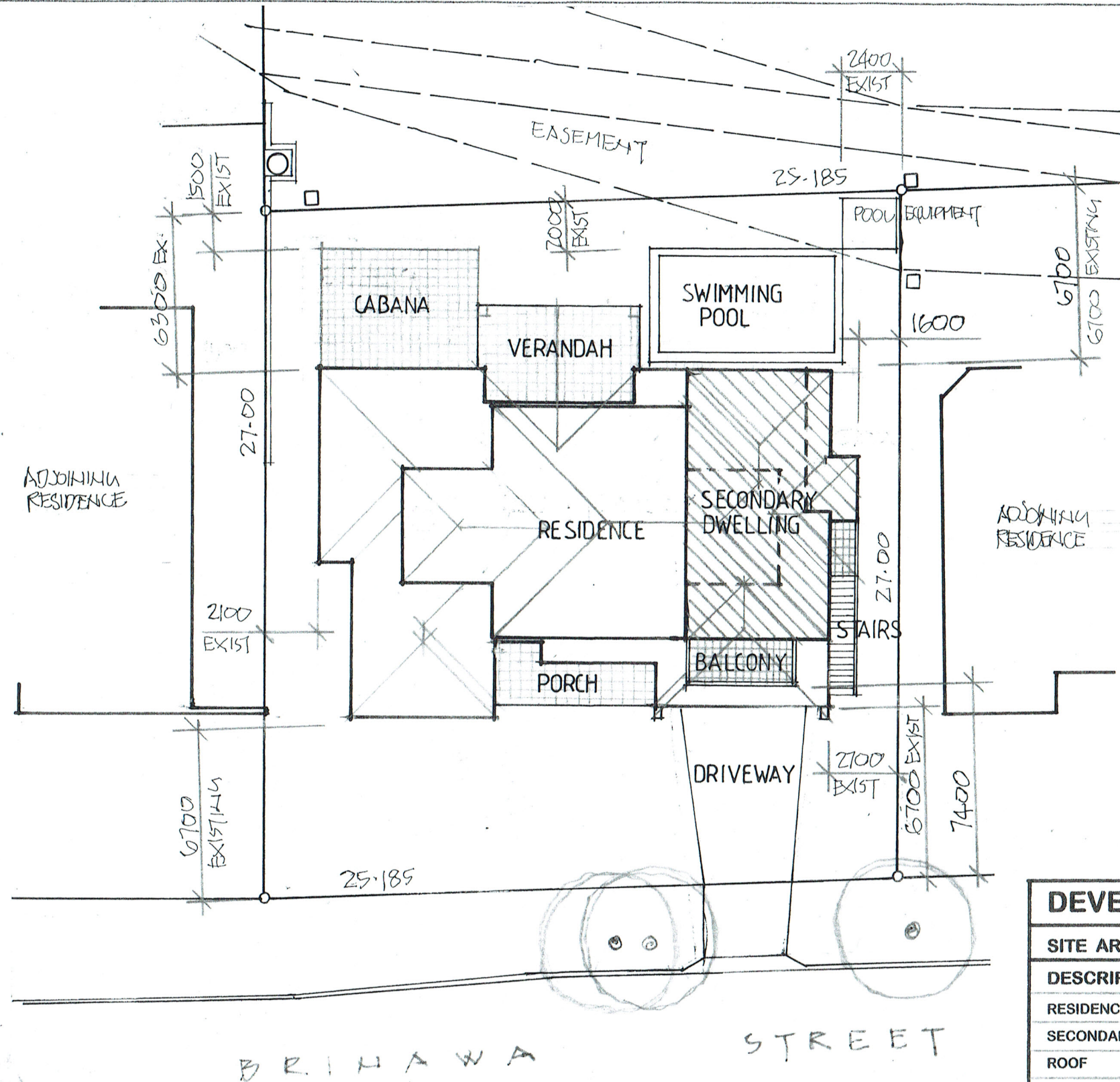




SITE PLAN

LOT 104 14. D.P. 1098407

DEVELOPMENT CALCULATIONS

SITE AREA	679.60 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE FLOOR	281.25	281.25
SECONDARY DWELLING	—	60.00
ROOF	219.30	229.33
VERANDAH	21.60	21.60
PORCH	11.34	11.34
CABANA	29.61	29.61
SWIMMING POOL & COPING	34.20	34.20
DRIVEWAY	29.24	29.24
POOL EQUIPMENT	4.40	4.40
STAIRS	—	5.17
TOTAL HARD SURFACE	349.69 (51.46%)	364.89 (53.69%)

NOTES:

1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
 5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
 6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by owner.
 8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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 J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS

BOUNDARY DIM'S ADDED 12-5
 No. AMENDMENT DATE



J.D. EVANS and COMPANY
 DESIGN AND BUILDING CONSULTANTS
 UNIT 33G, 6 JUBILEE AVENUE, WARRIEWOOD 2102
 PHONE 9999 4566 MOBILE 0418 976 596
 www.jdeco.com.au email info@jdeco.com.au

PROJECT
PROPOSED SECONDARY DWELLING
 No. 45 BRINAWA STREET
 MONA VALE N. S. W. 2103
 CLIENT
SAL & TRACY CAVALARO

DATE 09/10/2018 SCALE 1:200
 DRAWN JOE CHECKED
 DRAWING No. **1955-1** ISSUE A

PROPOSED RIDGE R/L 24.15
EXISTING RIDGE R/L 23.91

CONCRETE ROOF TILES TO MATCH EXISTING

FIRST FLOOR R/L 19.55

GROUND FLOOR R/L 16.50

NORTH ELEVATION

CONCRETE ROOF TILES TO MATCH EXISTING OVER SARKING

150x150 TIMBER POSTS

HARDITEX CLADDING WITH SARKING & R2.0 INSULATION

FIRST FLOOR R/L 19.55

GROUND FLOOR R/L 16.50

WEST ELEVATION

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No.	AMENDMENT	DATE
1	RIDGE HEIGHTS ADDED	22.5.18



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PROJECT
PROPOSED SECONDARY DWELLING
No. 45 BRINAWA STREET
MONA VALE N. S. W. 2103
CLIENT
SAL & TRACY CAVALARO

DATE 09/10/2018	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1955-4	ISSUE A

HARDIPEX CLADDING WITH
SARKIM & R2.0 INSULATION

FIRST FLOOR RL 19.33

GROUND FLOOR RL 16.50

E X I S T I N G R E S I D E N C E

SOUTH ELEVATION

CONCRETE ROOF TILES TO MATCH
EXISTING OVER SARKIM

FIRST FLOOR RL 19.55

GROUND FLOOR RL 16.50

E X I S T I N G R E S I D E N C E

EAST ELEVATION

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No.	AMENDMENT	DATE
1	BUILDING & RISE	12.5



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DATE 09/10/2018	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1955-5	ISSUE A