

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	64 sqm		YES
GROUND FLOOR GFA	385 sqm		YES
FIRST FLOOR GFA	208 sqm		YES
TOTAL ABOVE GROUND GFA	593 sqm		YES
TOTAL ABOVE GROUND FSR	0.39:1	0.5:1	YES
TOTAL GFA (including basement)	657 sqm		
TOTAL FSR (including basement)	0.43:1	0.5:1	YES
LANDSCAPE OPEN SPACE	612 sqm= 40%	MIN. 40%	YES
SITE COVERAGE	437 sqm= 28.4%	MAX. 33.3%	YES



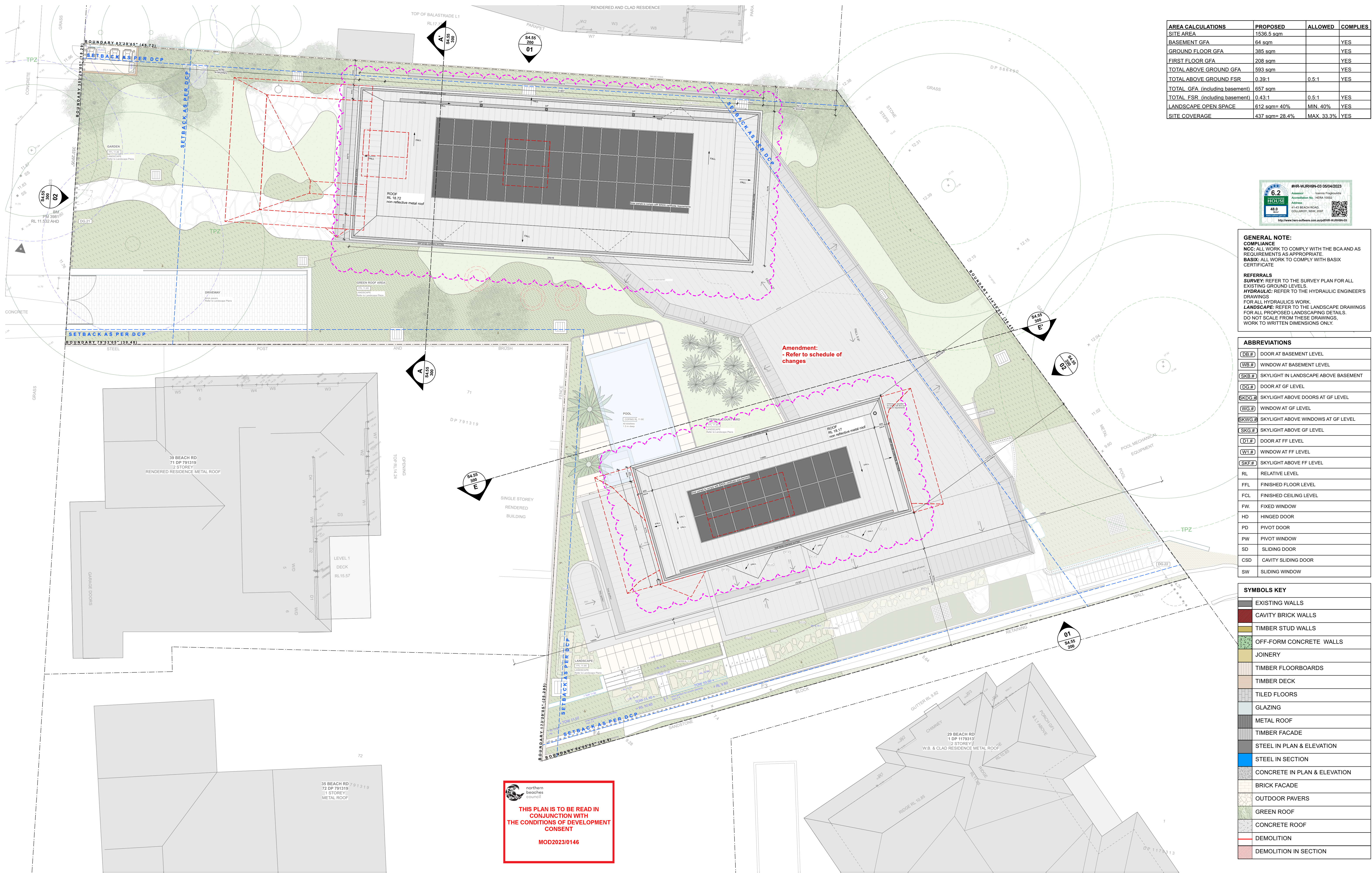
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PD	PIVOT DOOR
PW	PIVOT WINDOW
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CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW

SYMBOLS KEY

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	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION



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MOD2023/0146

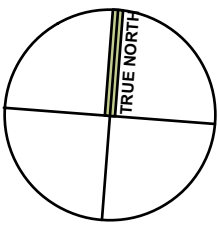
VIRGINIA KERRIDGE ARCHITECT

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ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

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amendments:

DATE	REV	DESCRIPTION
16/03/2022	A	SECTION 4.55 ISSUE: FF'S FACADE MATERIAL UPDATED. LOWER SECTION OF KITCHEN'S SOUTHERN FACADE UPDATED.
17/03/2023	B	SECTION 4.55

PROJECT
41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
SITE & ROOF PLAN PROPOSED

DATE
17/03/2023

SCALE
1:100 at A1

REVISION NUMBER
B

DRAWING NO.
s4.55 100

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NEW DRIVEWAY/RAMP TO UNDERGROUND BASEMENT

Designed In Accordance With AS/NZS 2980.1 for B85 vehicle

20.47 m long x 3m wide ramp grade 1:5 with:
- 3 m long grade transition area at the top
- 4.060 m long grade transition at the bottom.

AS2890.1 FOR B85 VEHICLE	PROPOSED	REQUIRED	COMPLIES
DRIVEWAY WIDTH	3 metres	3 metres	YES
DRIVEWAY GRADIENT	20 %	max 1:4 =25 %	YES
PARKING SPACES	5.4 X 2.4	5.4 X 2.4	YES
TURNING RADIUS FOR B85	5.8 m RADIUS	5.8 m RADIUS	YES

Amendment:
- Refer to schedule of changes

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2023/0146

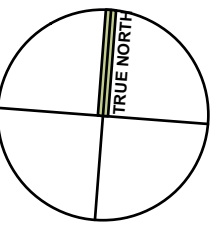
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PROJECT
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LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
BASEMENT PLAN PROPOSED

DATE
17/03/2023

SCALE
1:100 at A1

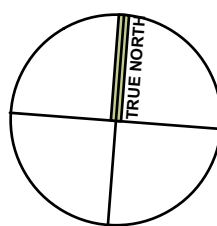
REVISION NUMBER
B

DRAWING NO.
s4.55 110

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DRAWING TITLE

GROUND FLOOR PLAN PROPOSED

B

4.55 120

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	64 sqm		YES
GROUND FLOOR GFA	385 sqm		YES
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TOTAL ABOVE GROUND FSR	0.39:1	0.5:1	YES
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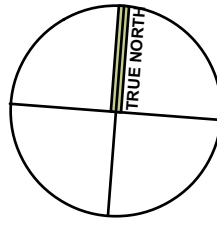
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PROJECT
41 & 43 BEACH ROAD COLLARROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DATE
17/03/2023

REVISION NUMBER:

B

DRAWING TITLE
FIRST FLOOR PLAN PROPOSED

SCALE
1:100 at A1

DRAWING NO.
s4.55 130

northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2023/0146

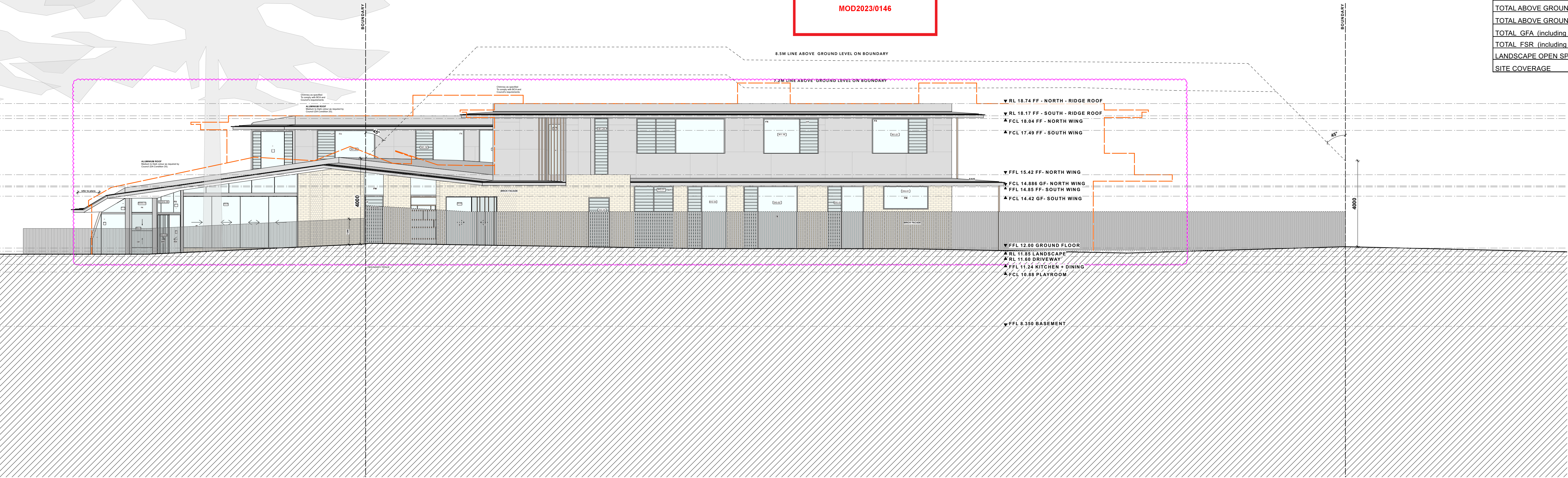
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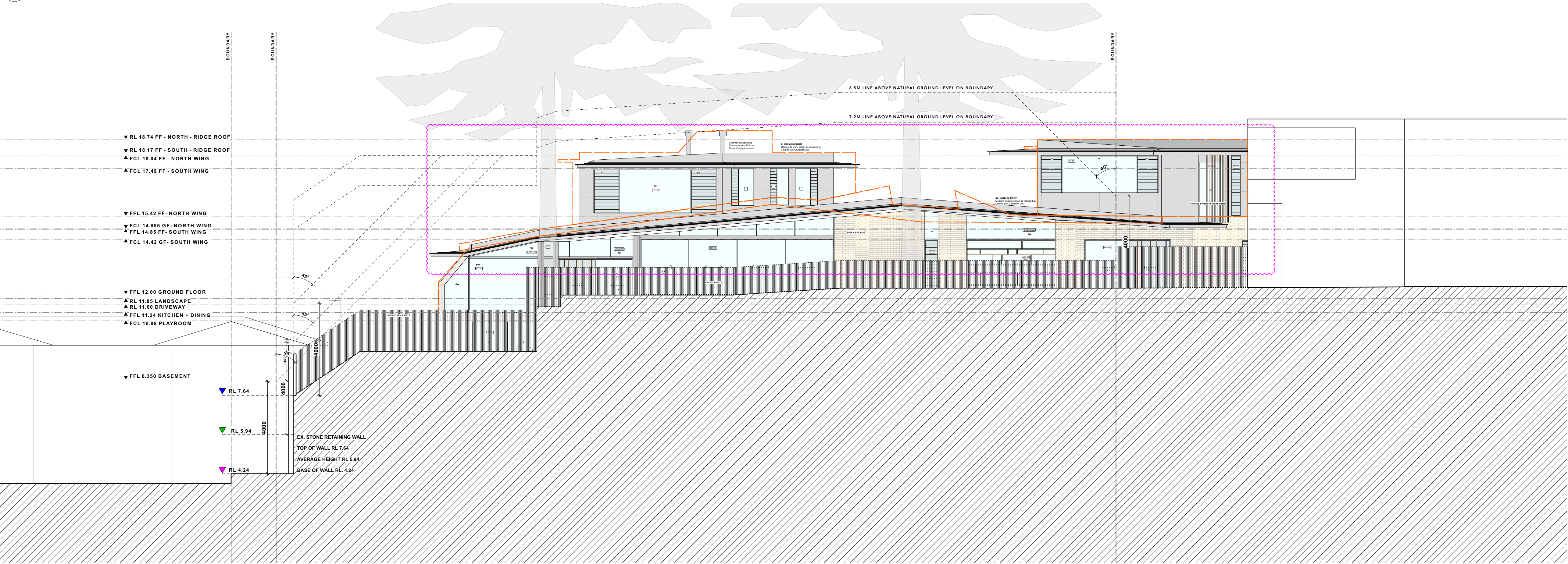
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01 NORTH ELEVATION PROPOSED



02 EASTERN ELEVATION PROPOSED

VIRGINIA KERRIDGE ARCHITECT

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41 & 43 BEACH ROAD COLLAROY
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DRAWING TITLE
**NORTH & EAST ELEVATIONS
PROPOSED**

17/03/2023

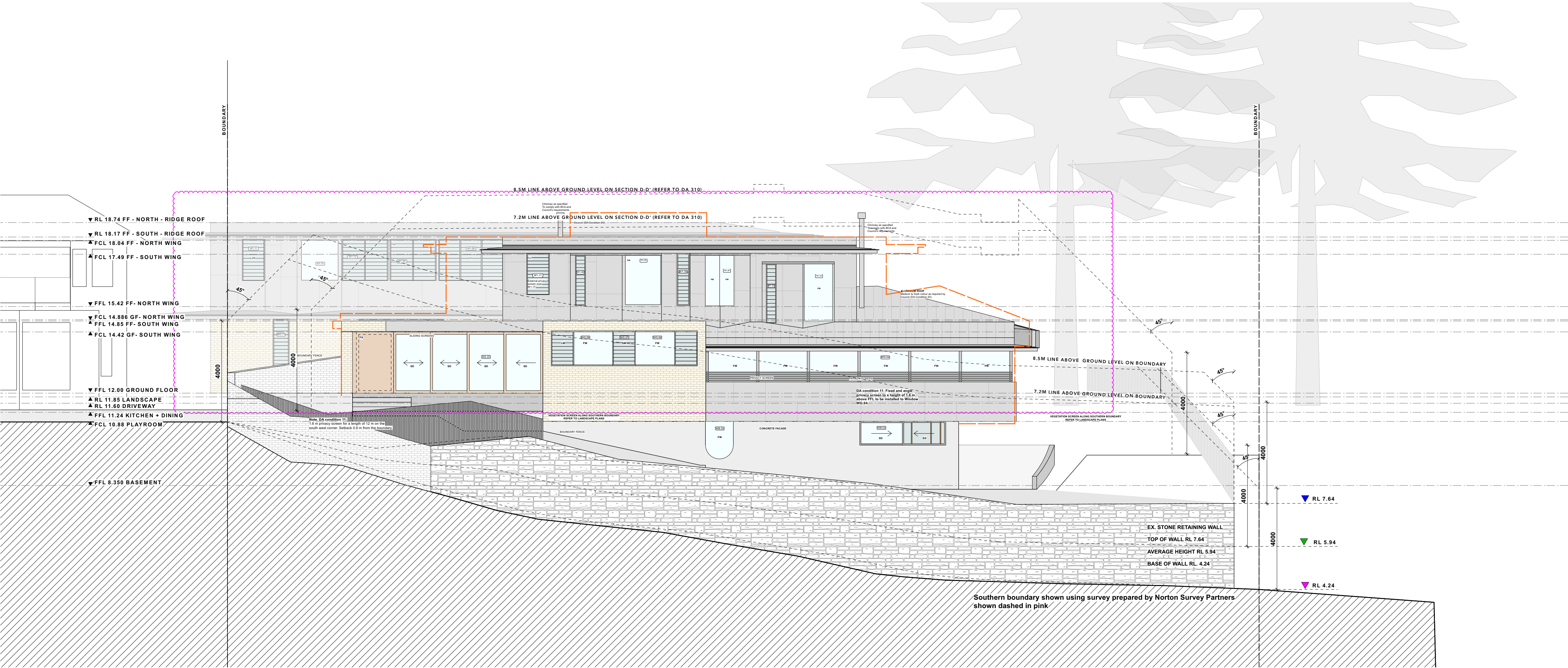
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DRAWING NO.

\$4.55 200



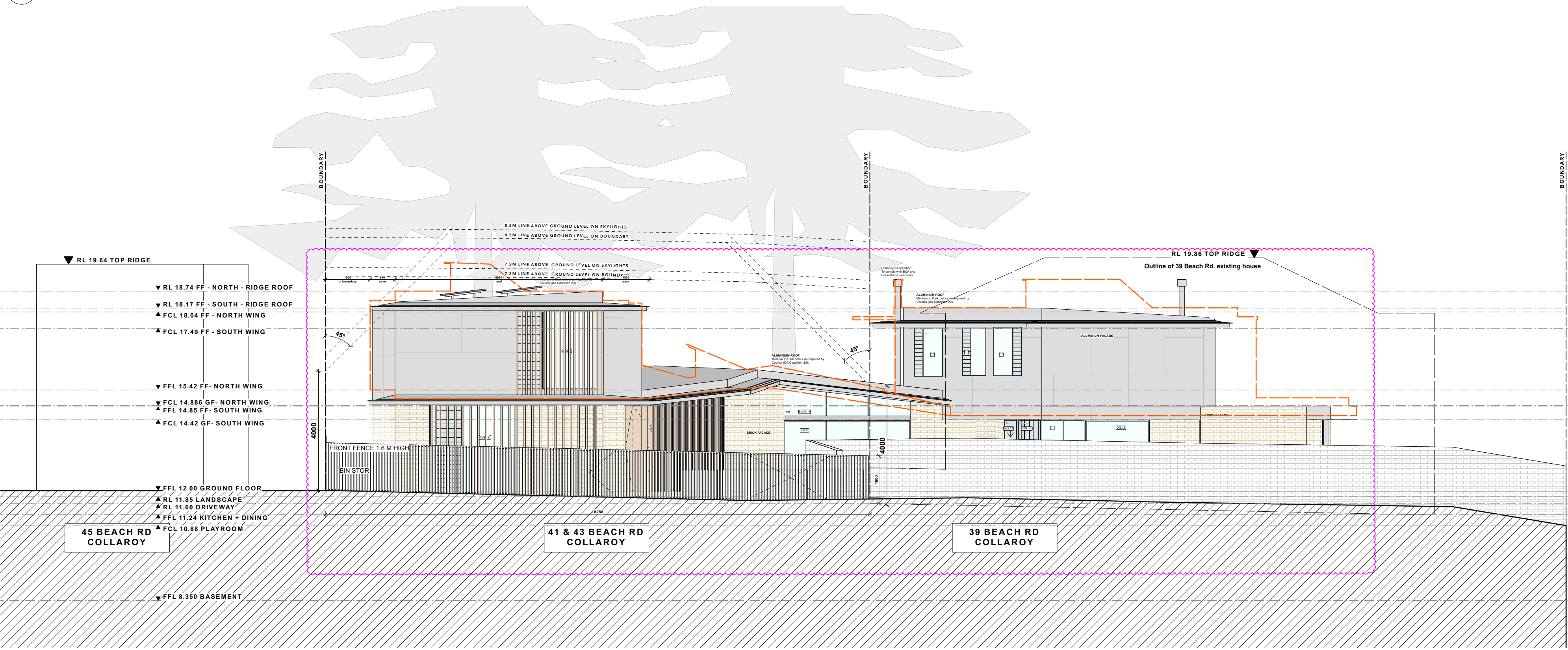
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MOD2023/0146



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41 & 43 BEACH ROAD COLLAROY
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE
**SOUTH & WEST ELEVATIONS
PROPOSED**

17/03/2023

SCALE:
1:100 at A1

B

DRAWING NO.
S4.55 210

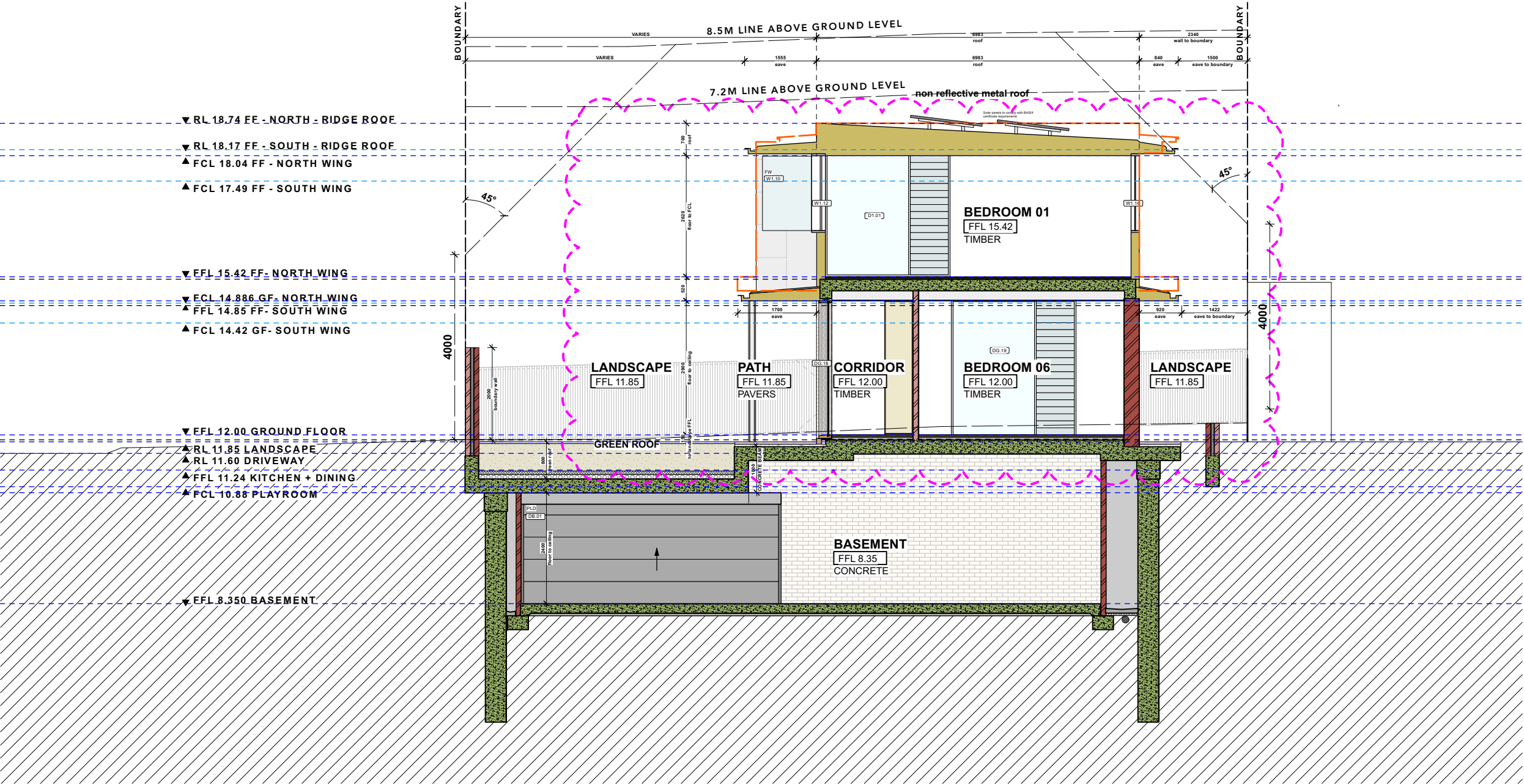
AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	64 sqm		YES
GROUND FLOOR GFA	385 sqm		YES
FIRST FLOOR GFA	208 sqm		YES
TOTAL ABOVE GROUND GFA	593 sqm		YES
TOTAL ABOVE GROUND FSR	0.39:1	0.5:1	YES
TOTAL GFA (including basement)	657 sqm		
TOTAL FSR (including basement)	0.43:1	0.5:1	YES
LANDSCAPE OPEN SPACE	612 sqm= 40%	MIN. 40%	YES
SITE COVERAGE	437 sqm= 28.4%	MAX. 33.3%	YES



GENERAL NOTE:
COMPLIANCE
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.
BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE.
REFERRALS
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

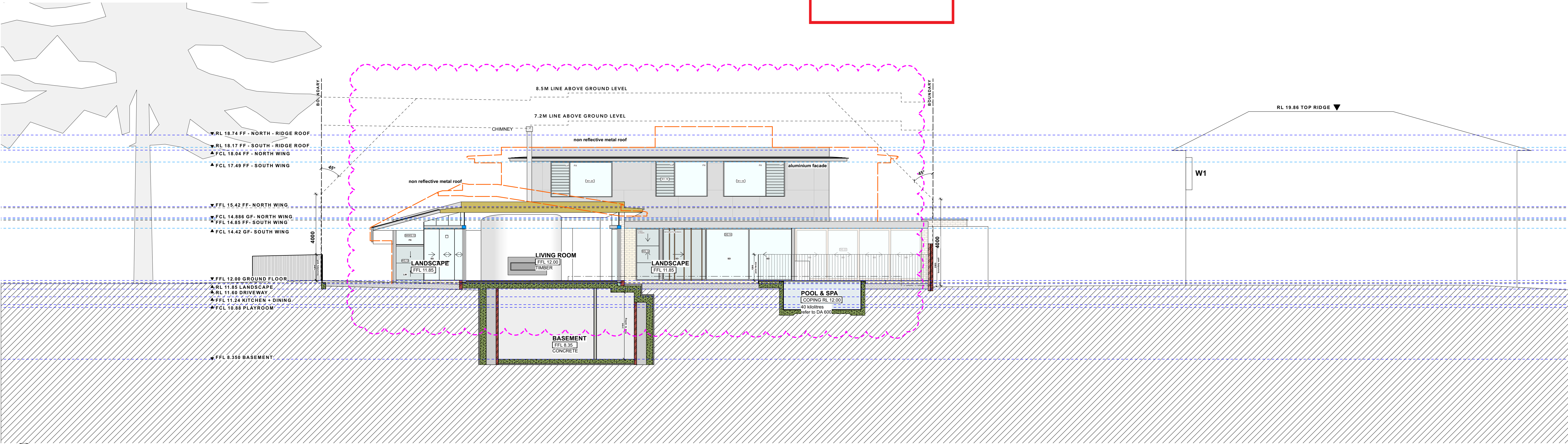
ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SKG.#)	SKYLIGHT ABOVE GF LEVEL
(DT.#)	DOOR AT FF LEVEL
(WT.#)	WINDOW AT FF LEVEL
(SKF.#)	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
CSD	CAVITY SLIDING DOOR
SW	SLIDING WINDOW

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION



01 SECTION A-A'

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2023/0146



02 SECTION E-E'

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626
info@vk.com.au www.vk.com.au abn 12 083 17 159

COMPLIANCE:
- NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.
- DA: ALL WORK TO COMPLY WITH THE APPROVED DA 2019/1522.
REFERRALS:
- SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.
- STRUCTURAL: REFER TO THE STRUCTURAL ENGINEER'S DRAWINGS FOR ALL STRUCTURAL WORK.
- HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULIC AND STORMWATER WORK.
- SYPHONIC DRAINAGE: REFER TO THE SYPHONIC ENGINEER'S DRAWINGS FOR ALL SYPHONIC WORK.
- LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS.
- SPECIFICATIONS: REFER TO WRITTEN ARCHITECTURAL SPECIFICATIONS PREPARED BY VIRGINIA KERRIDGE ARCHITECT.
- ALL WORK TO COMPLY WITH BASIX REQUIREMENTS AS DETAILED IN THE BASIX CERTIFICATE.
- INTERIOR ARCHITECT: REFER TO INTERIOR ARCHITECTS' PLANS FOR ALL AREAS DESIGNED AND SPECIFIED BY BKH.
NOTES:
- REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING WITH WORK.
- BUILDERS TO BE RESPONSIBLE FOR ALL WATERPROOFING AND TERMITE PROTECTION.
- DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.
- ALL PRODUCTS & SYSTEMS TO BE INSTALLED FOLLOWING MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS.
- THERMAL AND ACOUSTIC INSULATION AS SPECIFIED ON WRITTEN ARCHITECTURAL SPECIFICATIONS BY VIRGINIA KERRIDGE ARCHITECT AND COPIED BELOW:
- MINIMUM THERMAL INSULATION TO BE: IN WALLS R 2.5 (0.00) IN ROOFS R 3.0 (0.00) IN CONCRETE SLABS R 2.5 (0.00) IN CEILINGS R 2.5 (0.00).
- MINIMUM ACOUSTIC INSULATION IN ALL FACADES, WALLS, FLOORS, CEILINGS AND ROOFS TO BE: [50 <= Rw + C] + RA 1, [0.50 <= NRC], [0.60 <= aw].

amendments:		
DATE	REV	DESCRIPTION
16/03/2022	A	SECTION 4.55 ISSUE: FF'S FACADE MATERIAL UPDATED. LOWER SECTION OF KITCHEN'S SOUTHERN FACADE UPDATED.
17/03/2023	B	SECTION 4.55

PROJECT	DATE	REVISION NUMBER
41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	17/03/2023	B
DRAWING TITLE	SCALE	DRAWING NO.
SECTION A-A' SECTION E-E'	1:100 at A1	s4.55 300