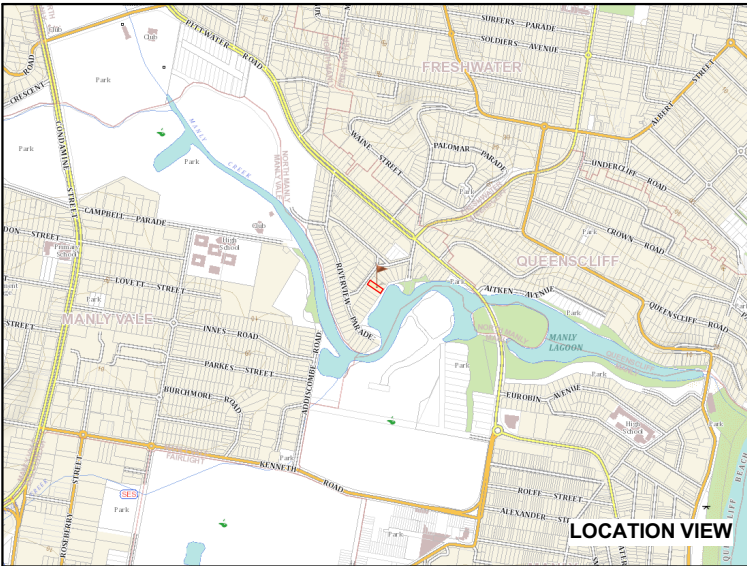
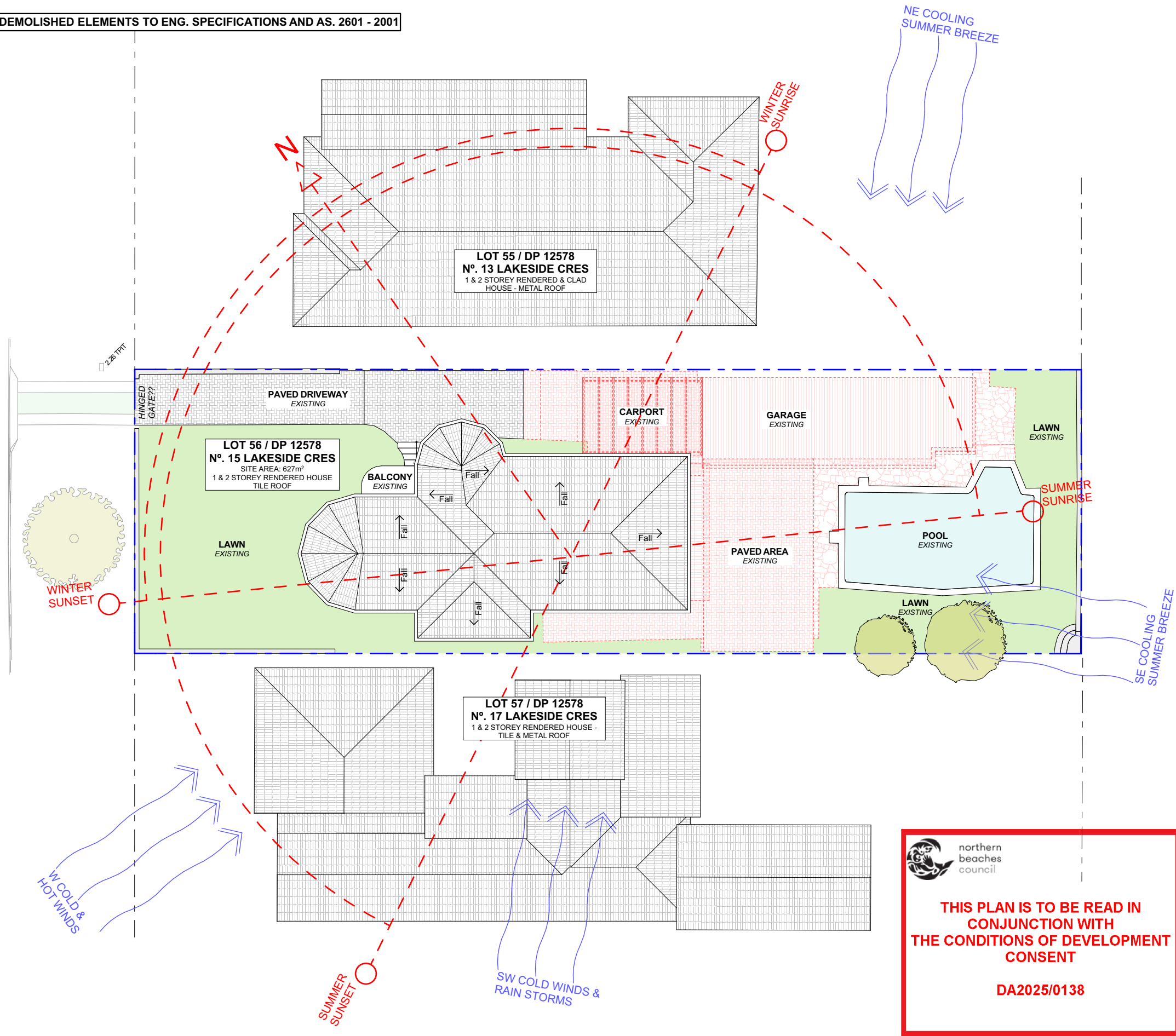


CRESCENT
LAKESIDE

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2025/0138



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN
A	03.02.2024	DA SUBMISSION	SC

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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
Linda & Sean Obrien

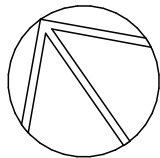
PROJECT ADDRESS
15 Lakeside Crescent,
North Manly NSW 2100

DRAWING NO.
DA03

DATE
Monday, 3 February
2025

DRAWING NAME
SITE ANALYSIS

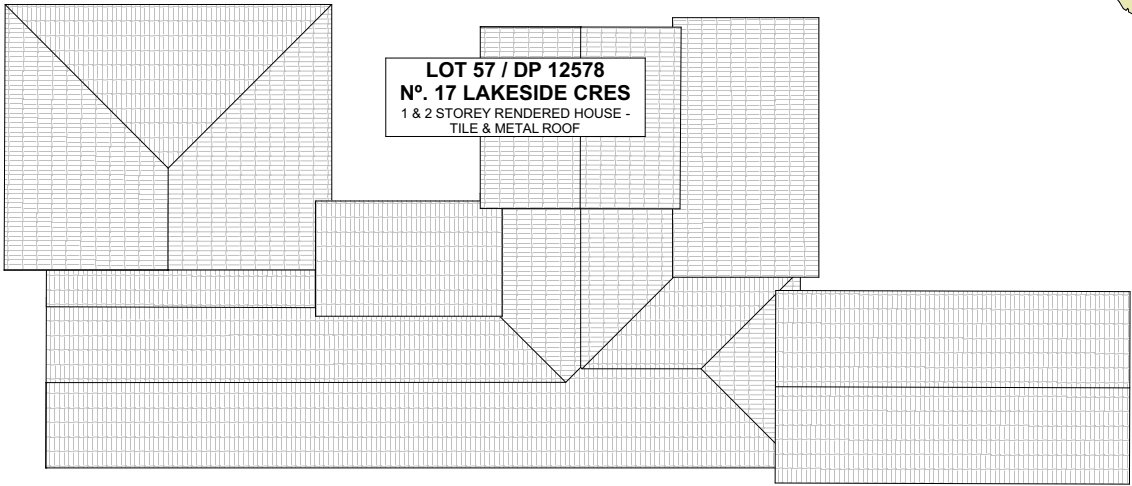
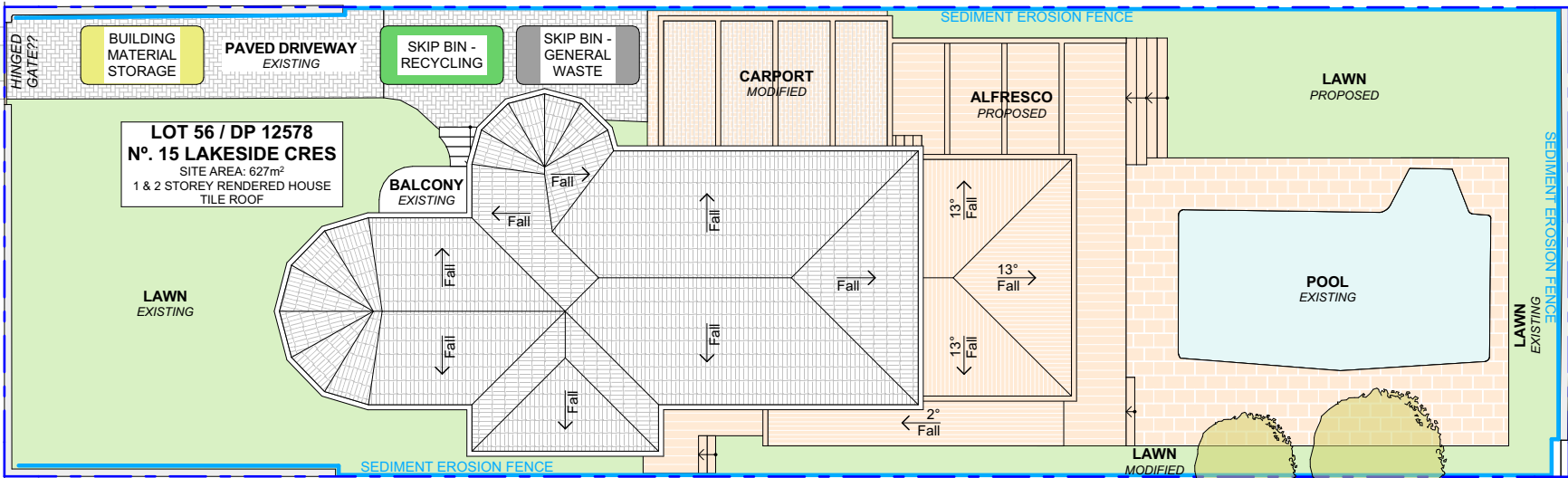
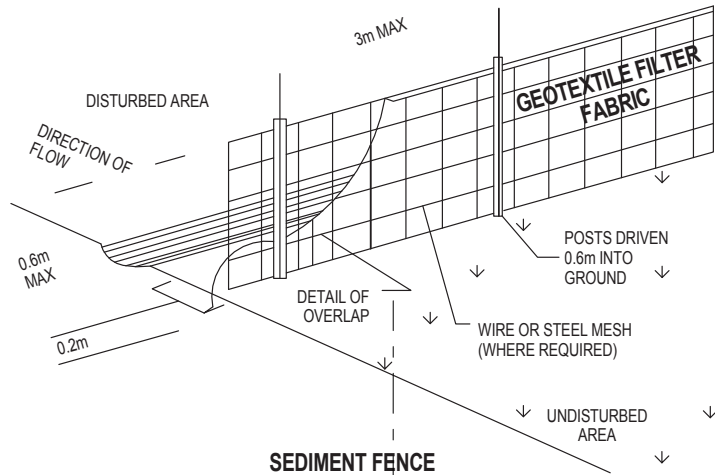
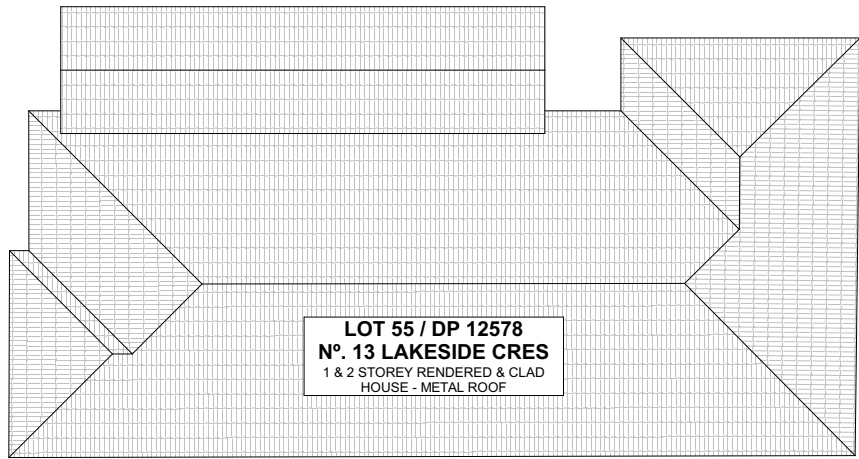
SCALE
1:200 @A3



NOTE: SITE BOUNDARY IS TO BE IDENTIFIED BY A REGISTERED SURVEYOR AND CLEARLY MARKED ON SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORKS.

CRESCENT

LAKESIDE



NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

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DA2025/0138



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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT

Linda & Sean Obrien

PROJECT ADDRESS

15 Lakeside Crescent,
North Manly NSW 2100

DRAWING NO.

DA04

DATE

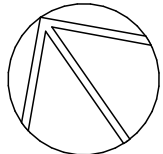
Monday, 3 February
2025

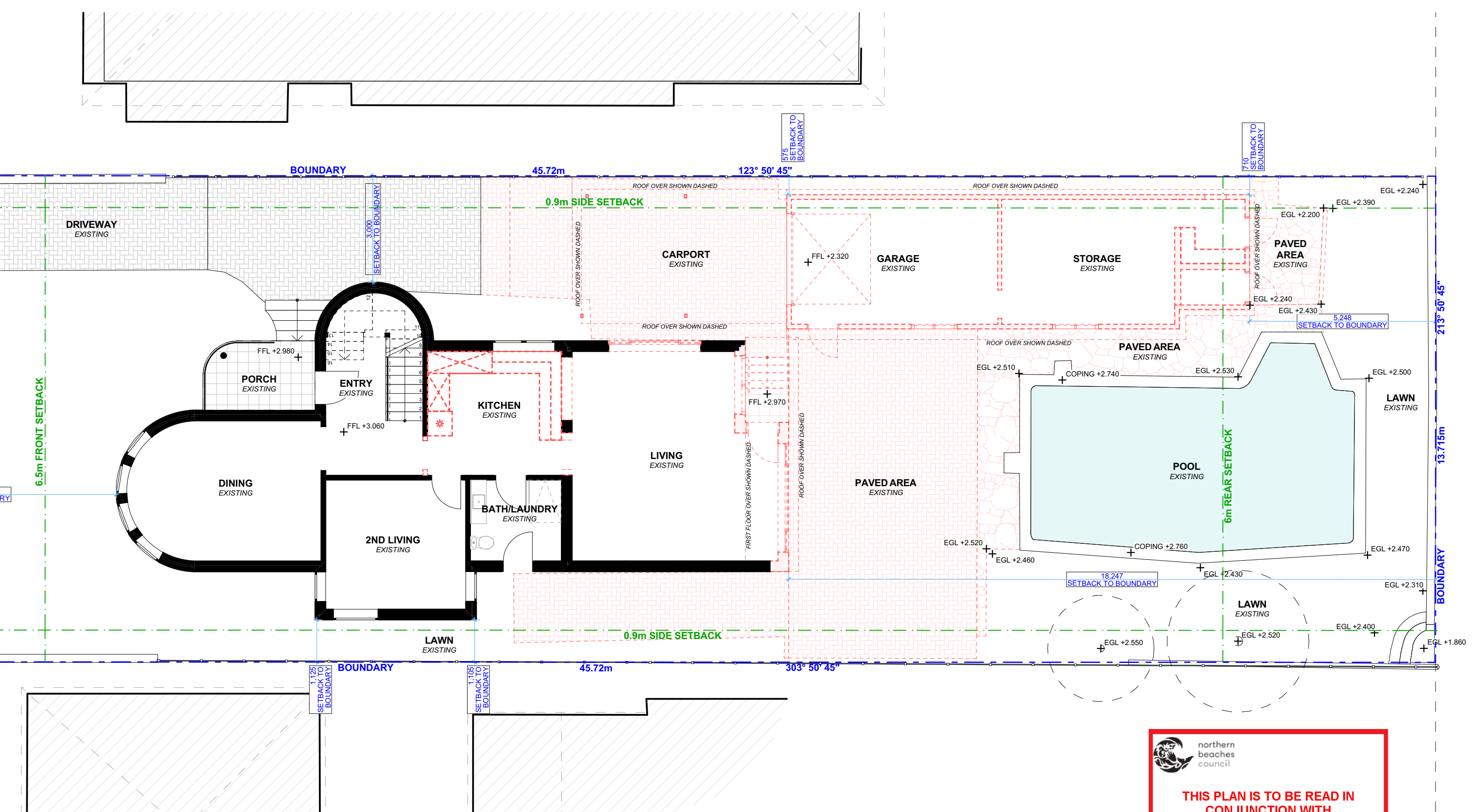
DRAWING NAME

SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE

1:200 @A3





1

EXISTING GROUND FLOOR PLAN

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NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS & AS 2601 - 2001



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- LEGEND**
- EXISTING
 - DEMOLISHED
 - PROPOSED

EXISTING RL
PROPOSED RL

CLIENT
Linda & Sean Obrien

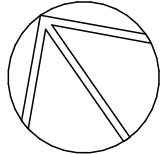
PROJECT ADDRESS
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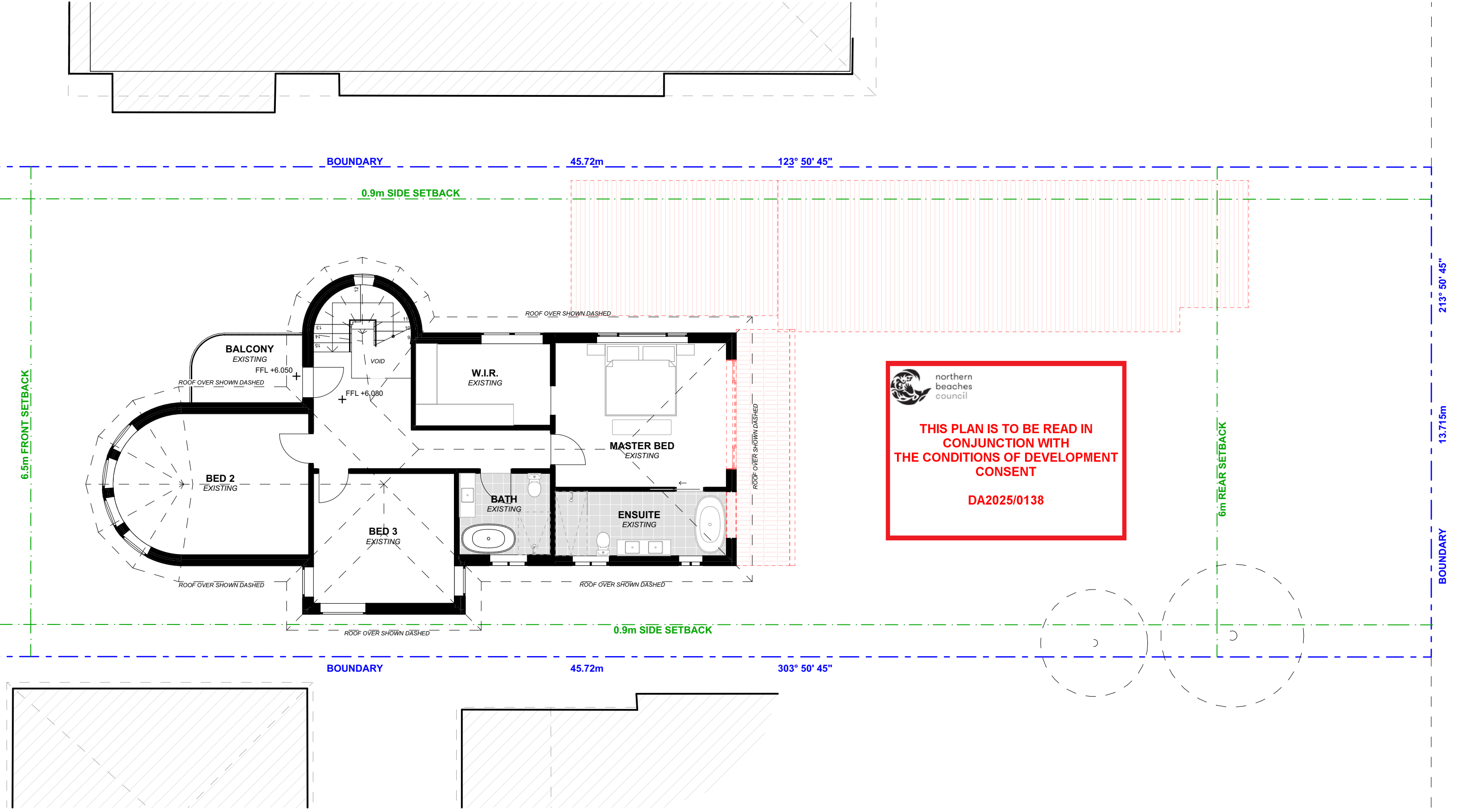
DRAWING NO.
DA05

DATE
Monday, 3 February
2025

DRAWING NAME
EXISTING GROUND FLOOR
PLAN

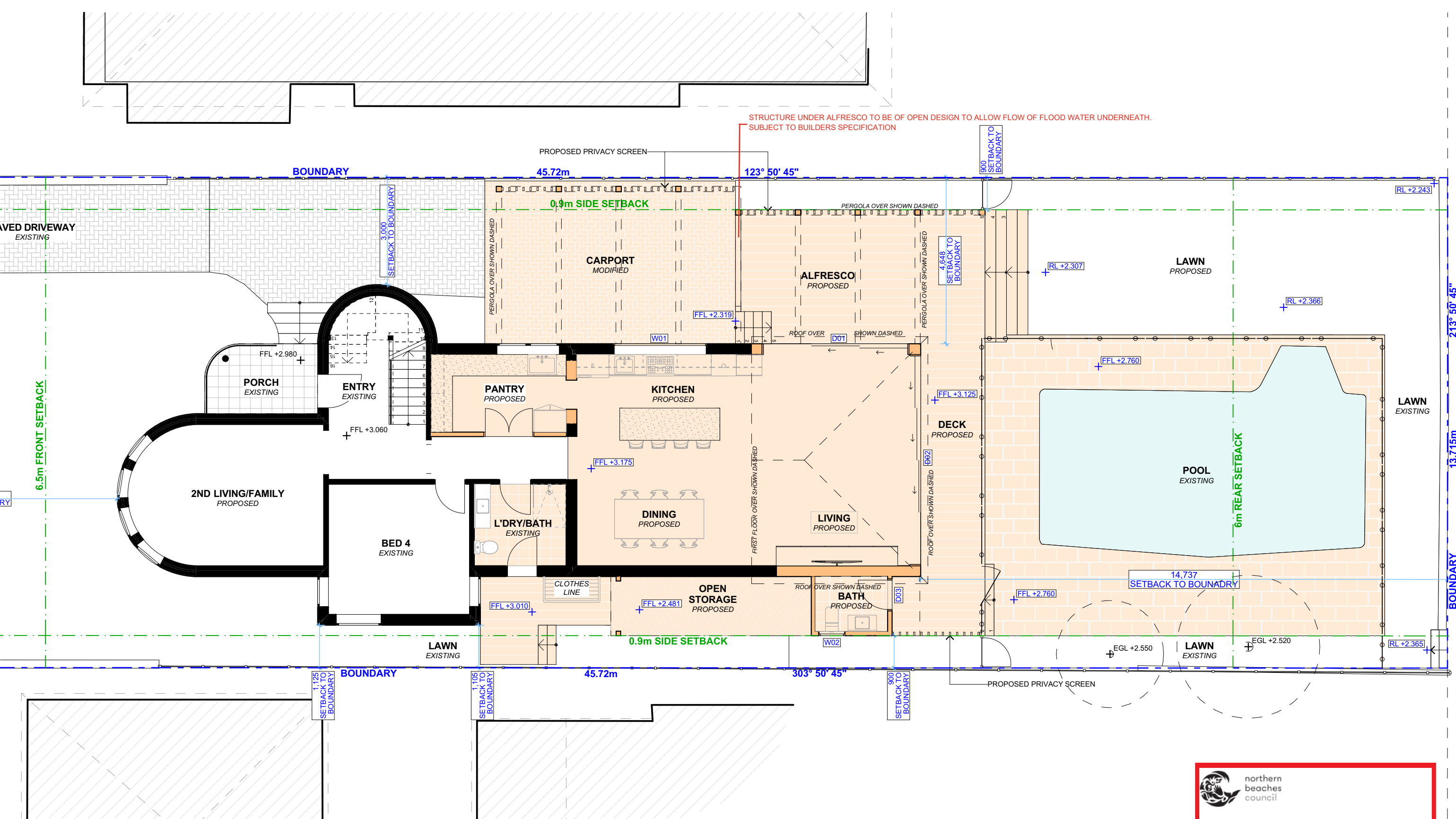
SCALE
1:100 @A3





1 EXISTING FIRST FLOOR PLAN

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS & AS 2601 - 2001



1

PROPOSED GROUND FLOOR PLAN



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LEGEND

- EXISTING
- DEMOLISHED
- PROPOSED

EXISTING RL
PROPOSED RL

CLIENT

Linda & Sean Obrien

PROJECT ADDRESS

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DRAWING NO.

DA07

DATE

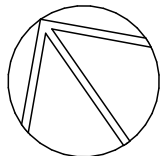
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2025

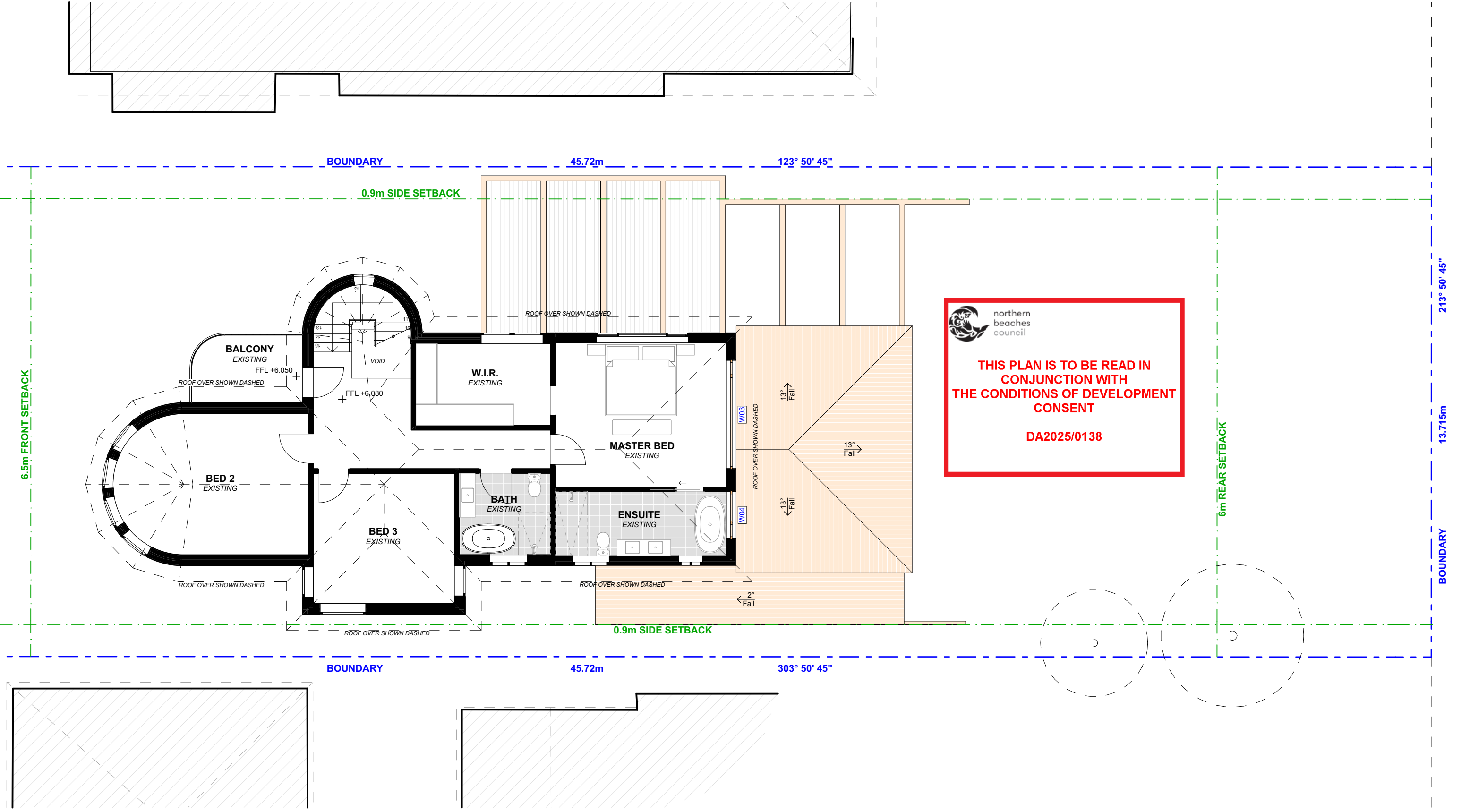
DRAWING NAME

PROPOSED GROUND FLOOR
PLAN

SCALE

1:100 @A3





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beaches
council**

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1

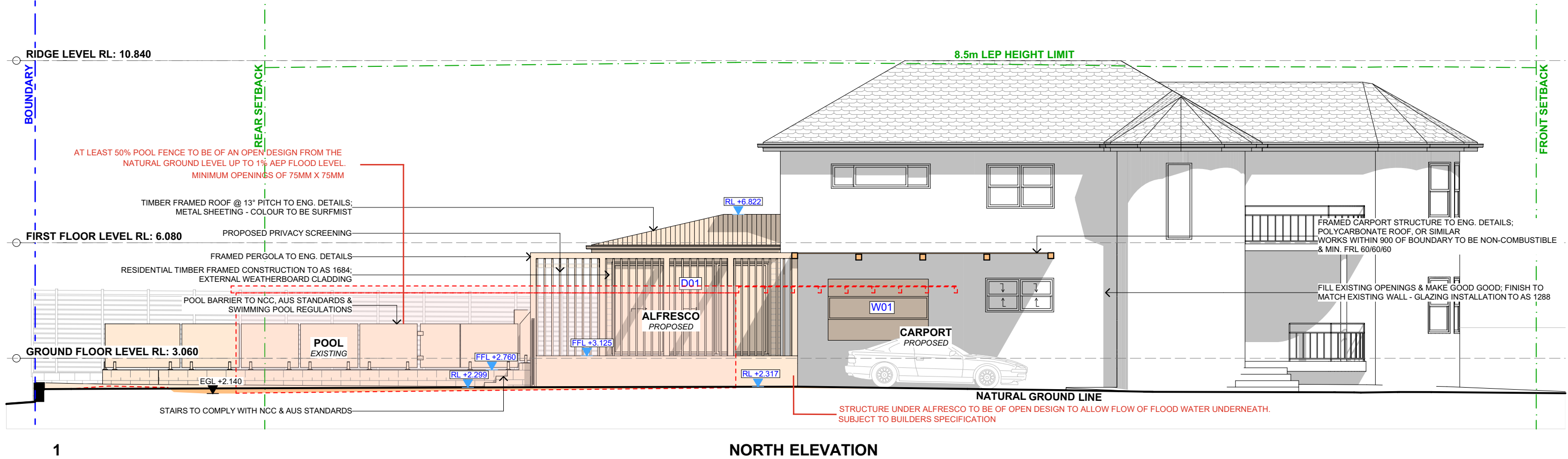
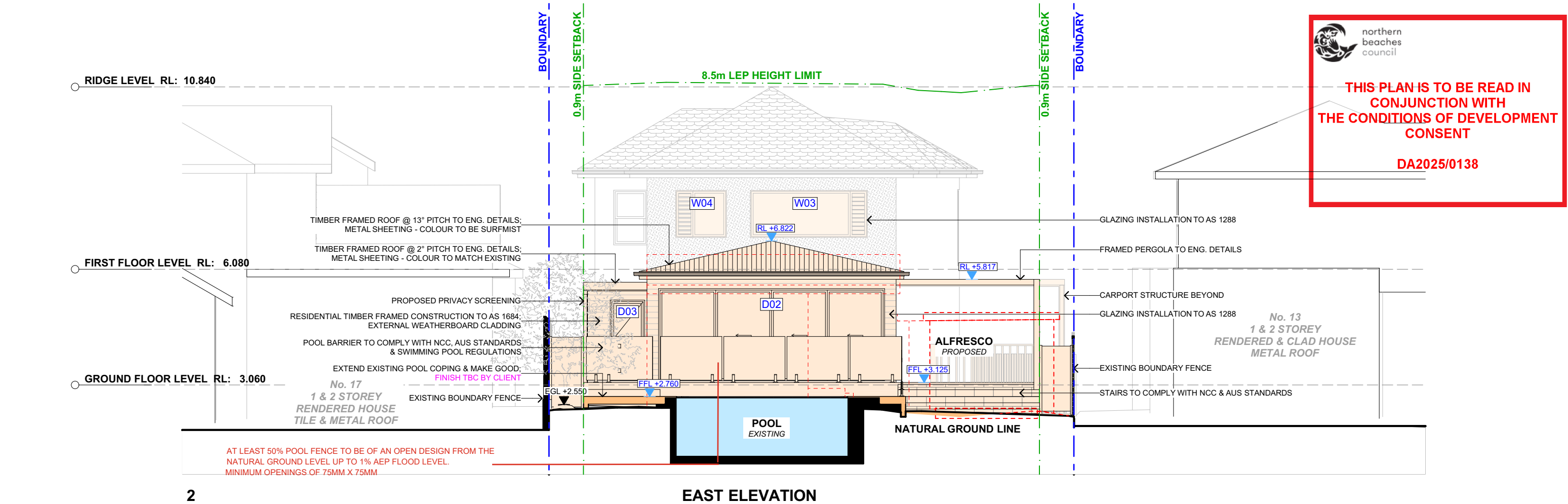
PROPOSED FIRST FLOOR PLAN




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LEGEND

EXISTING

PROPOSED

DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT

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PROJECT ADDRESS

15 Lakeside Crescent,
North Manly NSW 2100

DRAWING NO.

DA09

DATE

Monday, 3 February
2025

DRAWING NAME

NORTH / EAST ELEVATION

SCALE

1:100 @A3



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council

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DA2025/0138

RIDGE LEVEL RL: 10.840

FIRST FLOOR LEVEL RL: 6.080

GROUND FLOOR LEVEL RL: 3.060

FRAMED CARPORT STRUCTURE TO ENG. DETAILS; POLYCARBONATE ROOF, OR SIMILAR WORKS WITHIN 900 OF BOUNDARY TO BE NON-COMBUSTIBLE & MIN. FRL 60/60/60

No. 13
1 & 2 STOREY
RENDERED & CLAD HOUSE
METAL ROOF

ALFRESCO PERGOLA BEYOND

EXISTING BOUNDARY FENCE

CARPORT
PROPOSED

BALCONY
EXISTING

PORCH
EXISTING

8.5m LEP HEIGHT LIMIT

0.9m SIDE SETBACK

0.9m SIDE SETBACK

BOUNDARY

BOUNDARY

PROPOSED WORKS BEYOND

No. 17
1 & 2 STOREY
RENDERED HOUSE
TILE & METAL ROOF

EXISTING BOUNDARY FENCE

FFL +3.010

NATURAL GROUND LINE

STRUCTURE UNDER ALFRESCO TO BE OF OPEN DESIGN TO ALLOW FLOW OF FLOOD WATER UNDERNEATH. SUBJECT TO BUILDERS SPECIFICATION

2

WEST ELEVATION

RIDGE LEVEL RL: 10.840

FIRST FLOOR LEVEL RL: 6.080

GROUND FLOOR LEVEL RL: 3.060

6.5m FRONT SETBACK

8.5m LEP HEIGHT LIMIT

6m REAR SETBACK

BOUNDARY

BOUNDARY

6.177 EXISTING WALL HEIGHT

TIMBER FRAMED ROOF @ 2° PITCH TO ENG. DETAILS; METAL SHEETING - COLOUR TO BE SURFMIST

GLAZING INSTALLATION TO AS 1288

RESIDENTIAL TIMBER FRAMED CONSTRUCTION TO AS 1684; EXTERNAL WEATHERBOARD CLADDING

POSTS TO ENG. DETAILS

EGL +2.260

EGL +2.580

EGL +2.560

CLOTHES LINE

FFL +3.010

NATURAL GROUND LINE

W02

ALFRESCO
PROPOSED

FFL +3.125

EGL +2.470

EGL +2.460

FFL +2.760

EGL +2.550

EGL +2.520

EGL +2.400

EGL +1.860

STAIRS TO COMPLY WITH NCC & AUS STANDARDS

AT LEAST 50% POOL FENCE TO BE OF AN OPEN DESIGN FROM THE NATURAL GROUND LEVEL UP TO 1% AEP FLOOD LEVEL. MINIMUM OPENINGS OF 75MM X 75MM

TIMBER FRAMED ROOF @ 13° PITCH TO ENG. DETAILS; METAL SHEETING - COLOUR TO MATCH EXISTING

PROPOSED PRIVACY SCREENING

GLAZING INSTALLATION TO AS 1288

POOL BARRIER TO NCC, AUS STANDARDS & SWIMMING POOL REGULATIONS

EXTEND EXISTING POOL COPING & MAKE GOOD; FINISH TBC BY CLIENT

1

SOUTH ELEVATION

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LEGEND

- EXISTING
- PROPOSED
- DEMOLISHED

EXIST. RL
↓
PROP. RL

CLIENT

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DRAWING NO.

DA10

DATE


Monday, 3 February
2025

DRAWING NAME

SOUTH / WEST ELEVATION

SCALE

1:100 @A3



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