ALTERATIONS & ADDITIONS No.73 McCARRS CREEK RD, **CHURCH POINT**

DEVELOPMENT APPLICATION NORTHERN BEACHES COUNCIL

> COVER SHEET A000 PERSPECTIVES SURVEY PLAN A008 A010 SITE PLAN SITE AREA CALCULATION PLAN SITE ANALYSIS A012 SHADOW DIAGRAMS WASTE+SITE MAN. // DRAINGE PLAN **DEMOLITION PLANS & EXISTING CONDITIONS** PHOTOS - EXISTING A037 BASIX // SITE NOTES FLOOR AREAS PROPOSED LANDSCAPE CONCEPT PLAN A040 SECTION A041 GF - FLOOR PLAN FF - FLOOR PLAN A103 EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS WALL SECTIONS A305 CABANA / MEDIA / GARAGE FLOOR PLAN CABANA / MEDIA - ELEVATIONS & SECTIONS WINDOW / DOOR / EXT. MATERIALS SCHEDULES A420

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NEW Revisions **EXISTING**

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Consultants:

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Structural Design:

Client:

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

COVER SHEET

DEVELOPMENT APPLICATION

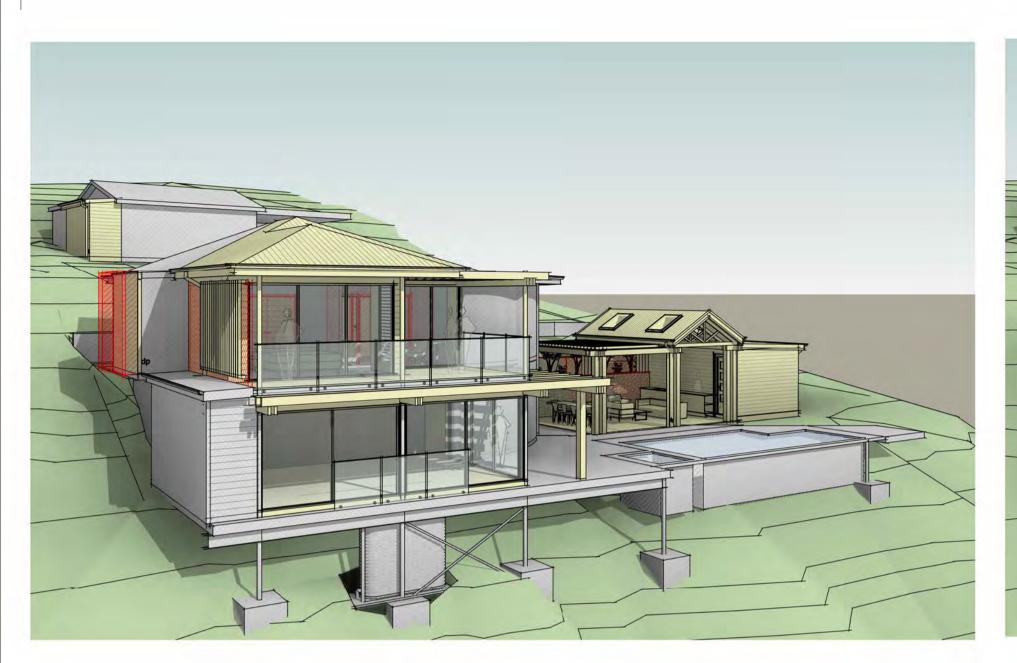
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Scale:	@A2
Date:	02.03.21
Project No:	A21_00157
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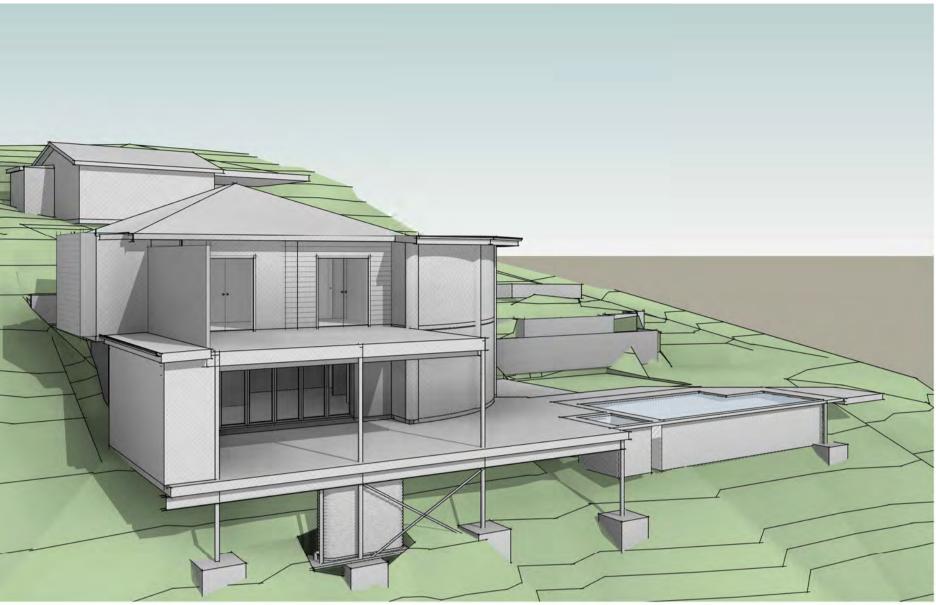




1 V1 PROPOSED



2 V2 PROPOSED



4 V1 EXISTING



3 <u>V3 PROPO</u>SED

Notes:



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<u>Proj</u>ect Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

<u>Dra</u>wing Title:

PERSPECTIVES

Drawing Status:

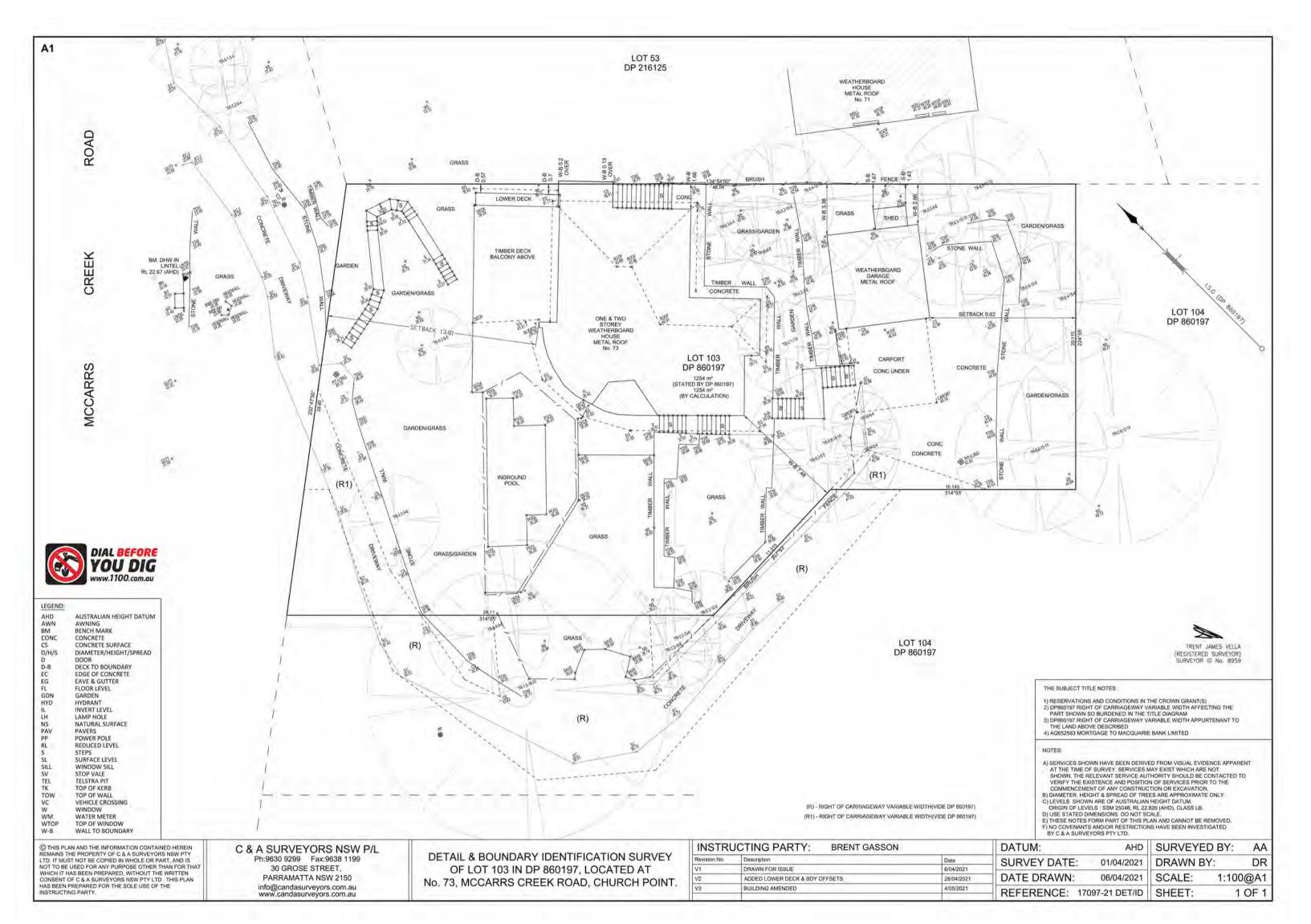
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Drawing Title:

SURVEY PLAN

Drawing Status:

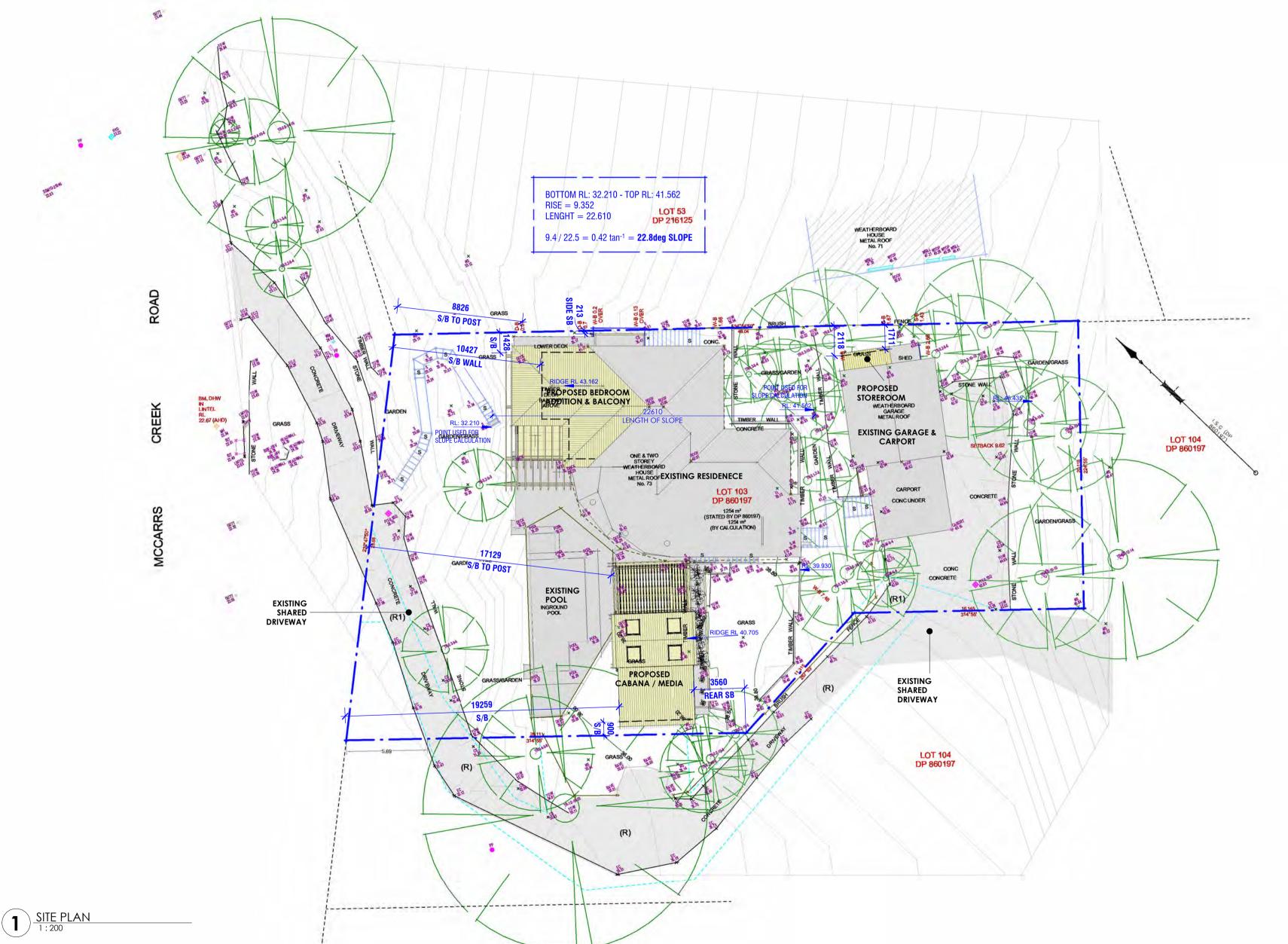
DEVELOPMENT APPLICATION

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Drawing Details:







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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

SITE PLAN

Drawing Status:

DEVELOPMENT APPLICATION Drawing Details:

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Scale:	1:200 @A
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Project No:	A21_0015
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SITE AREA CALCULATIONS

PROPOSED LANDSCAPE AREA TOTAL

LANDSCAPE COVERAGE %

735.01m2

61.57%



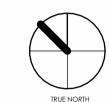
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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

SITE AREA **CALCULATION PLAN**

Drawing Status:

DEVELOPMENT APPLICATION

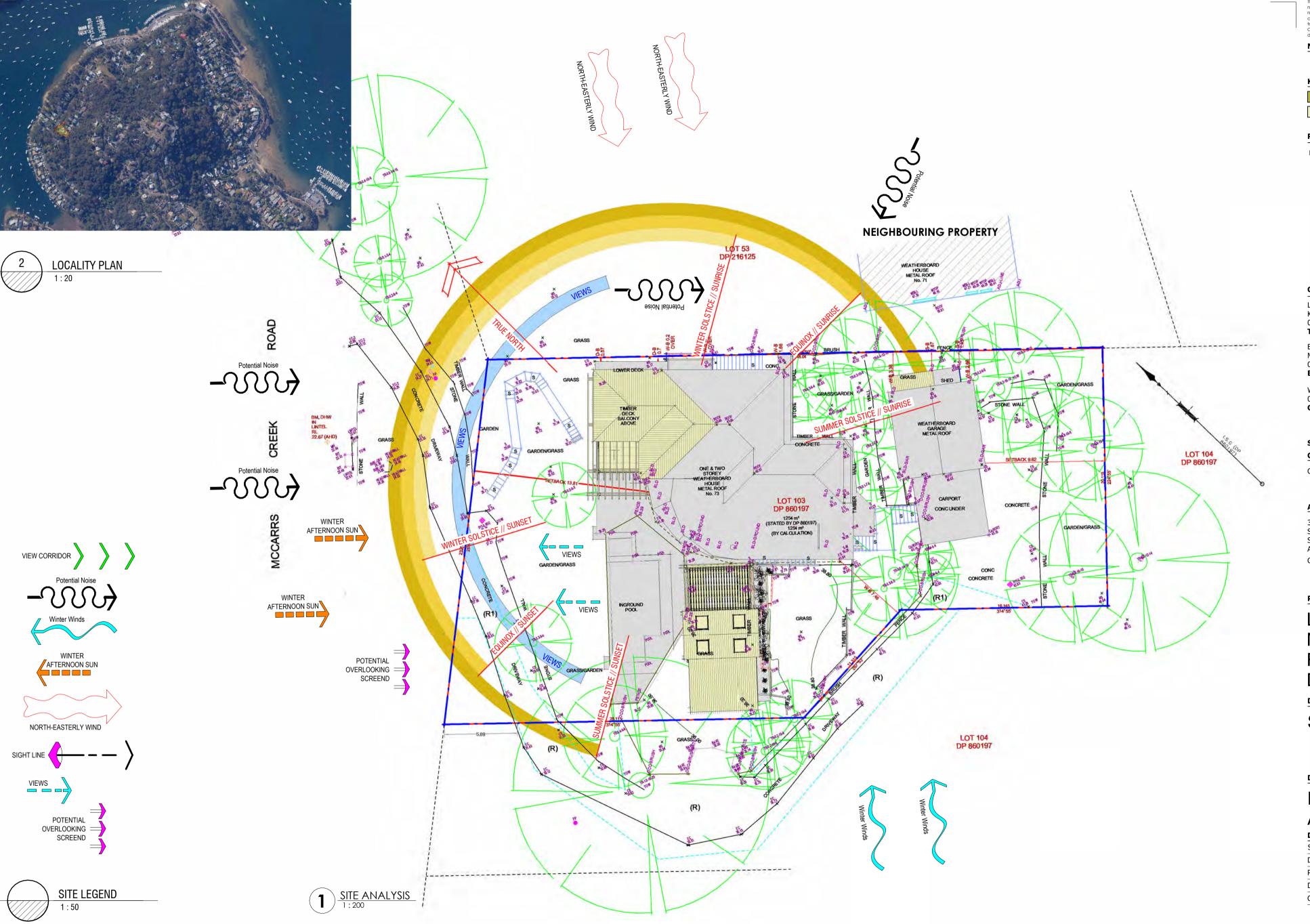
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Drawing Details:











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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

SITE ANALYSIS

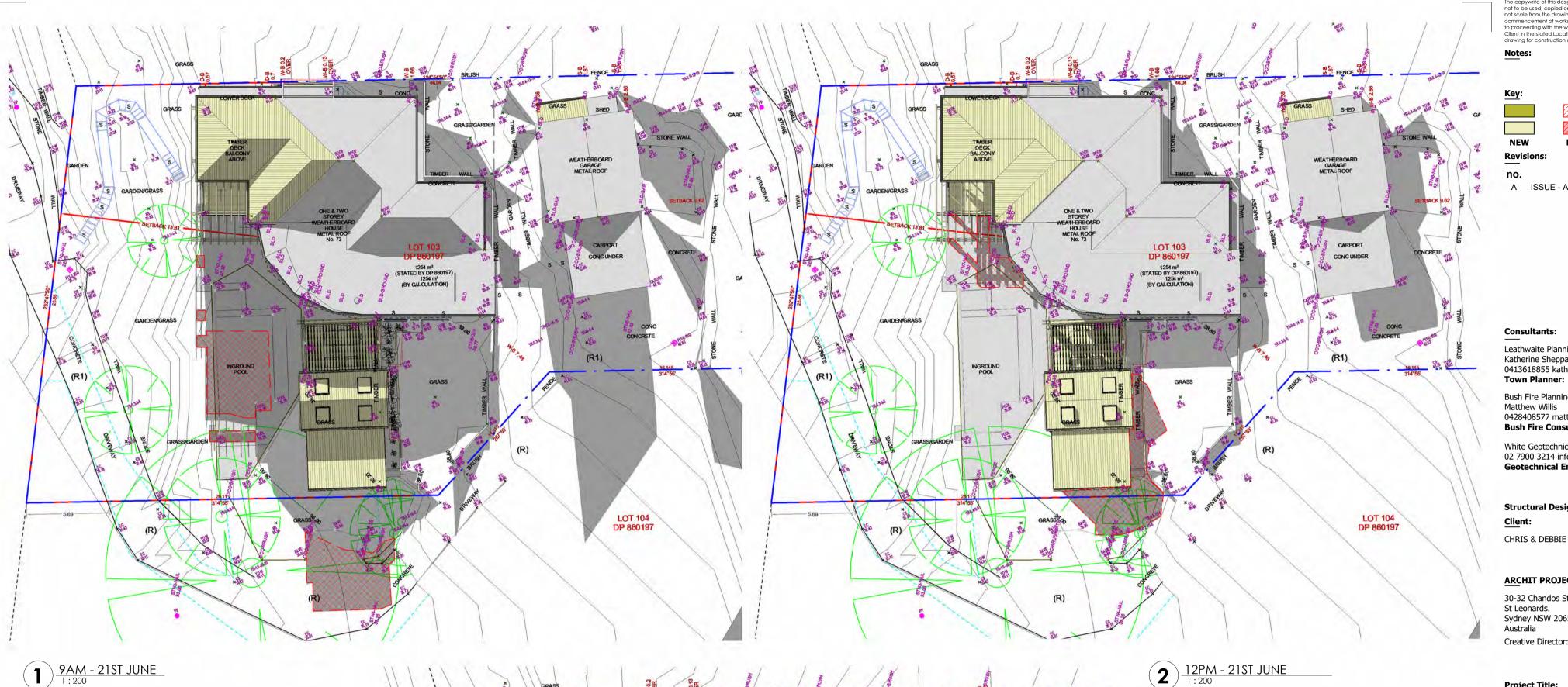
DEVELOPMENT APPLICATION

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Project No:	A21_	0015
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2 12PM - 21ST JUNE 1:200

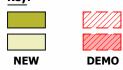
LOT 103 DP 860197 CONC UNDER 1254 m² (STATED BY DP 860197) 1254 m² (BY CALCULATION) LOT 104 DP 860197

ADDITIONAL SHADOW GENERATED BY PROPOSED ADDITIONS

(DOES NOT TAKE INTO ACCOUNT BOUNDARY FENCING OR EXISTING TREES)

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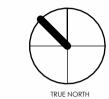




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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

SHADOW DIAGRAMS

DEVELOPMENT **APPLICATION**

Drawing Details:

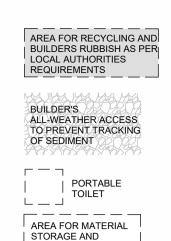
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Project No:	A21_00157
Drawn:	BJG
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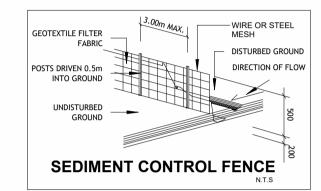
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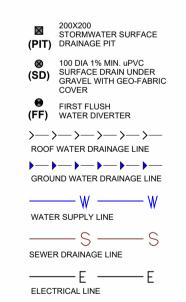


TEMPORARY CONSTRUCTION FENCE

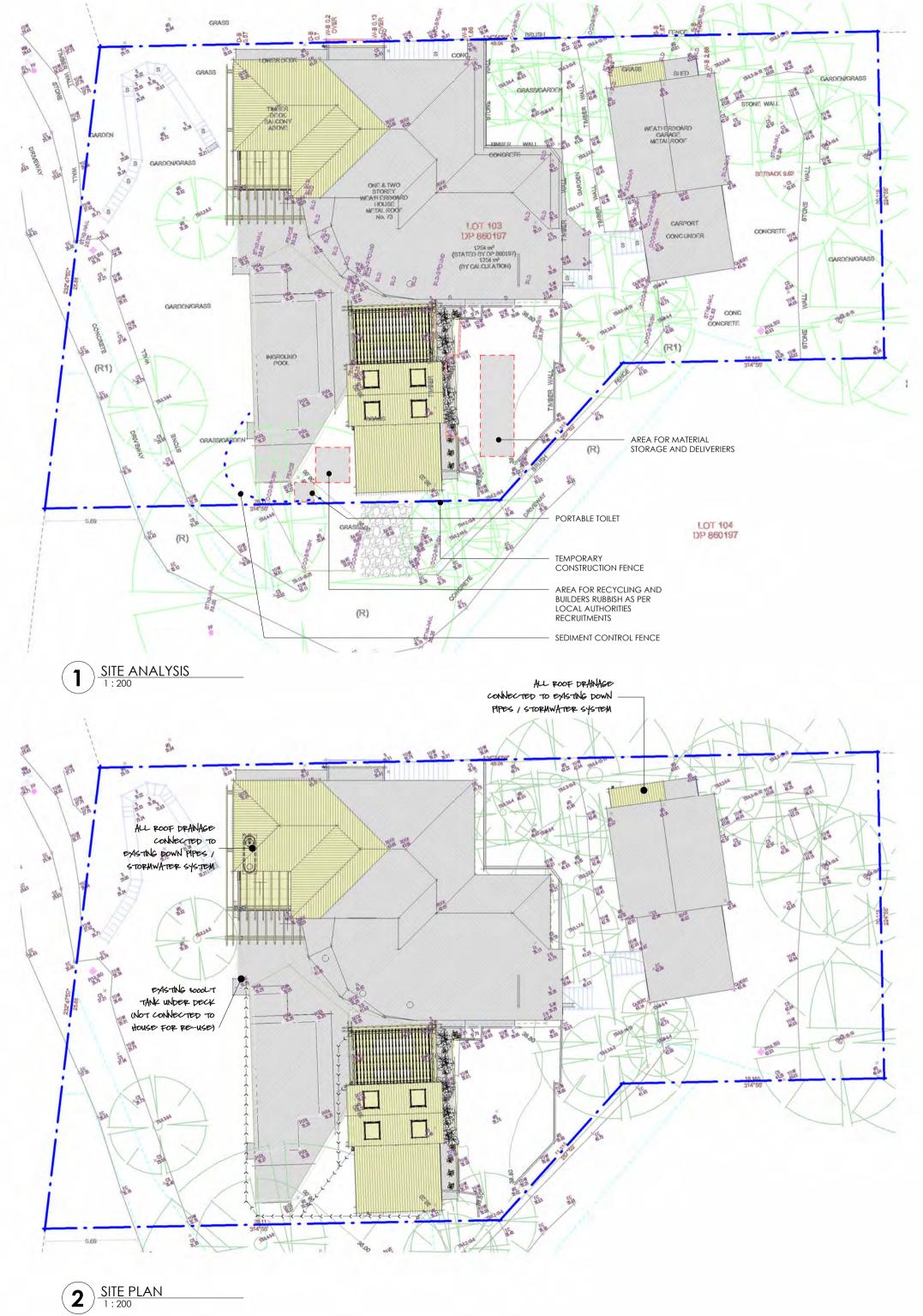
DELIVERERS

••••• SEDIMENT CONTROL FENCE









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Drawing Title:

WASTE+SITE MAN. // **DRAINGE PLAN**

Drawing Status:

DEVELOPMENT APPLICATION

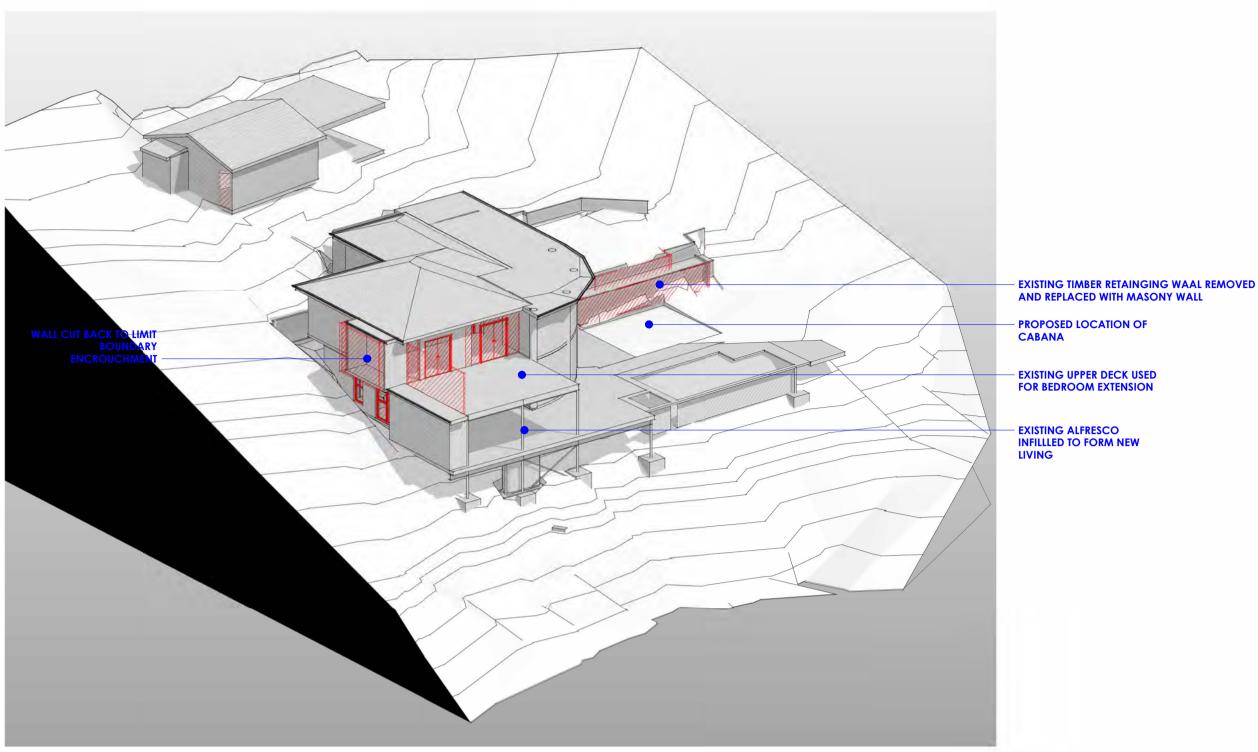
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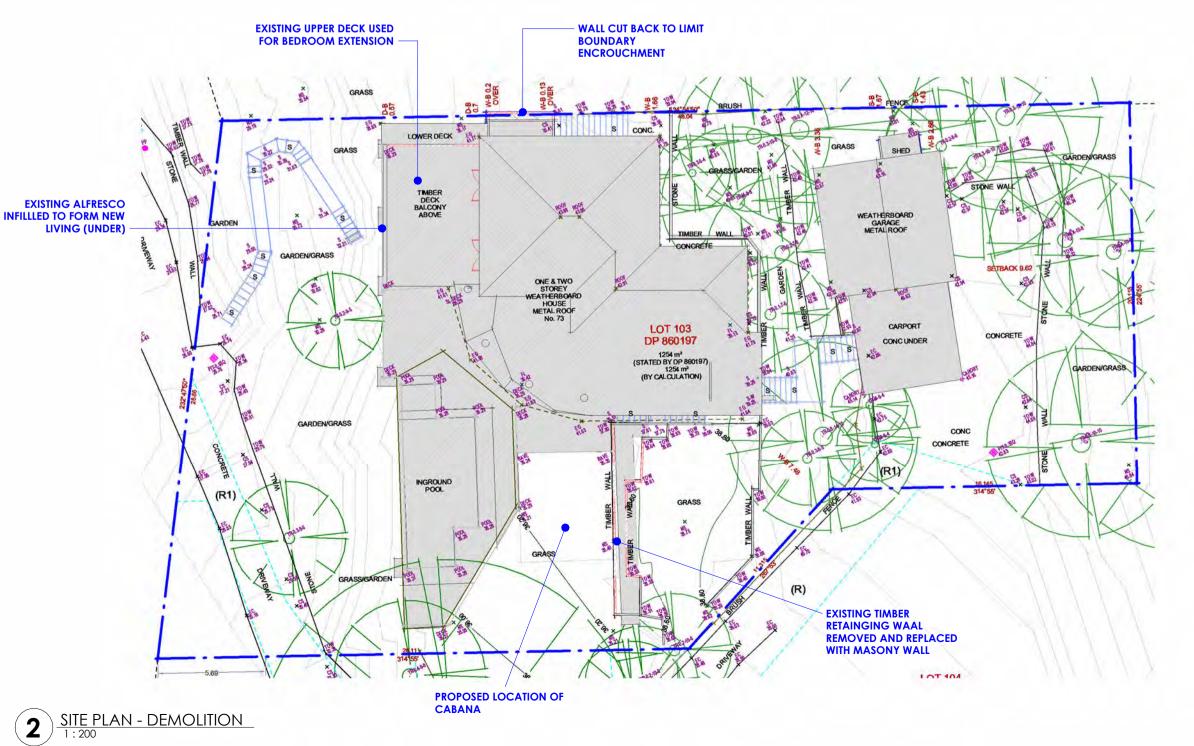








3D - EXIISTING HOUSE + DEMOLITION

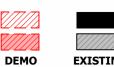


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LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

DEMOLITION PLANS & EXISTING **CONDITIONS**

Drawing Status:

DEVELOPMENT APPLICATION

Drawing Details:

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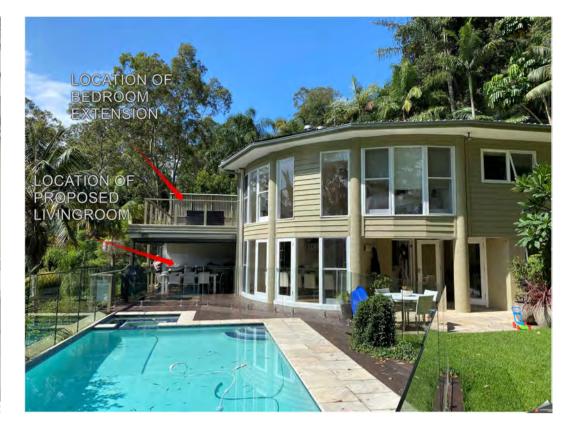








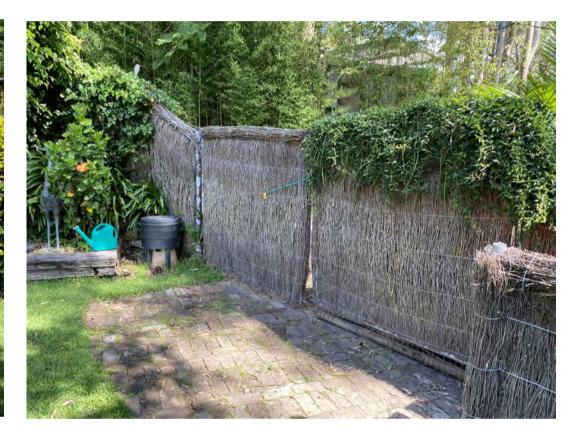




LOCATION OF PROPOSED BEDROOM ADDITION







LOCATION OF PROPOSED CABANA / ALFRESCO / MEDIA







LOCATION OF PROPOSED LIVING ROOM ALTERATIONS







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Drawing Title:

PHOTOS - EXISTING

DEVELOPMENT APPLICATION

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Checked:	Check





DESIGNERS WORK HEALTH AND SAFETY STATEMENT

1. EALLS. SIJPS. TRIPS
a) WORKING AT HEIGHT
DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

regulations or legislation. SLIPPERY OR UNEVEN FLOORS

FLOOR FINISHES Finishes have not been specified by the designer, but should be selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. FLOOR FINISHES BY OWNER

As the designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB

As the designer has not peen involved in the selection of shall surface insides in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197;1999 and AS/NZ 4589:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas

. FALLING OBJECTS
LOOSE MATERIAL AND SMALL OBJECTS

LOOSE MATERIAL AND SMALL OBJECTS
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or resist access to areas below where the work is being carried out.

2. Provide toeboards to scaffolding or work platforms.

3. Provide protective structure below the work area.

4. Ensure that all persons below the work area have protective equipment PPE.

BUILDING COMPONENTS.

BUILDING COMPONENTS During construction renovations or demolition of this building, parts of the structure including fabricated steel work, heavy panels and many other components will remain standing prior to or after supporting parts ore in place. Contractors should ensure that temporary bracing or other required support is in place at all times where collapse, which may injure

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling

Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and the access to

areas below the load is prevented or resisted.

IRAFFIC MANAGEMENI

For building on a major road, narrow rood or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided.

Trained traffic management personnel should be responsible for the subdivision of these areas.

For building where onsite loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

oading/unloading areas.

Busy construction and demolition sites present a risk of collision where other traffic is moving within the site. A traffic anagement plan supervised by trained traffic management personnel should be adopted for the work site.

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these ore identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using appropriate services [such as Dial Before You Dig], appropriate excavation practice should be used and, where necessary, specialist contractors should be

used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

ocations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devises or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright ploured tape or signage should be used or a protective barrier provided

Components within this design with a mass in excess of 25 kilograms should be lifted by two or more workers or by mechanical lifting devise. Where this is not practical, suppliers or fabricators should be required to limit the component

any material packaging, building and maintenance components should cleorly show the total mass of packages and Any material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises behaling before lifting. Advice should be provided on safe lifting methods in an areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. This should be fully maintained in accordance with manufacturers specifications and not used where faulty or (in the case of electrical equipment) not carrying and electrical safety tag. All safety guards should be regularity checked and Personal Protective Equipment should be used in accordance with manufacturer's specifications. 7. HAZARDOUS SUBSTANCES & ASBESTOS For alterations to a building constructed prior to 1990

If this existing building was constructed prior to: 1990 - It therefore may contain asbestos

1996 - It therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demoiftion, cutting, sanding, crining or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensu-e good ventilation and wear Personal Protective Equipment including protections against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or furnes from this material can be harmful. Persons working on or in the building during construction, operational, maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protections against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material ta be released. Do not burn treated timber.

VOLAILE OKGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period ofter installation. Personal Protective Equipment may also be required. The manufacturers recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE VOLATILE ORGANIC COMPOUNDS

Body.

Personal Protective Equipment inc. protections against inhalation of harmful material should be used when installing, removing or worlding near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which hove an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for o period after installation. Per Equipment may also be required. The manufactures recommendations for use must be carefully considered at all

CONFINED SPACES

Construction al this building and some maintenance on the building will require excavation and installation of

items within excavations.

Where practical, installation should be carried out using methods which do not require work.ers to enter the excavation. Where this is not practical, adequate support for the excavated areas should be provided to preve collapse. Warning signs and boniers to prevent accidental or unauthorised access to all excavations should be

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The designer requires warning signs and barriers to unauthorised areas. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and

Personal Protective Equipment should be provided.

For building 'Mth small spaces where maintenance may be required: Some small spaces within this building may require access by construction or maintenance workers. The designer requires warning signs and barriers to unauthorised areas. These should be maintained throughout the life of the building. Where workers ore required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

periods. Manual litting and other manual activity should be restricted in small spaces.

PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installatic excavations, plant or loose materials are present they should be secured when not fuRy supervised.

OPERATIONAL USE OF BUILDINGS RESIDENTIAL BUILDINGS

This building bays been designed or a parignated for a parigned for

This building has been designed as a residential building, If at a later dote, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be

NON-RESIDENTIAL BUILDINGS - Iceep one of these notes as appropriate

For non-residential bu dings where the end-use has not been identified:
This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit out for the end-user.

issues should be undertaken at the time of tif out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed to the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

OTHER HIGH RISK ACTIVITY

All electrical work should be canied out in accordance with Code of Practice: Managing Electrical Risks at Workplace. AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss

Due to history of serious incidents it is recorrmended that particular care be exercised when undertaking work

NOTE;
THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT THIS INCLUDES (but is not excluded to); THE OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, MAINTAINERS AND DEMOLISHERS



CONST. CERTIFICATE SPEC. + NCC COMPLIANCE

- 1. Earthwork is to comply with NCC 2019 Table 3.1.1.1 as referenced in Figure 3.1.2.1 &
- Earthwork is to comply with NCC 2019 Table 3.1.1.1 as referenced in Figure 3.1.2.1 & Clause 3.1.1.0(b) for determination of a normal site as referenced by Clause 3.2.1.

 Drainage is to comply with AS/NZS 3500.3-2015 or Section 5 of AS/NZS 3500.5-2012.

 Termite Management is to comply with NCC 2019 Part 3.1.3 and AS 3660.1-2000 and/or AS 3660.1-2014. A durable notice is to be installed in accordance with NCC 2019 Part 3.1.3.2(b). Where a chemical termite management system is used, the chemical must be included on the appropriate authority's pesticides register.

 Footings and slabs are to comply with AS 2870-2011.

 Masonry & masonry accessories are to comply with AS 3700-2011 Amdt 1 or AS4773.1-2010 Amdt 1 & AS Part 4773.2-2010.

 Weatherproofing of masonry is to comply with AS 3700-2011 or AS4773.1-2010 Amdt 1 & AS Part 4773.2-2010.

- Steel framing to comply with: Steel Structures: AS 4100-1998 Amdt 1,
- Steel Structures: AS 4100-1998 Amdt 1, Cold Formed steel structures: AS/NZS 4600-2005 Amdt 1, or Residential & low-rise steel framing: NASH Standard 'Residential & Low-Rise Steel Framing' Part 1-2005 Amdt A, B & C Part 2 2014 Amdt A. Timber framing to comply with AS 1684.2-2010 Amdt 1 or & AS 1684.4-2010 Amdt 1. Nail plated timber trusses: AS 1720,5-2015.

 Structural steel members are to comply with: Steel Structures: AS 4100-1998 Amdt 1, Cold Formed steel structures: AS/NZS 4600-2005 Amdt 1.

 Roof cladding is to comply with:

- Roof cladding is to comply with:
 Roofing tiles: AS 2049-2009 Amdt 1 and AS 2050-2002 Amdt 1 & 2, Metal roof: AS 1562.1

 12. Gutters and downpipes to comply with AS/NZS 3500.3-2015 or Section 5 of
- 13. Wall cladding to comply with AS/NZS 2908.2-2000 14. Allowable encroachments are to comply with NCC 2019 Part 3.7.1.7 . Sarking type materials used in a roof must have flo
- 16. Combustible rooflights, skylight or the like installed in a roof or part of a roof required to
- 17. Smoke alarms are to comply with NCC 2019 Part 3.7.2 and AS 3786-1993 Amdt 1, 2, 3,
- & 4 and/or A\$3786-2014 Amdt 1.
 Building elements in wet areas must be waterproof or water resistant in accordance with NCC Table 3.8.1.1 & comply with A\$ 3740-2010 Amdt 1.
 Room heights are to comply with NCC 2019 Part 3.8.2.
 Construction of sanitary comportments to comply with NCC 2019 Part 3.8.3.3.
 Natural lighting is to comply with NCC 2019 Part 3.8.4.2.
 Artificial lighting is to comply with A\$/NZ\$ 1680.0-2009.
 Mechanical ventilation is to comply with A\$ 1668.2-2012.
 An exhaust fan from a sanitary compartment, laundry or bathroom must comply with NCC 2019 Part 3.8.5.2(c).

- NCC 2019 Part 3.8.5.2(c). 25. Natural ventilation is to comply with NCC 2019 Part 3.8.5.2.
- 26. Location of sanitary compartments is to comply with NCC 2019 Part 3.8.5.3.
 27. Sound insulation must comply with NCC 2019 Part 3.8.6.
- 3. Stair construction is to comply with NCC 2019 Part 3.9.1.

 B. Barriers and handrails are to comply with NCC 2019 Part 3.9.2.

 Swimming Pools: Safety barriers installed in accordance with AS 1926.1 and AS 1926.2.

 Building fabric insulation is to comply with NCC 2019 Part 3.12.1.1 and

- A heated hot water supply system is to comply with Part B2 of NCC 2019 Volume Three
- Insulation of services: NCC 2019 Part 3.12.5.1 & AS/NZS 4859.1-2002 Amdt 1.
- Central heating water piping: NCC 2019 Part 3.12.5.2.
 Heating & cooling ductwork: NCC 2019 Part 3.12.5.3.





Alterations and Additions

Certificate number: A422269

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "RASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www basix nsw.gov.au

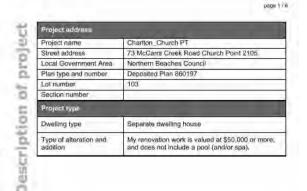
Secretary

Date of issue: Tuesday, 29, June 2021

Date of issue: Tuesday, 29, June 2021

NSW Planning, Industry & Environmen

BASIX Certificate number: A422269



Certificate Prepared by please complete before s	ubmitting to Council or PCA)
Name / Company Name: Archit	
ABN (if applicable): 41732959624	

he applicant must ensure a minimum of 40% of new or altered light fixtures are litted with fluorescent, compact fluorescent, or pht-emitting-diode (LED) lamps.

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
nsulation requirements					
The applicant must construct the new or altere the table below, except that a) additional insult is not required for parts of altered construction	d construction (floor(s), walls, and ceilings/roofs) ation is not required where the area of new constr where insulation already exists.	in accordance with the specifications listed in action is less than 2m2, b) insulation specified	1	4	- 4
Construction	Additional insulation required (R-yalue)	Other specifications			
concrete slab on ground floor	oli				
suspended floor with open subfloor; framed (R0.7).	R0.8 (down) (or R1.50 including construction)				
floor above existing dwelling or building.	Oil				
external wall: framed (weatherboard, fibro, metal clad)	R1 30 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external walt: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat cailing, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)			
raked celling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foll backed blanket (75 mm)	medium (sotar absorptance 0.475 - 0.70)			

	ilrements						Show on DA Plans	Show on CC/CDC Plans & specs	Check
Windows and	d glazed do	ors							
					hading devices, in accordance with reach window and glazed door.	the specifications listed in the table below.	4	4	×
The following n	equirements	must also	be satisfi	ed in relation	to each window and glazed door:			1	4
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information poly. Alternative systems with complying U-value and SHGC may be substituted.								d.	
					f each eave, pergola, verandah, bai than 2400 mm above the sill	cony or awning must be no more than 500 mm	A.	4	4
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.									
	ony car bonate	e root or s	imilar tran	islucent mate	irial must have a shading coefficien	nt of less than 0.35.			15
External lauvre						nt of less than 0.35. situated when fully drawn or closed.		Ž.	4
Pergolas with fi	s and blinds	must fully	shade the	e window or	glazed door beside which they are	Control of the Contro		10.11	
Pergolas with fi shades a perpe	s and blinds ixed battens endicular win	must fully must have dow. The	shade the e battens spacing b	e window or parallel to the etween batte	glazed door beside which they are e window or glazed door above whi ans must not be more than 50 mm.	situated when fully drawn or closed.		V.	17.
Pergolas with fi	es and blinds ixed battens endicular wind and glazed	must fully must have dow. The doors g	shade the e battens spacing b lazing r	e window or parallel to the etween batte equirement edowlog	glazed door beside which they are e window or glazed door above whi ans must not be more than 50 mm.	situated when fully drawn or closed.		V.	1
Pergolas with fi shades a perpe Windows ar	es and blinds ixed battens endicular wind and glazed	must fully must have dow. The doors g	shade the battens spacing b	e window or parallel to thi etween batte equiremen	glazed door beside which they are e window or glazed door above whi ans must not be more than 50 mm. nts	situated when fully drawn or closed. ch they are situated, unless the pergola also		V.	17.
Pergolas with fi shades a perpe Windows ar	es and blinds ixed battens endicular wind and glazed	must fully must have dow. The doors g	shade the e battens spacing b lazing r Overship Height	e window or parallel to the etween batte equirement edowling Distance	glazed door beside which they are e window or glazed door above whi ans must not be more than 50 mm. nts	situated when fully drawn or closed. ch they are situated, unless the pergola also		V.	17.
Pergotas with fi shades a perpe Windows ar Window / door no	s and blinds ixed battens endicular wind and glazed Orientalism	must fully must have dow. The doors g Area of diass illo- frames (m2)	shade the e battens spacing b lazing r Oversite Height (m)	e window or parallel to the etween batte equirement adoving Distance (m)	glazed door beside which they are e window or glazed door above whi aris must not be more than 50 mm. Its Shading device eave/verandah/pergola/balcony	situated when fully drawn or closed. ch they are situated, unless the pergola also Frome and place type: Improved aluminium, single clear, (U-value)		V.	17.
Pergolas with fi shades a perpe Windows ar Window/ door no	ixed bilinds ixed battens andicular wind and glazed Orientation	must fully must have dow. The doors g Area of class (m2) 1.59	shade the e battens spacing b lazing r Oversite Height (m)	e window or parallel to the etween batte equirement edoving Distance (m)	glazed door beside which they are e window or glazed door above whi aris must not be more than 50 mm. Its Shading devine Pave/verandah/pergola/balcony >=450 mm. eave/verandah/pergola/balcony eave/verandah/pergola/balcony	situated when fully drawn or closed. ch they are situated, unless the pergola also Frame and glass type firsproved aluminium, single clear, (U-value; 6.44, SHGC: 0.75) improved aluminium, single clear, (U-value; 6.44, SHGC: 0.75)		V.	17.

Glazing requ	Glazing requirements						azing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	Distance (m)	Shading device	Frame and glass type									
D3	NW	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)									
D4	NW	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)									
D6	NW	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)									
D7	NW	9.39	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)									

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a "\" in the "Show on DA plans" column must be shown on the plans accompanying the development application for t development application is to be todged for the proposed development).	he proposed development (if a
Commitments identified with a "w" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying to cartificate / complying development certificate for the proposed development.	he application for a construction
Commitments identified with a "",/" in the "Certifier check" column must be certified by a certifying authority as flaving been fulfilled, before a final or development may be issued.	ccupation certificate for the

BASIX COMMITMENTS
1:100

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Notes:

NEW

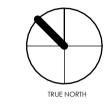
no.





DEMO **Revisions**

> description date ISSUE - A Development Application 16.06.21



Consultants:

Leathwaite Planning Group Katherine Sheppard 0413618855 katherine@leathwaite.com.au **Town Planner:**

Bush Fire Planning Services Matthew Willis 0428408577 mattw@bushfireconsultants.com.au **Bush Fire Consultant:**

White Geotechnical Group 02 7900 3214 info@whitegeo.com.au **Geotechnical Engineer:**

Structural Design:

Client:

CHRIS & DEBBIE CHARLTON

ARCHIT PROJECT DESIGN

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brent gasson

Project Title:

Creative Director:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

BASIX // SITE NOTES

Drawing Status:

Drawing Title:

DEVELOPMENT APPLICATION

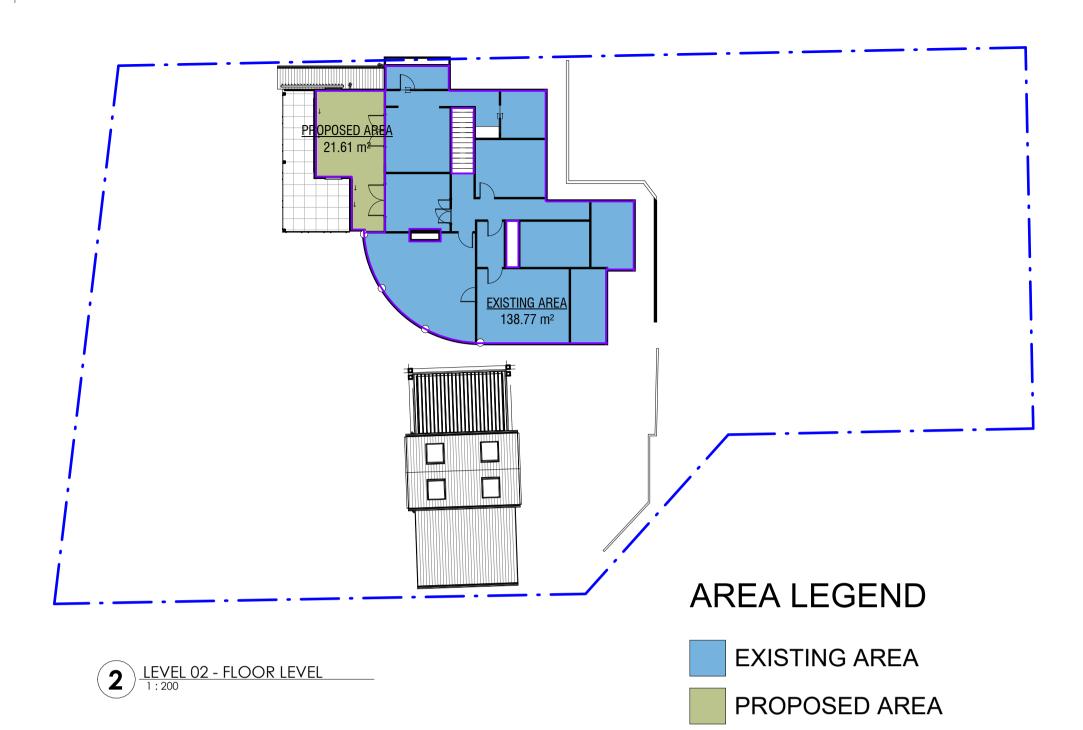
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Date:	02.03.21
Project No:	A21_00157
Drawn:	Author
Checked:	Checker

Drawing Details: A037

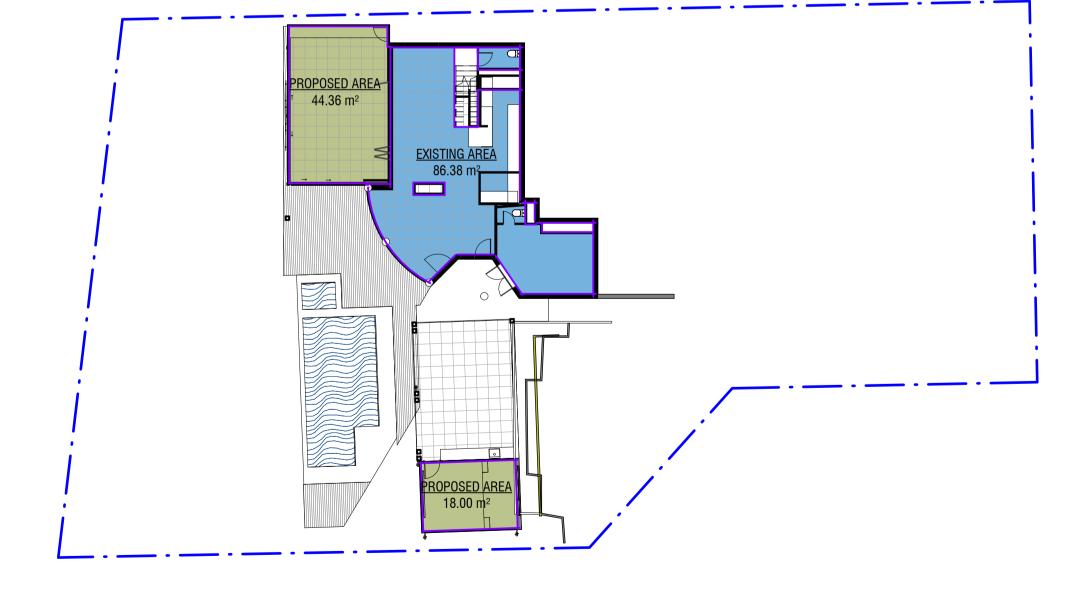
Drawing Details:

Revision:





Area Schedule (FLOOR AREAS - BASIX)						
Name	Level	Area	Area Type	Comments		
EXISTING AREA	LEVEL 01 - GROUND LEVEL	86.38 m ²	Floor Area	BASIX		
EXISTING AREA	LEVEL 02 - FLOOR LEVEL	138.77 m ²	Floor Area	BASIX		
		225.14 m ²				
PROPOSED AREA	LEVEL 01 - GROUND LEVEL	62.36 m ²	Floor Area	BASIX		
PROPOSED AREA	LEVEL 02 - FLOOR LEVEL	21.61 m ²	Floor Area	BASIX		
		83.97 m ²				
		309.11 m ²				



) LEVEL 01 - GROUND LEVEL 1:200

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Notes:





NEW Revisions:

no.

description A ISSUE - A Development Application 16.06.21



date \$

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

FLOOR AREAS PROPOSED

Drawing Status:

DEVELOPMENT APPLICATION

Drawing Details:

Scale:	1:200 @
Date:	02.03.
Project No:	A21_001
Drawn:	Auth
Checked:	Check





EXISTING GARDEN BED REPLANTED ALFRESCO WITH PREVIOUS PLANTS AND OTHER PLANTS SOURCE FROM THE PROPERTY LINE OF POOL FENCE. EXISTING TIMBER RETAINING DEMOLISHED EXISTING POOL MASONRY RETAINING WALL WITH AND SPA SANDSTONE FACING LINE OF POOL (1200 HGH) CABANA FENCE. EXISTING LAWN TIMBER RETAINING WALL REBUILT (600 HGH) EXISTING PAVING EXISTING LAWN EXISTING TIMBER RETAINING DEMOLISHED DECKING EXISTING GARDEN BED REPLANTED WITH EXISTING PLANTS FROM THE PROPERTY BOUNDARY LINE EXISTING LARGE GUN TREES PETAINED EXISTING LARGE GUN TREES GRAVEL PARKING RETAINED EXISTING BRUSH FENCE PETAINED -EXISTING CONCRETE DRIVEWAY EXISTING BRUSH GATES EXISTING CONCRETE DRIVEWAY

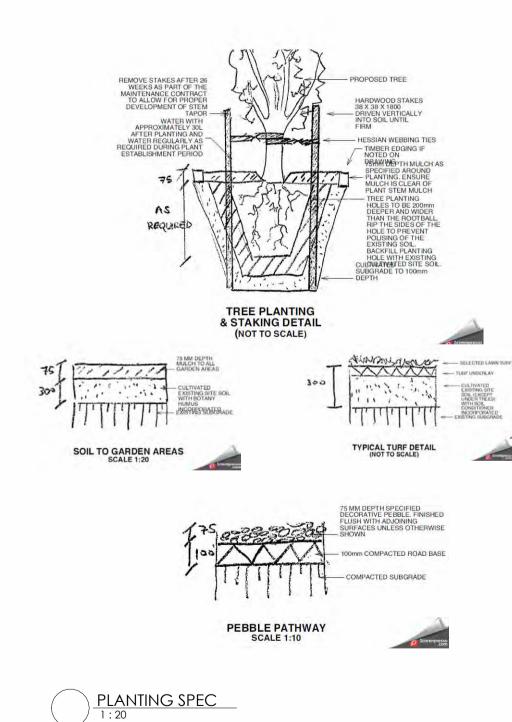
1 LEVEL 2 FLOOR PLAN

NOTE:

THERE ARE NO NEW LANDSCAPE WORKS PROPOSED THE WORKS SHOW HERE ARE:

- REPLACING AN EXISTING TIMBER SLEEPER RETAINING WALL WITH A MASONRY WALL
- REPLANTING GARDEN BEDS WITH A MIXTURE OF EXISTING PLANTS AND OTHERS EXISTING FROM THE
- RETAINING WALL DRAINAGE AND WATERPROOFING WILL BE INSTALLED IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN

REFER TO SHEET AOII FOR SITE COVERAGE PLANS AND CALCULATIONS



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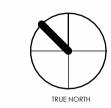


DEMO EXISTING

Revisions:

description no.

date ISSUE - A Development Application 16.06.21



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Structural Design:

Client:

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

LANDSCAPE **CONCEPT PLAN**

Drawing Status:

DEVELOPMENT APPLICATION

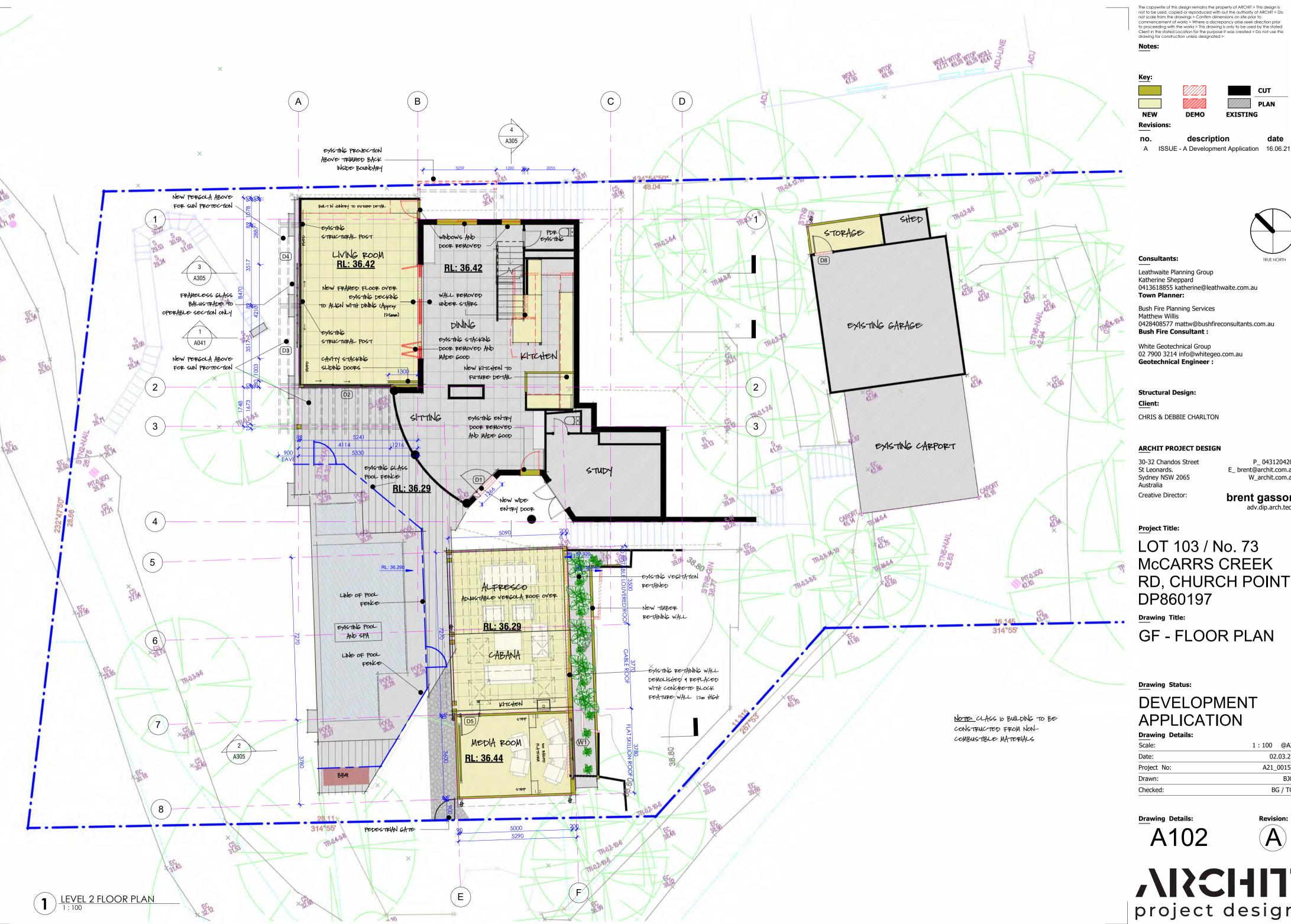
Drawing Details:

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Date:	02.03	.2
Project No:	A21_001	15
Drawn:	Aut	nc
Checked:	Chec	ke





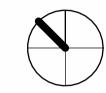






EXISTING

description



date

0413618855 katherine@leathwaite.com.au

0428408577 mattw@bushfireconsultants.com.au **Bush Fire Consultant:**

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LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

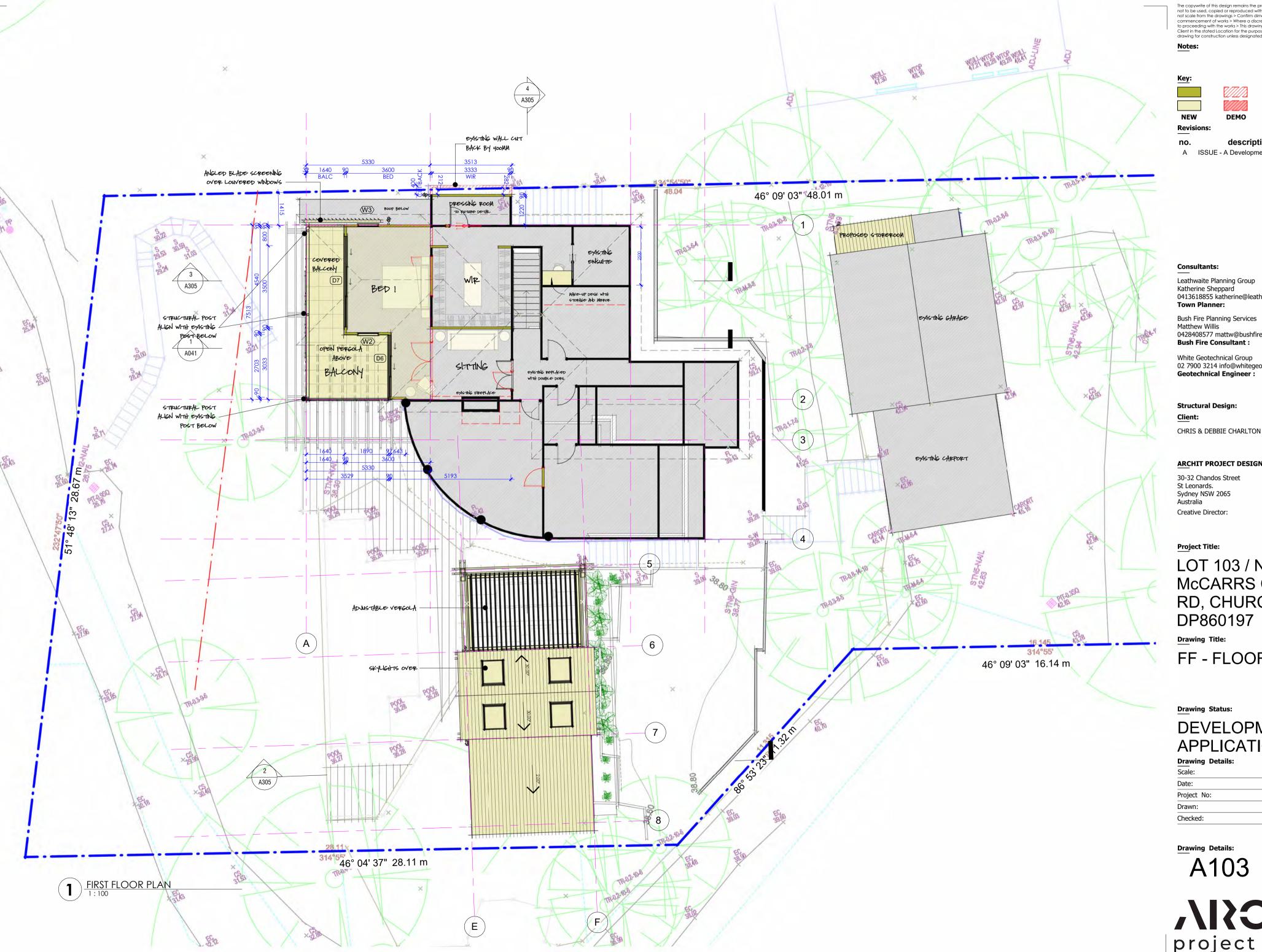
GF - FLOOR PLAN

DEVELOPMENT APPLICATION

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Date:	02	.03.2
Project No:	A21_	0015
Drawn:		BJ
Checked:	В	G / T(





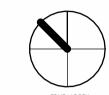




DEMO

description

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LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

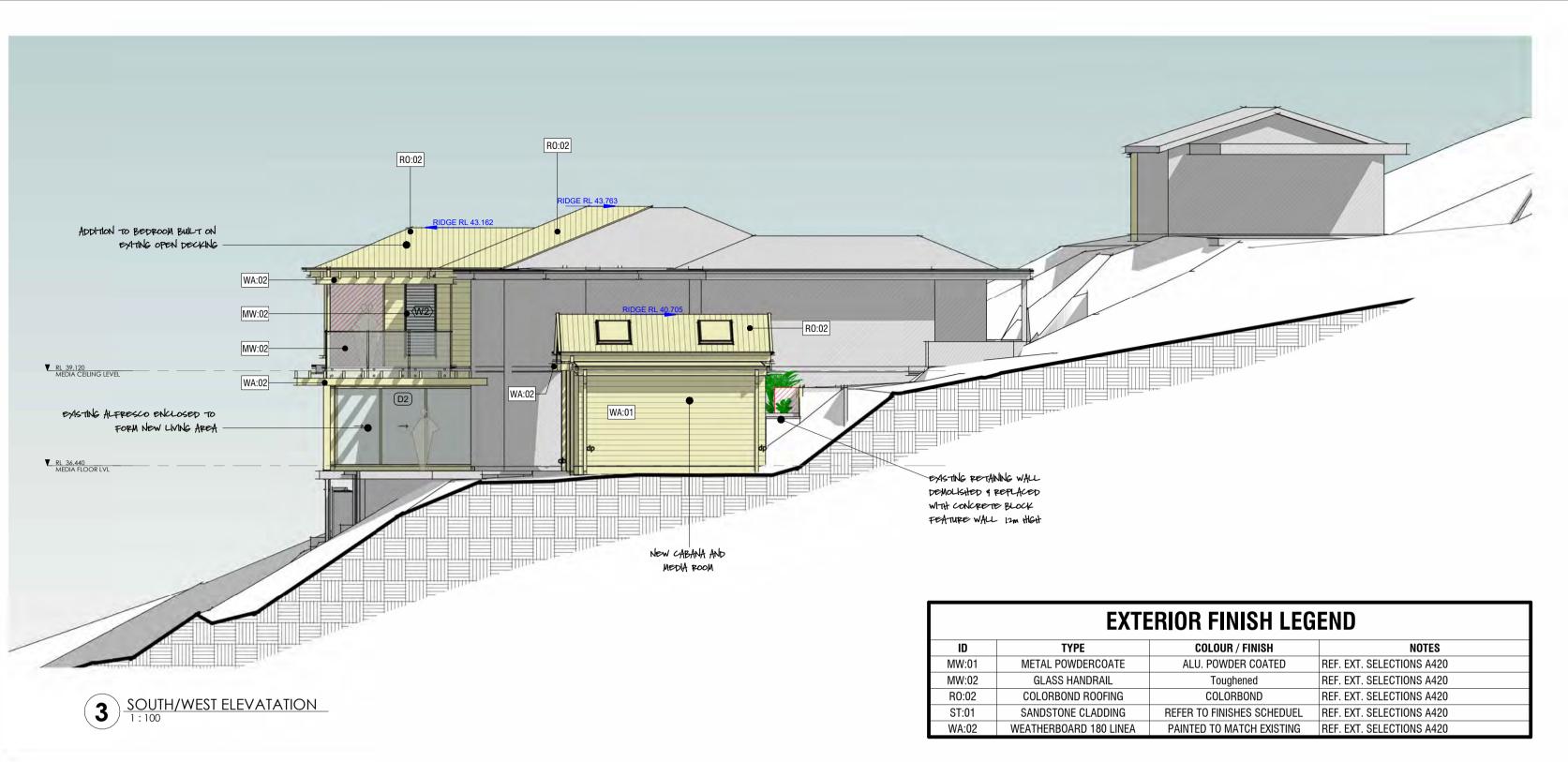
FF - FLOOR PLAN

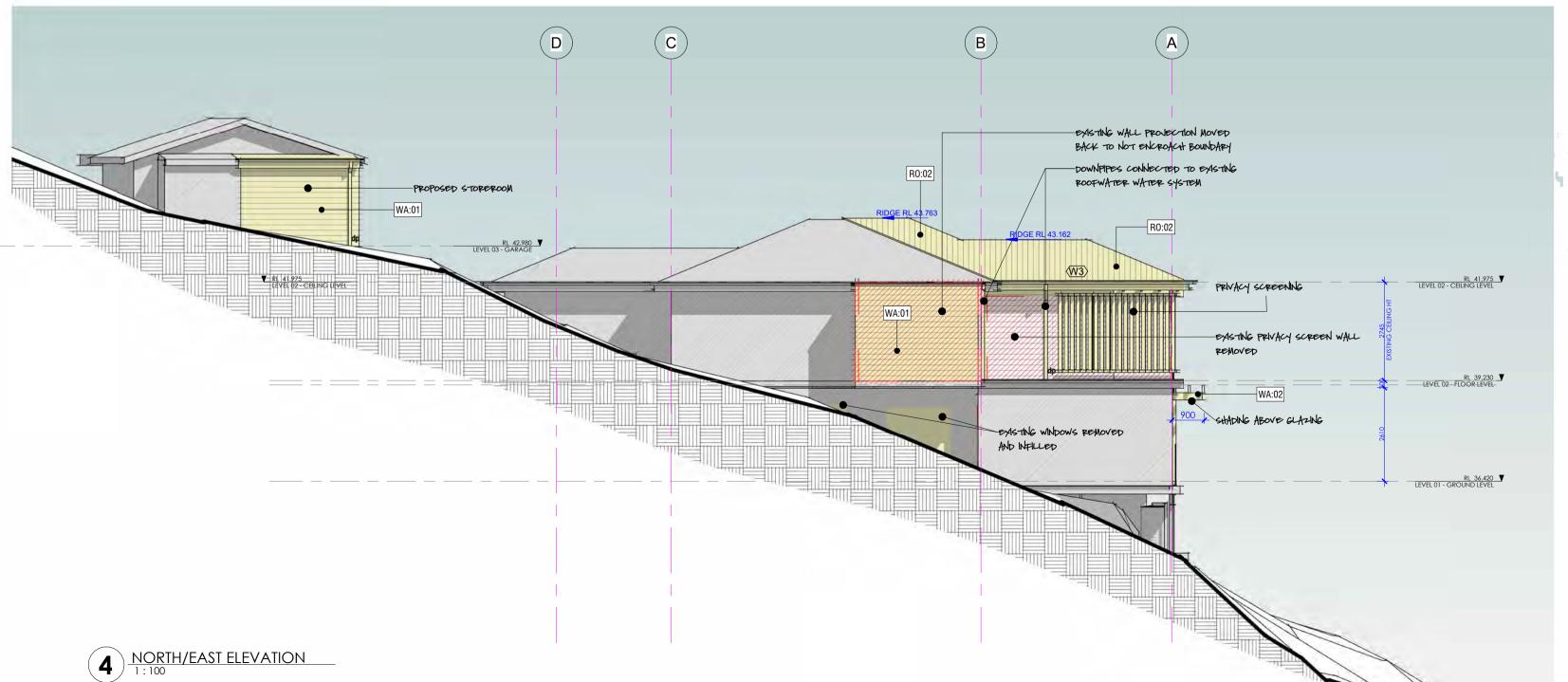
DEVELOPMENT APPLICATION

Scale:	1:100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ









Notes:

Key:





DEMO

Revisions:

no.

date \$ description ISSUE - A Development Application 16.06.21

Consultants:

Leathwaite Planning Group Katherine Sheppard 0413618855 katherine@leathwaite.com.au **Town Planner:**

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ARCHIT PROJECT DESIGN

Creative Director:

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brent gasson

TRUE NORTH

Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

EXTERIOR ELEVATIONS

Drawing Status:

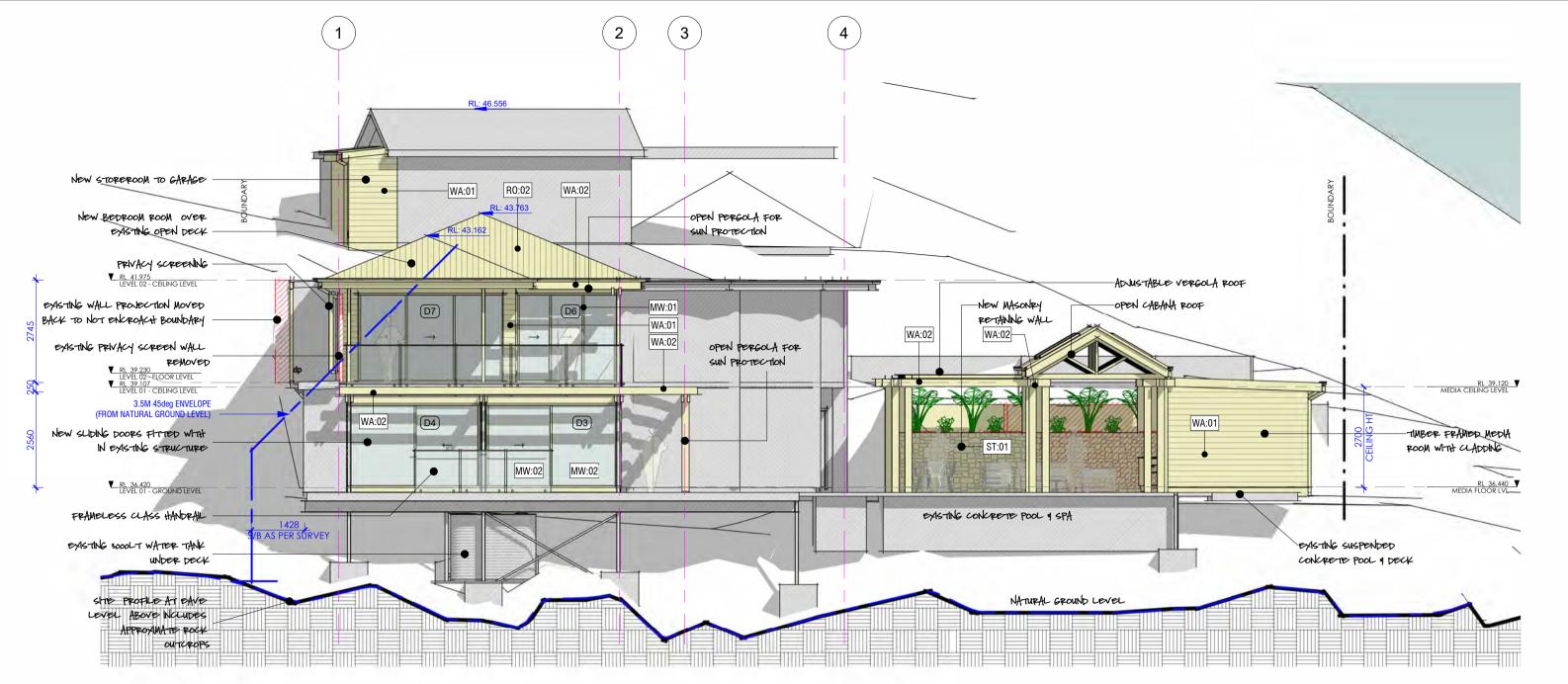
DEVELOPMENT APPLICATION

Drawing Details:

Scale:	1:100	@ <i>A</i>
Date:	02	2.03.2
Project No:	A21_	_001!
Drawn:		B.
Checked:	В	G/T







ST:01

WA:02

SANDSTONE CLADDING

WEATHERBOARD 180 LINEA

R0:02 WA:01 RL 42.980 V

G3-GARAGE NORTH/EAST

NORTH/WEST ELEVATION
1:100

EXTERIOR FINISH LEGEND ID **TYPE COLOUR / FINISH** NOTES MW:01 METAL POWDERCOATE ALU. POWDER COATED REF. EXT. SELECTIONS A420 MW:02 GLASS HANDRAIL Toughened REF. EXT. SELECTIONS A420 R0:02 COLORBOND ROOFING COLORBOND REF. EXT. SELECTIONS A420

REFER TO FINISHES SCHEDUEL

PAINTED TO MATCH EXISTING REF. EXT. SELECTIONS A420

REF. EXT. SELECTIONS A420

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Notes:

Key:

NEW



CUT

date \$

TRUE NORTH

DEMO EXISTING

Revisions: no.

description ISSUE - A Development Application 16.06.21

Consultants:

Leathwaite Planning Group Katherine Sheppard 0413618855 katherine@leathwaite.com.au **Town Planner:**

Bush Fire Planning Services Matthew Willis 0428408577 mattw@bushfireconsultants.com.au **Bush Fire Consultant:**

White Geotechnical Group 02 7900 3214 info@whitegeo.com.au **Geotechnical Engineer:**

Structural Design:

Client:

CHRIS & DEBBIE CHARLTON

ARCHIT PROJECT DESIGN

Creative Director:

30-32 Chandos Street St Leonards. Sydney NSW 2065 Australia

P_ 0431204206 E_ brent@archit.com.au W_archit.com.au

brent gasson adv.dip.arch.tech

Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

EXTERIOR ELEVATIONS

Drawing Status:

DEVELOPMENT APPLICATION

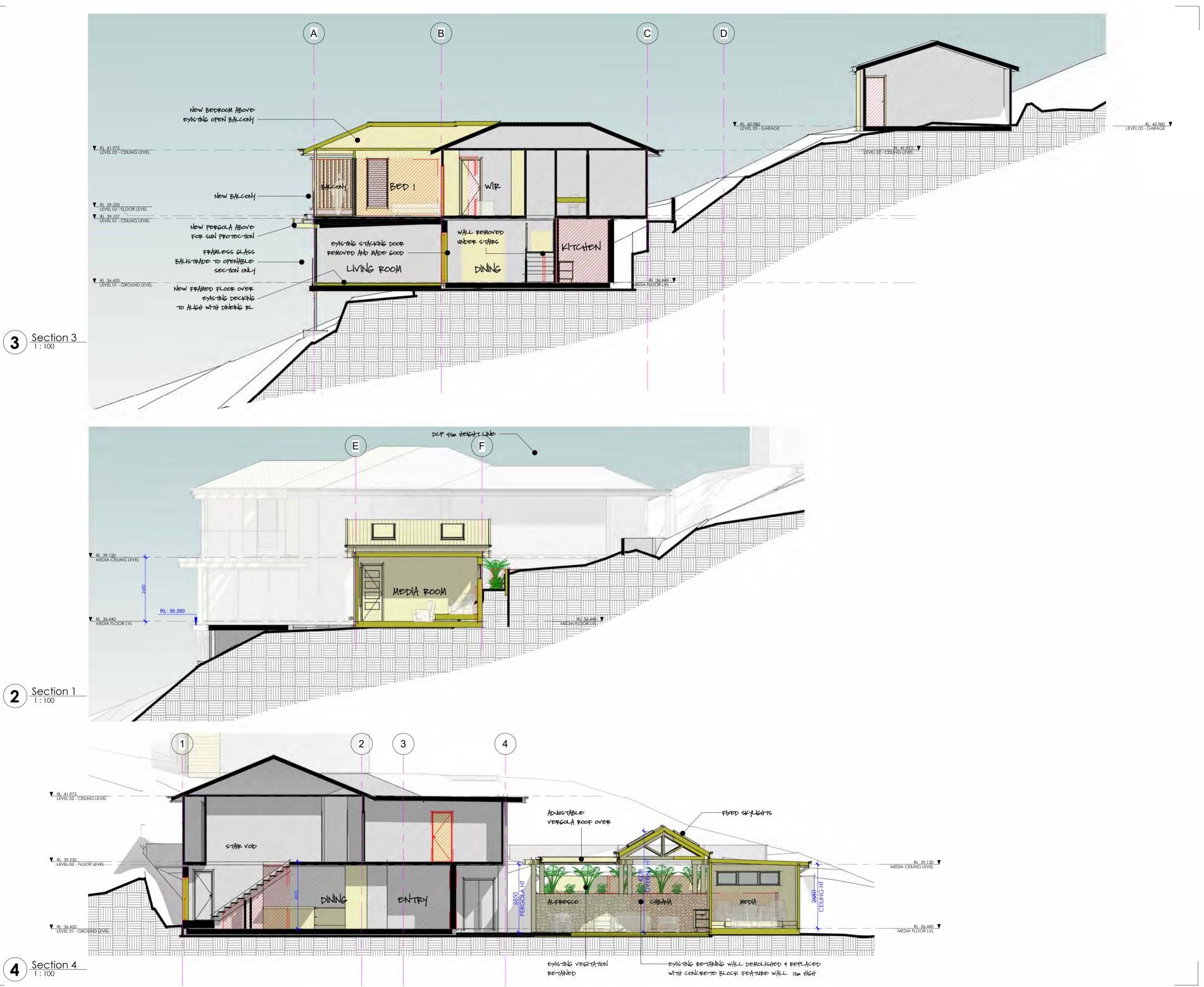
Drawing Details:

Scale:	1:100 @A
Date:	02.03.2
Project No:	A21_0015
Drawn:	BJ
Checked:	BG / T

Drawing Details:

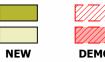






Notes:

Key:





DEMO Revisions:

no. description

date \$ ISSUE - A Development Application 16.06.21

TRUE NORTH

Consultants:

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

WALL SECTIONS

Drawing Status:

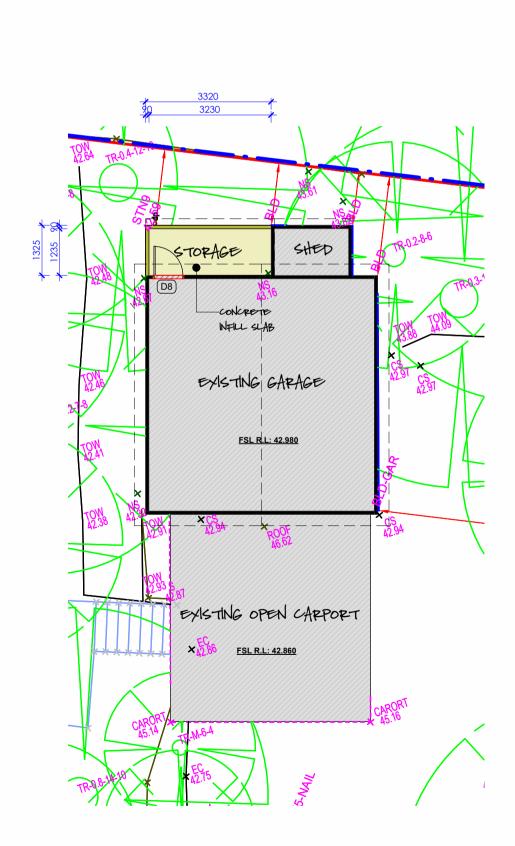
DEVELOPMENT APPLICATION

<u>Dra</u> wing	Details
<u>Dia</u> wing	Details

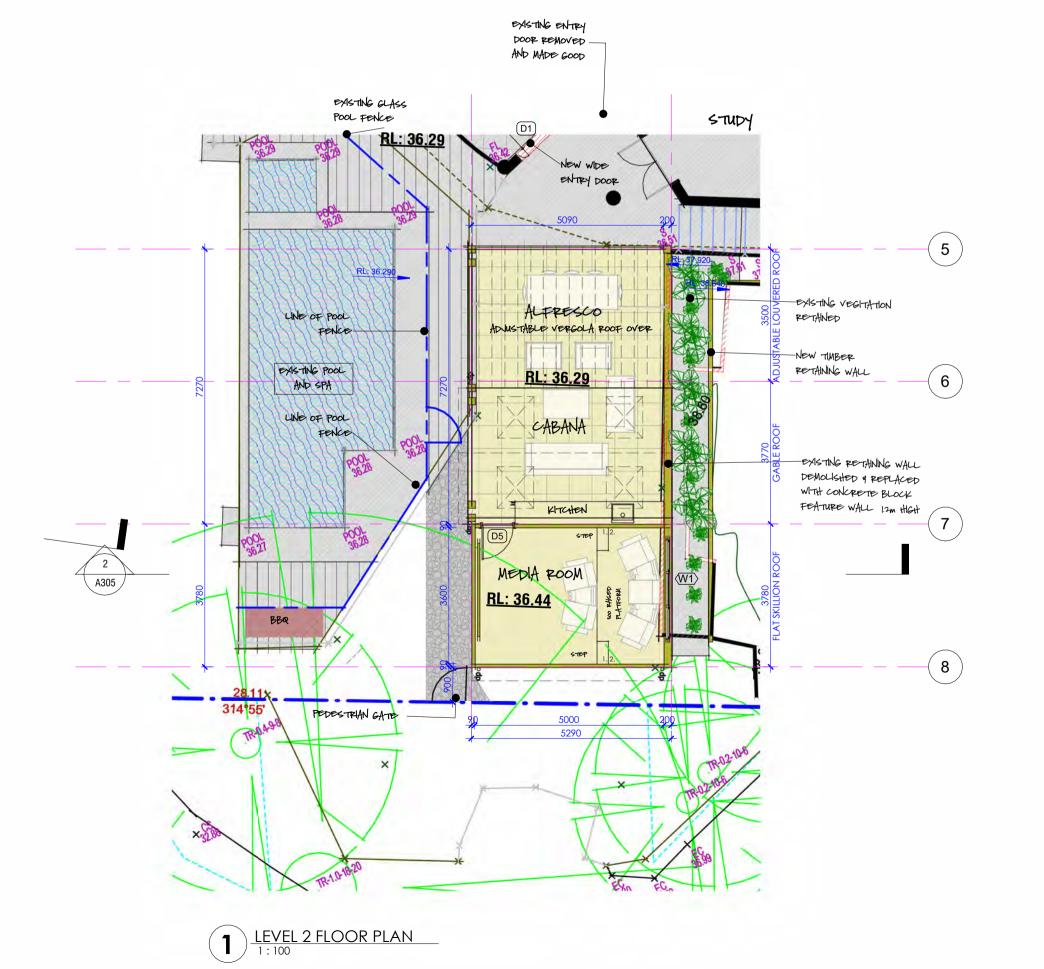
Scale:	1:100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ











NEW KITCHEN TO FUTURE DETAIL

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Notes:

Key:



NEW Revisions: **EXISTING**

no.

description A ISSUE - A Development Application 16.06.21



date \$

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

CABANA / MEDIA / **GARAGE FLOOR** PLAN

Drawing Status:

DEVELOPMENT APPLICATION

Drawing Details:

Scale:	1:100 @A
Date:	02.03.2
Project No:	A21_0015
Drawn:	BJ
Checked:	BG / T





NOTE: CLASS 10 BUILDING TO BE CONSTRUCTED FROM NON-COMBUSTABLE MATERALLS





VIEW FROM TERRACE

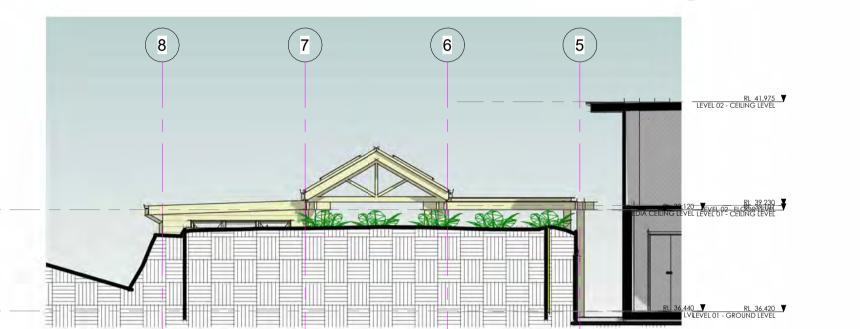
F

(E)

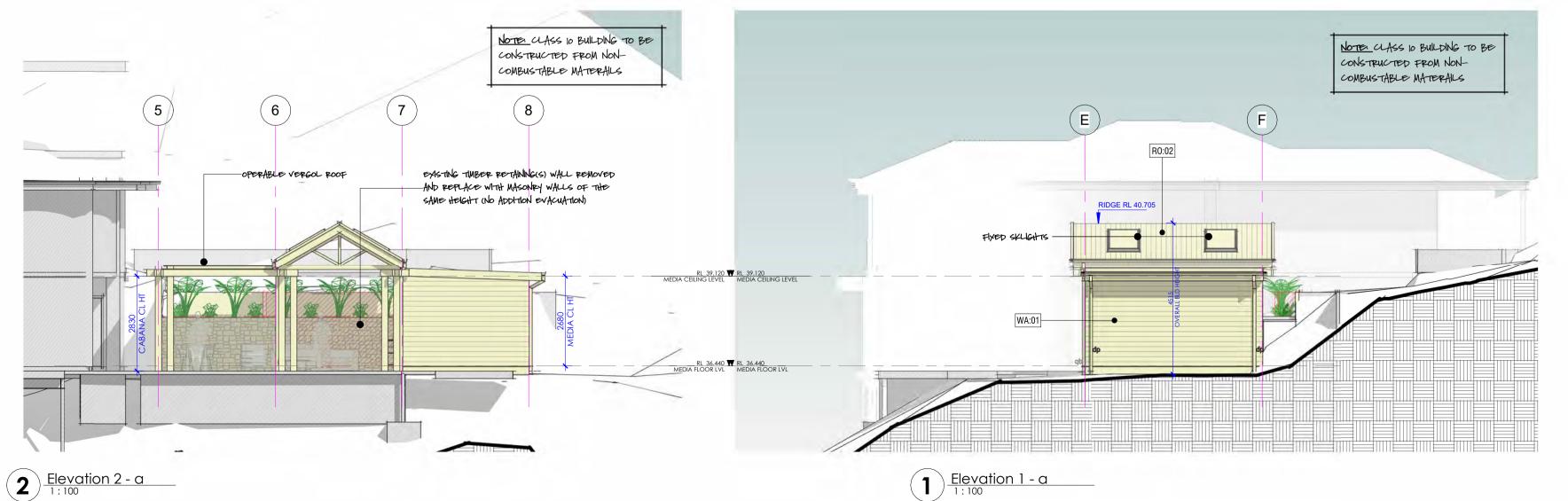
FIXED SKYLIGHTS

EXISTING TIMBER RETAINING(S) WALL REMOVED AND REPLACE WITH MASONRY WALLS OF THE

SAME HEIGHT (NO ADDITION EVACUATION)







RL 39.120 MEDIA CEILING LEVEL

RL 36.440 MEDIA FLOOR LVL

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Project Title:

LOT 103 / No. 73 McCARRS CREEK RD, CHURCH POINT DP860197

Drawing Title:

CABANA / MEDIA -**ELEVATIONS & SECTIONS**

Drawing Status:

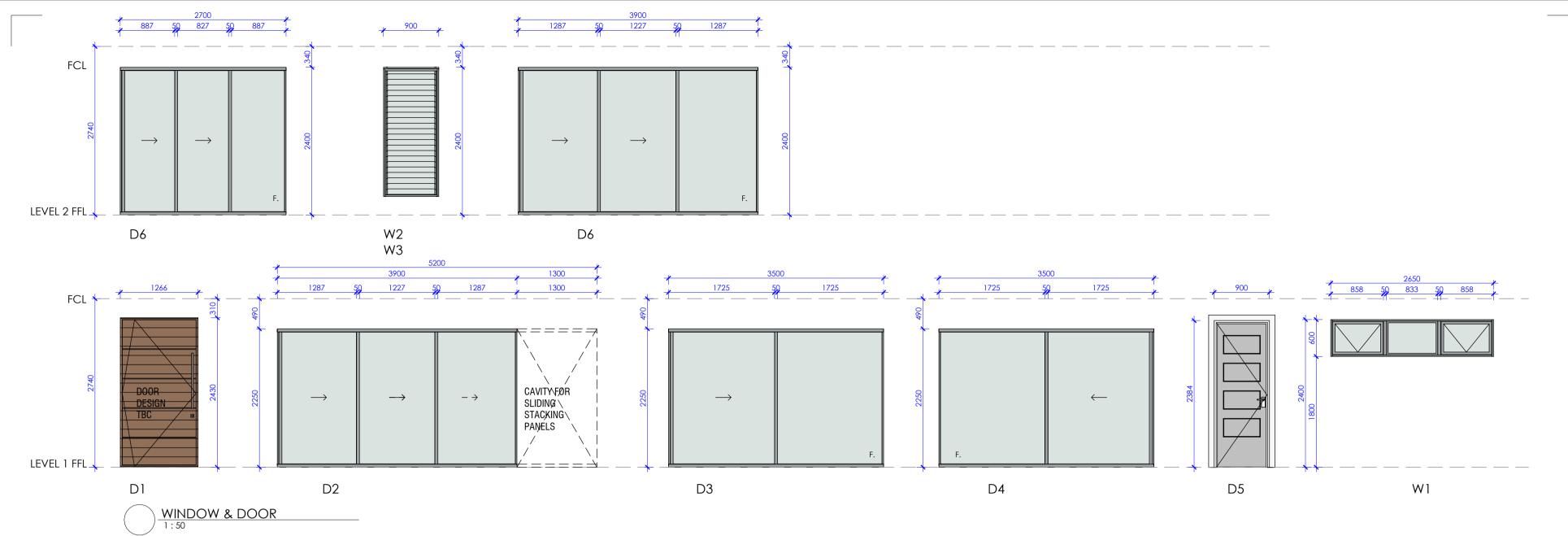
DEVELOPMENT APPLICATION

Drawing Details:

Scale:	1:100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TC







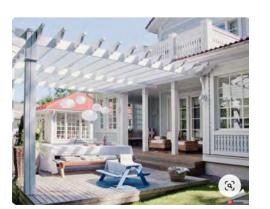
WA:01 SCYON LINEA - FC WEATHERBOARDS INCLUDING WINDOW & CORNER TRIMS



MATERIAL: FIBER CEMENT **COLOUR:** TO MATCH EXISTING FINISH: PAINTED

LOCATION: NEW WALLS

WA:02 PAINTED TIMBER / ALUMINUM



MATERIAL: TREATED TIMBER / ALUMINUM FINISH: PAINTED / POWDER COATED

LOCATION: AS NOMINATED





MATERIAL: COLORBOND **COLOUR:** MATCH EXISTING COLORBOND

LOCATION: NEW ROOFING

MA:01 MASONRY RETAINING WALL



MATERIAL: SANDSTONE CLADDING **COLOUR:** GOSFORD TBA FINISH: TBA

LOCATION: ALFRESCO / CABANA



POWER COAT ALUMINUM EXTERNAL SLIDING DOOR AND WINDOWS



MATERIAL: ALUMINUM COLOUR: TBA COLORBOND POWER COAT

LOCATION: ALL NEW WINDOWS AND D00RS



MATERIAL: GLASS TOUGHENED COLOUR: CLEAR FINISH:

LOCATION: NEW BALUSTRADE (FIXING TYPE TBC)

MW:02

GLASS BALUSTRADE SYSTEM



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Notes:

Key: NEW DEMO



CUT **EXISTING**

date

TRUE NORTH

Revisions:

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Project Title:

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Drawing Title:

WINDOW / DOOR / **EXT. MATERIALS SCHEDULES Drawing Status:**

DEVELOPMENT APPLICATION

Drawing Details:

02.03.2
A21_0015
ВЈ
BG / To

Drawing Details:



