

# ALTERATIONS & ADDITIONS

## No.73 McCARRS CREEK RD, CHURCH POINT

DEVELOPMENT APPLICATION  
NORTHERN BEACHES COUNCIL

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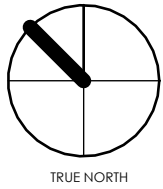
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Key:

<div></div>	<div></div>	<div></div>	CUT
<div></div>	<div></div>	<div></div>	PLAN
NEW	DEMO	EXISTING	

Revisions:

no.	description	date
A	ISSUE - A Development Application	16.06.21



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Structural Design:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

COVER SHEET

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	@A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

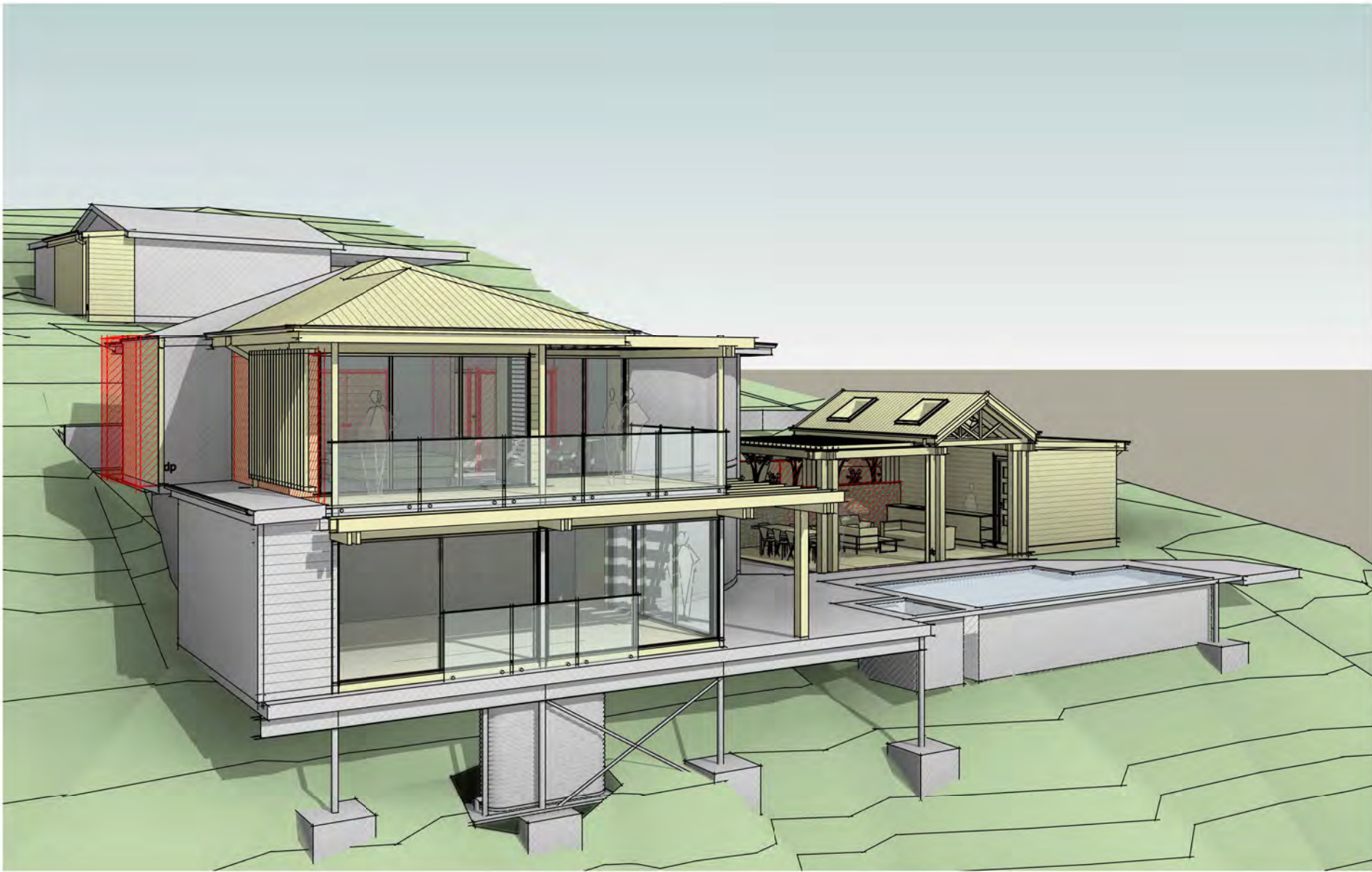
A000

Revision:

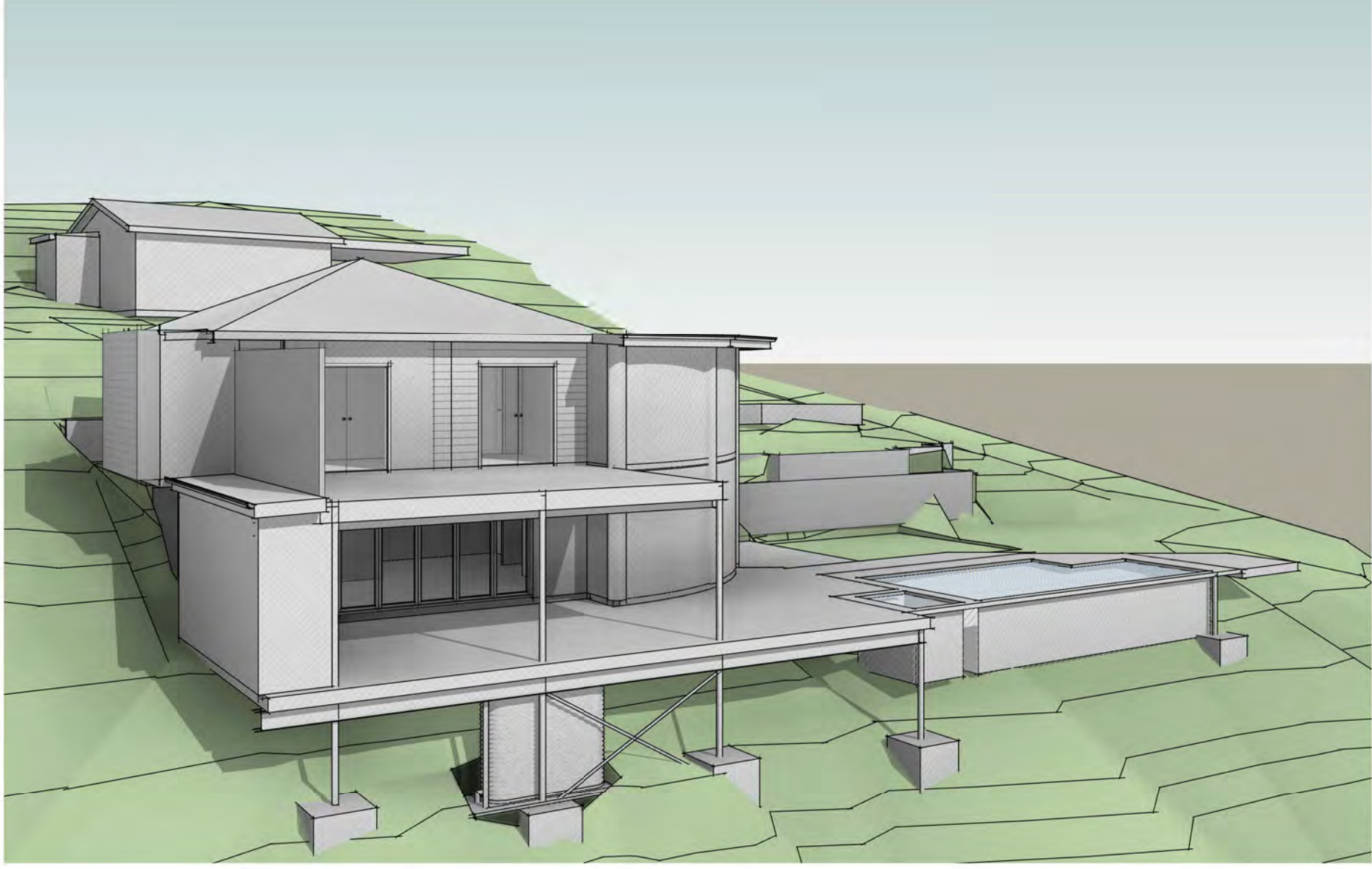
A

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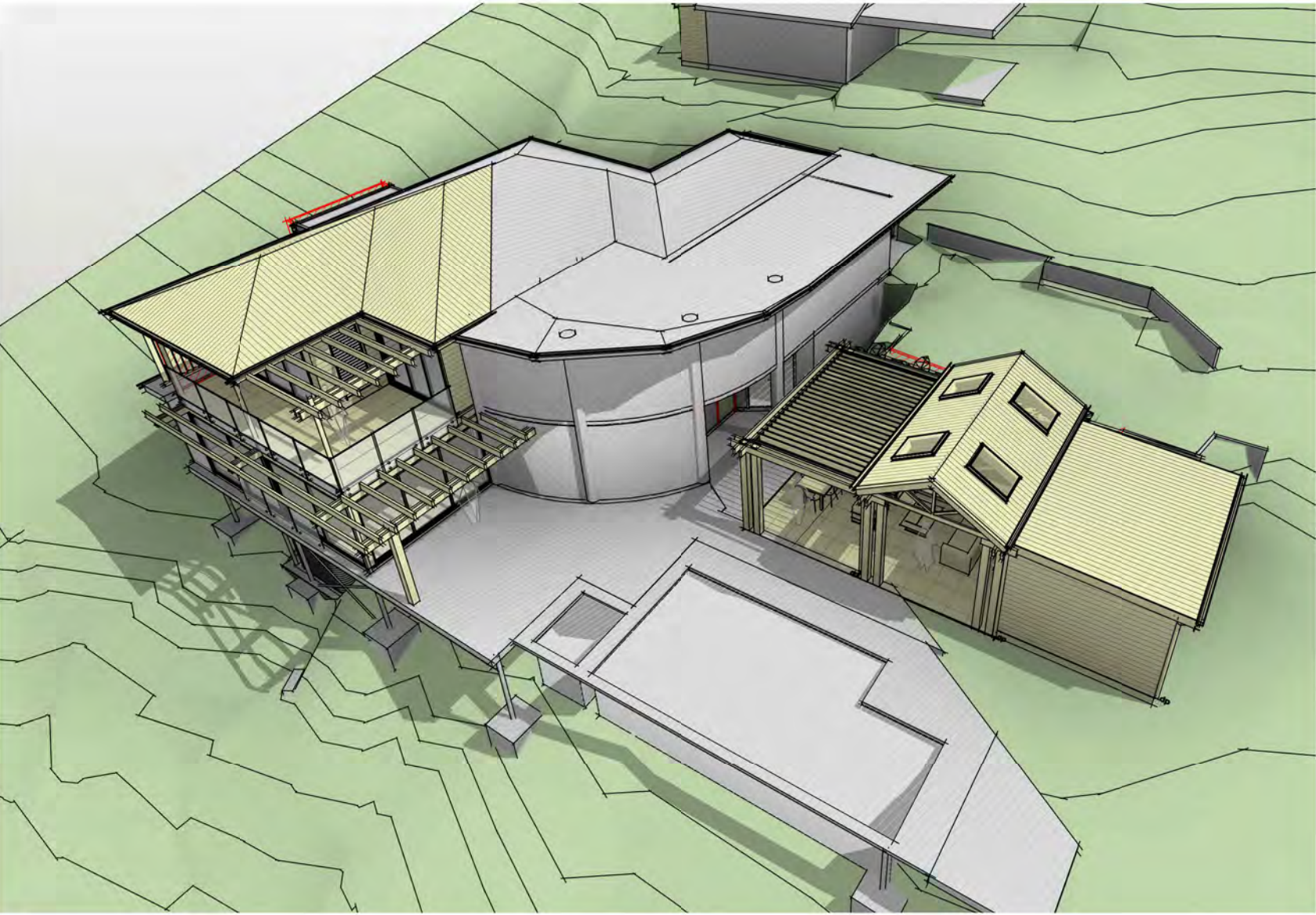




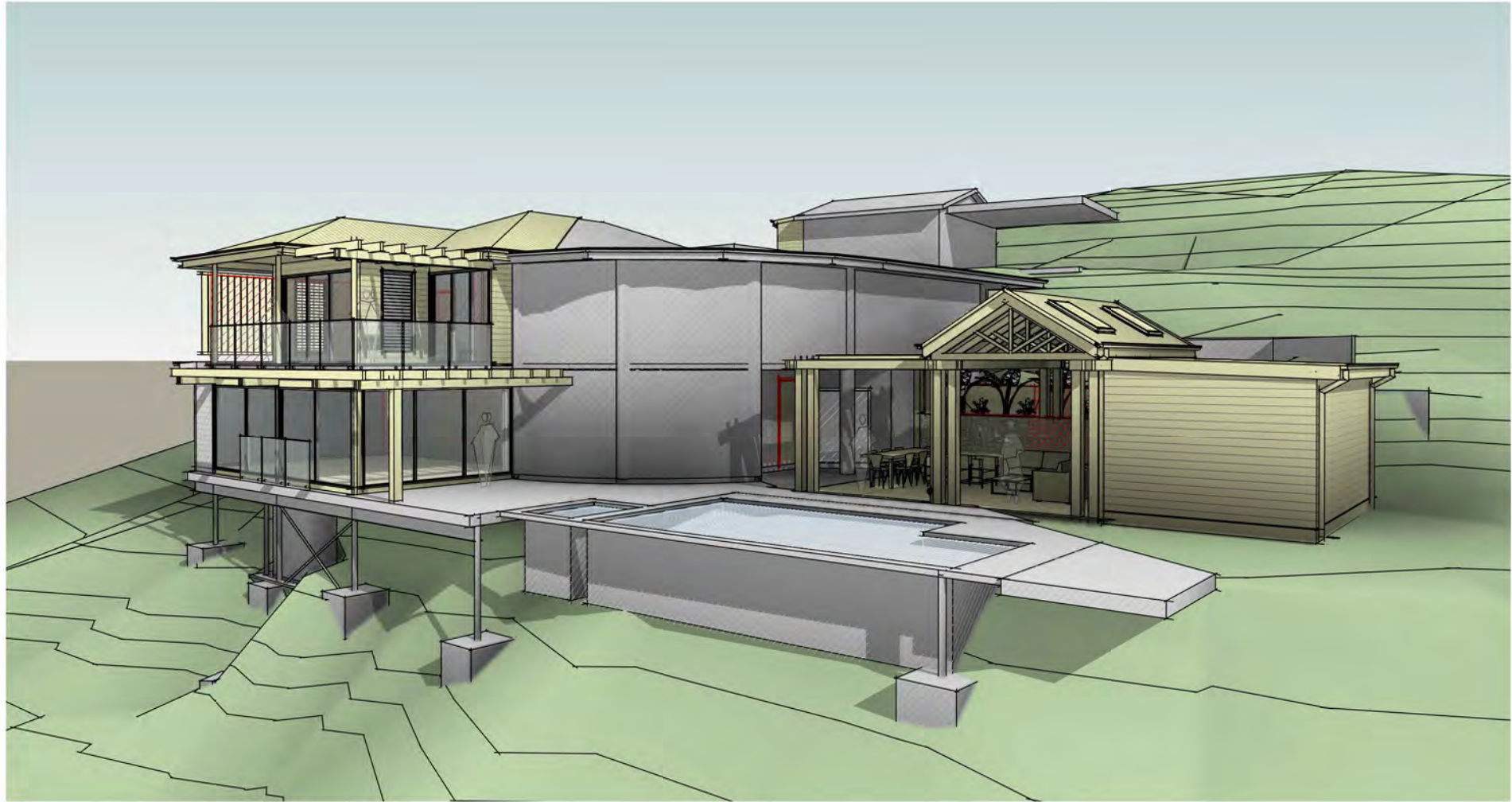
1 V1 PROPOSED



4 V1 EXISTING



2 V2 PROPOSED









3 V3 PROPOSED

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			CUT
			PLAN
NEW	DEMO	EXISTING	

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

PERSPECTIVES

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	@A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

A001

Revision:

A

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style // vision // experience



Notes:

Key:



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Project Title:

**LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197**

Drawing Title:

**SURVEY PLAN**

Drawing Status:

**DEVELOPMENT  
APPLICATION**

Drawing Details:

Scale:	1 : 200 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

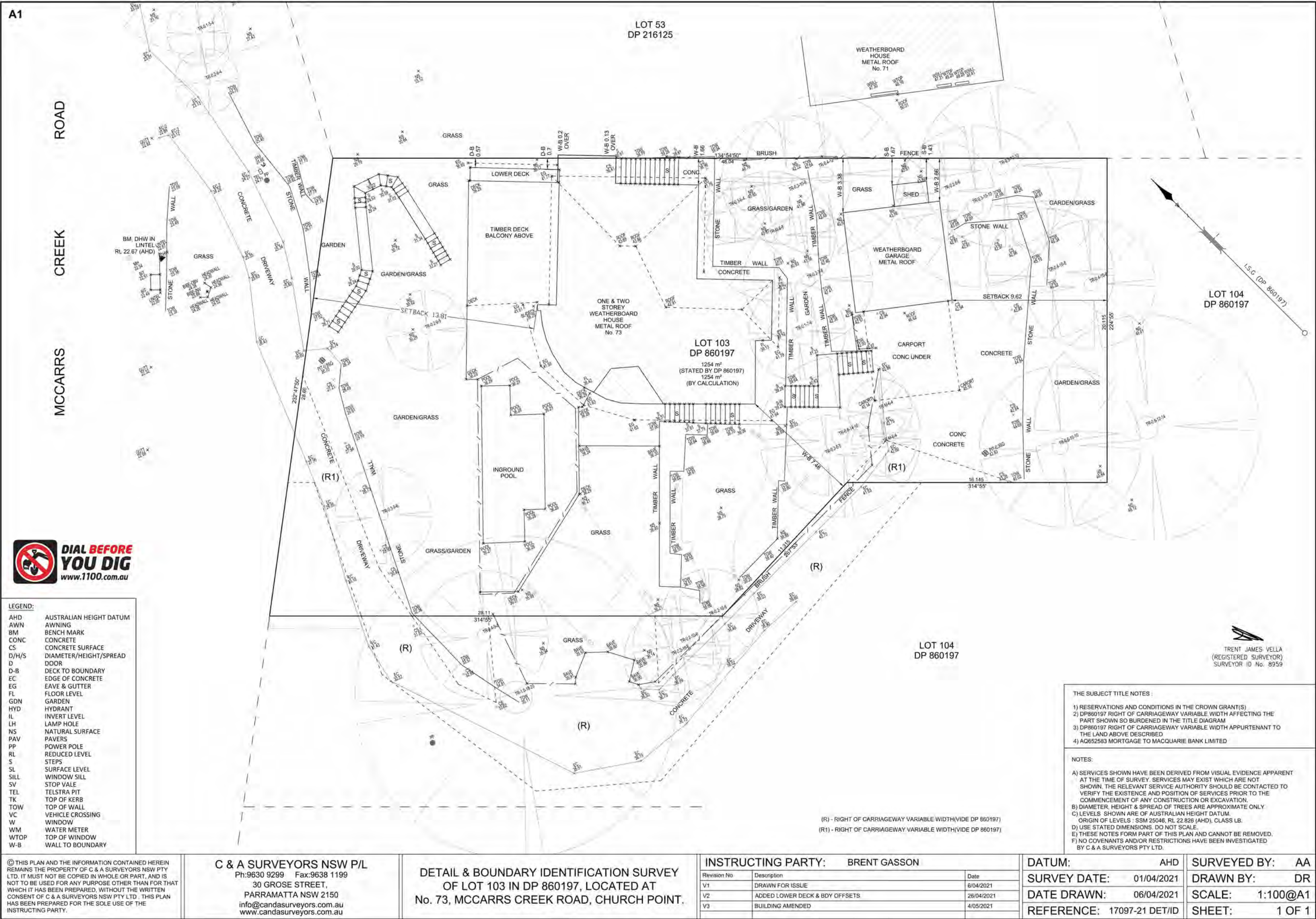
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**A008**

Revision:

**A**

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**1** SURVEY PLAN  
1 : 200



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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

SITE PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 200 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	Author
Checked:	Checker

Drawing Details:

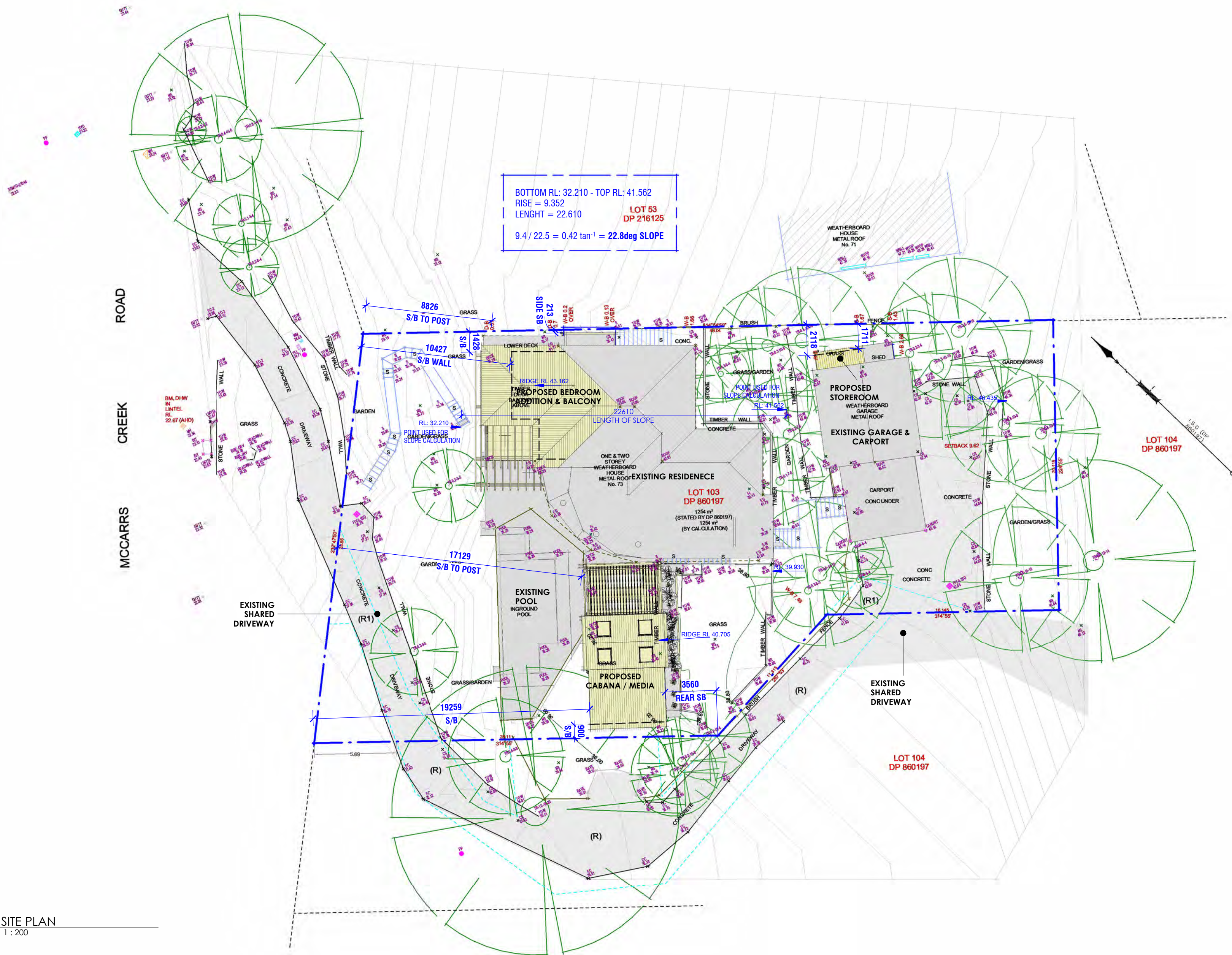
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Revision:

A

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1 SITE PLAN  
1 : 200











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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

SITE AREA  
CALCULATION PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	As indicated	@A2
Date:		02.03.21
Project No:		A21_00157
Drawn:		BJG
Checked:		BG / TQ

Drawing Details:

A011

Revision:

A

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	SHARED ACCESS HANDLE
	EXISTING HOUSE / GARAGE / CARPORT FOOTPRINT
	EXISTING HARD SURFACES RETAINED - PARKING & PATHS (WIDER THAN 1.0m)
	EXISTING TIMBER DECK RETAINED
	EXISTING POOL & COPING
	PROPOSED HARD SURFACE AREA (MEDIA / CABANA / GARAGE STORAGE)
	LANDSCAPED AREA (PERVIOUS)



**SITE AREA :** 1254.0m<sup>2</sup>  
**Less SHARED ACCESS HANDLE** - 60.2m<sup>2</sup>  
**EFFECTIVE SITE AREA** **1193.8m<sup>2</sup>**

**EXISTING AREAS:**  
FOOTPRINT OF EXISTING RESIDENCE 213.20m<sup>2</sup>  
FOOTPRINT OF GARAGE & CARPORT 76.35m<sup>2</sup>  
EXISTING HARD SURFACE AREAS (PARKING & PATHS WIDER THAN 1.0m) 93.28m<sup>2</sup>  
EXISTING TIMBER DECK 39.50m<sup>2</sup>  
POOL & COPING 48.80m<sup>2</sup>  
**SUB-TOTAL** **471.13m<sup>2</sup>**

**PROPOSED AREAS:**  
MEDIA & CABANA 55.25m<sup>2</sup>  
GARAGE STOARGE 4.04m<sup>2</sup>  
**SUB-TOTAL** **530.42m<sup>2</sup>**

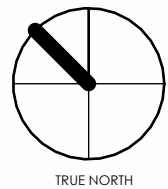
**LESS 6% OF EFFECTIVE SITE AREA (IMPERVIOUS LANDSCAPE TREATMENTS)** - 71.63m<sup>2</sup>  
**SUM-TOTAL** **458.79m<sup>2</sup>**

**SITE COVERAGE TOTAL** **458.79m<sup>2</sup>**  
**SITE COVERAGE %** **38.43%**

**PROPOSED LANDSCAPE AREA TOTAL** **735.01m<sup>2</sup>**  
**LANDSCAPE COVERAGE %** **61.57%**

SITE AREA CALCULATIONS  
1 : 20

1 SITE PLAN AREA PLAN  
1 : 200









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Project Title:

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McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

SITE ANALYSIS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	As indicated	@A2
Date:		02.03.21
Project No:		A21_00157
Drawn:		BJG
Checked:		BG / TQ

Drawing Details:

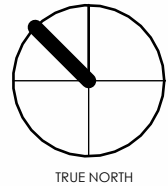
A012

Revision:

A

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project design

style // vision // experience

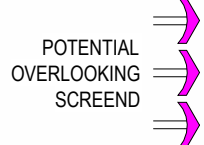
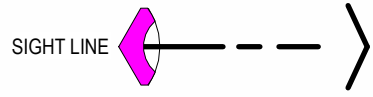
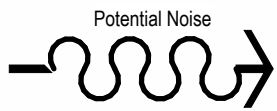


2 LOCALITY PLAN  
1 : 20

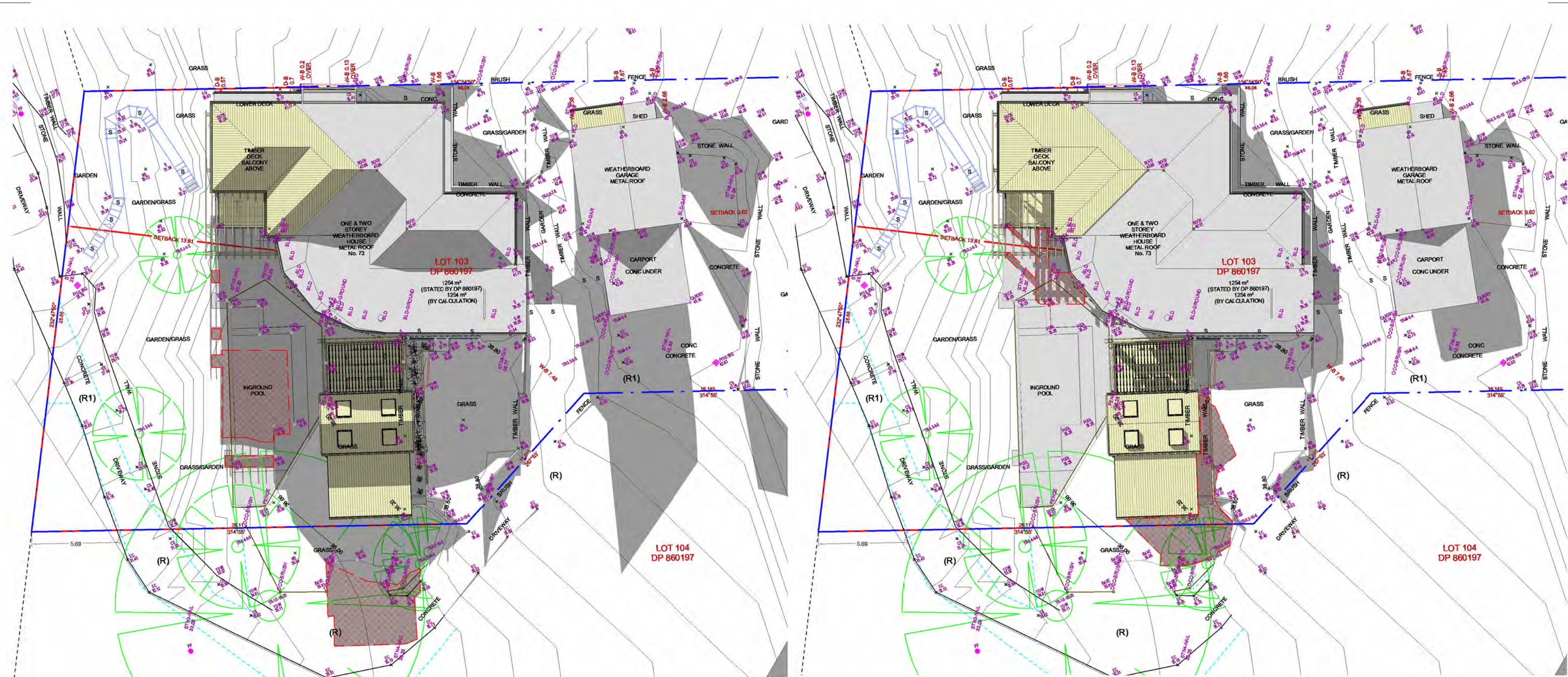
1 SITE ANALYSIS  
1 : 200

SITE LEGEND  
1 : 50

VIEW CORRIDOR >>>

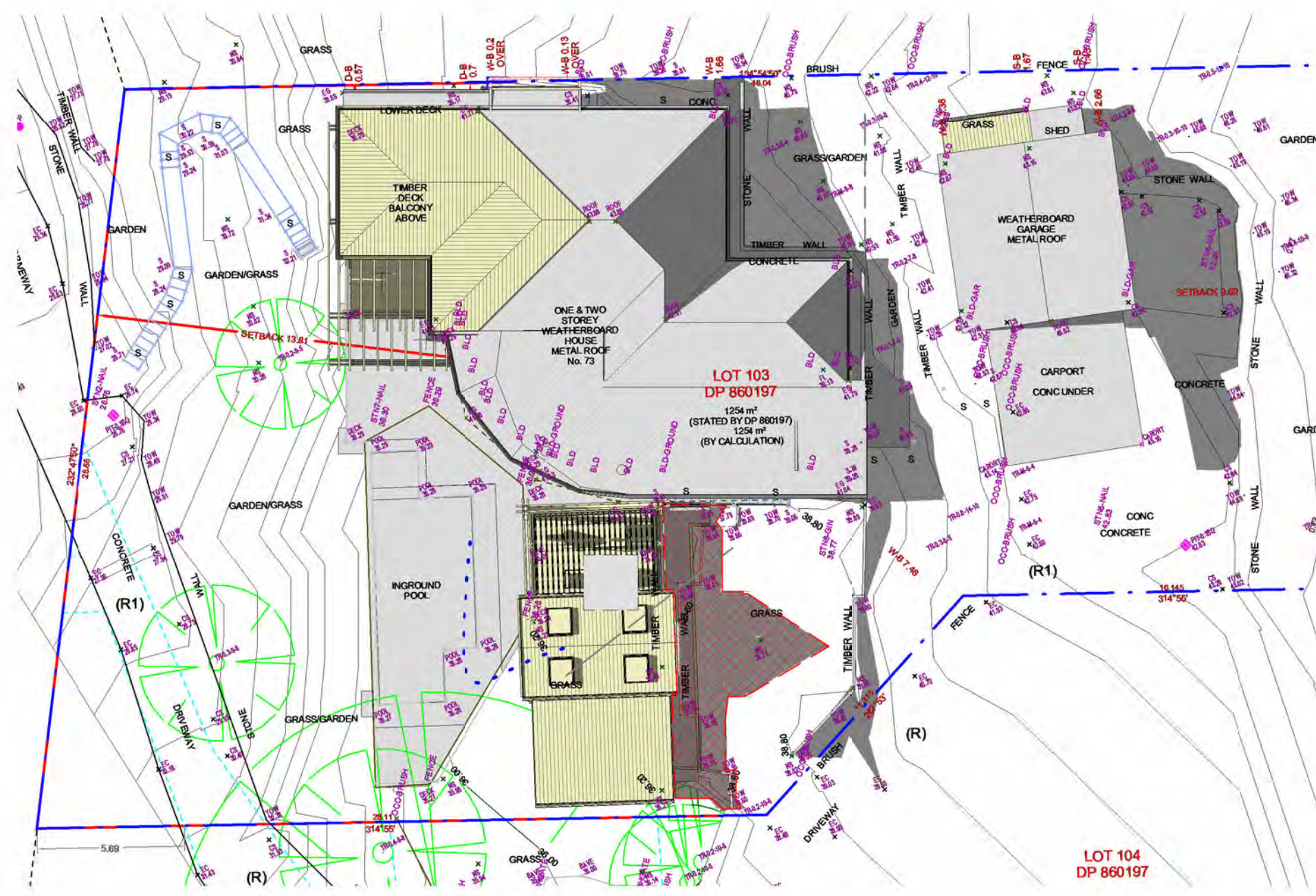






1 9AM - 21ST JUNE  
1 : 200

2 12PM - 21ST JUNE  
1 : 200



3 3PM - 21ST JUNE  
1 : 200

ADDITIONAL SHADOW GENERATED BY PROPOSED ADDITIONS  
(DOES NOT TAKE INTO ACCOUNT BOUNDARY FENCING OR EXISTING TREES)

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**Key:**

NEW	DEMO	EXISTING	CUT	PLAN
-----	------	----------	-----	------

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**Drawing Title:**

SHADOW DIAGRAMS

**Drawing Status:**

DEVELOPMENT  
APPLICATION

**Drawing Details:**

Scale:	As indicated @A2
Date:	02.03.21
Project No:	A21_00157
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**Drawing Details:**

A013

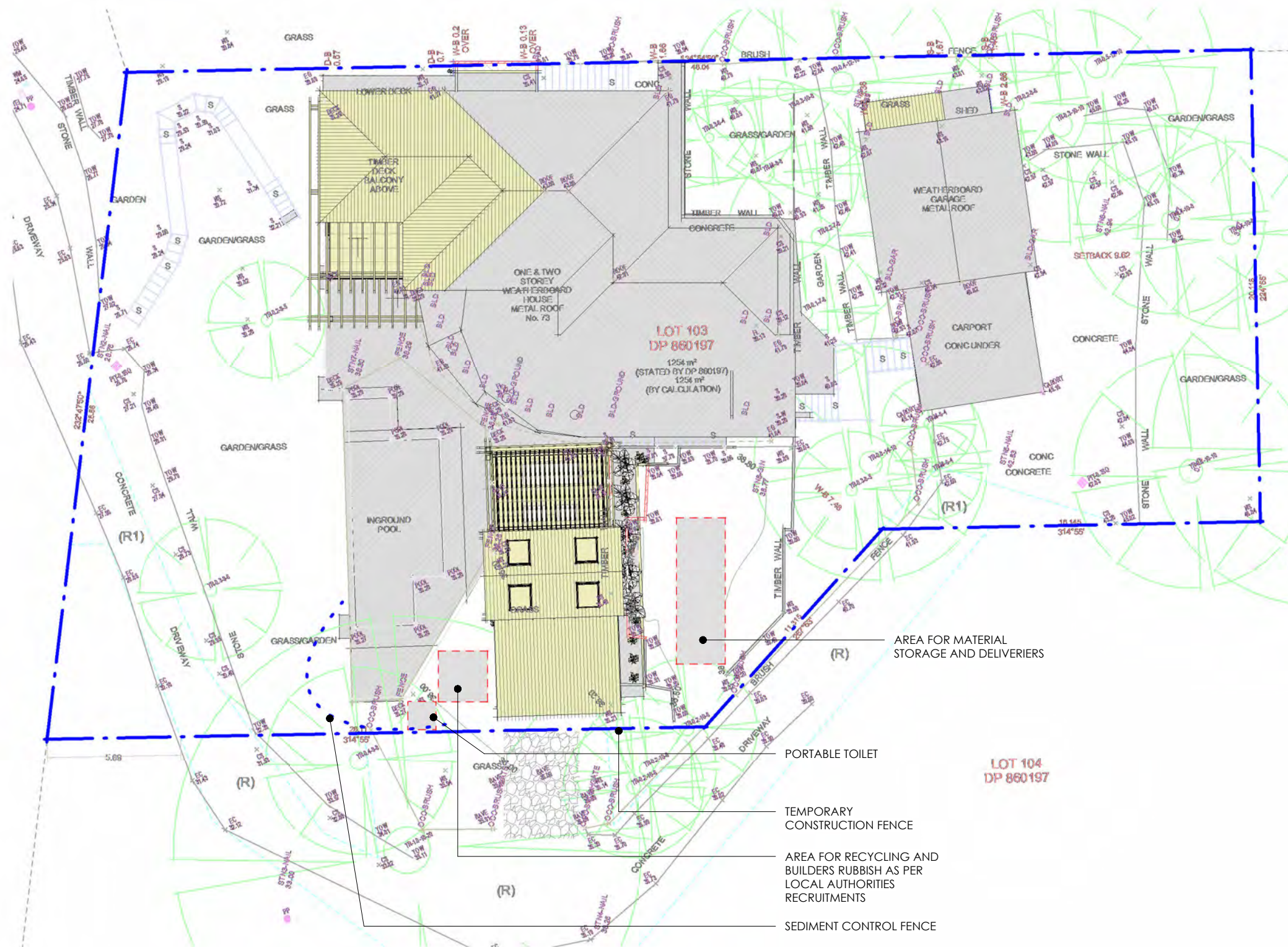
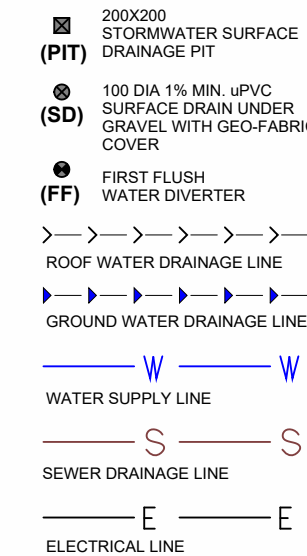
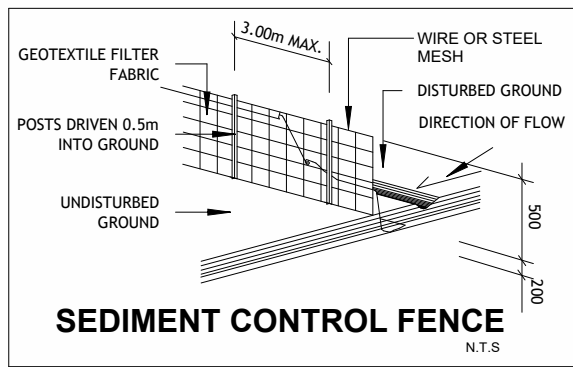
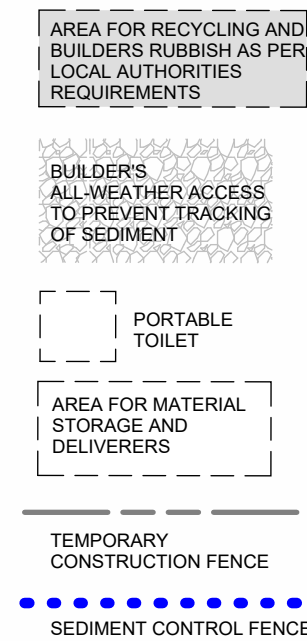
**Revision:**

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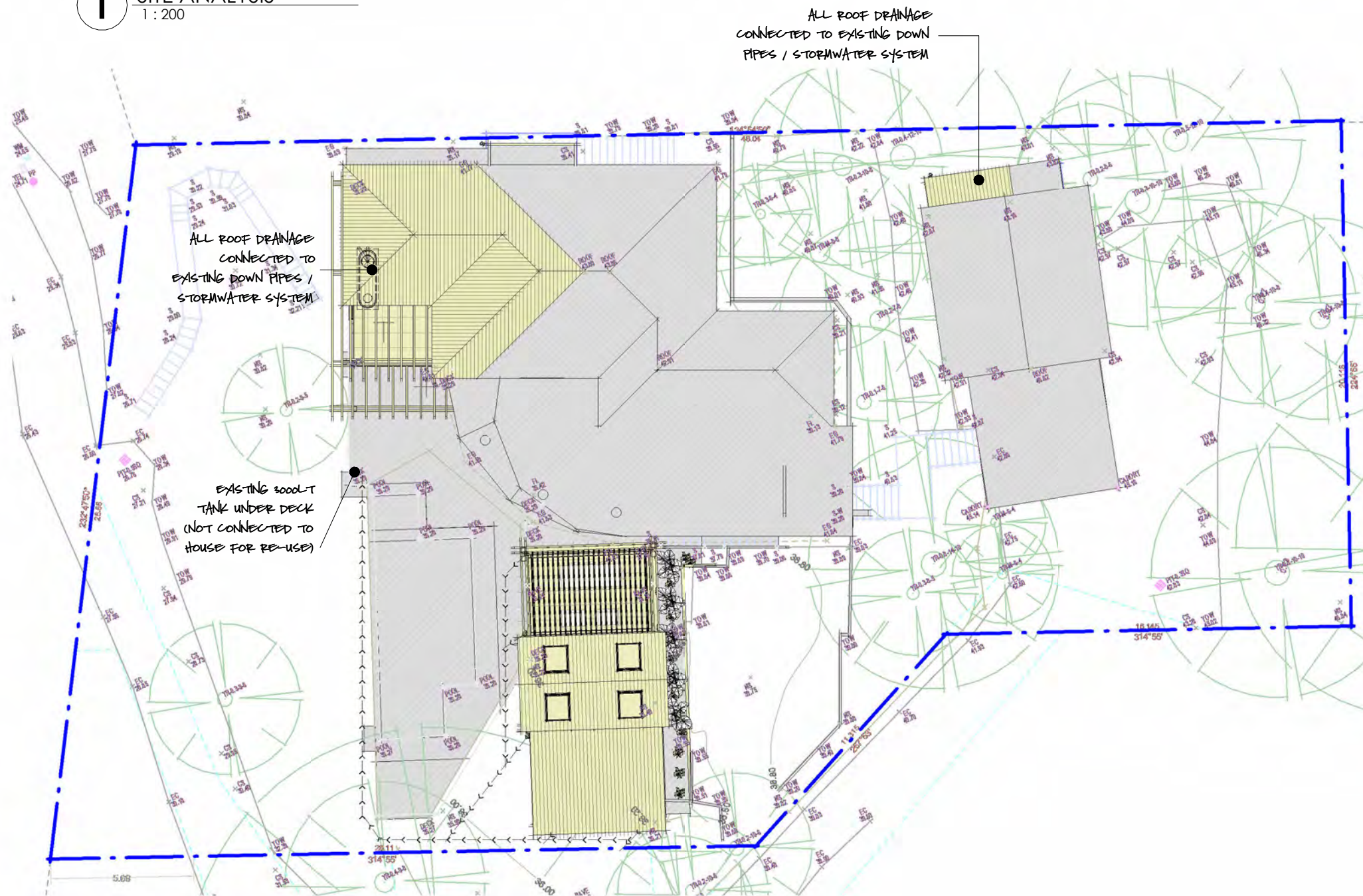
style // vision // experience





1 SITE ANALYSIS

1 : 200



2 SITE PLAN

1 : 200

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Drawing Title:

WASTE+SITE MAN. //  
DRAINAGE PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

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Scale:	As indicated	@A2
Date:		02.03.21
Project No:		A21_00157
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Drawing Details:

A015

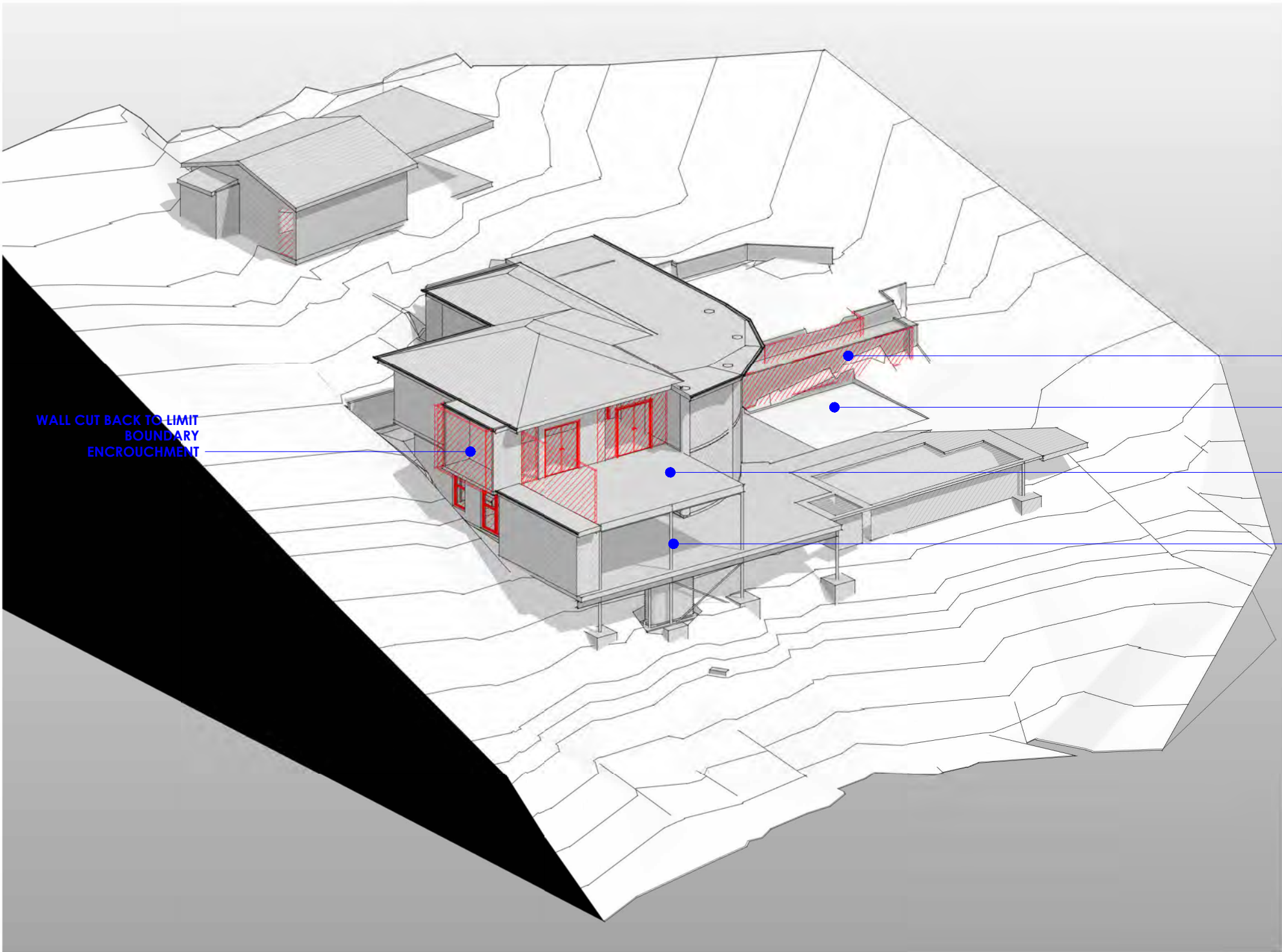
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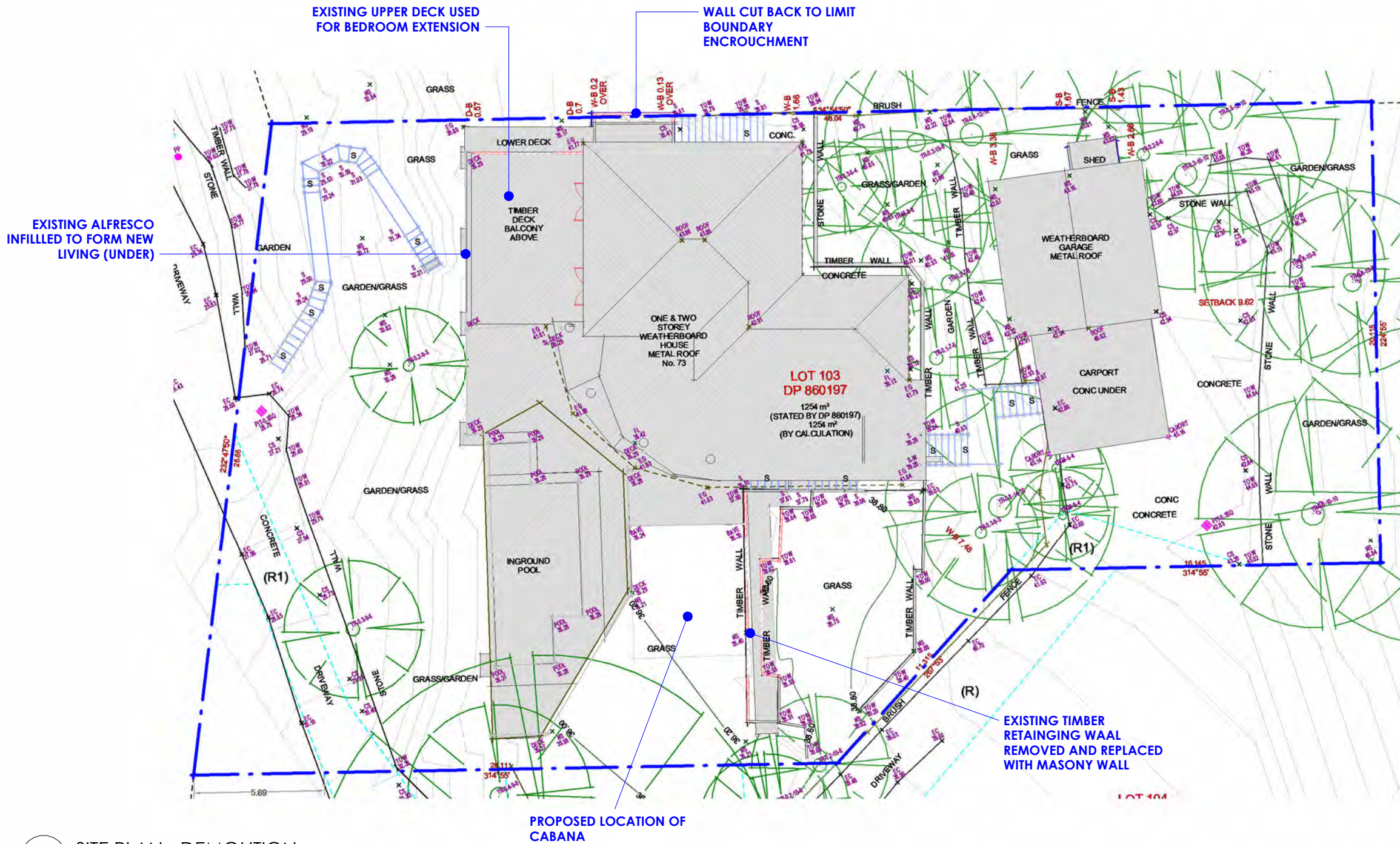
**ARCHIT**  
project design

style // vision // experience





1 3D - EXISTING HOUSE + DEMOLITION

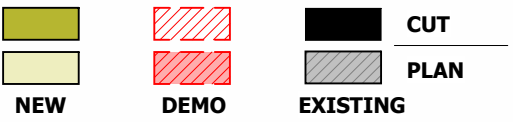


2 SITE PLAN - DEMOLITION  
1 : 200

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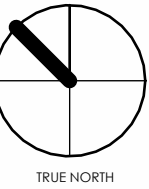
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DEMOLITION PLANS  
& EXISTING  
CONDITIONS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 200 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

A016

Revision:

A

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LOCATION OF PROPOSED BEDROOM ADDITION



LOCATION OF PROPOSED CABANA / ALFRESCO / MEDIA



LOCATION OF PROPOSED LIVING ROOM ALTERATIONS



Notes:

Key:

			CUT
			PLAN
NEW	DEMO	EXISTING	

Revisions:

no.	description	date
A	ISSUE - A Development Application	16.06.21

Consultants:

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**Town Planner:**

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**Bush Fire Consultant :**

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**Geotechnical Engineer :**

Structural Design:

Client:

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Creative Director: **brent gasson**  
adv.dip.arch.tech

Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

PHOTOS - EXISTING

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 20 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	Author
Checked:	Checker

Drawing Details:

A032

Revision:

A







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Notes:

Key:

NEW

DEMO

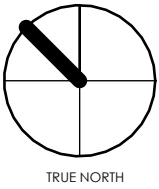
CUT

PLAN

EXISTING

Revisions:

no.	description	date
A	ISSUE - A Development Application	16.06.21



Consultants:

Leathwaite Planning Group  
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Client:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

FLOOR AREAS  
PROPOSED

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 200	@A2
Date:	02.03.21	
Project No:	A21_00157	
Drawn:	Author	
Checked:	Checker	

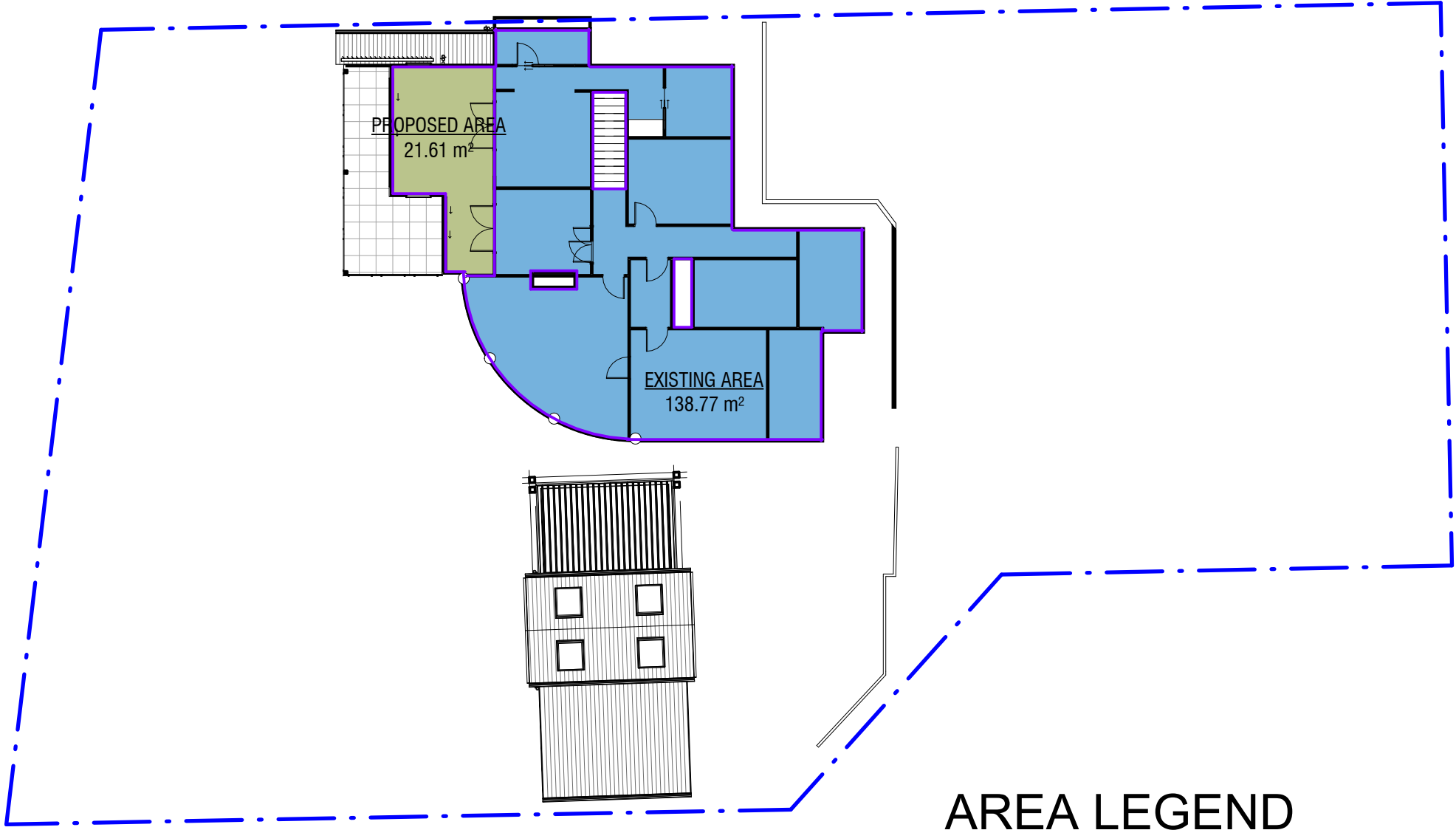
Drawing Details:

A038

Revision:

A

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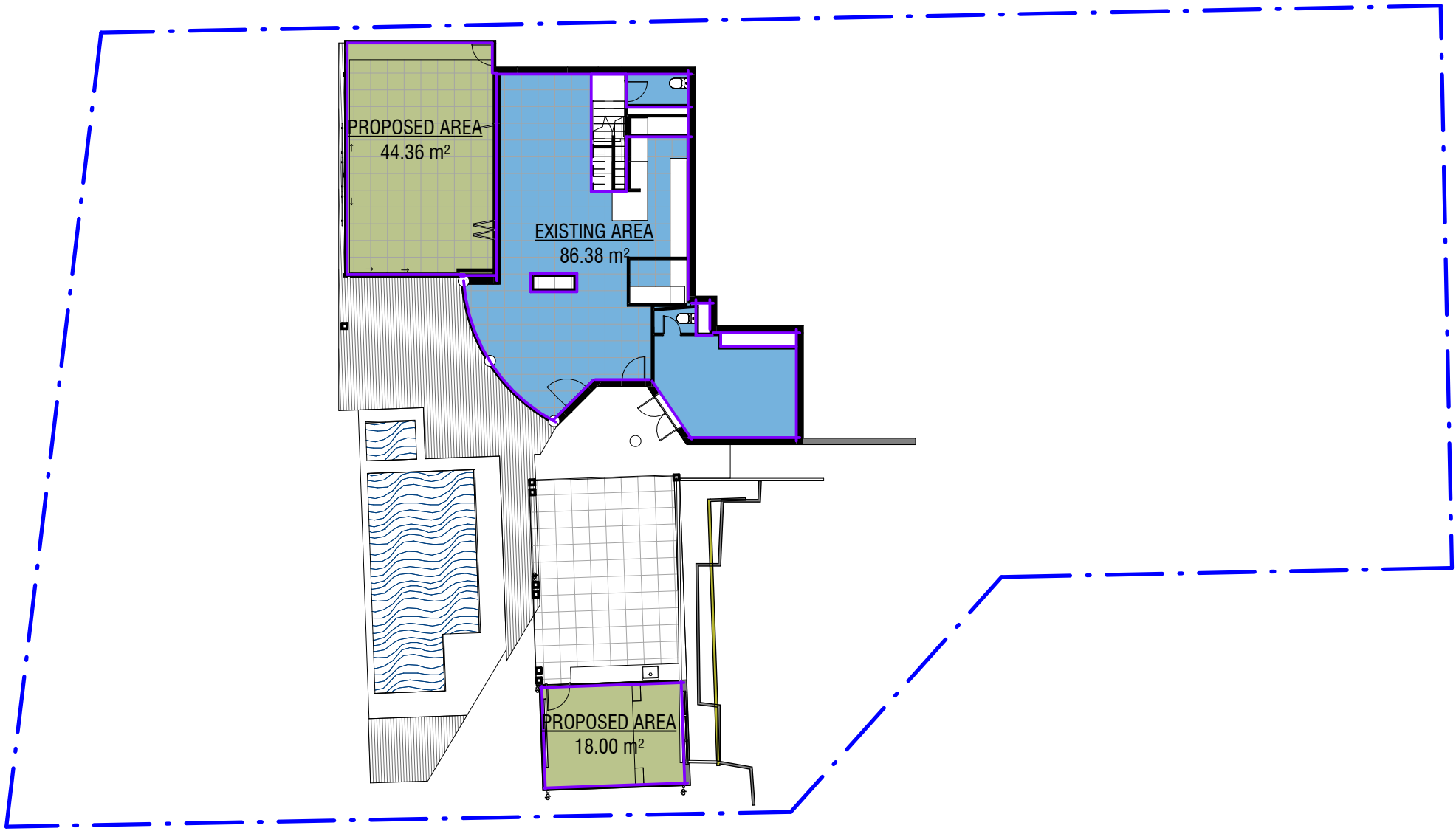


2 LEVEL 02 - FLOOR LEVEL  
1 : 200

AREA LEGEND

EXISTING AREA


PROPOSED AREA



1 LEVEL 01 - GROUND LEVEL  
1 : 200

Area Schedule (FLOOR AREAS - BASIX)				
Name	Level	Area	Area Type	Comments
EXISTING AREA	LEVEL 01 - GROUND LEVEL	86.38 m²	Floor Area	BASIX
EXISTING AREA	LEVEL 02 - FLOOR LEVEL	138.77 m²	Floor Area	BASIX
		225.14 m²		
PROPOSED AREA	LEVEL 01 - GROUND LEVEL	62.36 m²	Floor Area	BASIX
PROPOSED AREA	LEVEL 02 - FLOOR LEVEL	21.61 m²	Floor Area	BASIX
		83.97 m²		
		309.11 m²		





TRUE NORTH

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**Revision:**



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			CUT
			PLAN
NEW	DEMO	EXISTING	

Revisions:

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**Geotechnical Engineer:**

Structural Design:

**Client:**  
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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

GF - FLOOR PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

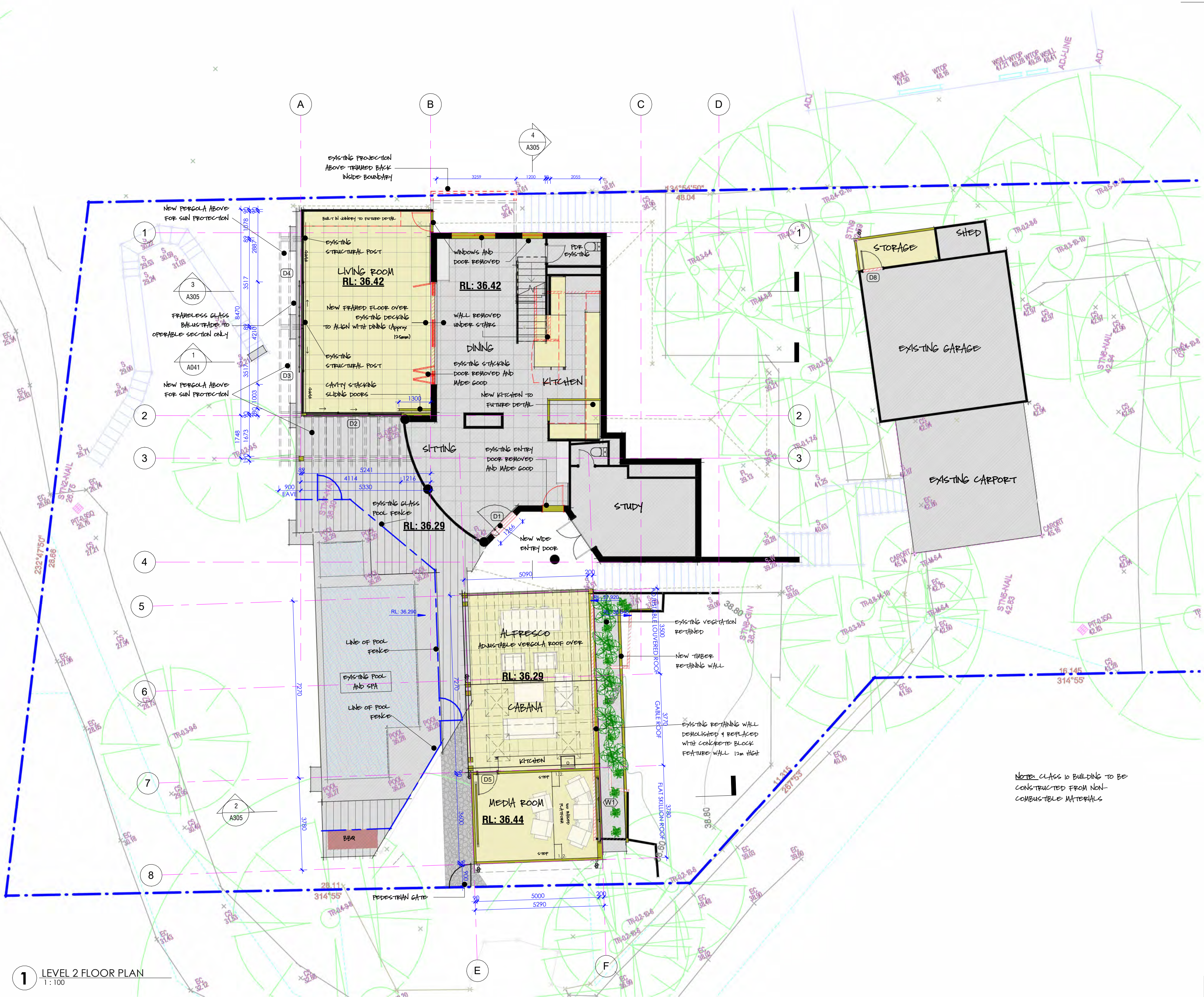
A102

Revision:

A

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project design

style // vision // experience









1 LEVEL 2 FLOOR PLAN  
1 : 100



Notes:

Key:

			CUT
			PLAN
NEW	DEMO	EXISTING	

Revisions:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

FF - FLOOR PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

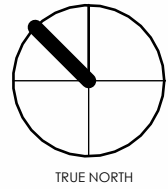
A103

Revision:

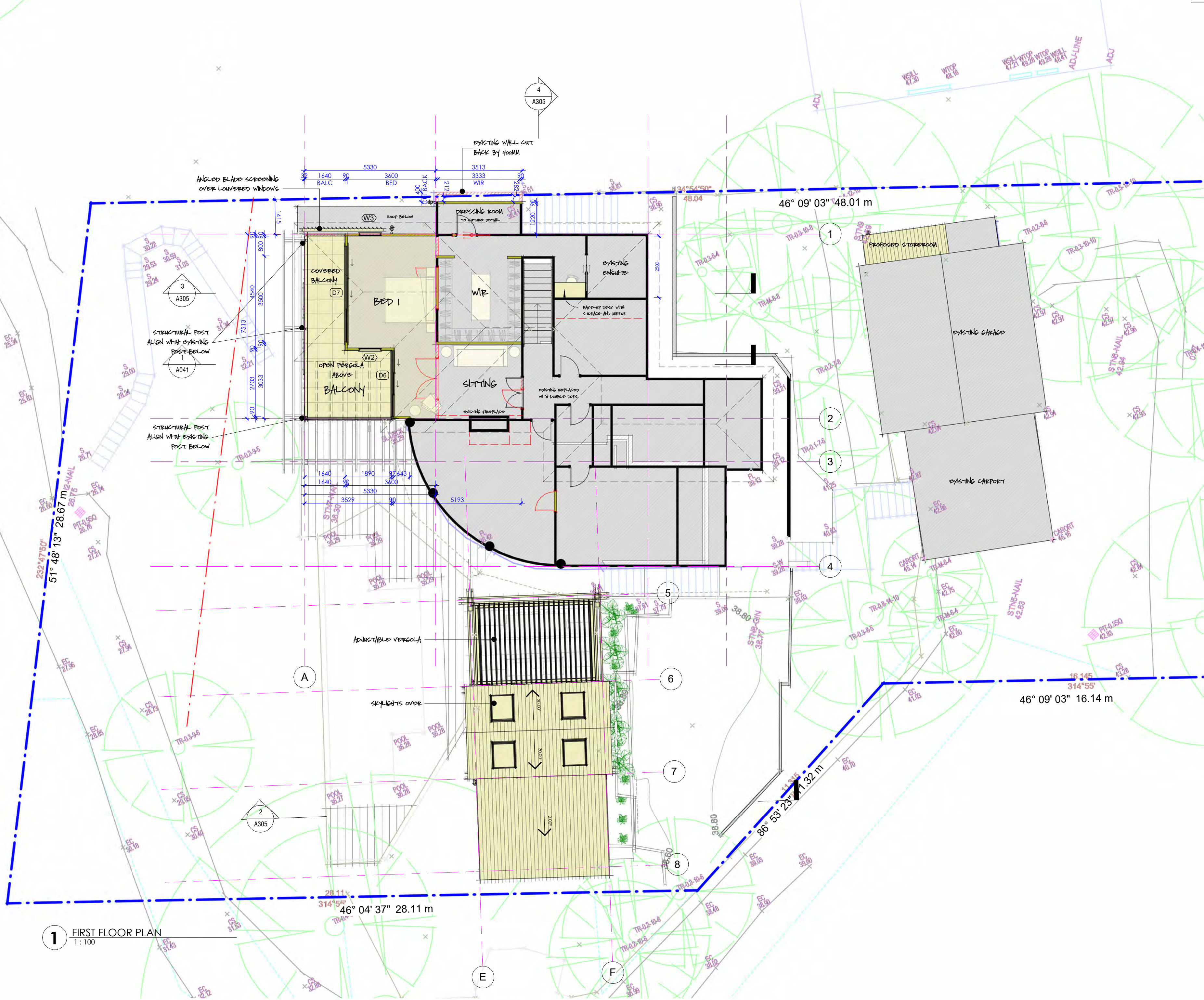
A

**ARCHIT**  
project design

style // vision // experience



1 FIRST FLOOR PLAN  
1 : 100

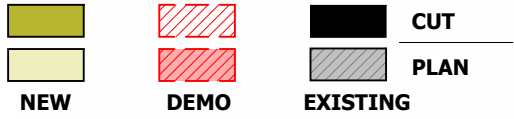




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Notes:

Key:



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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

EXTERIOR  
ELEVATIONS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale: 1 : 100 @A2  
Date: 02.03.21  
Project No: A21\_00157  
Drawn: BJG  
Checked: BG / TQ

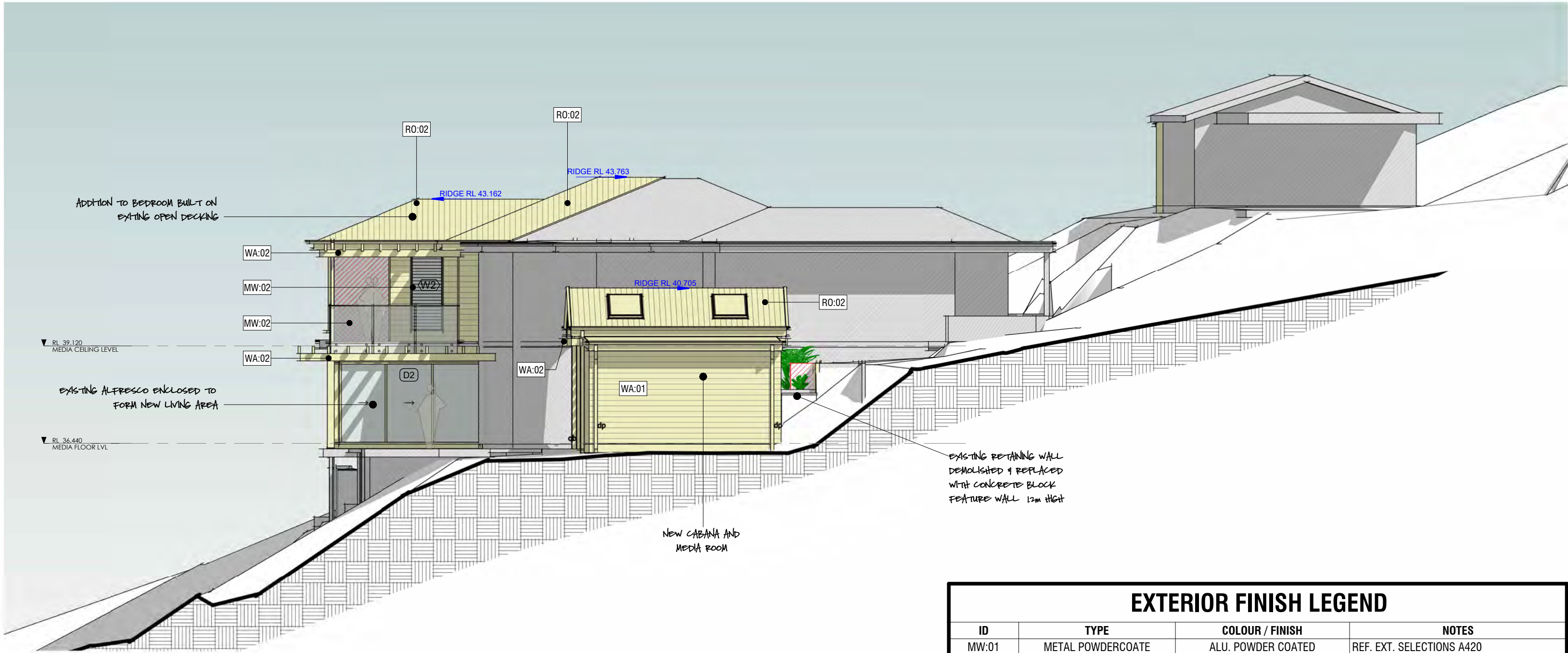
Drawing Details:

A301

Revision:

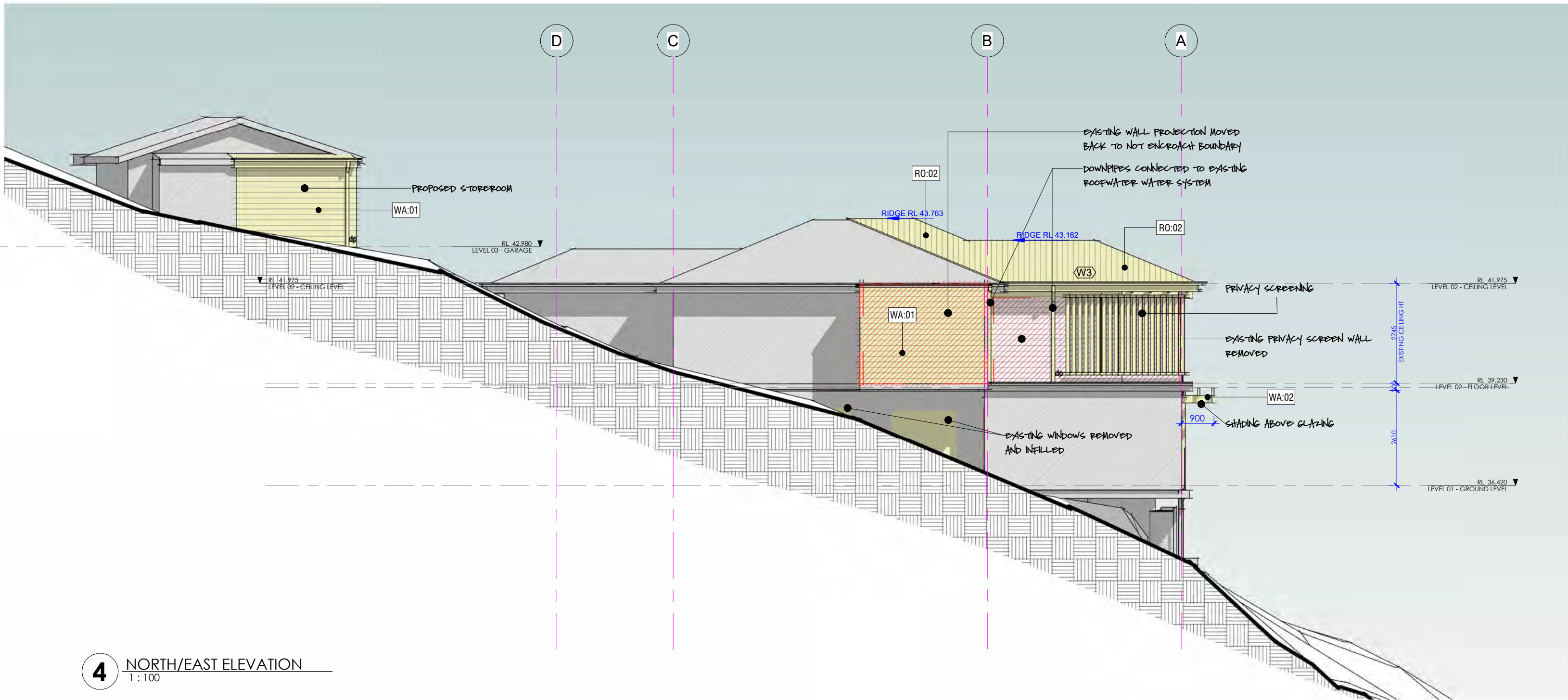
A

**ARCHIT**  
project design



3 SOUTH/WEST ELEVATION  
1 : 100

EXTERIOR FINISH LEGEND			
ID	TYPE	COLOUR / FINISH	NOTES
MW:01	METAL POWDERCOATE	ALU. POWDER COATED	REF. EXT. SELECTIONS A420
MW:02	GLASS HANDRAIL	Toughened	REF. EXT. SELECTIONS A420
R0:02	COLORBOND ROOFING	COLORBOND	REF. EXT. SELECTIONS A420
ST:01	SANDSTONE CLADDING	REFER TO FINISHES SCHEDULE	REF. EXT. SELECTIONS A420
WA:02	WEATHERBOARD 180 LINEA	PAINTED TO MATCH EXISTING	REF. EXT. SELECTIONS A420



4 NORTH/EAST ELEVATION  
1 : 100



Notes:

Key:

<div></div>	<div></div>	<div></div>	CUT
<div></div>	<div></div>	<div></div>	PLAN
NEW	DEMO	EXISTING	

Revisions:

no.	description	date
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Consultants:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

EXTERIOR  
ELEVATIONS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

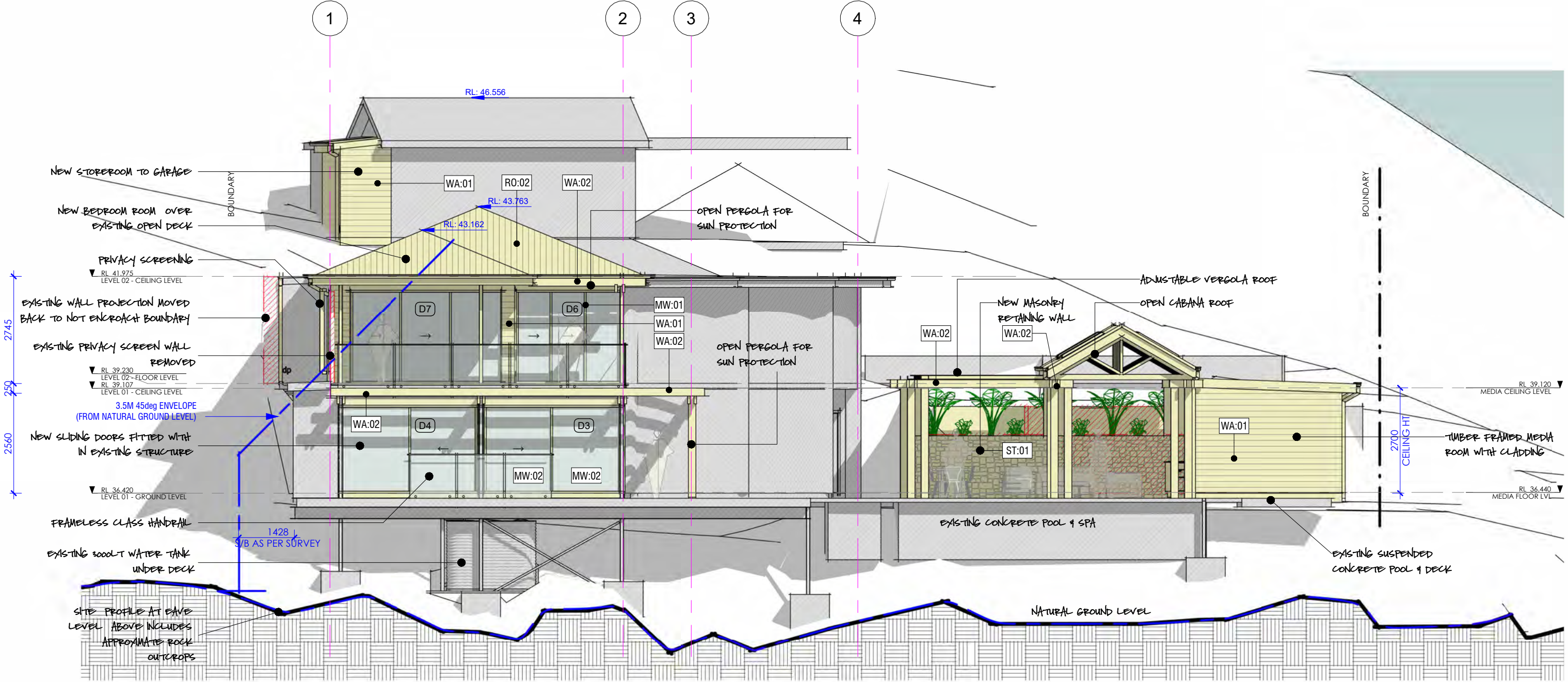
Drawing Details:

A302

Revision:

A

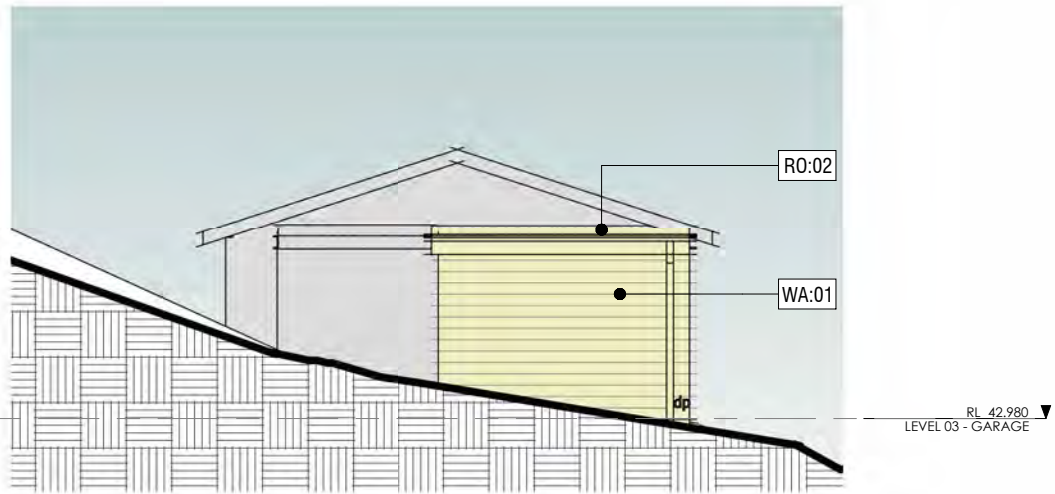
**ARCHIT**  
project design



2 NORTH/WEST ELEVATION  
1 : 100

EXTERIOR FINISH LEGEND

ID	TYPE	COLOUR / FINISH	NOTES
MW:01	METAL POWDERCOATE	ALU. POWDER COATED	REF. EXT. SELECTIONS A420
MW:02	GLASS HANDRAIL	Toughened	REF. EXT. SELECTIONS A420
RO:02	COLORBOND ROOFING	COLORBOND	REF. EXT. SELECTIONS A420
ST:01	SANDSTONE CLADDING	REFER TO FINISHES SCHEDULE	REF. EXT. SELECTIONS A420
WA:02	WEATHERBOARD 180 LINEA	PAINTED TO MATCH EXISTING	REF. EXT. SELECTIONS A420









1 G3-GARAGE NORTH/EAST  
1 : 100



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Notes:

Key:

			CUT
			PLAN
NEW	DEMO	EXISTING	

Revisions:

no.	description	date
A	ISSUE - A Development Application	16.06.21

Consultants:

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**Bush Fire Consultant :**

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**Geotechnical Engineer :**

Structural Design:

Client:

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Creative Director:  
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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

WALL SECTIONS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

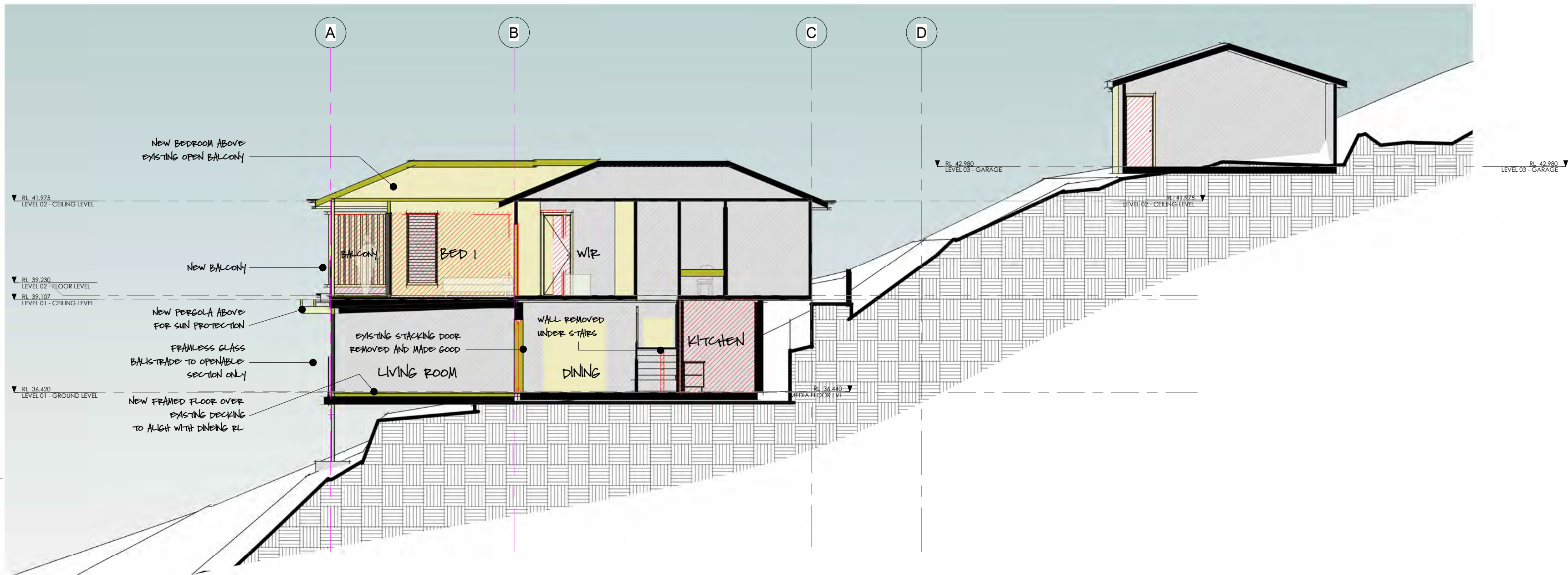
A305

Revision:

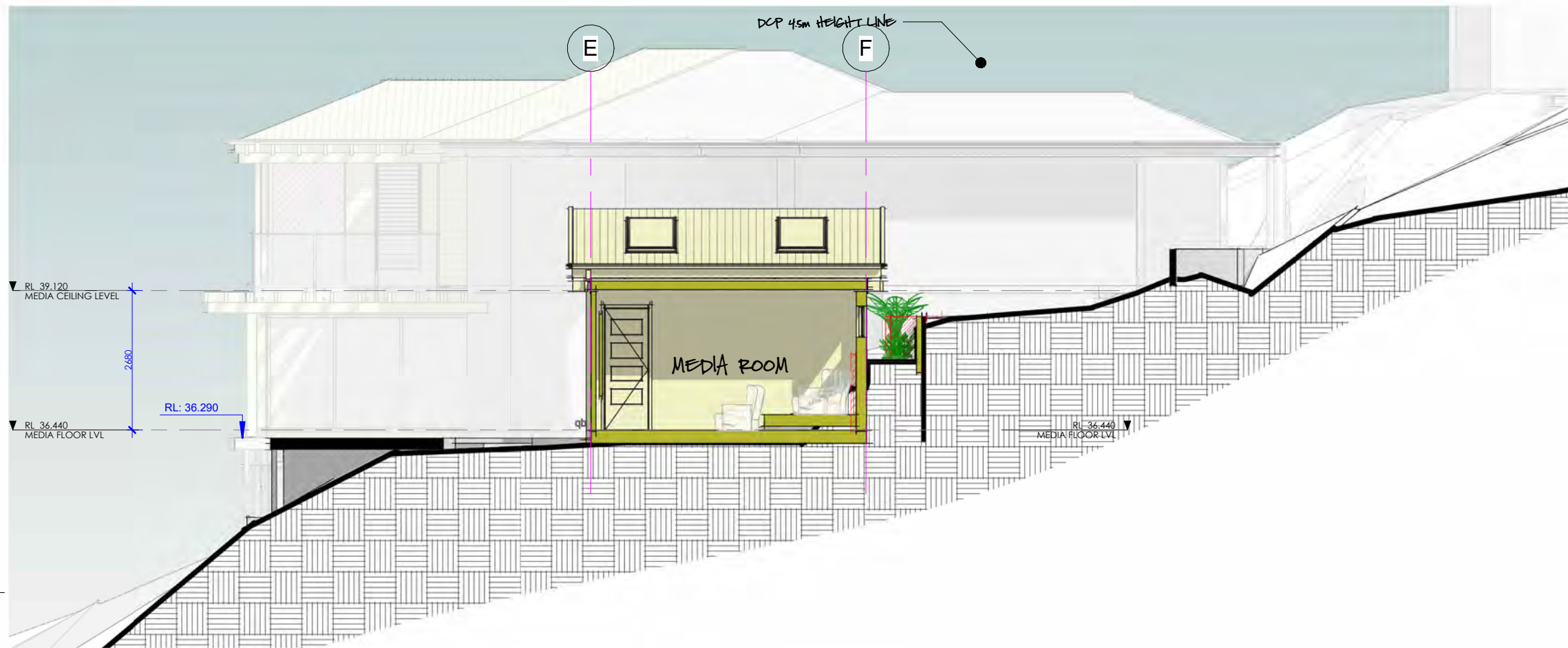
A

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project design

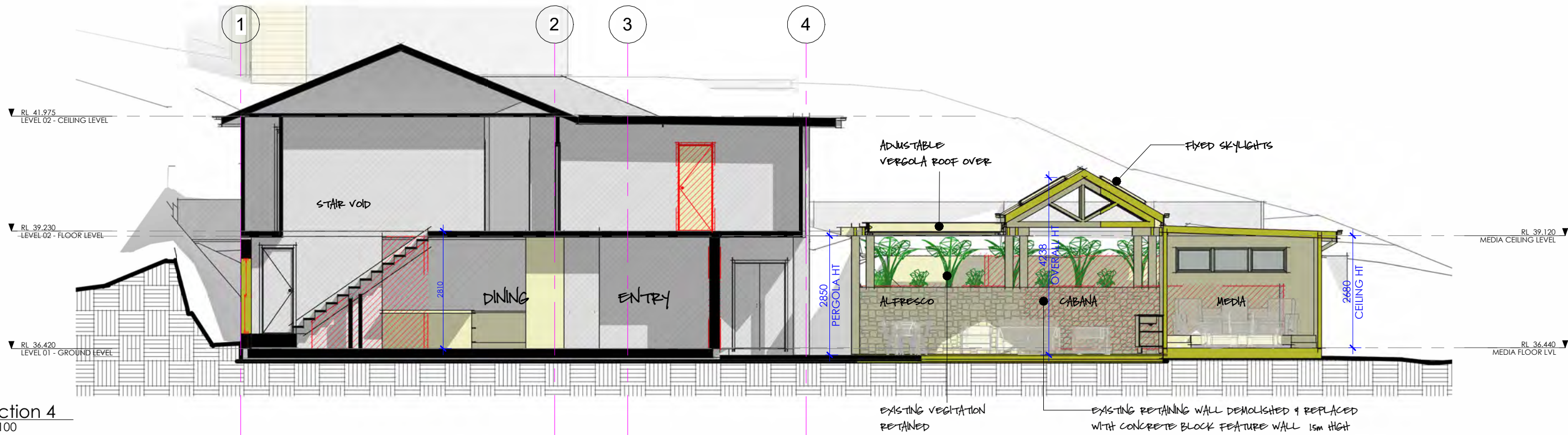
3 Section 3  
1 : 100



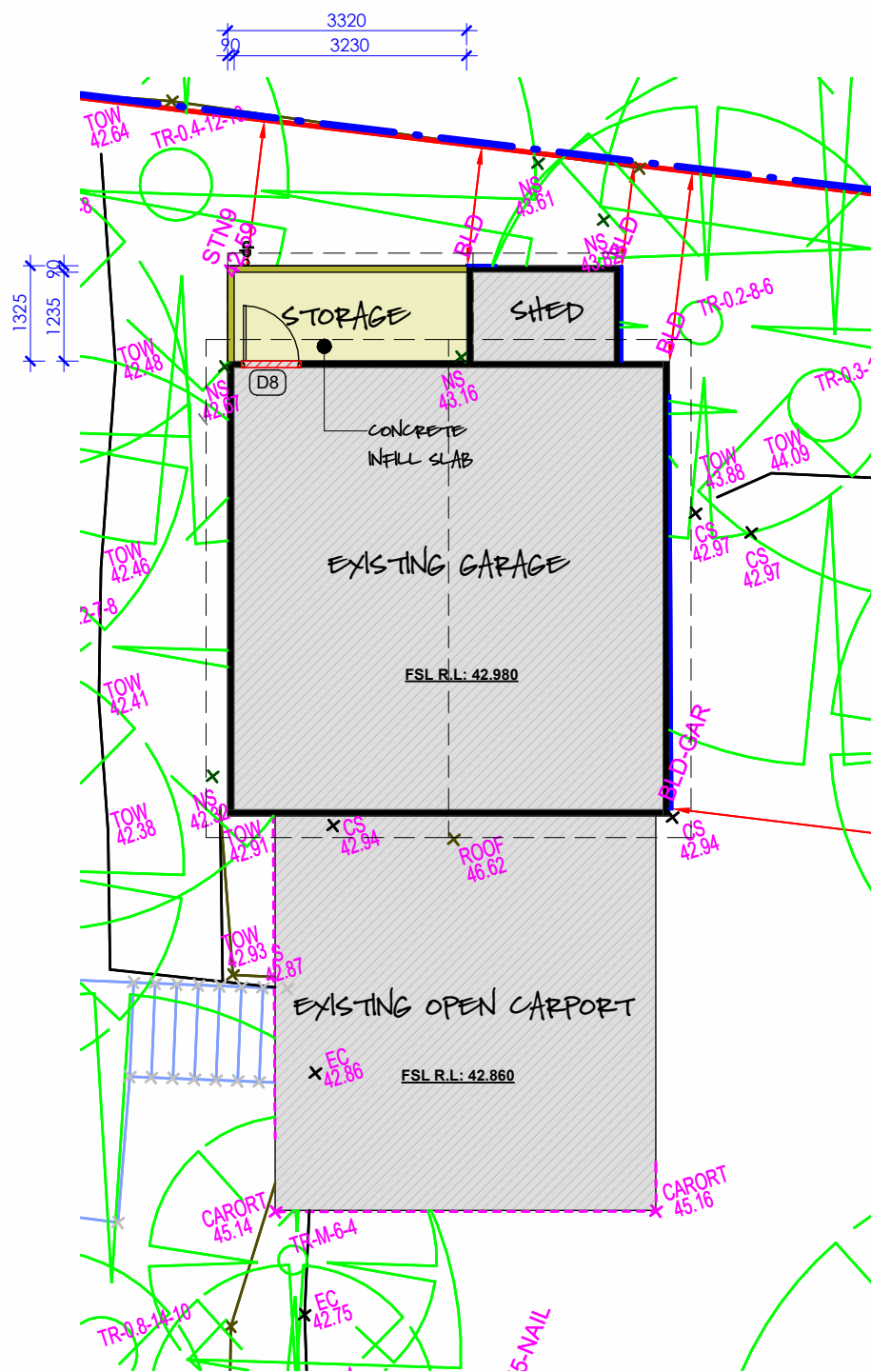
2 Section 1  
1 : 100



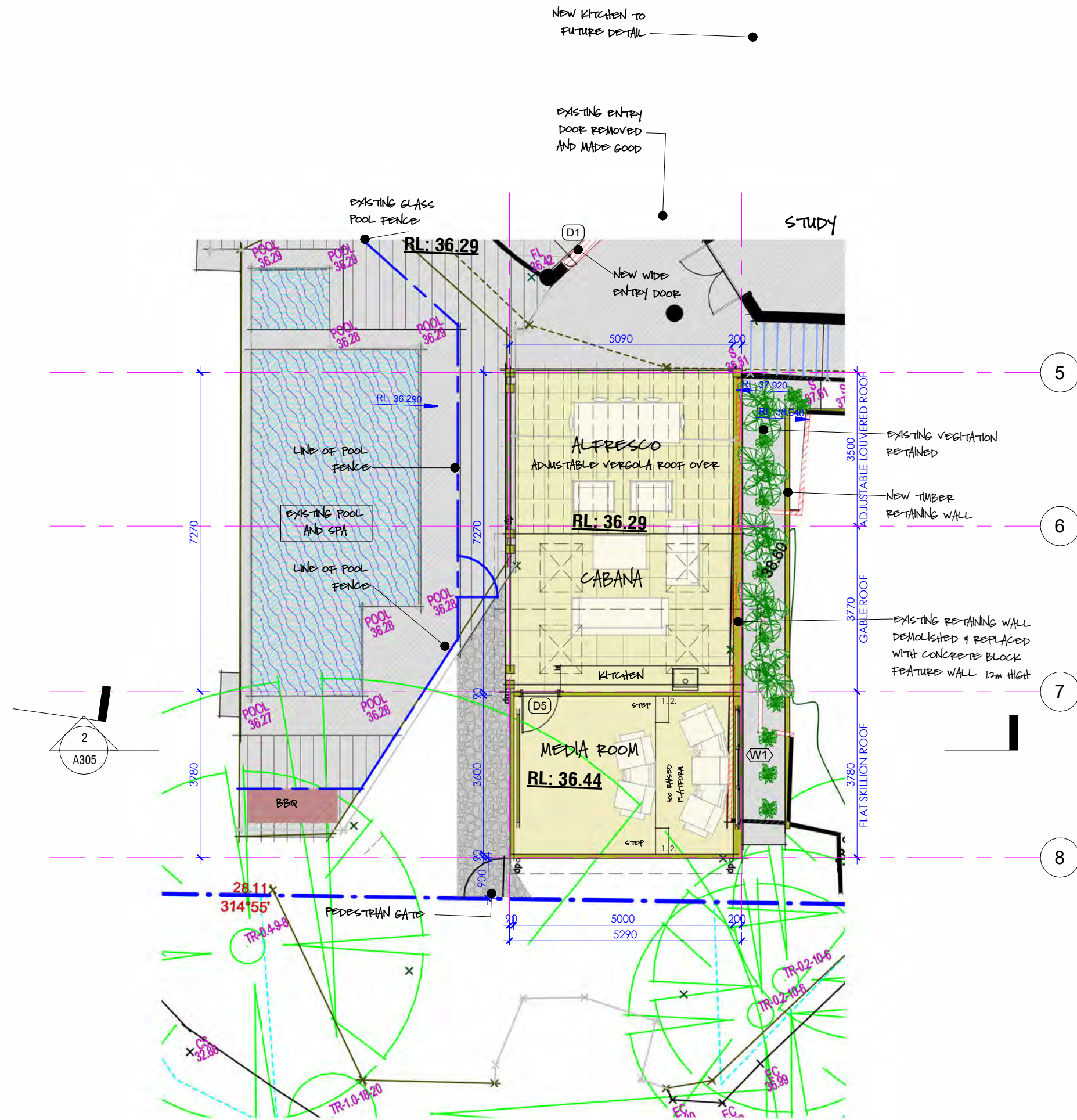
4 Section 4  
1 : 100







2 GARAGE FLOOR PLAN  
1 : 100



1 LEVEL 2 FLOOR PLAN  
1 : 100

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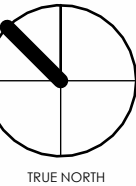
Notes:

Key:

			CUT
			PLAN
NEW	DEMO	EXISTING	

Revisions:

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A	ISSUE - A Development Application	16.06.21



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**Geotechnical Engineer :**

Structural Design:

Client:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

CABANA / MEDIA /  
GARAGE FLOOR  
PLAN

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1 : 100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

A310

Revision:

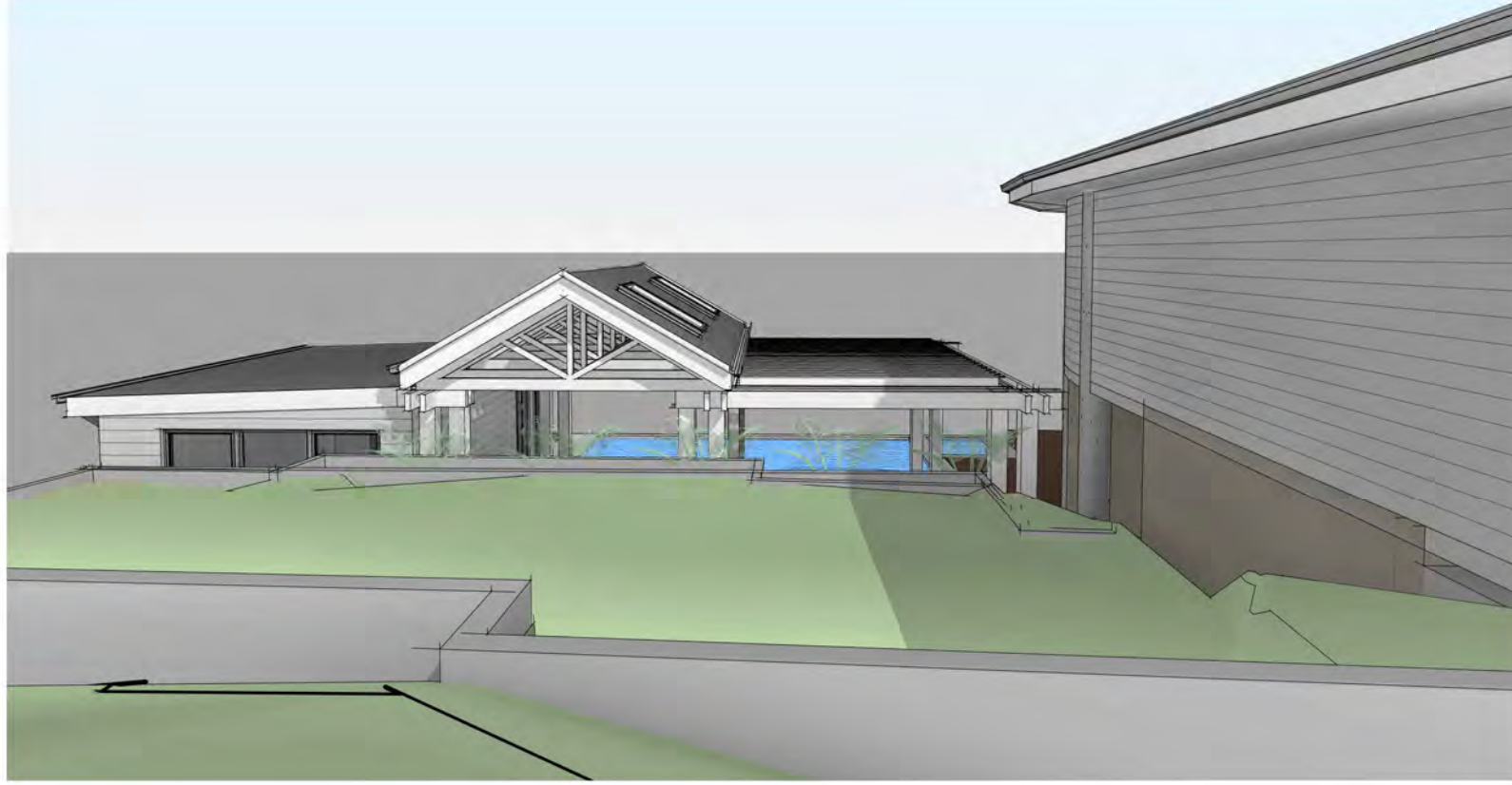
A

**ARCHIT**  
project design

style // vision // experience



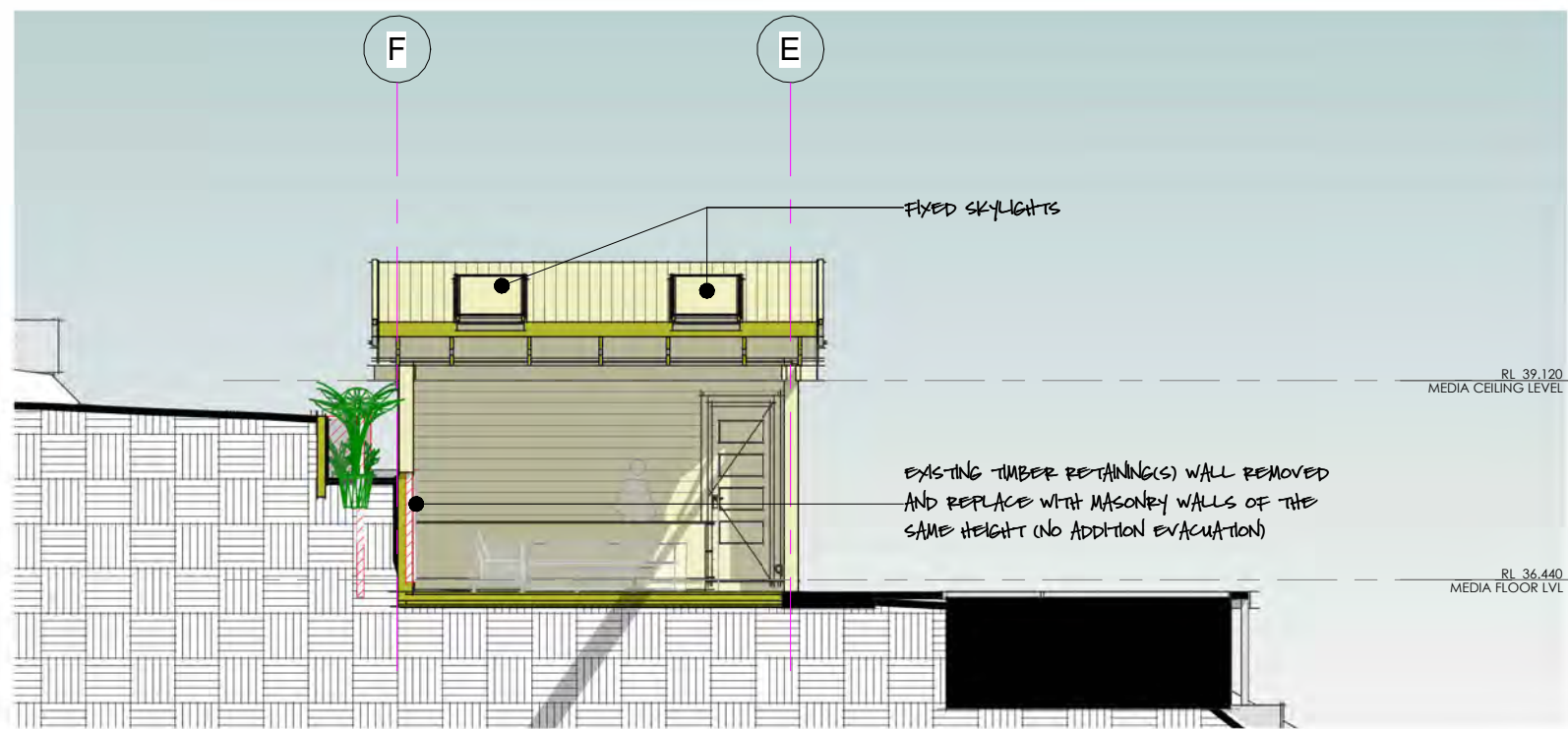
NOTE CLASS 10 BUILDING TO BE  
CONSTRUCTED FROM NON-  
COMBUSTABLE MATERIALS



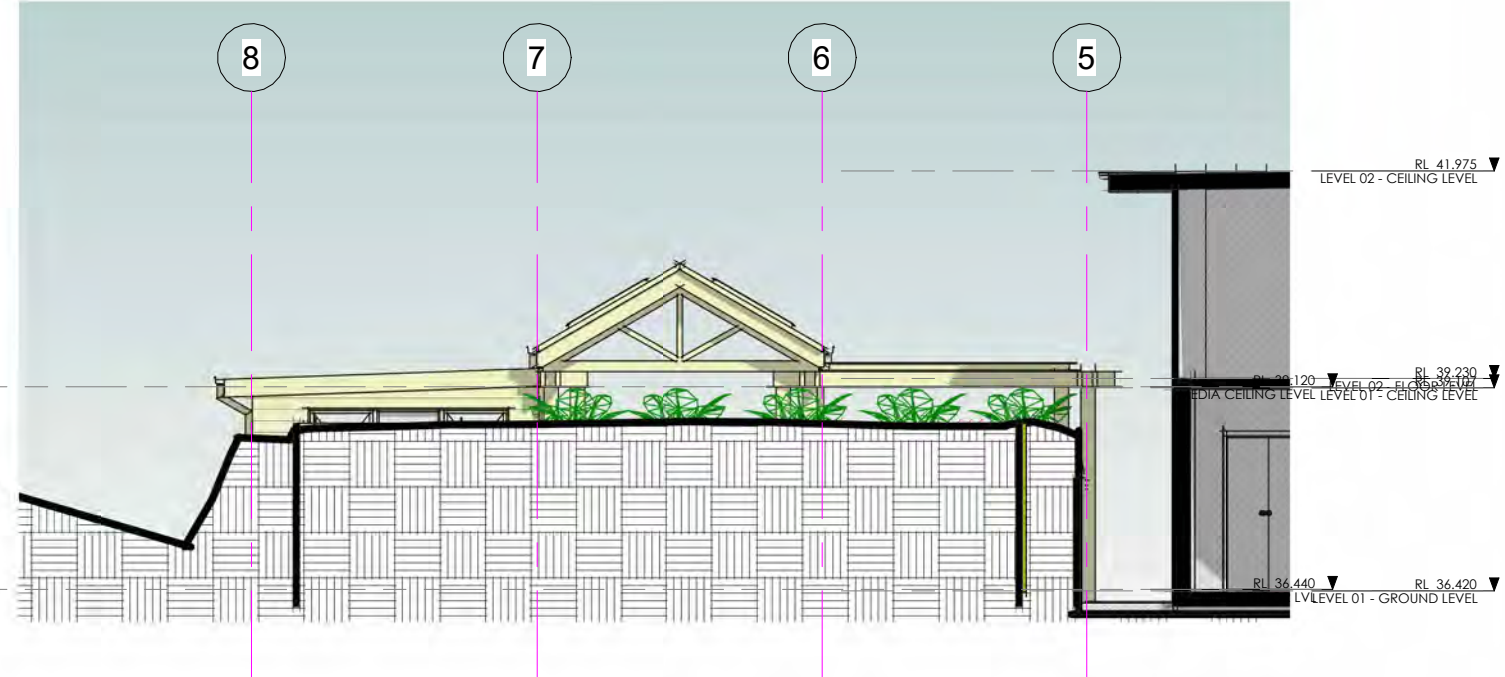
6 VIEW FROM TERRACE



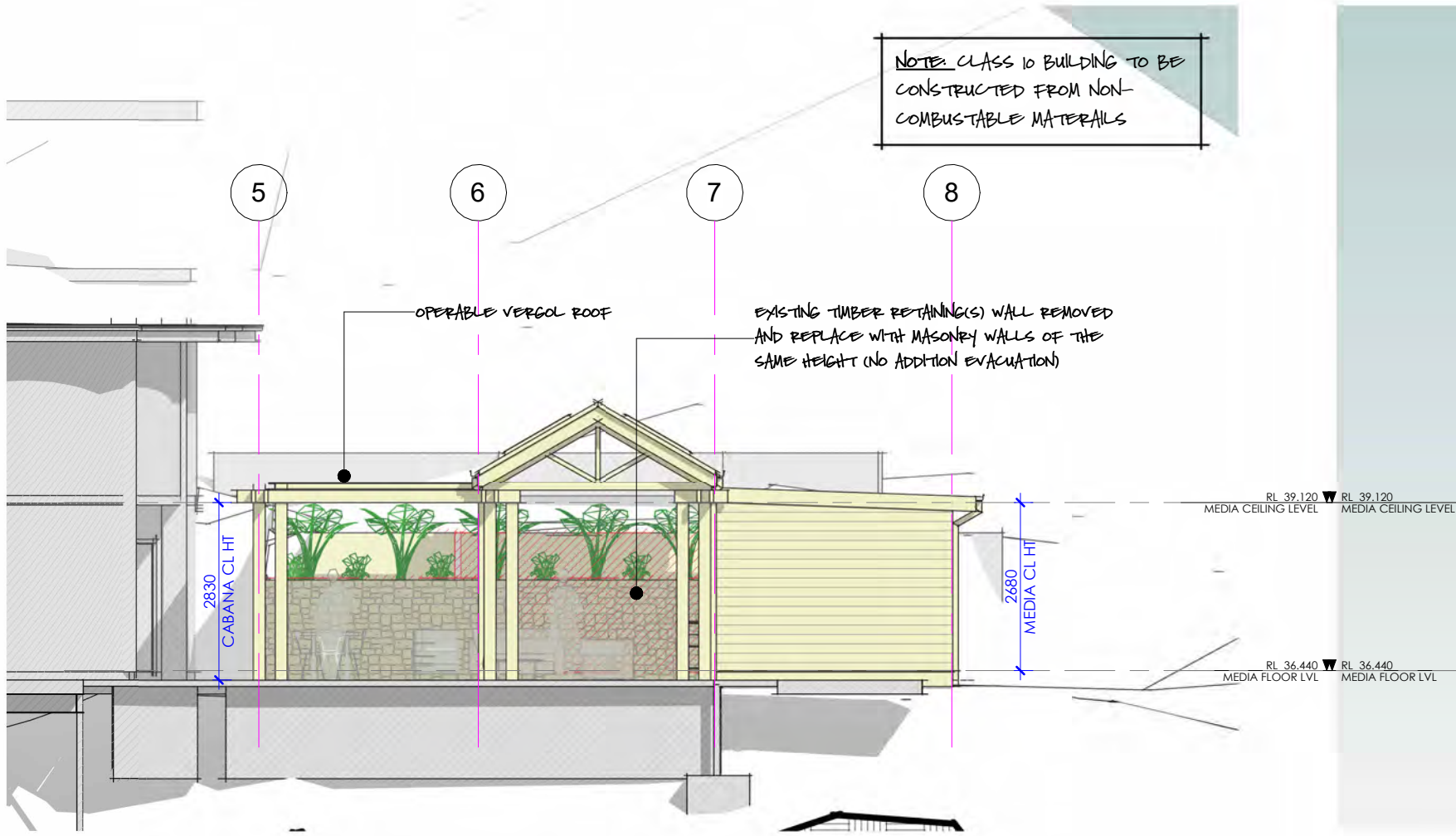
5 VIEW FROM LIVING



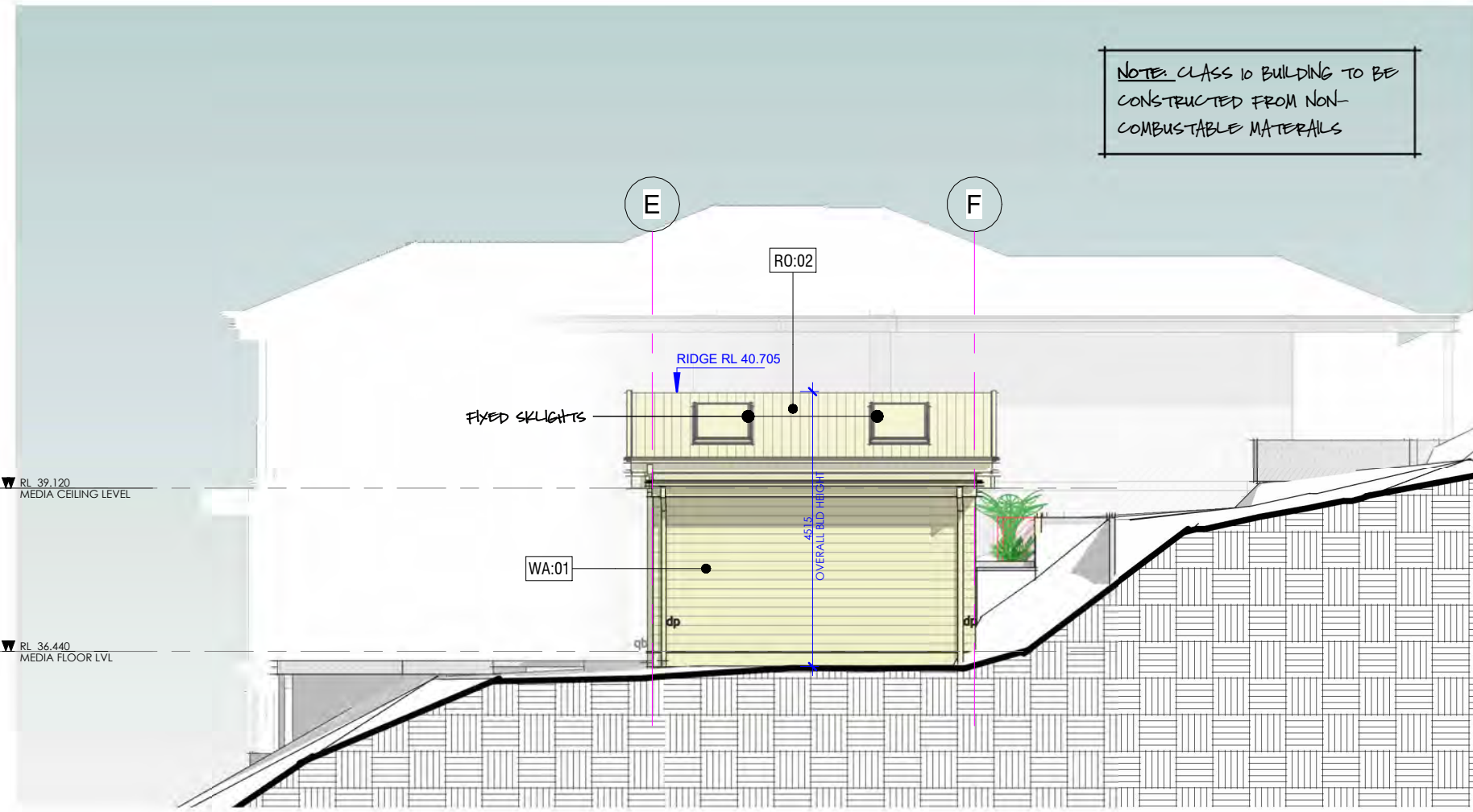
4 Elevation 4 - a  
1:100



3 Elevation 3 - a  
1:100



2 Elevation 2 - a  
1:100



1 Elevation 1 - a  
1:100

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NEW	DEMO	CUT	PLAN
EXISTING			

Revisions:

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Project Title:

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

Drawing Title:

CABANA / MEDIA -  
ELEVATIONS &  
SECTIONS

Drawing Status:

DEVELOPMENT  
APPLICATION

Drawing Details:

Scale:	1:100 @A2
Date:	02.03.21
Project No:	A21_00157
Drawn:	BJG
Checked:	BG / TQ

Drawing Details:

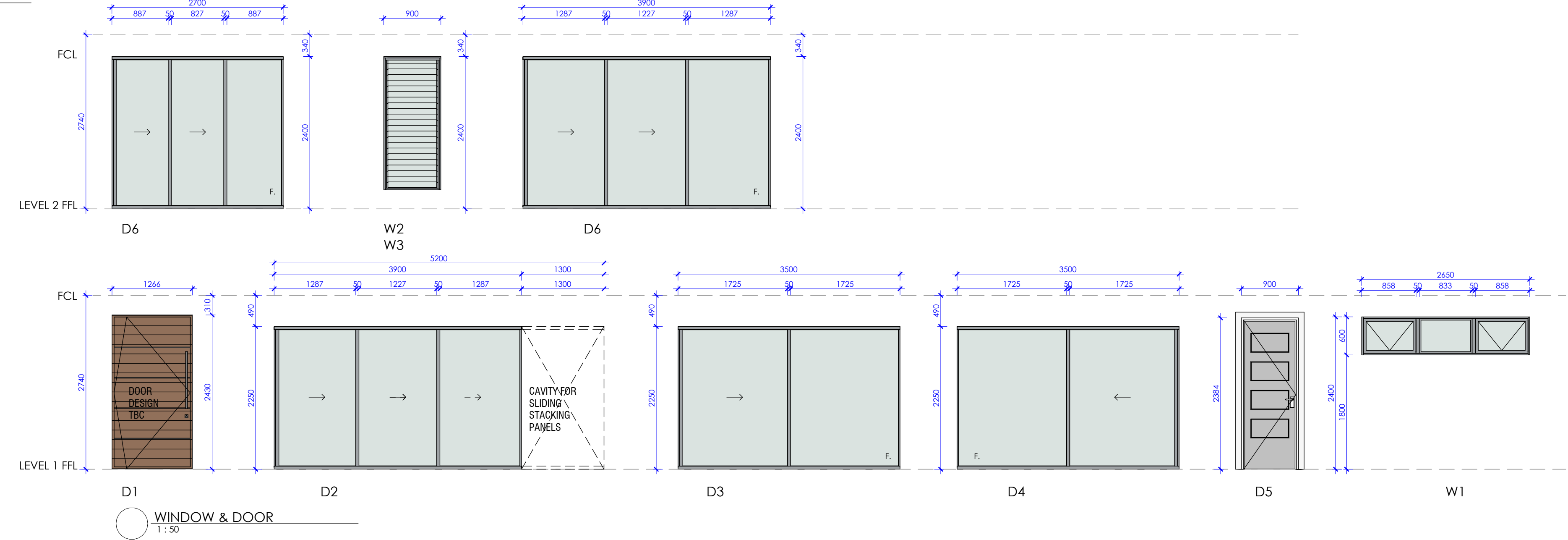
A311

Revision:  
A

ARCHIT  
project design

style // vision // experience





**WA:01**  
SCYON LINEA - FC WEATHERBOARDS  
INCLUDING WINDOW & CORNER  
TRIMS



**MATERIAL:** FIBER CEMENT  
**COLOUR:** TO MATCH EXISTING  
**FINISH:** PAINTED

**LOCATION:** NEW WALLS

**WA:02**  
PAINTED TIMBER / ALUMINUM



**MATERIAL:** TREATED TIMBER / ALUMINUM  
**COLOUR:** TBA  
**FINISH:** PAINTED / POWDER COATED

**LOCATION:** AS NOMINATED

**RF:01**  
COLORBOND - CUSTOM ORB



**MATERIAL:** COLORBOND  
**COLOUR:** MATCH EXISTING  
**FINISH:** COLORBOND

**LOCATION:** NEW ROOFING

**MA:01**  
MASONRY RETAINING WALL



**MATERIAL:** SANDSTONE CLADDING  
**COLOUR:** GOSFORD TBA  
**FINISH:** TBA

**LOCATION:** ALFRESCO / CABANA

**MW:01**  
POWER COAT ALUMINUM EXTERNAL  
SLIDING DOOR AND WINDOWS



**MATERIAL:** ALUMINUM  
**COLOUR:** TBA  
**FINISH:** COLORBOND POWER COAT

**LOCATION:** ALL NEW WINDOWS AND  
DOORS

**MW:02**  
GLASS BALUSTRADE SYSTEM



**MATERIAL:** GLASS TOUGHENED  
**COLOUR:** CLEAR  
**FINISH:**

**LOCATION:** NEW BALUSTRADE  
(FIXING TYPE TBC)

EXTERIOR FINISH LEGEND			
ID	TYPE	COLOUR / FINISH	NOTES
MW:01	METAL POWDERCOATE	ALU. POWDER COATED	REF. EXT. SELECTIONS A420
MW:02	GLASS HANDRAIL	Toughened	REF. EXT. SELECTIONS A420
RO:02	COLORBOND ROOFING	COLORBOND	REF. EXT. SELECTIONS A420
ST:01	SANDSTONE CLADDING	REFER TO FINISHES SCHEDULE	REF. EXT. SELECTIONS A420
WA:02	WEATHERBOARD 180 LINEA	PAINTED TO MATCH EXISTING	REF. EXT. SELECTIONS A420

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**Notes:**

**Key:**

**NEW** **DEMO** **EXISTING** **CUT** **PLAN**

**Revisions:**

no.	description	date
A	ISSUE - A Development Application	16.06.21

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**Structural Design:**

**Client:**

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**Project Title:**

LOT 103 / No. 73  
McCARRS CREEK  
RD, CHURCH POINT  
DP860197

**Drawing Title:**

WINDOW / DOOR /  
EXT. MATERIALS  
SCHEDULES

**Drawing Status:**

DEVELOPMENT  
APPLICATION

**Drawing Details:**

Scale:	As indicated	@A2
Date:	02.03.21	
Project No:	A21_00157	
Drawn:	BJG	
Checked:	BG / TQ	

**Drawing Details:**

A420

**Revision:**

A

**ARCHIT**  
project design

1 Drafting 1  
1 : 20

style // vision // experience