

DEVELOPMENT APPLICATION

ADDITIONAL BUILDING AREA



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

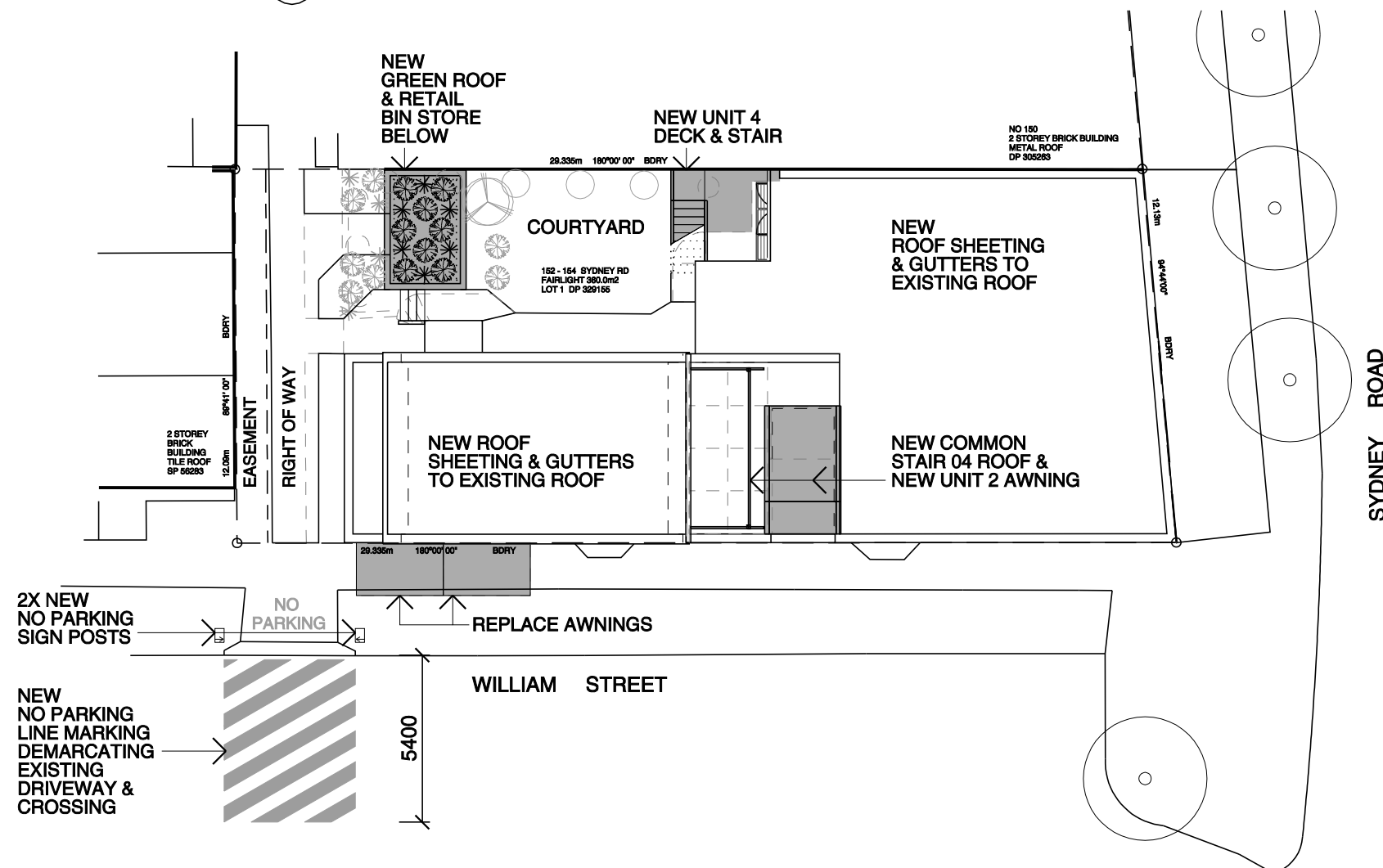
DA2022/2232



02 ELEVATION WEST
SCALE 1:200



03 ELEVATION SOUTH
SCALE 1:200



01 SITE PLAN
SCALE 1:200



04 ELEVATION NORTH
SCALE 1:200

DA SUBMISSION

A	DA SUBMISSION	08/222
Issue	Amendment	Date



0m 2m 4m 8m 12m

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE.
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

COSTELLO+GRAHAM DESIGN

Suite 3 /36 Sydney Road, Manly NSW 2095 ©
Sydney, Australia
Telephone (02) 9977 1981
Email: office@costellograhamdesign.com.au
Robert Costello Nominated Architect Registration NSW 6610
ARCHITECTS



Title	NOTIFICATION PLAN
Scale @ A3	1 : 200
Project Ref No	SRSF 22104
Drawing no.	DA00 A
Revision	

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council**

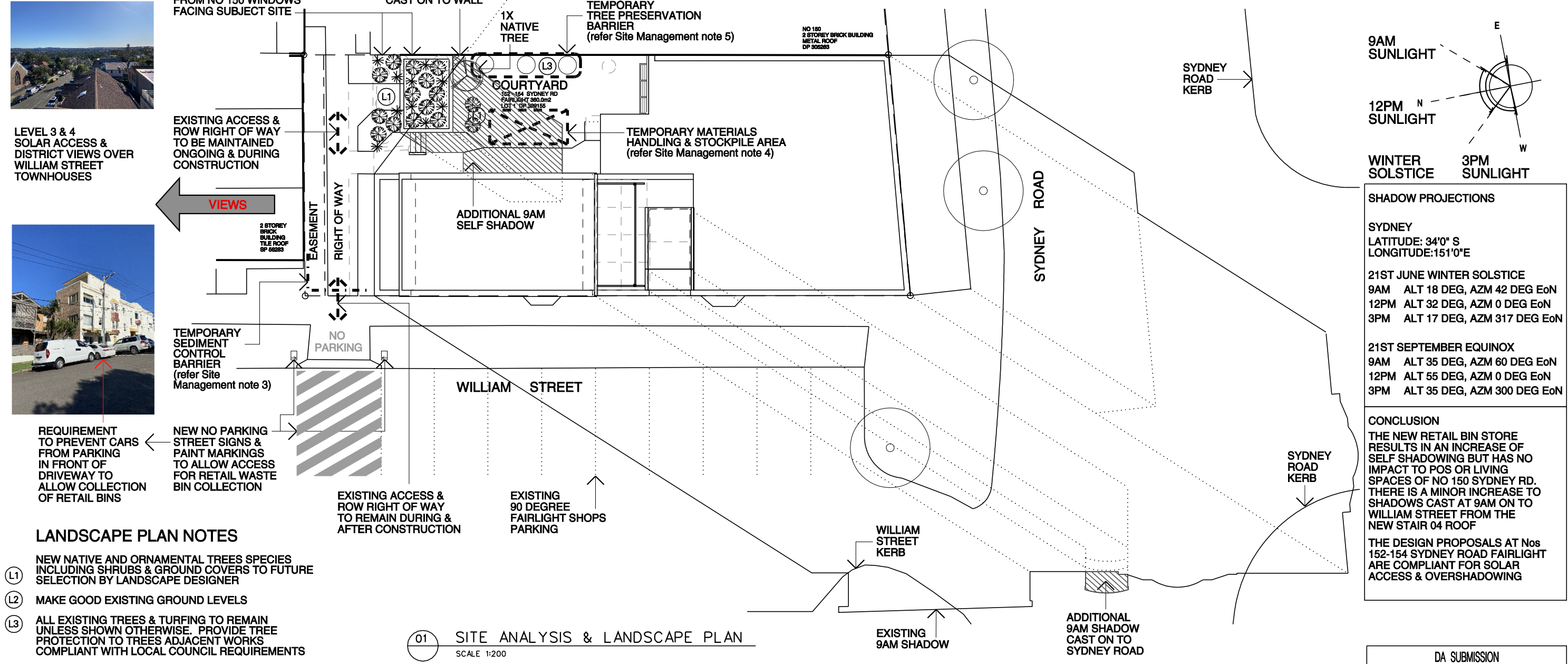
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DEVELOPMENT APPLICATION

**SITE MANAGEMENT, EROSION,
SILT & SEDIMENT CONTROL**

1. THE PURPOSE OF THIS PLAN IS TO PROTECT THE EXISTING TREES AND THE ENVIRONMENT FROM THE EFFECTS OF SEDIMENTATION AND EROSION FROM DEVELOPMENT SITES AND ALLOW FOR THE SORTING OF WASTE MATERIALS.
2. ALL CONTROL TECHNIQUES ARE TO BE, AT A MINIMUM, IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES ON EROSION, SEDIMENT CONTROL & WASTE MANAGEMENT.
3. TEMPORARY SEDIMENT CONTROL BARRIER A GEOTEXTILE SAUSAGE OR SUITABLE ALTERNATIVE MUST BE PLACED IN POSITIONS AS INDICATED ON THE PLAN TO PREVENT THE FLOW OF CONTAMINATED WATER INTO THE STORMWATER SYSTEM, OR ADJOINING PROPERTIES. THE BARRIER MUST BE INSPECTED PERIODICALLY FOR DAMAGE AND REPAIRED OR REPLACED AS NECESSARY. THE CONTRACTOR IS TO INSPECT THE SITE AND IF NECESSARY, ADJUST THE LOCATION OF BARRIERS INDICATED AND BE TOTALLY RESPONSIBLE FOR THE SITE AND CONTROL OF EROSION & SEDIMENTATION.
4. TEMPORARY MATERIALS STOCKPILE AND WASTE MANAGEMENT AREA. BUILDING MATERIALS MUST BE STORED IN THE AREAS INDICATED ON THE PLAN. WASTE IS TO BE SORTED FOR REUSE & RECYCLING AS PER COUNCIL'S WASTE MANAGEMENT GUIDELINES. MATERIAL STOCKPILES MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.
5. TEMPORARY TREE PRESERVATION BARRIER THE EXISTING TREES NOTED ON THE DRAWINGS ARE TO BE SUITABLY PROTECTED TO PREVENT DAMAGE TO BARK OR ROOT SYSTEMS. TOP SOIL MUST NOT BE REMOVED OR COMPACTED UNDER THE TREE DRIP LINE.
6. NOISE & VIBRATION MANAGEMENT PLAN AMELIORATION MEASURES MUST BE TAKEN TO ENSURE THE LIKELY NOISE & VIBRATION FROM DEMOLITION, EXCAVATION & CONSTRUCTION COMPLIES WITH AUSTRALIAN STANDARD AS 2436 FOR TECHNICAL FRAMEWORK TO ELIMINATE NOISE FROM CONSTRUCTION SITES AND COMPLIES WITH RELEVANT DA CONDITIONS WHERE APPLIED.



LEVEL 3 & 4
SOLAR ACCESS &
DISTRICT VIEWS OVER
WILLIAM STREET
TOWNHOUSES



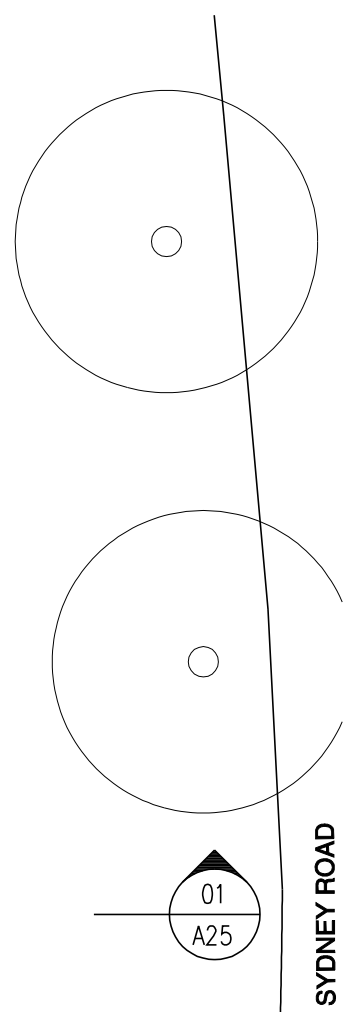
REQUIREMENT
TO PREVENT CARS
FROM PARKING
IN FRONT OF
DRIVEWAY TO
ALLOW COLLECTION
OF RETAIL BINS

LANDSCAPE PLAN NOTES


- (L1) NEW NATIVE AND ORNAMENTAL TREES SPECIES INCLUDING SHRUBS & GROUND COVERS TO FUTURE SELECTION BY LANDSCAPE DESIGNER
- (L2) MAKE GOOD EXISTING GROUND LEVELS
- (L3) ALL EXISTING TREES & TURFING TO REMAIN UNLESS SHOWN OTHERWISE. PROVIDE TREE PROTECTION TO TREES ADJACENT WORKS COMPLIANT WITH LOCAL COUNCIL REQUIREMENTS

01 SITE ANALYSIS & LANDSCAPE PLAN
SCALE 1:200

SHADOW PROJECTIONS	
SYDNEY LATITUDE: 34°0' S LONGITUDE: 151°0' E	
21ST JUNE WINTER SOLSTICE	
9AM	ALT 18 DEG, AZM 42 DEG EoN
12PM	ALT 32 DEG, AZM 0 DEG EoN
3PM	ALT 17 DEG, AZM 317 DEG EoN
21ST SEPTEMBER EQUINOX	
9AM	ALT 35 DEG, AZM 60 DEG EoN
12PM	ALT 55 DEG, AZM 0 DEG EoN
3PM	ALT 35 DEG, AZM 300 DEG EoN
CONCLUSION	
THE NEW RETAIL BIN STORE RESULTS IN AN INCREASE OF SELF SHADOWING BUT HAS NO IMPACT TO POS OR LIVING SPACES OF NO 150 SYDNEY RD. THERE IS A MINOR INCREASE TO SHADOWS CAST AT 9AM ON TO WILLIAM STREET FROM THE NEW STAIR 04 ROOF	
THE DESIGN PROPOSALS AT Nos 152-154 SYDNEY ROAD FAIRLIGHT ARE COMPLIANT FOR SOLAR ACCESS & OVERSHADOWING	



Title	LEVEL 1 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA10
Revision	B

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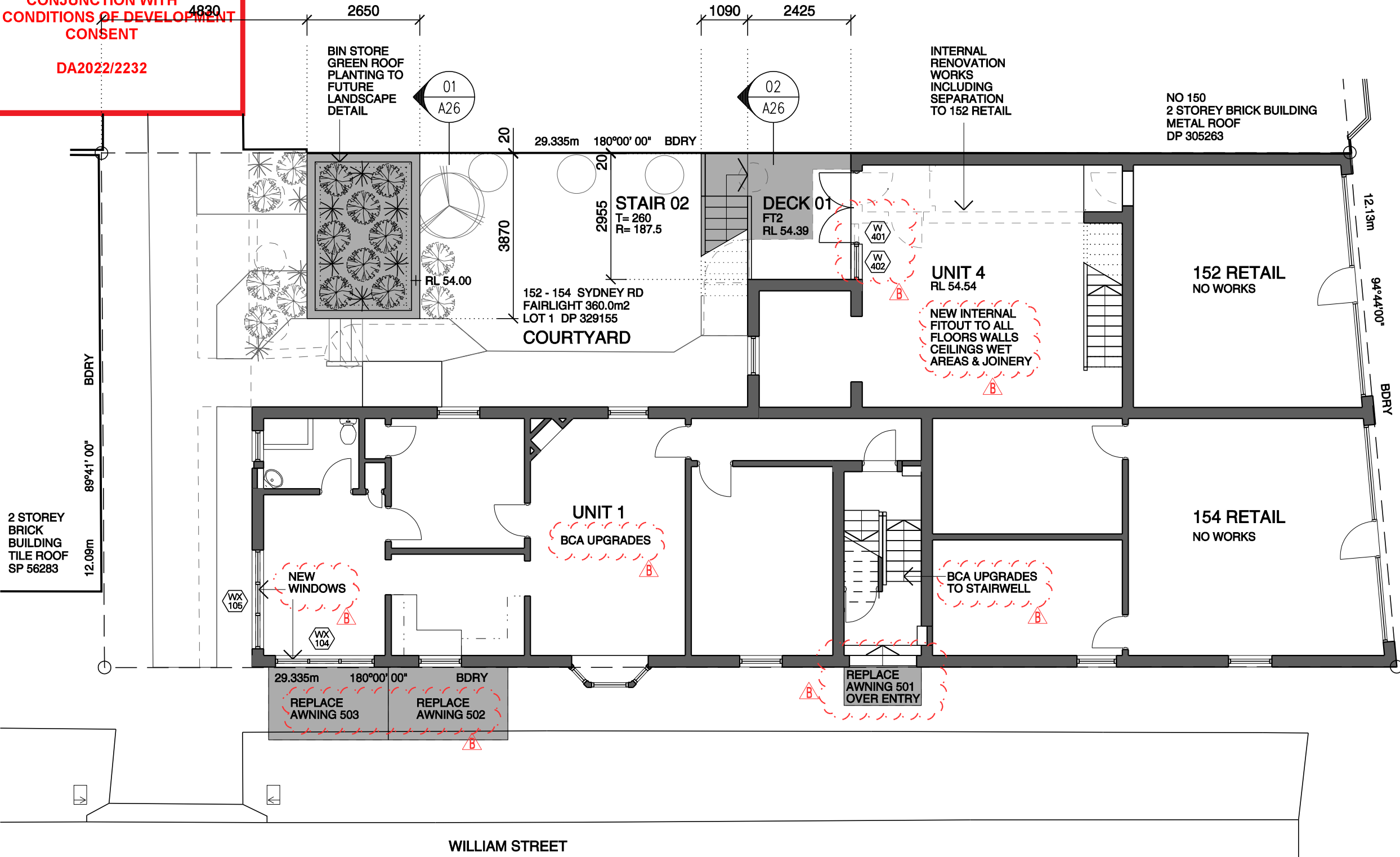
**THIS PLAN IS TO BE READ IN
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CONSENT**

4830

DA2022/2232

NEW WALL EXISTING WALL REMOVE EXISTING ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION



01 LEVEL 2 FLOOR PLAN
SCALE 1:100

LEVEL 2 EXISTING GROSS FLOOR AREA
= 38.4+60.6 RETAIL + 35.9+9.2+80.4 RESIDENTIAL = 224.5m2

PROPOSED LEVEL 2 GROSS FLOOR AREA
= 30.7+60.6 RETAIL + 43.9+9.2+80.4 RESIDENTIAL = 224.8m2

DA SUBMISSION

B	AWNINGS WINDOWS UPDATED	080223
A	DA SUBMISSION	081222
P3	PRE DA MEETING	221108
P2	ISSUED FOR CO-ORDINATION	051022
P1	INITIAL ISSUE	090922
Issue	Amendment	Date

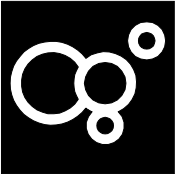


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Title	LEVEL 2 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA11
Revision	B



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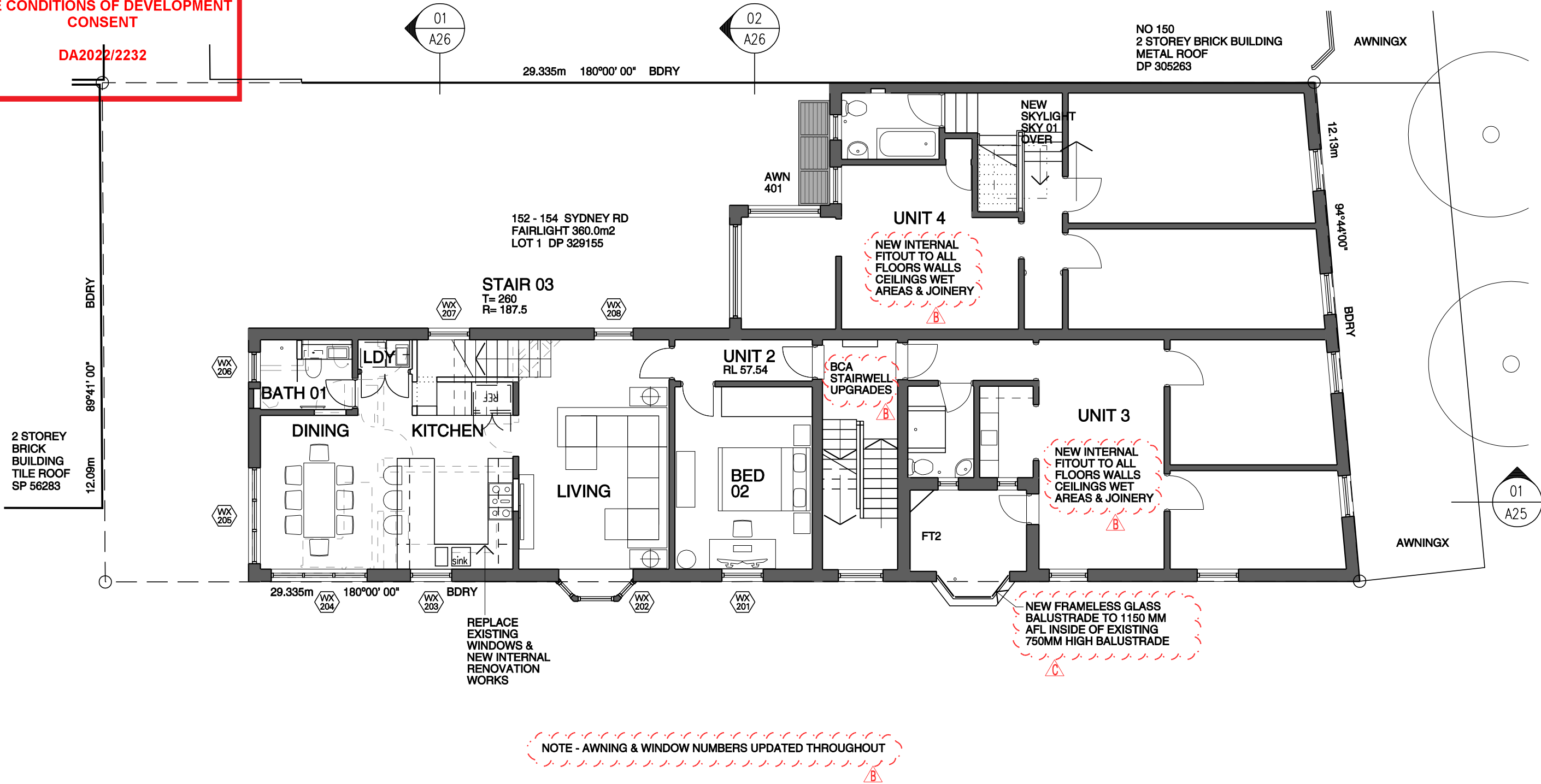
NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION

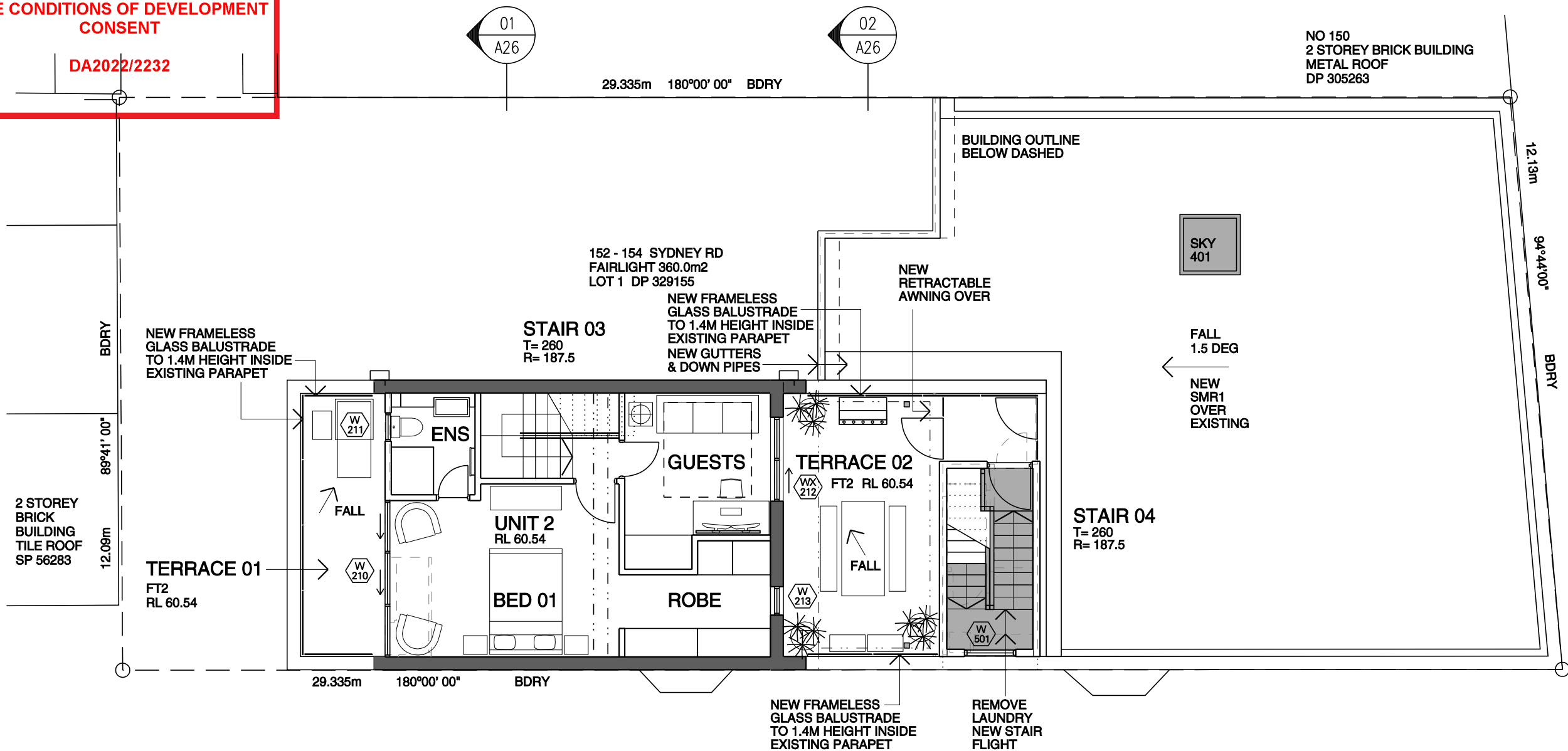


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DEVELOPMENT APPLICATION



NOTE - AWNING WINDOW & SKYLIGHT NUMBERS UPDATED THROUGHOUT

01 LEVEL 4 FLOOR PLAN
SCALE 1:100

LEVEL 4 EXISTING GROSS FLOOR AREA
= 0.0 RETAIL + 5.2+43.3 RESIDENTIAL = 48.5m2

PROPOSED LEVEL 4 GROSS FLOOR AREA
= 0.0 RETAIL + 40.8 RESIDENTIAL = 40.8m2

DA SUBMISSION

B	AWNINGS WINDOW NOS UPDATED	080223
A	DA SUBMISSION	081222
P4	PRE DA MEETING	221108
P3	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date



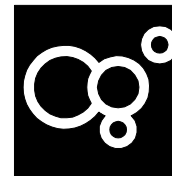
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0m 1m 2m 4m 6m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
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Title	LEVEL 4 PLAN
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA13 B
Revision	

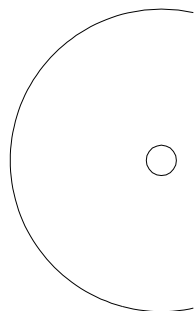
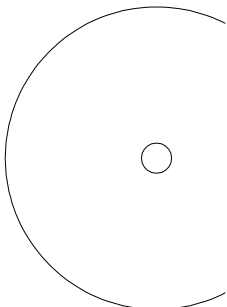
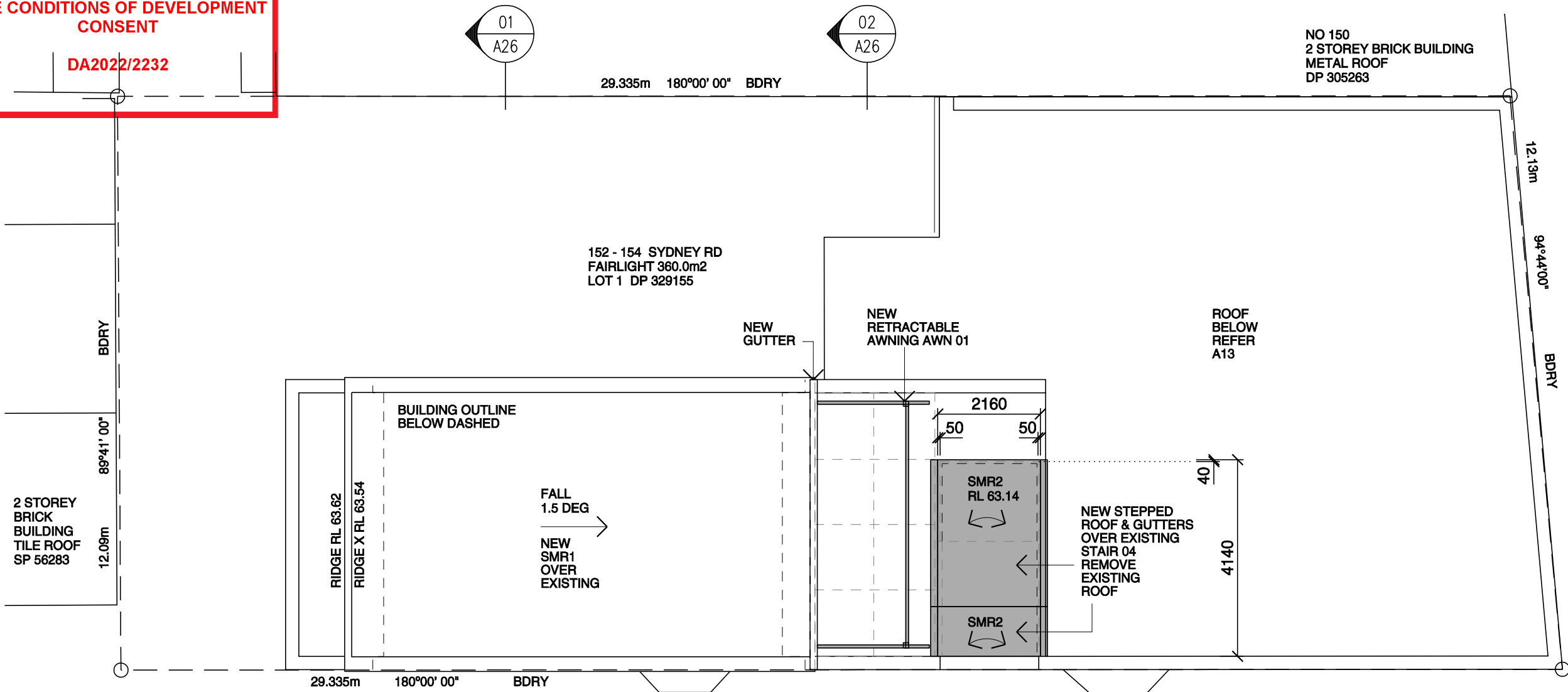
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DEVELOPMENT APPLICATION




NEW WALL EXISTING WALL REMOVE EXISTING ADDITIONAL BUILDING AREA



01
A25

01 ROOF PLAN
SCALE 1:100

DA SUBMISSION

<table><tr><td>A</td><td>DA SUBMISSION</td><td>081222</td></tr><tr><td>P5</td><td>STAIR 04 ROOF HEIGHT LOWERED</td><td>221116</td></tr><tr><td>P4</td><td>PRE DA MEETING</td><td>221108</td></tr><tr><td>P3</td><td>ISSUED FOR CO-ORDINATION</td><td>051022</td></tr><tr><td>Issue</td><td>Amendment</td><td>Date</td></tr></table>			A	DA SUBMISSION	081222	P5	STAIR 04 ROOF HEIGHT LOWERED	221116	P4	PRE DA MEETING	221108	P3	ISSUED FOR CO-ORDINATION	051022	Issue	Amendment	Date	<div><p>FOR EXISTING AND NEW BUILDING WORKS CONFIRM ALL DIMENSIONS LEVELS SQUARE PLUMB & BOUNDARIES ON SITE. DIMENSIONS SHOW FINISHED WALL THICKNESS USE FIGURED DIMENSIONS ONLY DO NOT SCALE</p></div>			<p>PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 & COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094 LOT 1 DP 329155 FOR PHILIP & NIGEL ROSE</p>			<p>COSTELLO+GRAHAM DESIGN Suite 3 /36 Sydney Road, Manly NSW 2095 © Sydney, Australia Telephone (02) 9977 1981 Email: office@costellograhamdesign.com.au Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS</p> 			<table><tr><td>Title</td><td colspan="2">ROOF PLAN</td></tr><tr><td>Scale @ A3</td><td colspan="2">1 : 100</td></tr><tr><td>Project Ref No</td><td colspan="2">SRSF 22104</td></tr><tr><td>Drawing no.</td><td colspan="2">DA14 A</td></tr><tr><td>Revision</td><td colspan="2"></td></tr></table>			Title	ROOF PLAN		Scale @ A3	1 : 100		Project Ref No	SRSF 22104		Drawing no.	DA14 A		Revision		
A	DA SUBMISSION	081222																																										
P5	STAIR 04 ROOF HEIGHT LOWERED	221116																																										
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Scale @ A3	1 : 100																																											
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Drawing no.	DA14 A																																											
Revision																																												

ADDITIONAL BUILDING AREA

SCHEDULE OF EXTERNAL FINISHES


DEVELOPMENT APPLICATION

Architectural floor plan of a three-story residential and retail building. The plan includes the following details:

- Levels and Elevation:**
 - RIDGE X RL 63.54
 - LEVEL 4 X RL 60.54
 - LEVEL 3 X RL 57.54
 - LEVEL 2 X RL 54.54
 - LEVEL 1 X RL 51.54
- Units and Retail:**
 - UNIT 1, UNIT 2, UNIT 3
 - RETAIL (multiple locations)
- Annotations and Notes:**
 - NEW FRAMELESS GLASS BALUSTRADE TO 1.4M HEIGHT INSIDE EXISTING PARAPET
 - NEW SMR1 ROOF SHEETING OVER EXISTING
 - NEW FRAMELESS GLASS BALUSTRADE TO 1.4M HEIGHT INSIDE EXISTING PARAPET
 - NEW RETRACTABLE AWNING 01 REMOVE EXISTING
 - NEW STEPPED ROOF OVER EXISTING STAIR 04
 - NEW FRAMELESS GLASS BALUSTRADE TO 1.15M HEIGHT INSIDE EXISTING PARAPET
 - P2 CAPPING TYPICAL
 - BRICK SILLS DOORS & WINDOW FRAMES TYPICAL P4
 - REPLACE AWNINGS 502 & 503
 - RETAIL BIN ACCESS & 150 SYDNEY RD ROW REFER SURVEY 22096 & DA10
 - 2 WILLIAM STREET FAIRLIGHT
 - SYDNEY ROAD FOOTPATH
 - AWNX
 - UNITS 1 2 & 3 RESIDENTIAL ENTRY
 - REPLACE AWNING 501
 - TCTX (multiple locations)
 - WX (multiple locations)
 - P1, P2, P4 (multiple locations)
 - SMW1, CBF, W19 (multiple locations)
- Boundary and Orientation:**
 - BDRY (Boundary)
 - SYDNEY ROAD
 - WILLIAM STREET
- Disclaimer:**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

**NOTE - AWNING & WINDOW NUMBERS UPDATED THROUGHOUT
FINISHES CODES & WX104 ADDED**



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DA2022/2232

DA SUBMISSION

Title	ELEVATIONS 01
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	
Revision	DA20 D

NEW WALL

EXISTING WALL

REMOVE EXISTING

ADDITIONAL BUILDING AREA

AWN_ = AWNING NUMBER_
CBF_ = COLORBOND FASCIA
CJ_ = CONTROL JOINT
COS_ = CONFIRM ON SITE
D_ = DOOR NUMBER_
DP_ = DOWN PIPE
FGB_ = FRAMELESS GLASS BALUSTRADE
FGL_ = FINISHED GROUND LEVEL
G_ = GATE NUMBER_
L_ = LOUVRE NUMBER_
MTB_ = METAL & TIMBER BALUSTRADE
NCS_ = NON COMBUSTIBLE SOFFIT

OPQ_ = OPAQUE
OSD_ = ON SITE STORM WATER DETENTION
P_ = PAINT TYPE
PP_ = PITCHING POINT
RL_ = RELATIVE LEVEL TO AHD
RP_ = RENDER & PAINT TYPE_
RT_ = ROOF TILE TYPE_
RWT_ = RAIN WATER TANK

SKY_ = SKYLIGHT NUMBER_
SMR_ = SHEET METAL ROOFING TYPE_
SMW_ = SHEET METAL WALLING TYPE_
SPR_ = SPREADER & DRIP CUSHION
TCT_ = TERRACOTTA TILE
TMB_ = TIMBER
TOW_ = TOP OF WALL
W_ = WINDOW NUMBER_
X_ = EXISTING

P1_ = SIMILIAR TO DULUX BUFFED BEIGE SN3F4
P2_ = SIMILIAR TO DULUX RAKU SN4H7
P4_ = SIMILIAR TO DULUX LEXICON 1/4 SW1E1
SMR1_ = SIMILIAR TO COLORBOND BASALT MATT
SMR2_
SMW1_

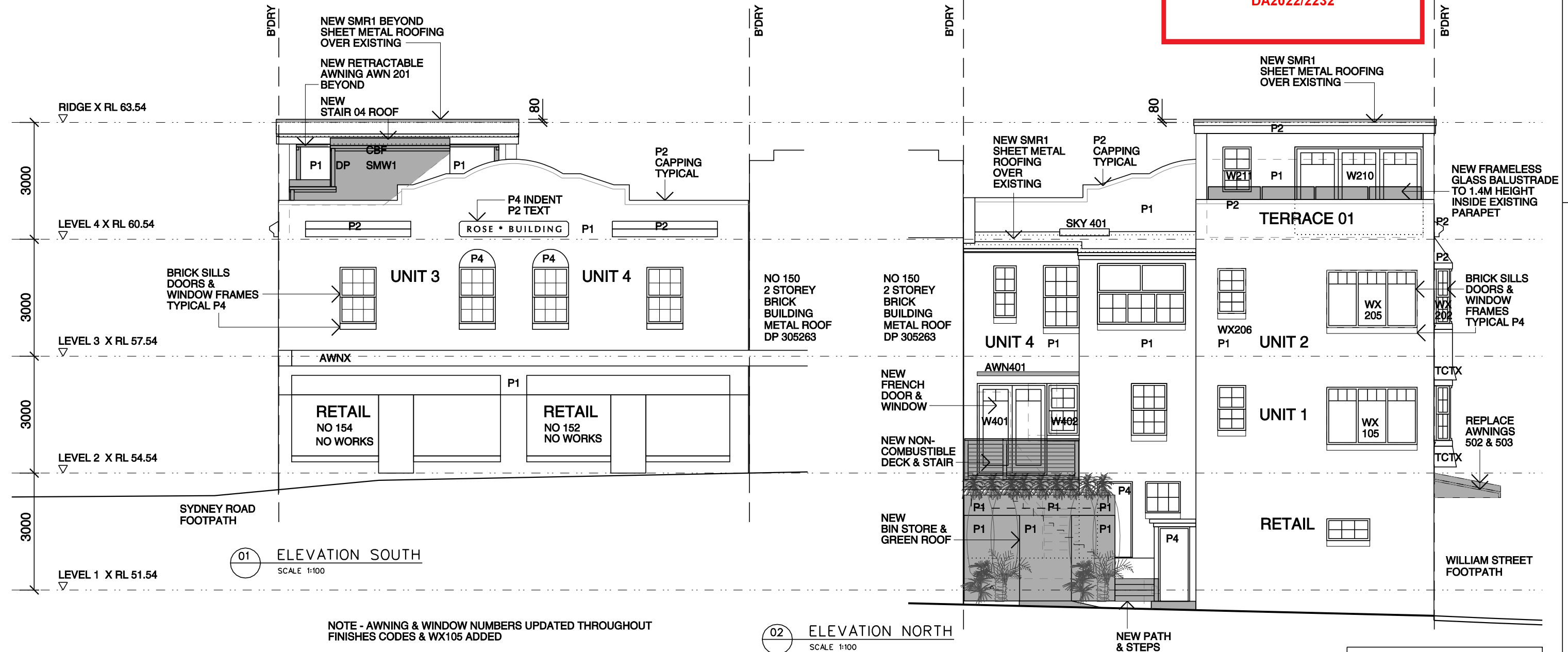
SCHEDULE OF EXTERNAL FINISHES

DEVELOPMENT APPLICATION



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DA2022/2232



NOTE - AWNING & WINDOW NUMBERS UPDATED THROUGHOUT
FINISHES CODES & WX105 ADDED

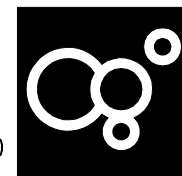
C	CODES UPDATED	190423
B	AWNINGS WINDOWS CODES UPDATED	080223
A	DA SUBMISSION	081222
P3	PRE DA MEETING	081122
P2	ISSUED FOR CO-ORDINATION	051022
Issue	Amendment	Date

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ARCHITECTS



Title	ELEVATIONS 02
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA21 c
Revision	

AWN_ = AWNING NUMBER_
CBF = COLORBOND FASCIA
CJ = CONTROL JOINT
COS = CONFIRM ON SITE
D_ = DOOR NUMBER_
DP = DOWN PIPE
FGB = FRAMELESS GLASS BALUSTRADE
FGL = FINISHED GROUND LEVEL
G_ = GATE NUMBER_
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SMW_ = SHEET METAL WALLING TYPE_
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TCT = TERRACOTTA TILE
TMB = TIMBER
TOW = TOP OF WALL
W_ = WINDOW NUMBER_
X = EXISTING

P1 = SIMILIAR TO DULUX BUFFED BEIGE SN3F4
P2 = SIMILIAR TO DULUX RAKU SN4H7
P4 = SIMILIAR TO DULUX LEXICON 1/4 SW1E1
SMR1 = SIMILIAR TO COLORBOND BASALT MATT
SMR2
SMW1

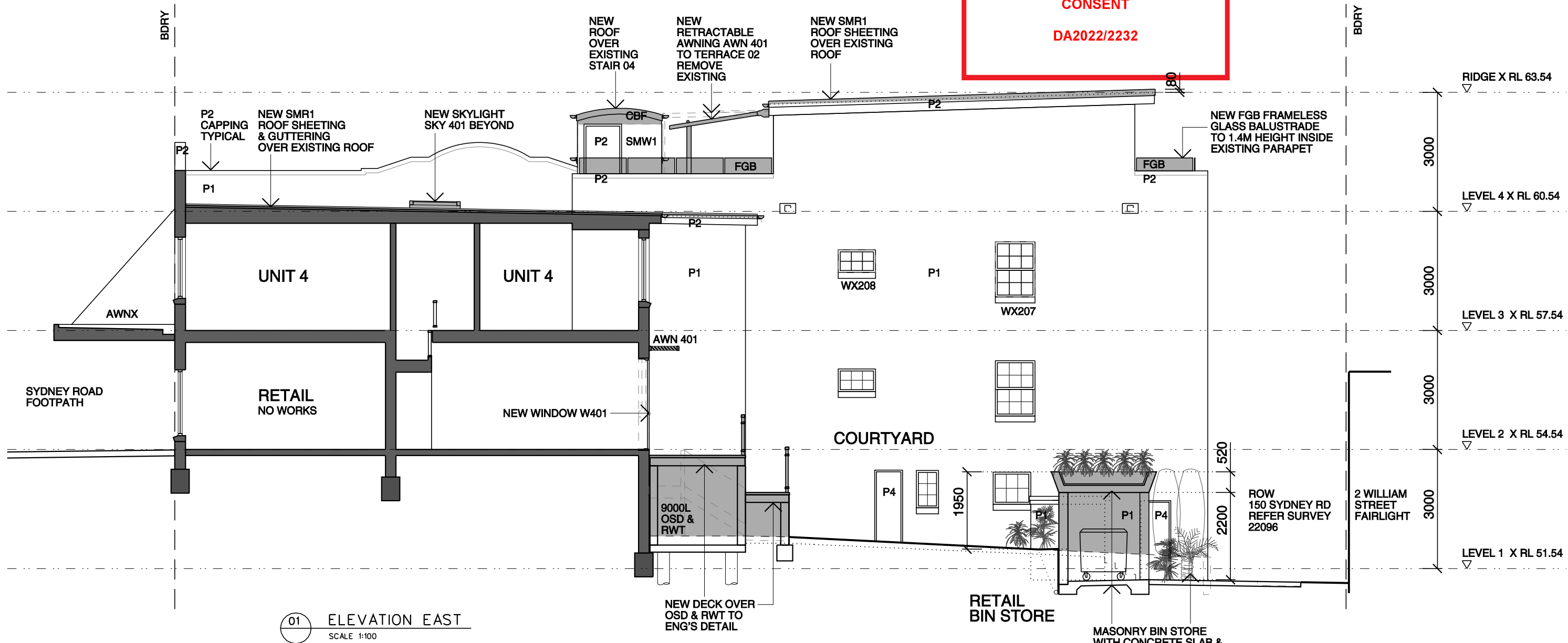
SCHEDULE OF EXTERNAL FINISHES



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DA2022/2232

ELEVATIONS LEGEND



01 ELEVATION EAST
SCALE 1:100

NOTE - AWNING & WINDOW NUMBERS UPDATED THROUGHOUT
FINISHES CODES ADDED

C	CODES UPDATED	190423
B	AWNINGS WINDOW CODES UPDATED	080223
A	DA SUBMISSION	081222
P4	STAIR 04 ROOF LOWERED	221116
P3	PRE DA MEETING	221108
Issue	Amendment	Date

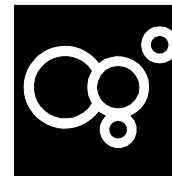
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ARCHITECTS



Title	ELEVATIONS 03
Scale @ A3	1 : 100
Project Ref No	SRFR 22104
Drawing no.	DA22 c
Revision	

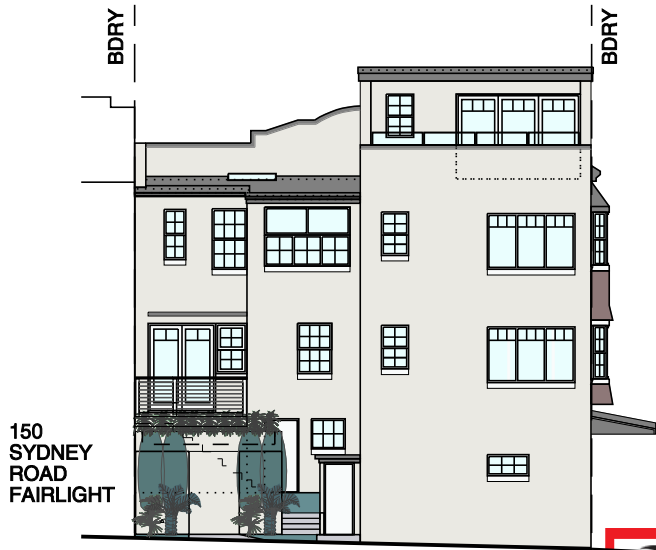
DA SUBMISSION

DEVELOPMENT APPLICATION



EXISTING WEST ELEVATION
WILLIAM STREET

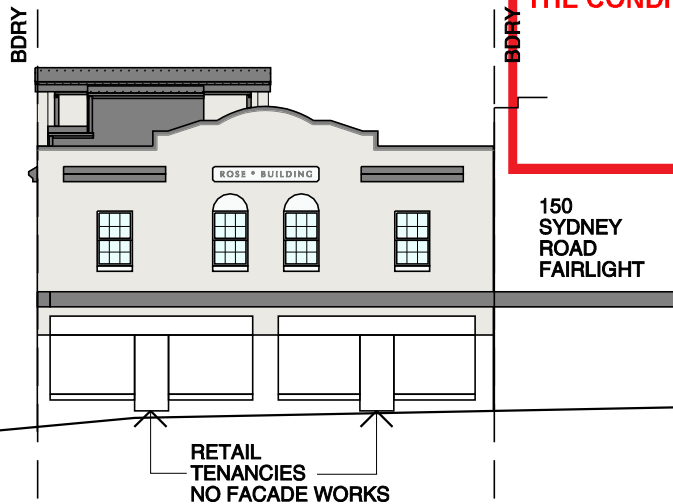
EXAMPLE COLOUR SCHEME
RAGLAN STREET MANLY



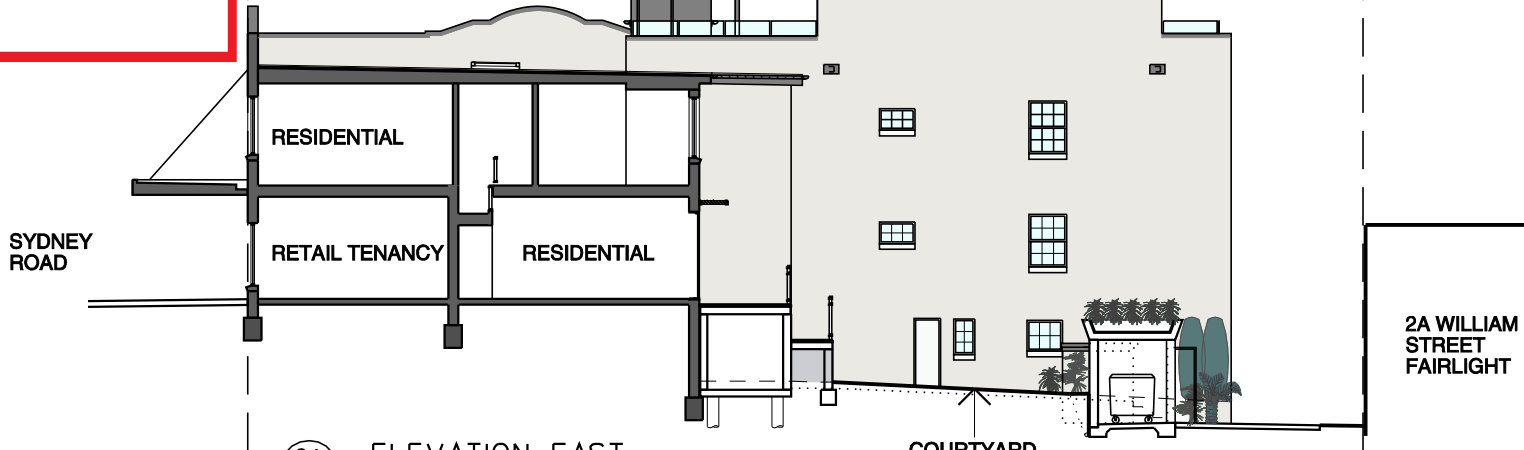
01 ELEVATION NORTH
SCALE 1:200



02 ELEVATION WEST - WILLIAM STREET
SCALE 1:200



03 ELEVATION SOUTH - SYDNEY ROAD
SCALE 1:200



04 ELEVATION EAST
SCALE 1:200

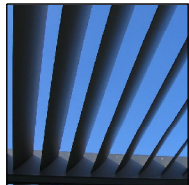
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DA2022/2232



AWN 201
AWNING SIMILAR TO
PEREA P60 BY WAREMA
FABRIC & POWDERCOAT
LYSAGHT BASALT MATT



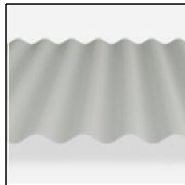
AWN 501.502 & 503
AWNINGS SIMILAR TO
DROPARM 355 BY WAREMA
CHARCOAL FABRIC &
BASALT MATT FRAME



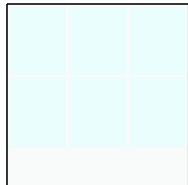
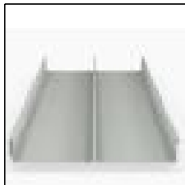
AWN 401
AWNING SIMILAR TO
MAXIM MF600
FIXED BLADE LOUVRES
LYSAGHT BASALT MATT



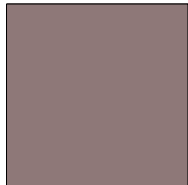
SMR2 & SMW1
SHEET METAL ROOFING TYPE 2
SIMILAR TO
CORRIGATED CUSTOM ORB
LASAGHT BASALT MATT



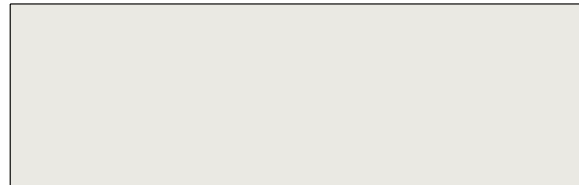
SMR1
SHEET METAL ROOFING TYPE 1
SIMILAR TO
LONGLINE 305
LASAGHT BASALT MATT



P4
PAINT TYPE 4
TIMBER WINDOWS DOORS
FRAMES BRICK SILLS &
INSET PANELS SIMILAR TO
DULUX LEXICON 14 SW1E1



TCTX
EXISTING TILES
FACE FINISH TERRACOTTA
TO REMAIN



P1
PAINT TYPE 1
SIMILAR TO
DULUX BUFFED BEIGE
SN3F4



P2
PAINT TYPE 2
SIMILAR TO DULUX
RAKU SN4H7



COURTYARD
GREENARY

COLOURS & MATERIALS
LEGEND

B	UNIT 3 FGB ADDED	270423
A	DA SUBMISSION	080323
P1	INITIAL ISSUE	040323
Issue	Amendment	Date

FOR EXISTING AND NEW BUILDING WORKS
CONFIRM ALL DIMENSIONS LEVELS SQUARE
PLUMB & BOUNDARIES ON SITE
DIMENSIONS SHOW FINISHED WALL THICKNESS
USE FIGURED DIMENSIONS ONLY DO NOT SCALE

0m 2m 4m 8m 12m

PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &
COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094
LOT 1 DP 329155
FOR PHILIP & NIGEL ROSE

NOTE - REFER ELEVATIONS DA20 DA21 & DA22
FOR CODES AND LEGENDS

COSTELLO+GRAHAM DESIGN

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Sydney, Australia
Telephone (02) 9977 1981
Email: office@costellograhamdesign.com.au
Robert Costello Nominated Architect Registration NSW 6610
ARCHITECTS



Title COLOURED ELEVATIONS & MATERIALS
Scale @ A3 1 : 200
Project Ref No SRFR 22104
Drawing no. DA23 B
Revision

DA SUBMISSION

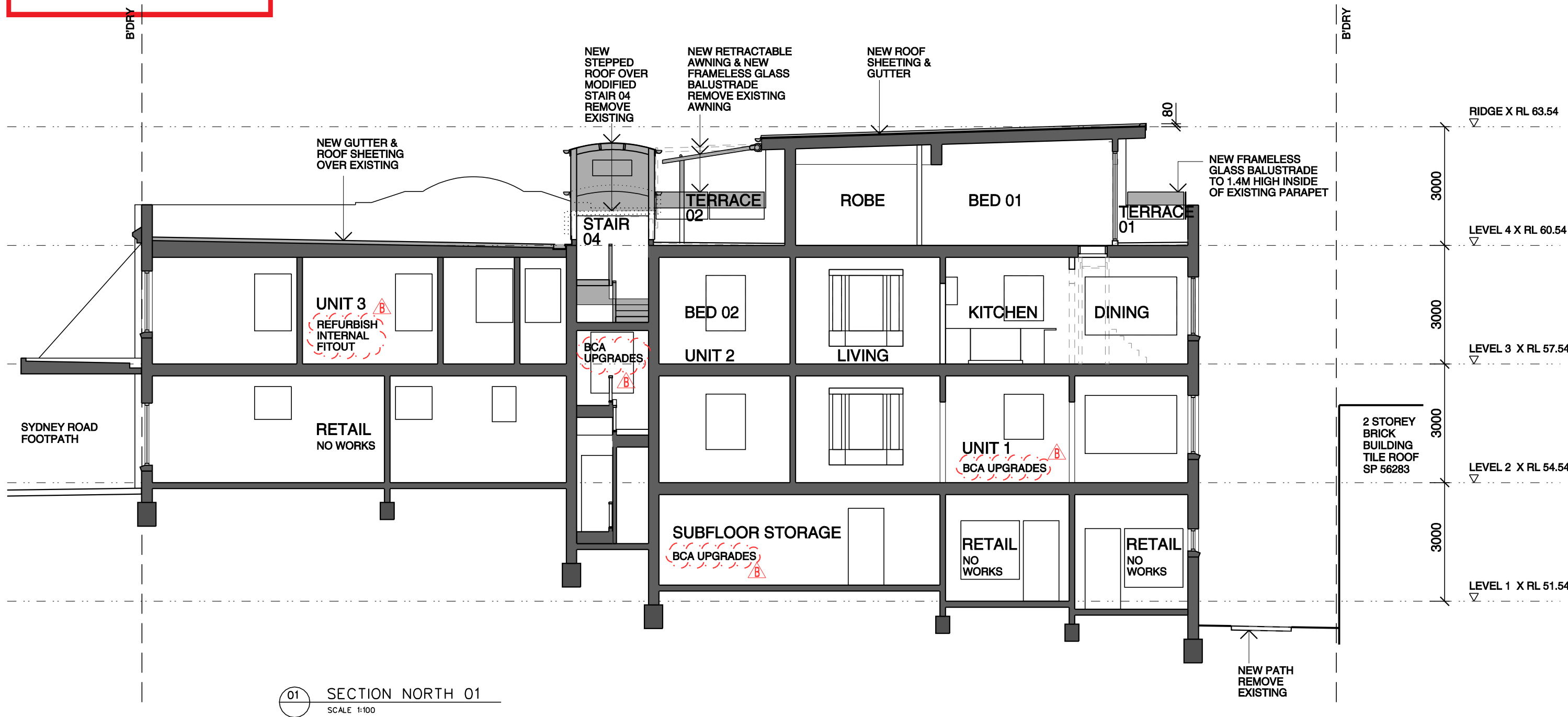
 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**



DA2022/2232

NEW WALL EXISTING WALL REMOVE EXISTING ADDITIONAL BUILDING AREA

DEVELOPMENT APPLICATION



DA SUBMISSION

B INTERNAL FINISHES NOTES UPDATED 080223			FOR EXISTING AND NEW BUILDING WORKS			PROPOSED ALTERATIONS & ADDITIONS TO EXISTING RESIDENTIAL UNIT NUMBERS 2 4 &			COSTELLO+GRAHAM DESIGN			Title SECTIONS 01		
A DA SUBMISSION 081222			CONFIRM ALL DIMENSIONS LEVELS SQUARE			COMMON PROPERTY WORKS @ 152 - 154 SYDNEY RD FAIRLIGHT NSW 2094			Suite 3 /36 Sydney Road, Manly NSW 2095 © Sydney, Australia Telephone (02) 9977 1981 Email: office@costellograhamdesign.com.au Robert Costello Nominated Architect Registration NSW 6610 ARCHITECTS			Scale @ A3 1 : 100		
P5 STAIR 04 ROOF LOWERED 221116			PLUMB & BOUNDARIES ON SITE.			LOT 1 DP 329155						Project Ref No SRFR 22104		
P4 PRE DA MEETING 221108			DIMENSIONS SHOW FINISHED WALL THICKNESS			FOR PHILIP & NIGEL ROSE						Drawing no. DA25 B		
P3 ISSUED FOR CO-ORDINATION 051022			USE FIGURED DIMENSIONS ONLY DO NOT SCALE									Revision		
Issue Amendment Date														

 NEW WALL
 EXISTING WALL
 REMOVE EXISTING
 ADDITIONAL BUILDING AREA



DA2022/2232

03 PART SECTION E03
SCALE 1:100

01 SECTION EAST 01
SCALE 1:100

02 SECTION EAST 02
SCALE 1:100

DA SUBMISSION

0m 1m 2m 4m 6m

Title	SECTIONS 02	
Scale @ A3	1 : 100	
Project Ref No	SRFR 22104	
Drawing no.	DA26	
Revision	B	