

SITE CALCULATIONS

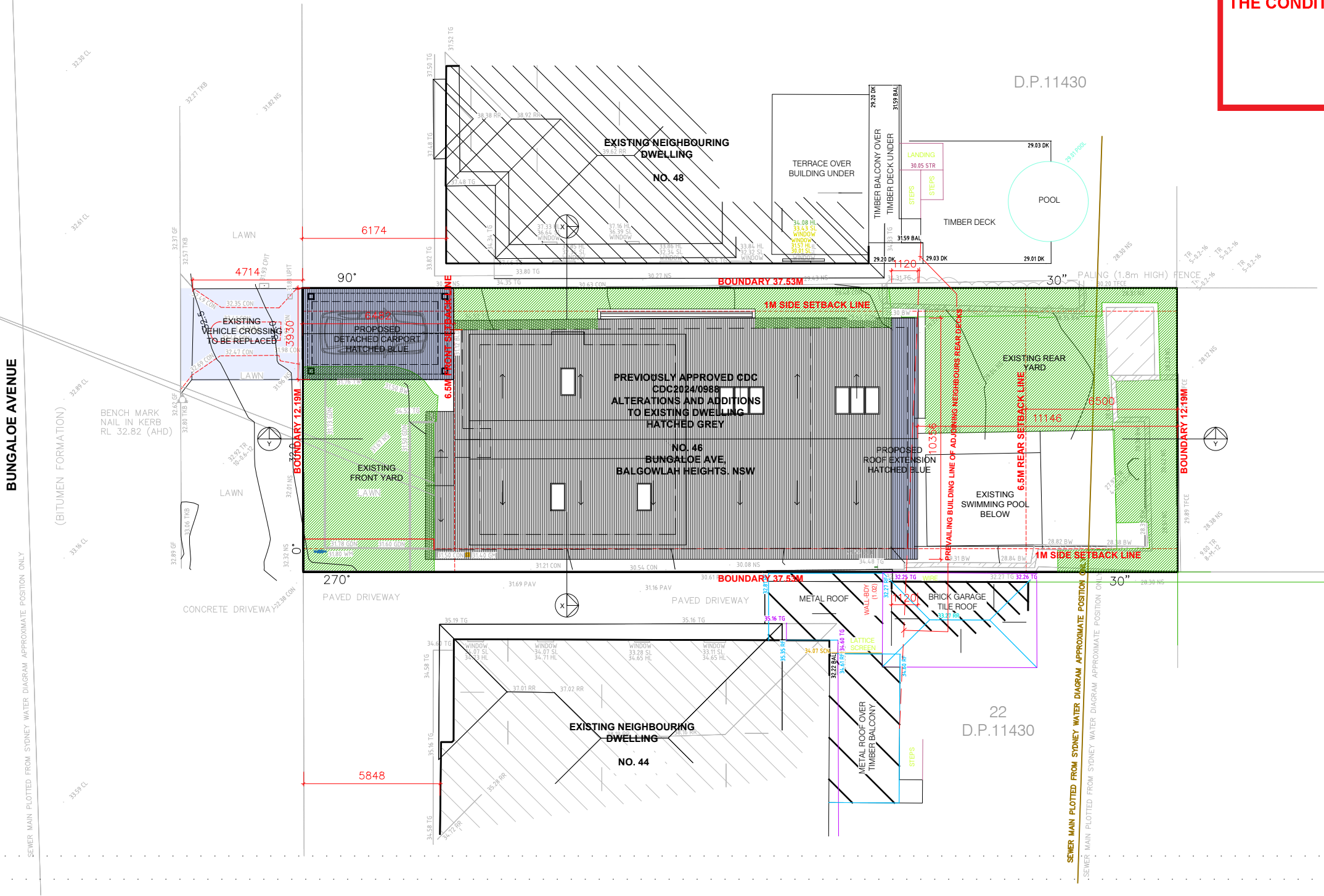
TOTAL SITE AREA : 461 SQ.M  
PROPOSED CARPORT FLOOR AREA: 24 SQ.M  
EXISTING DRIVEWAY AREA: 16 SQ.M  
EXISTING LOWER GROUND FLOOR AREA: 52 SQ.M  
PROPOSED LOWER GROUND FLOOR AREA: 52 SQ.M  
EXISTING GROUND FLOOR AREA: 141 SQ.M  
PROPOSED GROUND FLOOR AREA: 133 SQ.M  
EXISTING GROUND FLOOR EXTERNAL DECK AREA: 13 SQ.M  
PROPOSED GROUND FLOOR EXTERNAL DECK AREA: 38 SQ.M  
PROPOSED FIRST FLOOR AREA: 60 SQ.M  
EXISTING ROOF AREA : 204 SQ.M  
PROPOSED ROOF AREA: 241 SQ.M  
TOTAL HABITAT INTERNAL FLOOR AREA (GFA): 245 SQ.M  
EXISTING / CDC APPROVED FSR: 253 SQ.M / 461 SQ.M = 0.55  
PROPOSED FSR: 245 SQ.M / 461 SQ.M = 0.53

EXISTING SOFT LANDSCAPE AREA: 75.5 SQ.M (16.5%)  
EXISTING HARDSTAND AREA: 385.5 SQ.M (83.5%)  
PROPOSED SOFT LANDSCAPE AREA: 153 SQ.M (33%)  
PROPOSED HARDSTAND AREA (INC POOL): 308 SQ.M (67%)

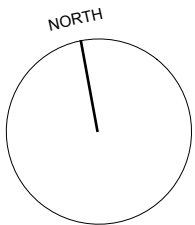


THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2025/0179



SITE PLAN 1:100 @ A1 OR 1:200 @ A3



LEGEND:

DENOTES EXISTING SPOT LEVEL  
 DENOTES PROPOSED LEVEL

NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION  
NOTE: CONCEPT DESIGN ONLY.  
NOTE: DO NOT SCALE OFF THIS DRAWING  
NOTE: SUBJECT TO PLANNING APPROVAL

KEY:

DENOTES PROPOSED WALL TO BE CONSTRUCTED  
 DENOTES EXISTING WALL TO REMAIN  
 DENOTES EXISTING WALL TO BE REMOVED  
 DENOTES AREA OF PROPOSED ADDITION  
 DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING  
 DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:

PROJECT:  
ALTERATIONS & ADDITIONS  
TO EXISTING DWELLING

CLIENT:  
STUART & CHARLOTTE MENOGUE

LOCATION  
46 BUNGALOE AVENUE,  
BALGOWLAH HEIGHTS, NSW.

PROJECT STAGE:  
DA

DRAWING TITLE:  
SITE PLAN

SCALE:  
1:100 @ A3

DATE OF ISSUE:  
27.11.2024

DRAWING NO.  
DA-001

REVISION:  
-

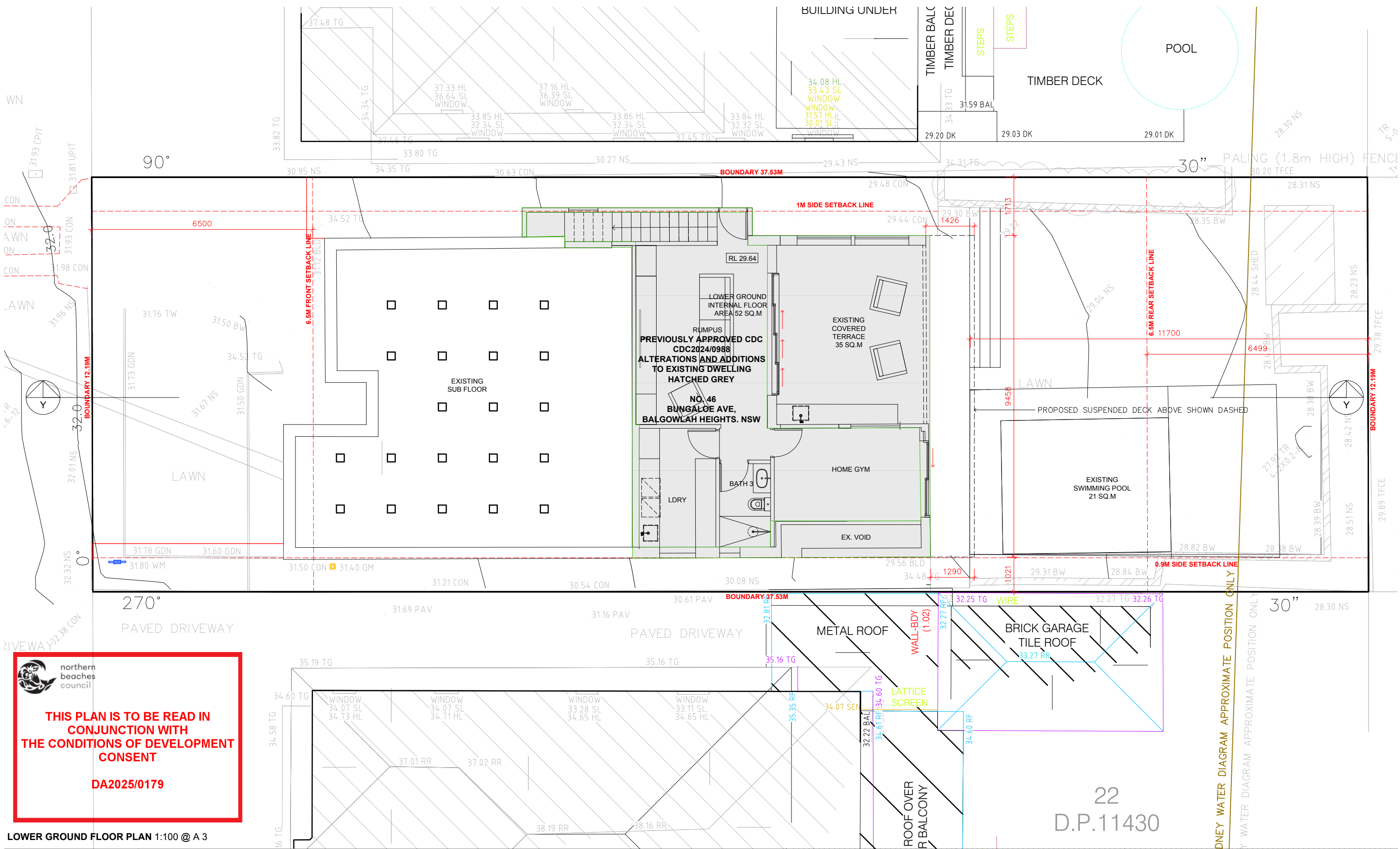
RAW

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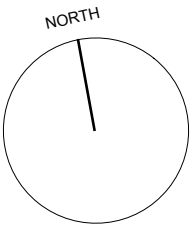









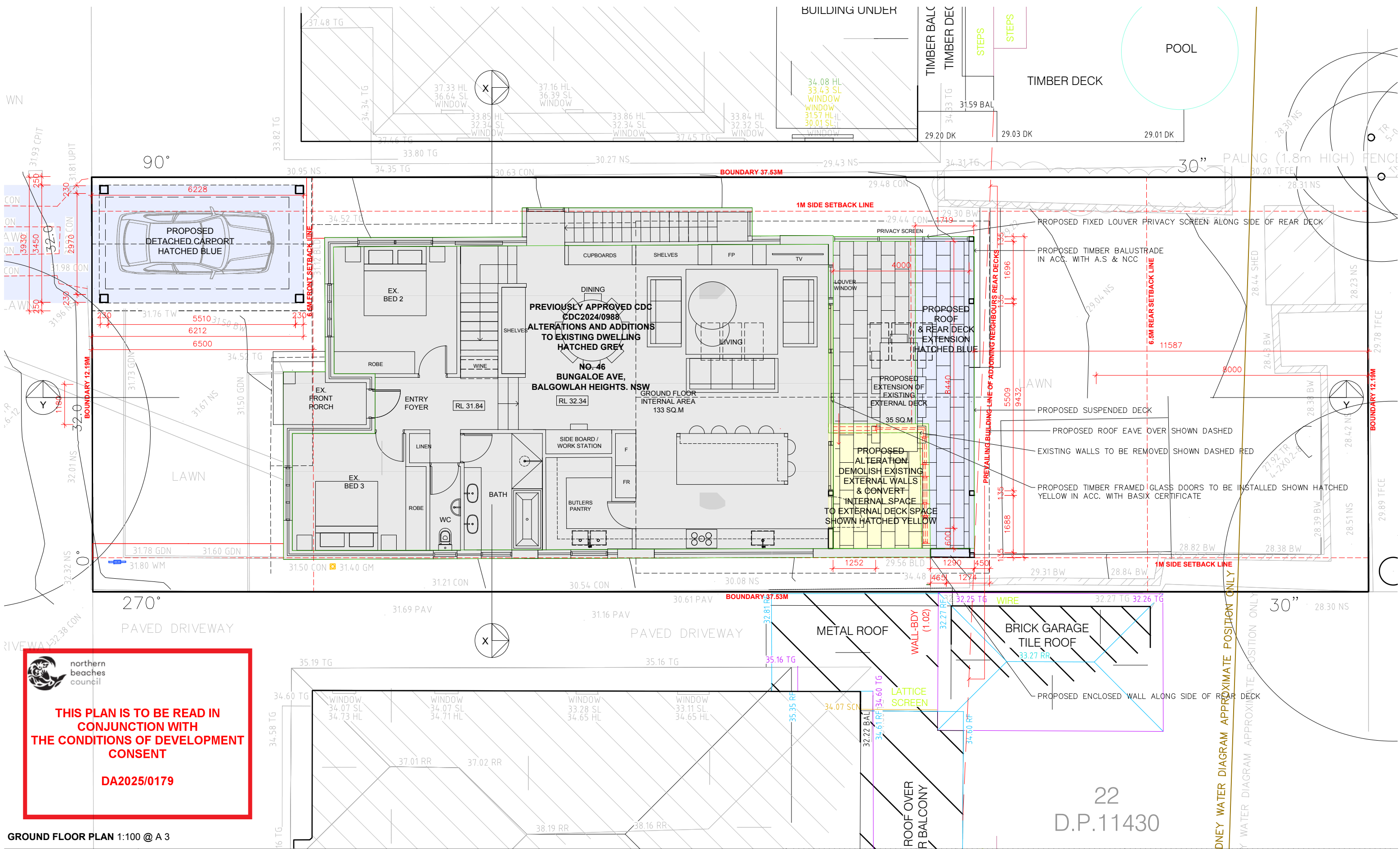
 **northern beaches council**

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**DA2025/0179**

LOWER GROUND FLOOR PLAN 1:100 @ A 3

	<p><b>LEGEND:</b></p> <p> DENOTES EXISTING SPOT LEVEL</p> <p><b>RL 7.10</b> DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p><b>KEY:</b></p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p><b>PROJECT:</b> ALTERATIONS &amp; ADDITIONS TO EXISTING DWELLING</p> <p><b>CLIENT:</b> STUART &amp; CHARLOTTE MENOGUE</p> <p><b>LOCATION</b> 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS, NSW.</p>	<p><b>PROJECT STAGE:</b> CONCEPT</p> <p><b>DRAWING TITLE:</b> LOWER GROUND FLOOR PLAN</p> <p><b>SCALE:</b> 1:100 @ A3</p>	<p><b>DATE OF ISSUE:</b> 11.11.2024</p> <p><b>DRAWING NO.</b> CD-104</p> <p><b>REVISION:</b> H</p>	<p><b>RAW</b></p> <p><b>RAYMOND AND WILLIAMS</b> ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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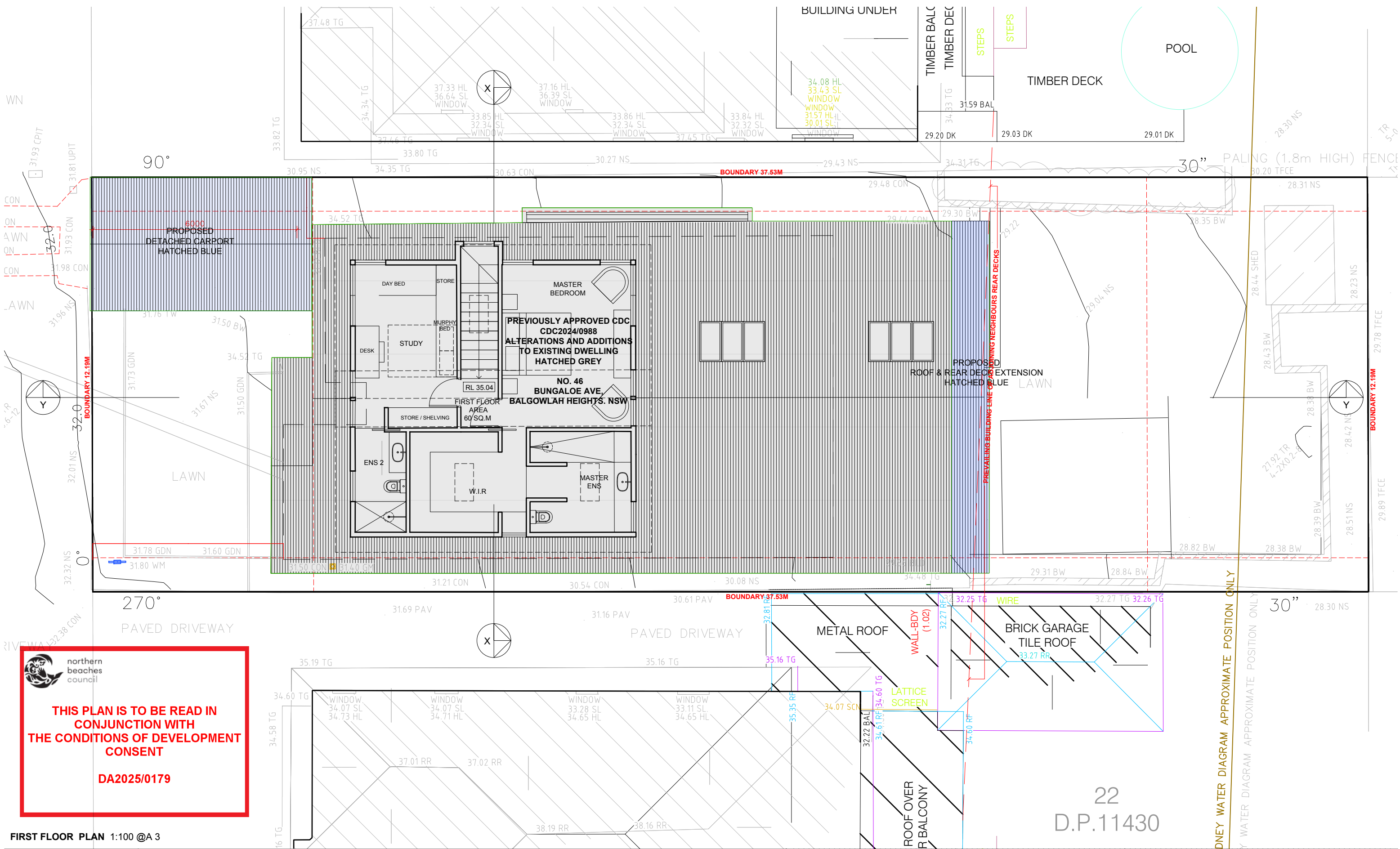
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2025/0179**

GROUND FLOOR PLAN 1:100 @ A 3

	<p><b>LEGEND:</b></p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p><b>KEY:</b></p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p><b>PROJECT:</b> ALTERATIONS &amp; ADDITIONS TO EXISTING DWELLING</p> <p><b>CLIENT:</b> STUART &amp; CHARLOTTE MENOGUE</p> <p><b>LOCATION</b> 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS, NSW.</p>	<p><b>PROJECT STAGE:</b> DA</p> <p><b>DRAWING TITLE:</b> GROUND FLOOR PLAN</p> <p><b>SCALE:</b> 1:100 @ A3</p>	<p><b>DATE OF ISSUE:</b> 15.01.25</p> <p><b>DRAWING NO.</b> CD-101</p> <p><b>REVISION:</b> -</p>	<p><b>RAW</b></p> <p><b>RAYMOND AND WILLIAMS</b> ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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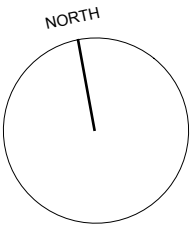










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**DA2025/0179**

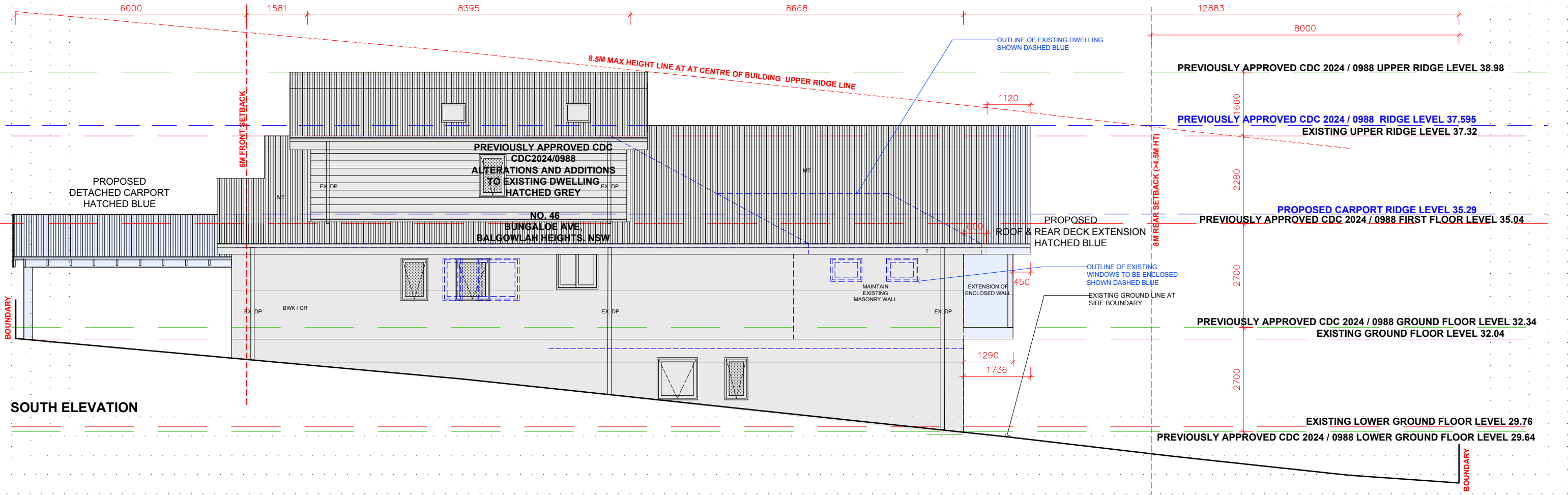
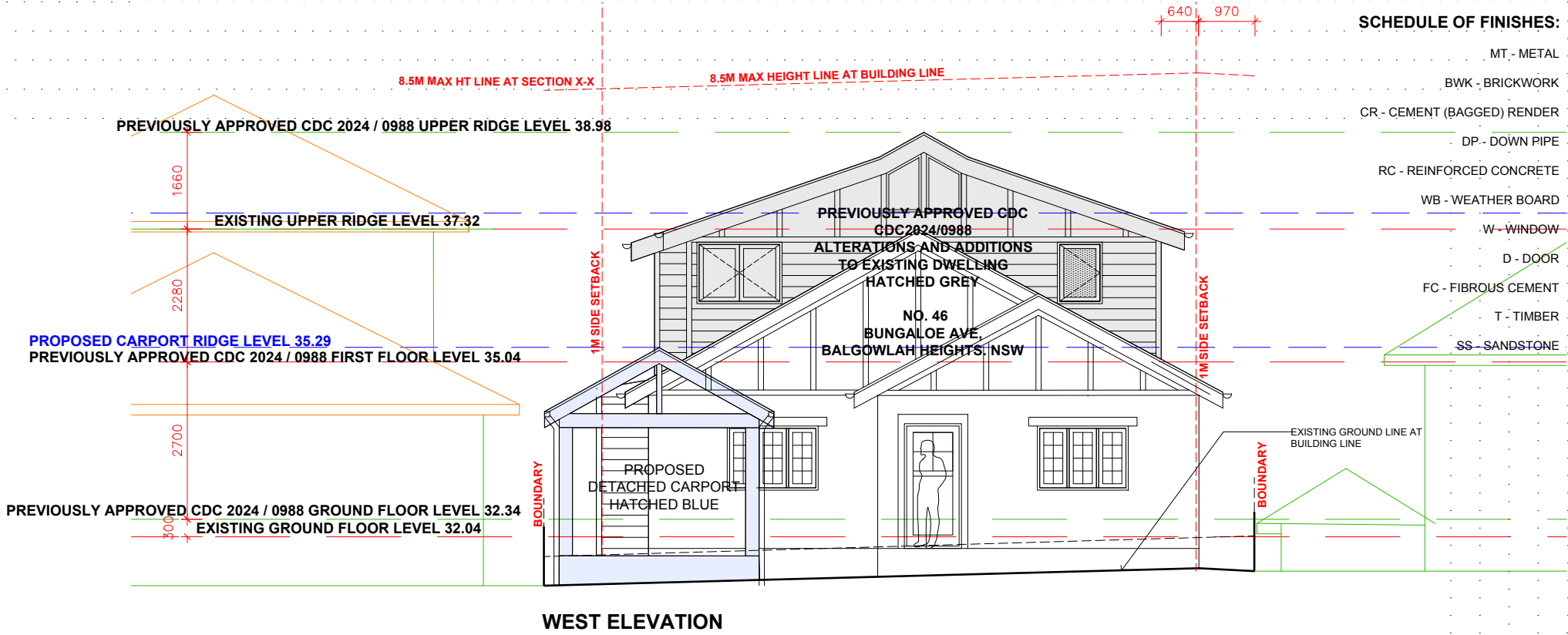
FIRST FLOOR PLAN 1:100 @A 3

	<p><b>LEGEND:</b></p> <p> DENOTES EXISTING SPOT LEVEL</p> <p> DENOTES PROPOSED LEVEL</p> <p>NOTE: THESE DRAWINGS ARE NOT FOR CONSTRUCTION NOTE: CONCEPT DESIGN ONLY. NOTE: DO NOT SCALE OFF THIS DRAWING NOTE: SUBJECT TO PLANNING APPROVAL</p>	<p><b>KEY:</b></p> <p> DENOTES PROPOSED WALL TO BE CONSTRUCTED</p> <p> DENOTES EXISTING WALL TO REMAIN</p> <p> DENOTES EXISTING WALL TO BE REMOVED</p> <p> DENOTES AREA OF PROPOSED ADDITION</p> <p> DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING</p> <p> DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:</p>	<p><b>PROJECT:</b> ALTERATIONS &amp; ADDITIONS TO EXISTING DWELLING</p> <p><b>CLIENT:</b> STUART &amp; CHARLOTTE MENOGUE</p> <p><b>LOCATION</b> 46 BUNGALOE AVENUE, BALGOWLAH HEIGHTS. NSW.</p>	<p><b>PROJECT STAGE:</b> DA</p> <p><b>DRAWING TITLE:</b> FIRST FLOOR PLAN</p> <p><b>SCALE:</b> 1:100 @ A3</p>	<p><b>DATE OF ISSUE:</b> 15.01.2025</p> <p><b>DRAWING NO.</b> CD-102</p> <p><b>REVISION:</b> -</p>	<p><b>RAW</b></p> <p><b>RAYMOND AND WILLIAMS</b> ARCHITECTURAL DESIGN AND CONSTRUCTION</p> <p>Daniel Raymond Architect NSW Reg. #9788 dan@rawdandc.com 0409 369 275</p> <p>Travers Williams Builder Lic No.235416C trav@rawdandc.com 0421 904 523</p> <p><small>COPYRIGHT OF RAW D AND C THIS DRAWING IS NOT TO BE USED OR REPRODUCED IN ANY FORM WITHOUT CONSENT. DO NOT SCALE FROM THIS DRAWING</small></p>
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council**


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CONSENT**

**DA2025/0179**



ELEVATION SHEET 01 1:50 @ A1 OR 1:100 @ A3


**LEGEND:**


 DENOTES EXISTING SPOT LEVEL


**RL 7.10** DENOTES PROPOSED LEVEL


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
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 DENOTES EXISTING WALL TO REMAIN

 DENOTES EXISTING WALL TO BE REMOVED

 DENOTES AREA OF PROPOSED ADDITION

 DENOTES AREA OF PROPOSED ALTERATION WITHIN EXISTING DWELLING

 DENOTES AREA OF PROPOSED SOFT LANDSCAPE AREA:

**PREVIOUSLY APPROVED CDC 2024 / 0988 LOWER GROUND FLOOR LEVEL 29.64**

**PROJECT:**  
ALTERATIONS & ADDITIONS  
TO EXISTING DWELLING

**CLIENT:**  
STUART & CHARLOTTE MENOGUE

**LOCATION**  
46 BUNGALOE AVENUE,  
BALGOWLAH HEIGHTS. NSW.

**PROJECT STAGE:**  
DA

**DRAWING TITLE:**  
ELEVATIONS  
SHEET 01

**SCALE:**  
1:100 @ A3

**DATE OF ISSUE:**  
04.11.2024

**DRAWING NO.**  
DA-300

**REVISION:**

**RAW**

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CONSENT

DA2025/0179

PREVIOUSLY APPROVED CDC 2024 / 0988 UPPER RIDGE LEVEL 38.98

EXISTING UPPER RIDGE LEVEL 37.32

PREVIOUSLY APPROVED CDC 2024 / 0988 FIRST FLOOR LEVEL 35.04

PREVIOUSLY APPROVED CDC 2024 / 0988 GROUND FLOOR LEVEL 32.34  
EXISTING GROUND FLOOR LEVEL 32.04

EXISTING LOWER GROUND FLOOR LEVEL 29.76

PREVIOUSLY APPROVED CDC 2024 / 0988 LOWER GROUND FLOOR LEVEL 29.64

BOUNDARY

BOUNDARY

CROSS SECTION X-X

CROSS SECTION X-X / FRONT VIEW

PREVIOUSLY APPROVED CDC 2024 / 0988 UPPER RIDGE LEVEL 38.98

PREVIOUSLY APPROVED CDC 2024 / 0988 RIDGE LEVEL 37.595  
EXISTING UPPER RIDGE LEVEL 37.32

PROPOSED CARPORT RIDGE LEVEL 35.29  
PREVIOUSLY APPROVED CDC 2024 / 0988 FIRST FLOOR LEVEL 35.04

PREVIOUSLY APPROVED CDC 2024 / 0988 GROUND FLOOR LEVEL 32.34  
EXISTING GROUND FLOOR LEVEL 32.04

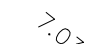
EXISTING LOWER GROUND FLOOR LEVEL 29.76  
PREVIOUSLY APPROVED CDC 2024 / 0988 LOWER GROUND FLOOR LEVEL 29.64

BOUNDARY

BOUNDARY

LONGITUDINAL SECTION Y-Y

LEGEND:


 DENOTES EXISTING SPOT LEVEL

 DENOTES PROPOSED LEVEL

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CLIENT:  
STUART & CHARLOTTE MENOGUE

LOCATION  
46 BUNGALOE AVENUE,  
BALGOWLAH HEIGHTS. NSW.

PROJECT STAGE:  
DA

DRAWING TITLE:  
SECTION  
SHEET 01

SCALE:  
1:100 @ A3

DATE OF ISSUE:  
27.11.2024

DRAWING NO.  
CD-300

REVISION:  
G

RAW

RAYMOND AND WILLIAMS  
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