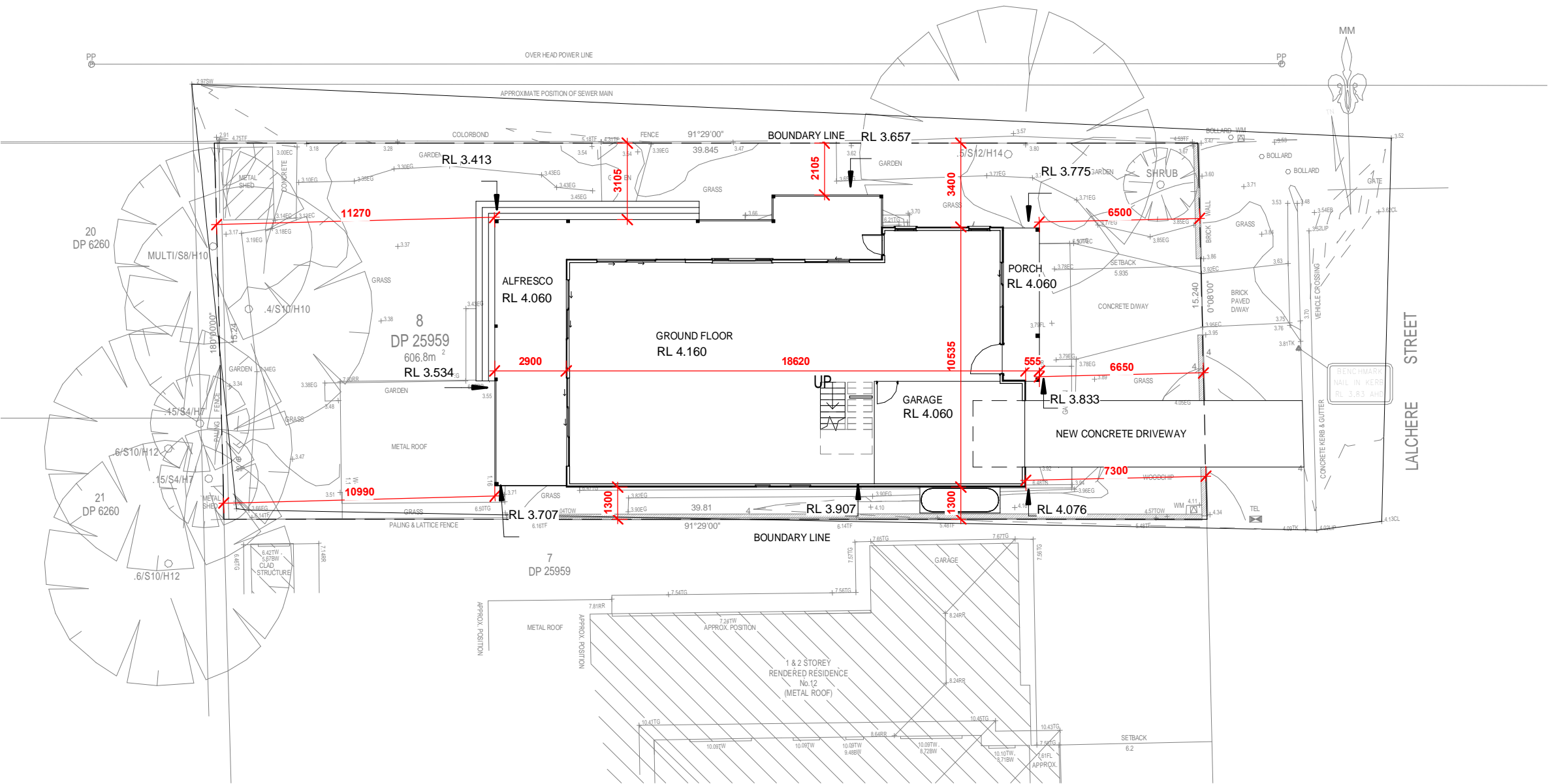


DIMENSIONS INCLUDE CLADDING THICKNESS

NOTE:

" FRONT SETBACK IS TO BE AT
LEAST:
6.5m

" SIDE SETBACK IS TO BE AT LEAST:
.9m

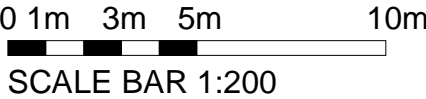


DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	30/07/2020
B	CHANGES AS PER EMAIL 31/07/2020	03/08/2020
C	CHANGES AS PER EMAIL 05/08/2020	10/08/2020
D	UPDATE TO FULL SET DA ISSUE	08/09/2020

DIMENSIONS INCLUDE
CLADDING THICKNESS

PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	56 m ²	15%
BALCONY	12 m ²	3%
FIRST FLOOR	132 m ²	35%
GARAGE	24 m ²	6%
GROUND	142 m ²	38%
PORCH	9 m ²	2%
TOTAL AREAS:		376 m ² 100%

1 SITE PLAN
1 : 200



REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 11.482 ▼ ROOF PEAK

RL 10.050 ▼ UF CEILING

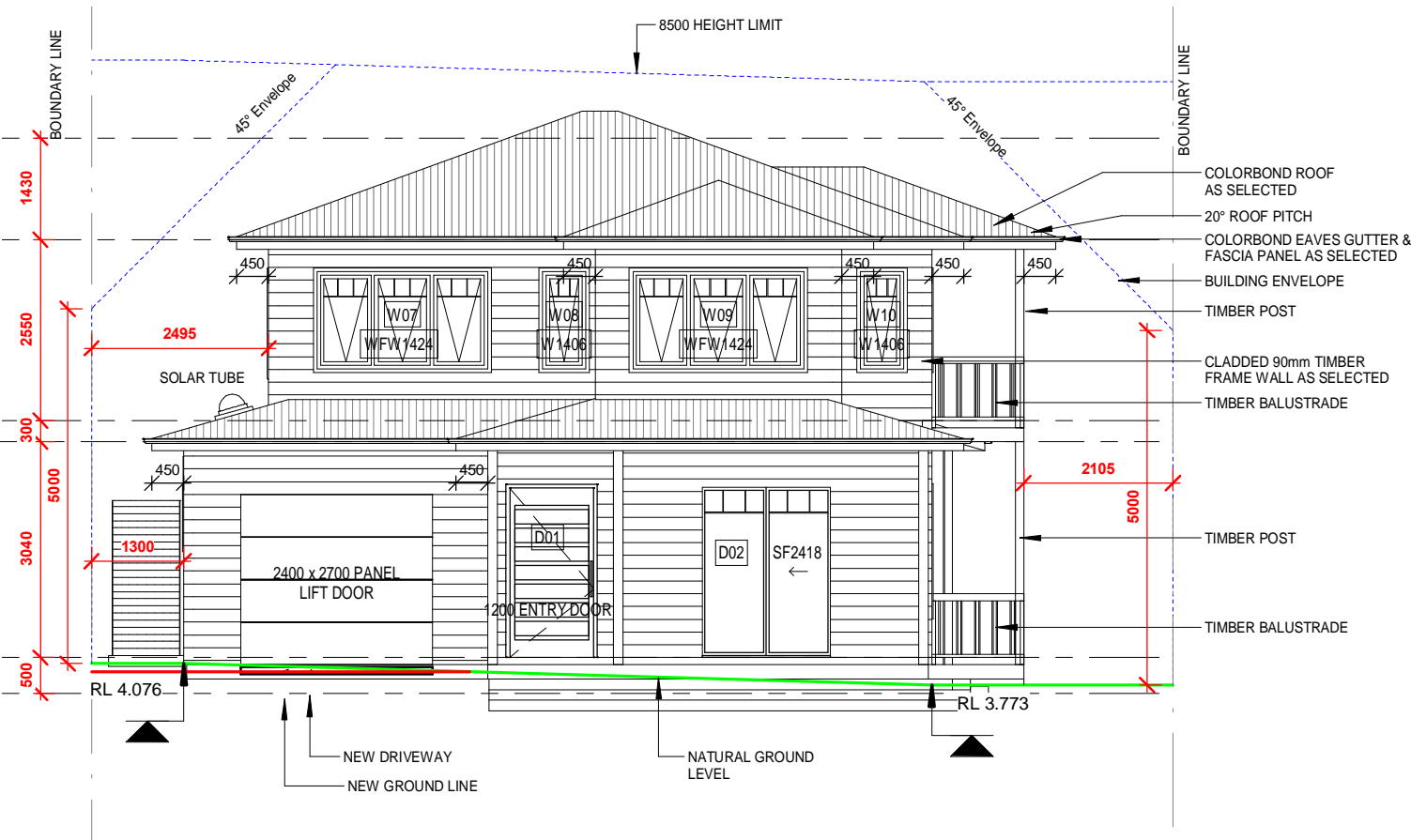
RL 7.500 ▼ UF

RL 7.200 ▼ GF CEILING

RL 4.160 ▼ GF

RL 3.660 ▼ GARAGE

1 FRONT ELEVATION
1 : 100



DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	1810	2400
D03	870	2340
D04	1810	2400
D05	3588	2400
D06	3588	2400
D07	3588	2400
D08	1570	2100

Grand total: 8

WINDOW SCHEDULE

Code	Width	Height
W01	850	1800
W02	850	1800
W03	2410	1800
W04	3000	400
W05	610	860
W06	850	860
W07	2410	1370
W08	610	1370
W09	2410	1370
W10	610	1370
W11	2410	1370
W12	610	1460
W13	610	1460
W14	2410	1370
W15	2410	1370
W16	2170	1200
W17	2170	1200
W18	1810	1030
W19	1810	1030
W20	1810	1030
W21	1500	1500
W22	850	1460

Grand total: 22

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
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GROUND	142 m ²	38%
PORCH	9 m ²	2%
TOTAL AREAS:	376 m ²	100%

RL 11.482 ▼ ROOF PEAK

RL 10.050 ▼ UF CEILING

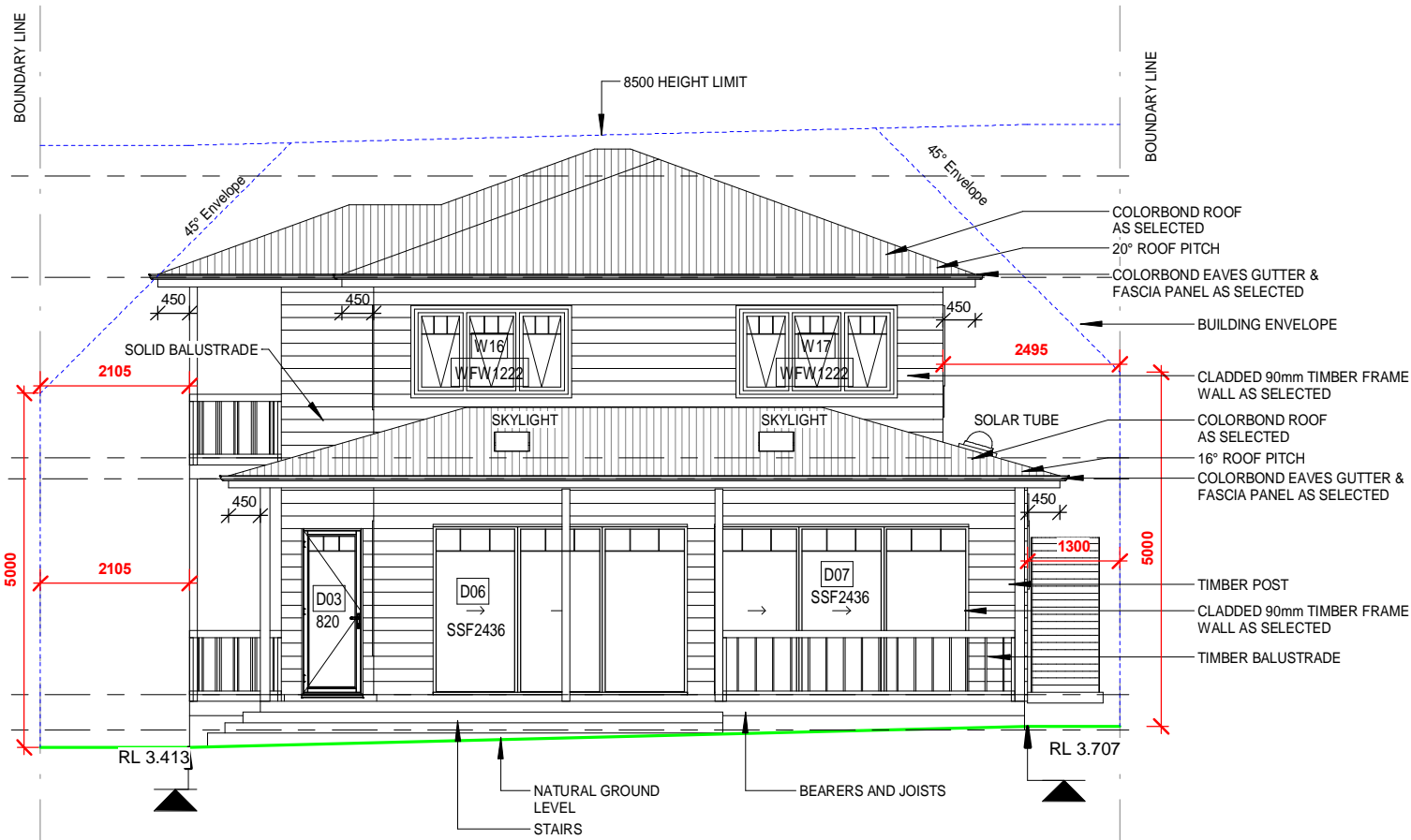
RL 7.500 ▼ UF

RL 7.200 ▼ GF CEILING

RL 4.160 ▼ GF

RL 3.660 ▼ GARAGE

2 REAR ELEVATION
1 : 100



0 1m 2m 3m 4m 5m 10m

SCALE BAR 1:100

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING

GUIDERA & ANDREWS

DRAWING TITLE:

ELEVATIONS

SCALE: 1 : 100

PROJECT:

14 LALCHERE STREET
CURL CURL

SHEET SIZE:

A3

SHEET No:

A07

REVISION:

D

DATE: 08/09/2020

JOB NO: 230282

DRAWN: NF

STAGE: DA

GJGN119

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 11.482 ROOF PEAK

RL 10.050 UF CEILING

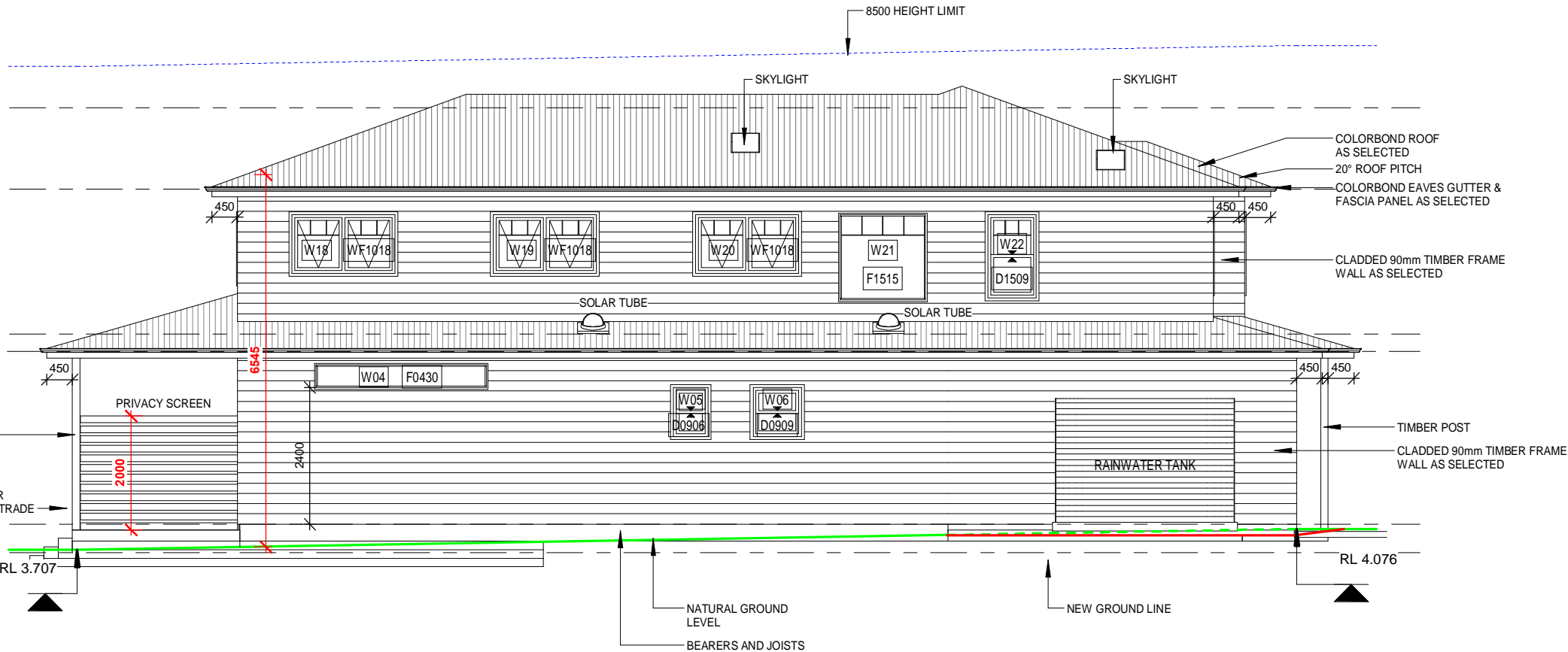
RL 7.500 UF

RL 7.200 GF CEILING

RL 4.160 GF

RL 3.660 GARAGE

1 SIDE ELEVATION 1
1 : 100



DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	1810	2400
D03	870	2340
D04	1810	2400
D05	3588	2400
D06	3588	2400
D07	3588	2400
D08	1570	2100

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W12	610	1460
W13	610	1460
W14	2410	1370
W15	2410	1370
W16	2170	1200
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W19	1810	1030
W20	1810	1030
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DRAWING REVISION SCHEDULE

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RL 11.482 ROOF PEAK

RL 10.050 UF CEILING

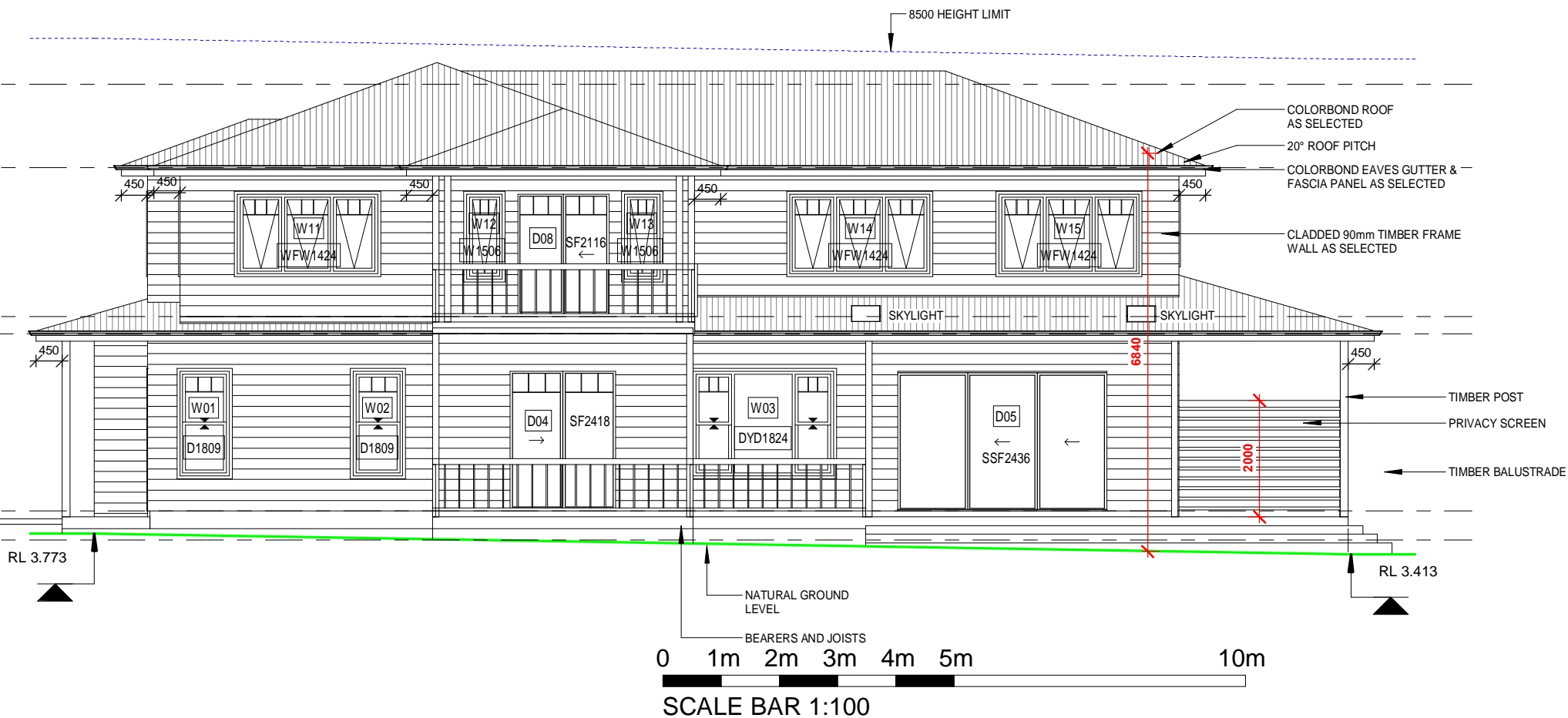
RL 7.500 UF

RL 7.200 GF CEILING

RL 4.160 GF

RL 3.660 GARAGE

2 SIDE ELEVATION 2
1 : 100



0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

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Builders Details

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DRAFTERS:
KJR
DRAFTING
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

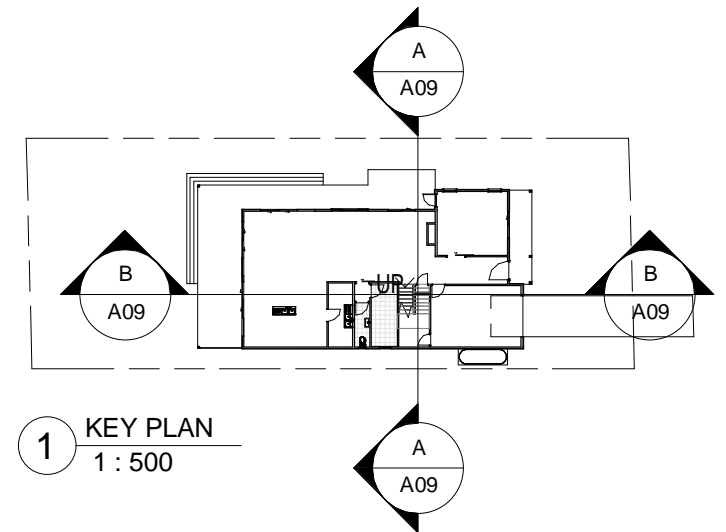
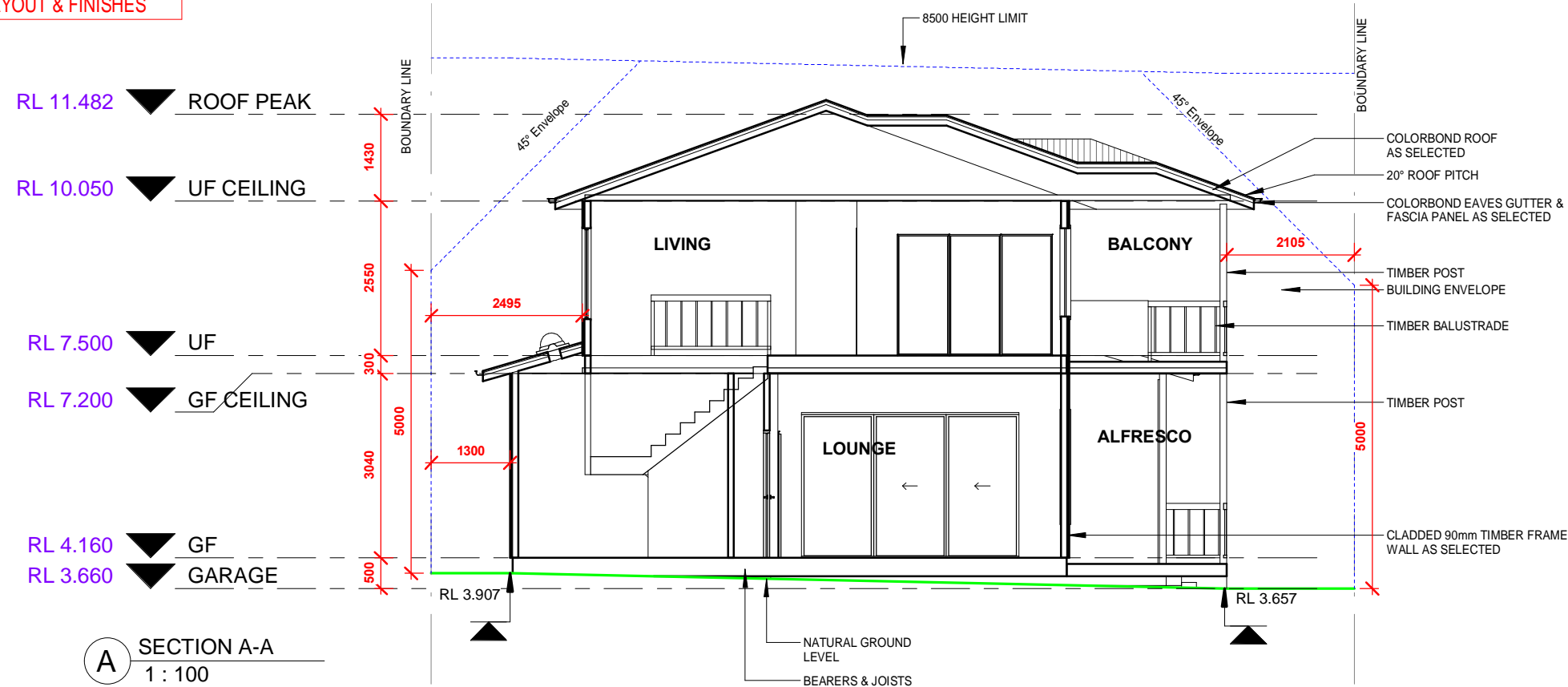
CLIENT: DOUBLE STOREY DWELLING
GUIDERA & ANDREWS
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**14 LALCHERE STREET
CURL CURL**

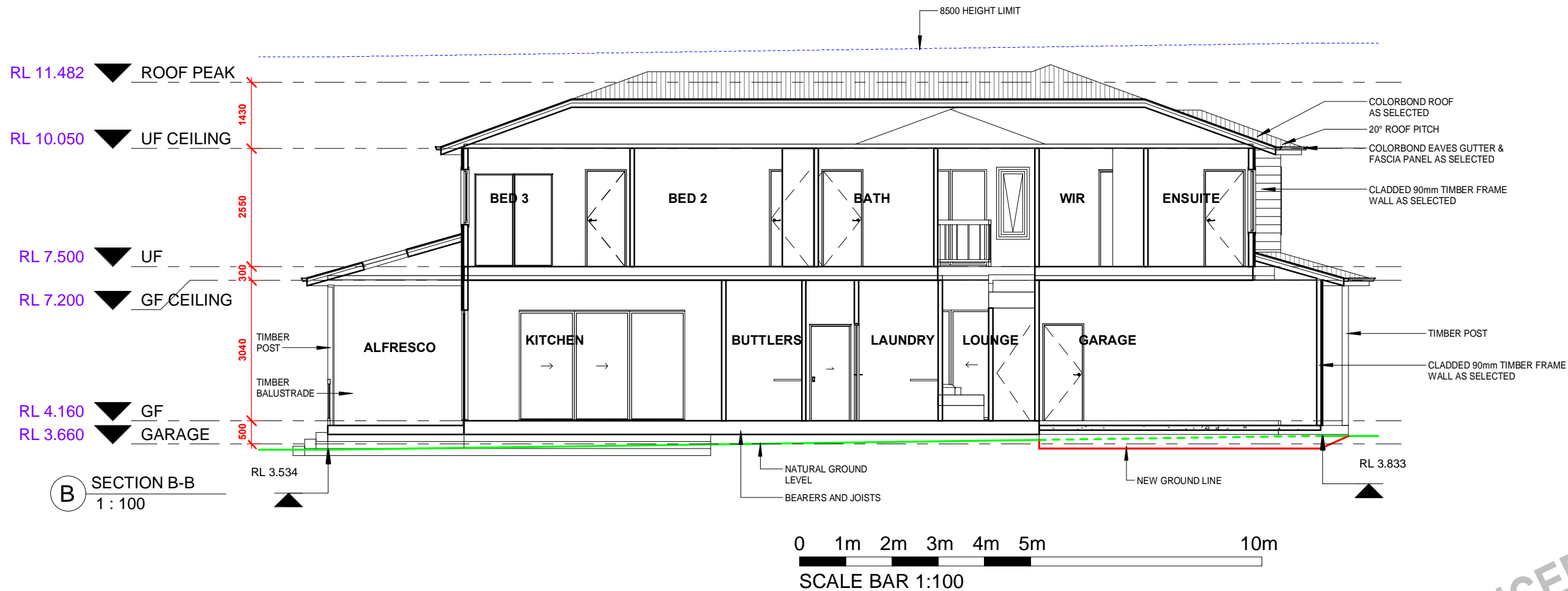
SHEET SIZE: **A3** SHEET No: **A08** REVISION: **D**
DATE: **08/09/2020**
JOB NO: 230282 STAGE: DA
DRAWN: NF GJGN119

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
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ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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PORCH	9 m ²	2%
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(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: DOUBLE STOREY DWELLING
GUIDERA & ANDREWS
DRAWING TITLE:
SECTIONS
SCALE: As
indicated

PROJECT:
**14 LALCHERE STREET
CURL CURL**

SHEET SIZE: SHEET No. REVISION:
A3 A09 D
DATE: 08/09/2020
JOB NO: 230282 STAGE: DA
DRAWN: NF GJGN119

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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