOIL AND LEVEL SITE.
  2. COMPACT SUBGRADE.
  3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
  4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
  5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.



- SANDBAG KERB INLET SEDIMENT TRAP**



- REMOVABLE HAY BAIL DETAIL**  
N.T.S.

  
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 CONSULTING ENGINEERS

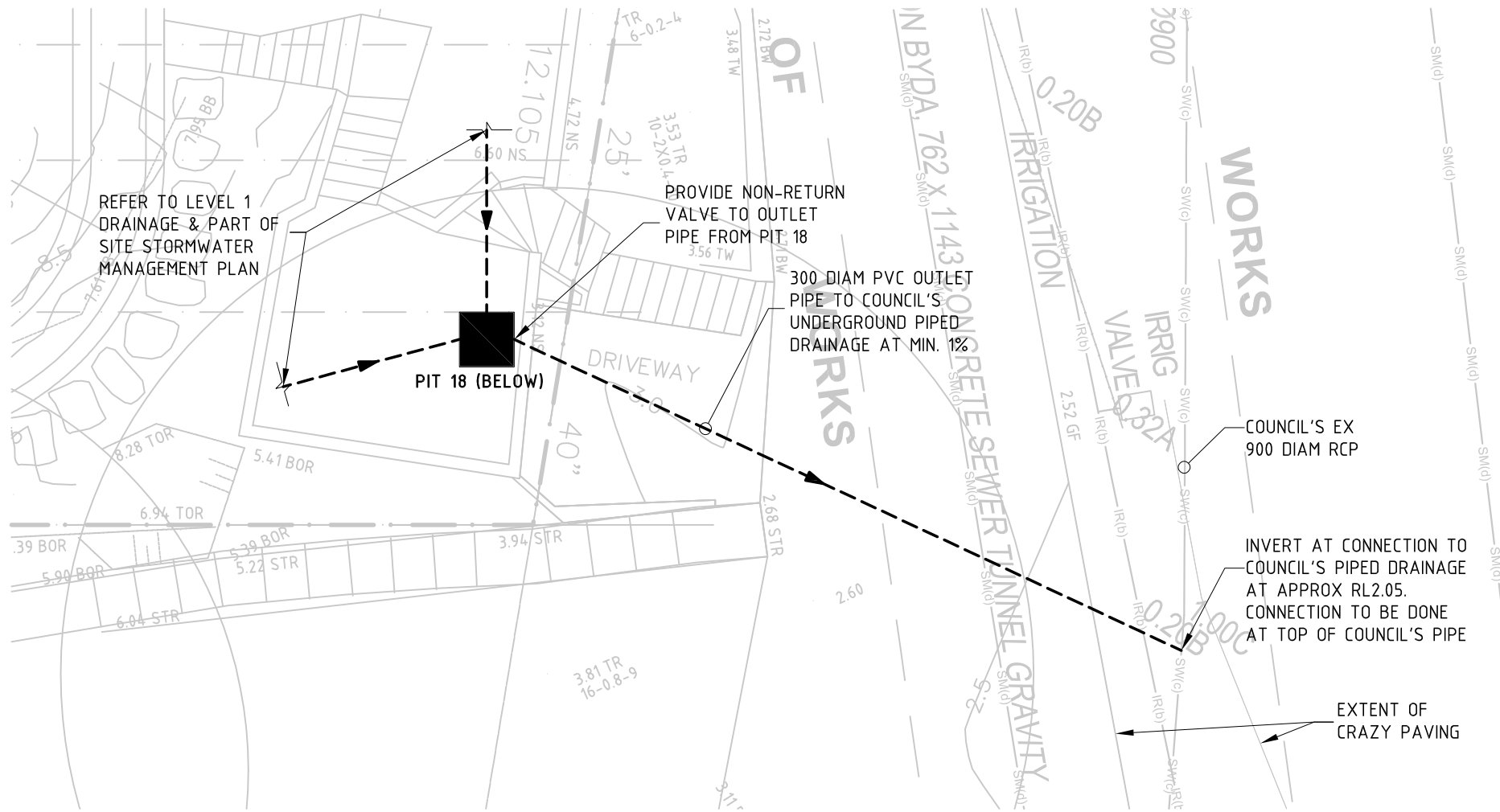
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 w: www.istruct.com.au

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A	20.02.23	ISSUE FOR S4.55 SUBMISSION ONLY	DI				

ARCHITECT	EATON
	EATON MOLINA ARCHITECTS
CLIENT	THE I'VE GOT TIME GROUP


STATUS	ISSUE FOR S4.55 SUBMISSION ONLY	DATE	FEB 2023
PROJECT	32 BOWER ST, MANLY	PROJECT NUMBER	221102
DRAWING	SEDIMENT & EROSION CONTROL PLAN & DETAILS	DRAWING NUMBER	D04
DESIGNED	JD	SCALE	REFER
DRAWN	JD	PAGE SIZE	A1
CHECKED	DI	REVISION	A





**STORMWATER OUTLET PLAN**  
1:100

MARK	SIZE/TYPE	FSL	INV.
PIT 18	900x900 PIT WITH PRESSURE SEALED COVER	3.08 COS	2.58 COS


 northern beaches council  
  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
  
**MOD2023/0211**



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REV.	DATE	REVISION DESCRIPTION	BY
A	25.08.23	ISSUE FOR S4.55 SUBMISSION ONLY	DI
1	25.08.23	ISSUE FOR REVIEW ONLY	DI

ARCHITECT	EATON MOLINA ARCHITECTS
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STATUS	ISSUE FOR S4.55 SUBMISSION ONLY	DATE	FEB 2023
PROJECT	32 BOWER ST, MANLY	DESIGNED	JD
		SCALE	1:100
		PAGE SIZE	A3
DRAWING	STORMWATER OUTLET PLAN	PROJECT NUMBER	221102
		DRAWING NUMBER	D05
CHECKED	DI	REVISION	A