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## **Executive Summary**

Metech Consulting was commissioned to undertake a contamination assessment at the property located at 26 Orchard Road, Brookvale, NSW, that is proposed for redevelopment as an artisan brewery.

The purpose of the investigation was to identify any constraints posed by the presence of contamination at the property and to assess the suitability of the property for the proposed use.

The investigation was undertaken by evaluating a range of information sources to comprehensively understand the history of land use activities undertaken at the property, to determine the environmental setting of the land and to assess the risk of the property to be affected by contamination. This review was supported by a detailed inspection of the property and a soil vapour sampling and analytical program.

The investigation determined that the property is a commercial lot comprising two warehouse buildings that were constructed in the early 1960s and prior low-density residential dwelling from at least the 1940s.

The investigation identified that there are currently no potential sources of contamination at the property relating to the current and proposed lands use activities, but that there was a potential risk that the property could be affected from historic operations and/or from industrial activities in the local area. Potential historic sources of contamination that were identified included:

- Former clothes manufacturing.
- Former steel fabricator and other commercial uses.
- Former car maintenance centre.
- Nearby commercial/industrial land use activities.

Based on the identification of potential sources of contamination, a conceptual site model was developed to assess whether future receptors of the property under the proposed land use setting could be at risk should contamination be present at the property. It was determined that based on the current configuration of the property and the details of the proposed use, that the primary potential exposure pathway to contamination that could pose a risk of harm to occupants of the property was via the vapour intrusion pathway.

A soil vapour investigation was undertaken to assess this risk pathway, which determined that concentrations of all potential contaminants of concern were below the adopted assessment criteria.

The contamination assess has determined that there are no unacceptable levels of risk at property associated with contamination under the proposed commercial/industrial land use setting. As only minor changes to the internal layout of the offices are proposed for the change of use to a microbrewery, it is determined that the property is suitable for the proposed development and intended use and that no further assessment of contamination is required.



### 1 Introduction

#### 1.1 Preamble

Metech Consulting Pty Ltd has been commissioned to undertake a contamination assessment of the property located at 26 Orchard Road, Brookvale, NSW (hereafter referred to as "the Site"). The Site is described as Lot 7 DP 1209974 and occupies an area of approximately 1,170m<sup>2</sup>.

The location of the Site is shown in Figure 1, with the current layout shown in Figure 2.

The Site is occupied by two warehouse buildings joined by an awning, used commercially for the sale of tile and stone. It is proposed to redevelop the Site for use as an artisan brewery, comprising modification to the buildings internally and provision of outdoor seating.

This contamination assessment has been undertaken to identify any constraints posed by the presence of contamination at the Site and to support the Development Application (DA) for the proposed works.

This report has been prepared in accordance with the requirements of the NSW contaminated land management framework, specifically:

- Planning Guidelines: SEPP 55 (Remediation of Land) Managing Land Contamination (DUAP, 1998);
- National Environment Protection (Assessment of Site Contamination) Measure 1999 (NEPC, 2013);
- Technical Practice Note: Vapour Intrusion (NSW DECCW, 2010); and
- Contaminated Land Guidelines: Consultants Reporting on Contaminated Land (NSW EPA, 2020).

#### 1.2 Objectives

The objectives of this Contamination Assessment were to:

- Assess current and historical land use operations for the Site and adjacent properties to identify potential on and off-site sources of contamination;
- Determine the nature of potential contaminants (if any) and the potential location(s) of contamination issues across the Site;
- Identify the presence of any significant contamination issues at the Site that may pose a
  potential constraint to the development;
- Assess the potential risk of harm posed by any potentially significant sources of contamination that are identified at the Site based on the current site configuration a and proposed land use setting; and
- Determine the suitability of the Site for the proposed development and use.



#### 1.3 Scope of Work

The following scope of work was undertaken to meet these objectives:

- Review and evaluation of available information to establish the environmental setting of the Site.
- Review of available historical and background information for the Site to understand and evaluate potential on and off-site sources of contamination.
- A detailed site inspection to assess for any evidence to indicate potential contamination issues and to verify the findings of the desktop review.
- Development of a Conceptual Site Model (CSM) to outline how potential contaminant sources, pathways and receptors may be linked together.
- Preparation of a sampling, analysis and quality plan to determine the requirements for the investigation works to assess the potential risk of harm posed by the identified potential sources of contamination and based on the CSM.
- Implementation of the soil vapour investigation and analytical program.
- Evaluation of the findings of the investigation program with reference to the Tier 1 assessment criteria outlined in the NEPC (2013) *National Environment Protection (Assessment of Site Contamination) Measure 1999*.
- Assessment of the level of risk/impact (if any) of any identified contamination sources.
- Evaluation of the suitability of the Site for the proposed use as an artisan food and drinks premises (micro-brewery).
- Preparation of this Contamination Assessment report in accordance with the requirements of Contaminated Land Guidelines: Consultants Reporting on Contaminated Land (NSW EPA 2020).



### 2 Site Identification

#### 2.1 Site Identification

Details of the Site are summarised below:

Table 2.1: Site Identification

Address:	26 Orchard Road, Brookvale, NSW (refer <b>Figure 1</b> )
Title:	Lot 7 DP 1209974
Size:	1,160 m <sup>2</sup>
Local Government Area:	Northern Beaches Council
Zoning:	IN1 General Industrial Warringah Local Environmental Plan (2011)
Current Land Use:	Commercial / Industrial
Proposed Land Uses:	Micro-brewery

### 2.2 Site Layout

A detailed inspection of the Site was undertaken by an appropriately qualified and experienced environmental scientist on 23 June 2020.

The primary purpose of the inspection was to confirm the findings of the desktop study and site history review (refer **Section 4**) and to identify any additional evidence of potential contamination. The inspection comprised:

- Identification and evaluation of potential on and off-site sources of contamination;
- Assessment of site infrastructure, materials storage, topography, drainage features and surrounding land uses;
- Review of local soil / geological and surface water characteristics;
- Inspection and examination of any nearby sensitive receptors; and
- Assessment of any discrepancies between site observations and the desktop study.

The layout of the Site is presented in Figure 2 and photographs are provided in Appendix A.

The main area of the Site is a rectangular-shaped parcel of land orients north to south. A concrete driveway that is accessed from Mitchell Road orients west to east along the south boundary and forms part of the Site.

The Site is relatively flat with a slight slope to the south-east (approximately 2%).



The Site is occupied by two commercial buildings and roofed area follows:

- The main building is of brick construction with a pitched roof and is used as a tile showroom with a tile display room in the north portion and tile supplies located in the warehouse portion in the south (refer **Photographs 1** to **3** in **Appendix A**). The majority of the building is single-storey with the exception of mezzanine levels in parts of south-west (**Photograph 3**) and north portion (**Photograph 12**). The mezzanine levels are used to store equipment / supplies and are steel framed with cladded walls. A kitchen and two bathrooms are present beneath a portion of the mezzanine level in the south-west corner. The building is accessible from the back (south) via a separate roller door and pedestrian door (refer **Photographs 5** and **6**). A drain is located at the centre of the roller door (refer **Photographs 4** and **5**).
- A building in the south-west portion is single storey and is used to store tile supplies and vacant
  centre area to access the supplies (Photographs 8 and 9). A sink is present on the north wall.
  The building is of brick construction and the roof extends to the north beyond the footprint of
  the building (refer Photograph 5).
- The area between the two buildings appears to be a former vehicle car wash based on the presence of a drain and oil / water separator. The oil / water separator appears to be in good condition with no evidence of spills or leak and did not appear to be in use (refer **Photographs 6** and **7**). A drain is present in the centre of the area. The area is currently used for storing equipment / supplies and vehicle parking for the tiling business.

The Site is covered in hardstand concrete across the majority of the Site. The concrete appears to be in good condition with no cracks or evidence of leaks or spills on the surface (where accessible to inspect) (**Photographs 1** to **6**, **8** and **9**). Some cuts in the concrete were noted along the front of the former vehicle car wash and along adjacent to the south wall of the main building.

The Site is secured by a chain wire gate from Mitchell Road with a chain wire fence running along the north driveway and east boundaries (**Photographs 10** and **13**). The brick wall of the building from the adjacent properties secures the south and west boundaries with a low retaining wall along the southern boundary. The area fronting Orchard St is not fenced however main building walls extend across the front of the lot with a gate and path running along the west boundary.

No fuels, oils or chemicals were identified to be stored at the Site.

The findings from the site inspection were generally consistent with those from the desktop review.



# 3 Site Condition and Surrounding Environment

## 3.1 Surrounding Uses

The land uses surrounding the Site are described in the table below.

**Table 3.1: Surrounding Land Uses** 

North:	Orchard Road, then commercial-industrial	
South:	Commercial / industrial	
East:	Commercial / industrial, Mitchell Road and commercial/industrial	
West:	Commercial / industrial	

### 3.2 Property Zoning

Property zoning information for the Site is described in the table below.

**Table 3.2: Property Zoning** 

Property Zoning:	Zone IN1 General Industrial
Permissible Uses:	Without consent: Nil.  With consent: Boat building and repair facilities; Depots; Freight transport facilities; Garden centres; General industries; Hardware and building supplies; Industrial retail outlets; Industrial training facilities; Light industries; Liquid fuel depots; Neighbourhood shops; Places of public worship; Roads; Storage premises; Take away food and drink premises; Timber yards; Vehicle body repair workshops; Vehicle repair stations; Vehicle sales or hire premises; Warehouse or distribution centres; Any other development not specified as permissible or prohibited.
Prohibited Uses:	Advertising structures; Agriculture; Air transport facilities; Amusement centres; Animal boarding or training establishments; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Eco-tourist facilities; Educational establishments; Entertainment facilities; Environmental facilities; Exhibition homes; Exhibition villages; Extractive industries; Forestry; Function centres; Health services facilities; Heavy industrial storage establishments; Heavy industries; Highway service centres; Home-based child care; Home businesses; Home occupations; Home occupations (sex services); Information and education facilities; Marinas; Mooring pens; Moorings; Open cut mining; Passenger transport facilities; Port facilities; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Restricted premises; Rural industries; Tourist and visitor accommodation; Veterinary hospitals; Water recreation structures; Wharf or boating facilities.



#### 3.3 Topography and Hydrology

The Site is located within the Northern Beach Lagoon catchment. Greendale Creek is located approximately 320 metres north-east of the Site and is a tributary of Curl Curl Lagoon located 1.3km to the east of the Site.

The Site is located on a mid/lower hillslope and slopes approximately 3% to the south-east. Topography of the local area varies significantly, comprising undulating / rolling hills (a figure showing topographical contours is provided in **Appendix C**).

The Site is sealed with concrete. Surface water would be expected to flow to the south- east following the slope of the Site when not directed to onsite drains. Evidence of surface water drainage infrastructure was identified around the Site (refer **Section 2**).

#### 3.4 Soils, Geology and Hydrogeology

The 1:100,000 Sydney Geological Series Sheet 9130 shows the Site and surrounding properties are underlain by silty to peaty quartz sand, silt and clay, ferruginous and humic cementation in places and common shell layers. Hawkesbury Sandstone is located approximately 100m north and 200m south comprising medium to coarse-grained quartz sandstone, very minor shale and laminate lenses.

The NSW Soil and Land Information System (SALIS) identifies the Site to be located within the "disturbed terrain" landscape, which is characterised by level to hummocky terrain extensively disturbed by human activity including complete disturbance, removal or burial of soils. Variable relief and slopes include quarries, tips, areas of landfill, large cut and fill features with original vegetation usually cleared and weeds may be abundant.

A review of the Warringah LEP (2011) identifies Class 4 acid sulfate soils on approximately 10% of the Site (east portion). Class 4 acid sulfate soils indicates works more than 2 metres below natural ground surface and works by which the water table is likely to be lowered more than 2 metres below natural ground surface present an environmental risk.

A review of groundwater boreholes registered with NSW Department of Primary Industries was undertaken on 22 June 2020. The search identified three (3) groundwater bores installed within close vicinity of the Site (less than 60m), likely associated with the former Polycure site located at 10 Powell Street (refer **Section 4**) that required groundwater monitoring as part of the licence surrender requirements.

The bores were installed for monitoring purposes to shallow depths between 4 and 4.5 metres below ground level (mbgl). The standing water levels were not reported. Subsurface soil conditions were described in drill logs as comprising fill as silty sand to 0.5mbgl with silty sand, sand and sandy clays at depths ranging from approximately 0.5 to 4.5 mbgl.

Several private spears are installed approximately 1.5 to 2km from the Site at depth of 2 to 4mbgl and used for domestic purposes.



## 4 Site History Evaluation

## 4.1 Aerial Photographs

Periodic aerial photographs were reviewed to assist in identifying the history of the Site and the surrounding area. Details of key observations made from the review of aerial photographs are outlined in **Table 4.1**. Copies of the aerial photographs are included in **Appendix C.** 

Table 4.1: Aerial Photograph Review

Year	Observations
1943	The Site is occupied by a structure / dwelling in the south-west portion and a possible structure in the central-west portion with bare earth / cleared land between the structures. The north-east portion and area fronting Mitchell Road are vacant and vegetated.
	The adjacent properties to the west, south-west and north beyond Orchard Rd are occupied by residential dwellings and the adjacent properties to the south and east beyond Mitchell Road are vacant.
	The local area is dominated by residential lots to the north and north-west of the Site with sporadic vacant lots. To the east, south and south-west much of the land is vacant or appears to be market gardens with occasional residential dwellings on lots. A watercourse (Greendale Creek) is approximately 70 to 110m to the south east of the Site.
1956	The Site still contains the structure in the south-west portion with the structure in the central-west portion not evident and possibly removed or obscured by vegetation. The remainder of the Site appears to be vegetated.
	The adjacent property to the east appears to be in the process of construction for a commercial building. The adjacent properties to the north, west and south are relatively unchanged with the exception of a new structure on the property to the south-west (possible garage).
	The local area is further developed compared to the 1943 photograph. Vacant lots along Orchard Rd and Powells Rd to the west, south and south-west now contain structures comprising residential dwellings or commercial buildings. To the east beyond Mitchell Rd the land remains vacant with commercial warehouse/buildings now present approximately 100m south-east and north-east from the Site.
1961	The Site has been developed and contains a large warehouse across 60-70% of the Site. The structure in the south-west appears to have been replaced or modified.
	The adjacent property to the south and east contain commercial buildings/warehouses with the remainder of the land vacant to the south. Vacant land to the east beyond Mitchell Rd contain structures on two lots with other land remaining vacant.
	The local area appears to be further developed and is a mix of residential and commercial lots with more commercial buildings/warehouse evident along Orchard Rd to the west and at the rear of some properties along Powells Rd.
1965	The Site appears relatively unchanged since 1961.
	The adjacent properties to the east and south are unchanged with the exception of the commercial building to the south, now extended. To the west commercial buildings are located at the rear of the dwelling fronting Orchard Rd. Beyond Orchard Rd to the north, three residential properties have been replaced with commercial buildings and commercial buildings are now evident to the east beyond Mitchell Rd on the previous vacant land.
	The local area appears to be further developed with warehouses/commercial buildings evident on numerous properties in the area.



Year	Observations
1970	The Site appears relatively unchanged since 1965.
	The adjacent properties are relatively unchanged with the exception of the dwelling to the west being replaced with a commercial building.
1978	The Site and local area appear relatively unchanged since 1965.
	The adjacent properties are relatively unchanged with the exception of the vacant land to the south has now been developed with commercial buildings fronting Powell St.
1982	No significant changes since 1978.
1986	No significant changes since 1982.
1991	No significant changes since 1986.
1994	No significant changes since 1991.
2000	No significant changes since 1994.
2009	No significant changes since 2000 with the exception of modifications to the roof at the Site and modifications to commercial premises to the west (70m) and south-east (50m) to larger facilities.
2014	No significant changes since 2009.
2020	No significant changes since 2014.

### 4.2 Historical Land Titles

Land title information was obtained from the NSW Department of Land and Property Information to identify the historical ownership of the Site and to assess for potentially contaminating activities that may have been undertaken (refer **Appendix D**). A summary of the historical land title information is provided in **Table 4.2**.

**Table 4.2: Historical Land Title Information** 

Date	Title at Acquisition	Title at Sale	Landowner (Occupation)
2020 - present	A/413126	-	G & A Bland Holdings Pty Ltd
2019 – 2020	A/413126		Bruno Frischknecht Christian Eugen Boller
2003 – 2019	A/413126		Bruno Frischknecht Lynette Mary Frischknecht Christian Eugen Boller
1985 - 2003	Vol 11582 Fol 24	A/413126	Natalie Tkal (nee Clark)
1982 - 1985	Vol 11582 Fol 24		Vera Pickering Natalie Clark
1970 - 1982	Vol 8019 Fol 153	Vol 11582 Fol 24	Gavin Gordon Gracie (Plumber) Iris Mary Gracie (Married Woman)
1970 – 1970	Vol 8019 Fol 153		Roy Leslie Pegler (Chartered Accountant) Eric Bruce Ellis (Chartered Accountant)



Date	Title at Acquisition	Title at Sale	Landowner (Occupation)
1960 - 1970			John Patrick McGarry (Clothes Manufacturer) Melvie Joan McGarry (Married Woman)
1959 – 1960	Vol 6868 Fol 13; Vol 7624 Fol's 94 & 95; Vol 7760 Fol's 155 & 156	Vol 8019 Fol 153	Leslie Owen Traynor (Company Director)
1959-1959 (Main Portion)	Vol 7624 Fol's 94 & 95	Vol 7624 Fol's 94 & 95; Vol 7760 Fol's 155 & 156	Sidney George Barnes (Journalist)  Norman Guy Von Nida (Professional Golfer)  Jean Marie Sinclair (Married Woman)  Mary Agnes Leahy (Married Woman)
1958-1959 (Main Portion)	Vol 703 Fol 226	Vol 7624 Fol's 94 & 95	Sidney George Barnes (Journalist) Norman Von Nida
1958 – 1958 (Main Portion)	Vol 7030 Fol 226		Frank Skinner (Boilermaker)
1955 – 1958 (Main Portion)	Vol 1350 Fol 233	Vol 7030 Fol 226	Stanley Stewart Skinner (Labourer)
1956 – 1959 (Driveway only)	Vol 6868 Fol 13		Norman Guy Von Nida (Professional Golfer)
1954 – 1956 (Driveway only)	Vol 1350 Fol 233	Vol 6868 Fol 13	Distinctive Products Pty Ltd
1942- 1954 /5	Vol 1350 Fol 233		Isaak Doombusch (Waterside Worker) (& his deceased estate)
1940 – 1942			Edith Margaret Thew (Married Woman)
1924 – 1940	-		Elvert Milton Thew (Carrier)
1913 – 1924	-		John Foreman Watson (Salesman)

### 4.3 Council Information

A review of the planning certificate prepared under Sections 2 & 5 of the *Environmental Planning and Assessment Act 1979* was conducted. A copy of the planning certificate is included in **Appendix E**.

A summary of key information relating to contamination matters is provided in **Table 4.3**.

**Table 4.3: Planning Certificate Information Relating to Contamination Issues** 

Item	Notation
Is the land significantly contaminated within the meaning of the Contaminated Land Management Act 1997?	No
Has the land been identified on an Acid Sulfate Soils Map as being Class 1 or Class 2?	No



Item	Notation
Is the land or part of the land subject to flood related development controls for the purposes of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings? Is the land or part of the land also subject to flood related development controls for any other purpose?	No
Is the land affected by a policy adopted by the Council or adopted by any other public authority and notified to Council for the express purpose of its adoption by that authority being referred to in planning certificates issued by Council, that restricts development of the land because of the likelihood of land slip, bushfire, tidal inundation, subsidence, acid sulfate soils or any other risk (other than flooding)?	No
Is the land listed on the loose-fill asbestos insulation register?	No
Within the meaning of the Contaminated Land Management Act 1997, has Council been advised that:  The land is significantly contaminated land?  The land is subject to a management order?  The land is subject to an approved voluntary management proposal?  The land is subject to an ongoing maintenance order?  The land is subject to a site audit statement?	No

A summary of development applications related to the Site and listed on the Northern Beaches Council website is provided in **Table 4.4**.

**Table 4.4: Development Applications for the Site** 

Date	Reference	Details
20 November 2003	DA2003/1578	Applicant: Not provided
		Status: Refused
		Description: Alterations and addition to existing factory.
27 May 2004	DA2004/0668	Applicant: Not provided
		Status: Approved
		Description: Alterations to existing car repair, car dealer and hire of motor vehicles (reconstruct roof over existing workshop and vehicle wash bay).
24 February 2020	DA2020/0160	Applicant: Symons Goodyer Pty Ltd
		Status: Notified
		Description: Change of use to use the premises as an artisan food and drink industry and associated signage.



Further documentation was provided by Northern Beach Council and included in **Appendix E**. A summary is as follows:

- 13 July 1970: Land Use Consent No 70/135 issued by Warringah Shire Council for the installation of an underground tank for mineral turpentine and an associated bowser at Lot 16 DP 1521. This most likely relates to 25 Orchard Road (Lot 16 DP 1521) as the Site has never been identified as Lot 16 DP 1521. The tank was likely to be located 40m north-east of the Site, cross-gradient of the Site.
- 27 May 2004: Development application submitted for alterations to existing car repair, car dealer and hire of motor vehicle facility to reconstruct the roof over the existing workshop and vehicle wash bay. The following information was included:
  - Current site plan with the main building labelled as a showroom and rear building labelled garage with area between the buildings labelled carport.
  - The proposed site plan included the addition of two above ground hoists in the rear building and one above ground hoist in the south-east corner of the main building, a vehicle wash bay in the area labelled carport with an oil / water separator located on the rear building wall within the wash bay. The toilets were proposed to be removed from the carport and relocated in the south-west corner of the main building.
- 23 September 2004: Development consent (DA2004/0668DA) issued by Warringah Shire Council for alteration to existing car repair, car dealer and hire of motor vehicles (reconstruct roof over existing workshop and vehicle wash bay).
- 30 June 2020: email from Council indicating the factory was built in 1965, however the building approval or possible consent was not available.

#### 4.4 Historical Business Directories

A review was undertaken of business directory content derived from the Universal Business Directories (UBD) from 1991, 1986, 1982, 1978, 1975, 1970, 1965, 1961 and 1950 to identify local businesses at the Site and in the area. Directory searches included additional years for business activities that may be considered to pose either an on or off-site potential source of contamination to the Site (dry cleaners, motor garages and service stations).

The business directory search for the Site is summarised in **Table 4.5**.

Table 4.5: Business Directory Records – the Site

Premise	Distance & Direction	Business Activity	Organisation	Year(s)
Onsite	0m	Steel Fabricators / engineers	Crouch C. S	1982 - 1991
Onsite	0m	Concrete additives and formwork suppliers / fibre glass product manufacturer	Toby Construction Products	1978
Onsite	0m	Clothing Manufacturer	McGarry J & MJ	1961-1970



The business directory search identified several commercial historic commercial land uses adjacent and within 150 metres of the Site. Potentially contaminating land uses within 50 metres are summarised in **Table 4.6** in order of proximity to the Site.

Table 4.6: Business Directory Records – Surrounding Properties

Premise	Distance & Direction	Business Activity	Organisation	Year(s)
2 Powells Rd, Brookvale	Om SE	Motor Body Repairs / converters	Buckle, B Auto Conversions Pty Ltd	1975
24 Orchard Rd, Brookvale	0m W	Motor panel beater, spray painters	Brookvale Smash Repairs	1986 – 1991
4 Powells Rd, Brookvale	0m S	Pharmaceutical manufacturer	Carter-Wallace (Aust) Pty Ltd	1982
6 Powells Rd, Brookvale	0m S	Motor Panel Beaters, spray painters	Car Renovators	1975-1991
		Plastic goods manufacturer	Le Roy. N. D	1975-1978
8 Powells Rd, Brookvale	0m SW	Wrought Iron Workers	Beacon Hill Welding	1982
10 Powells Rd, Brookvale	20m SW	Chemical manufacturer / Paint, enamel, varnish manufacturer	Polycure Pty Ltd	1986 - 1991
		Boat, launch and yacht builders and repairers	Stebercraft Pty Ltd	1965
47 Mitchell Rd, Brookvale	20m SE	Motor panel beaters, painters	M.B.D.R Auto Repairs	1965-1978
22 Orchard Rd,	20m W	Fabricating	K.R.B Engineering Pty Ltd	1986
Brookvale		Boat, launch and yacht builders and repairers	Rose. D Yachts	1978 – 1986
		Marine / Diesel Engineers	Curtayne Industries Pty Ltd	1978
23 Orchard Rd, Brookvale	21m N	Steel Fabricators	Edwards Engineering	1982
19 Orchard Rd, Brookvale	21m N	Motor panel beaters / spray painters	Haslam. G, Smash Repairs and Lyons D	1978
			Kellendonk Pty Ltd	1970 - 1975
			Lancasterk, Stan	1965
49 Mitchell Rd, Brookvale	26m SE	Plastic manufacturer / moulder	Celluform Plastics (NSW) Pty Ltd	1982
			C & L Foam Pty Ltd	1978
25 Orchard Rd, Brookvale	29m NE	Steel Fabricators	Allmesh Engineers	1991
17 Orchard Rd,	29m N	Pharmaceutical	Milupa & Co Pty Ltd	1986 – 1991
Brookvale		manufacturer	Pharmpack & Co Pty Ltd	1978 - 1982



Premise	Distance & Direction	Business Activity	Organisation	Year(s)
41 Mitchell Rd, Brookvale	33m E	Motor panel beaters / spray painters	Carroll, Raymond (Smash Repairs) & Co	1978 – 1986
			Inder Motor User Car Reconditioning	1965 - 1970
20 Orchard Rd,	40m W	Steel Fabricators	Treco Structures Pty Ltd	1986 – 1991
Brookvale			Brookvale Construction Co Pty Ltd	1961 - 1970

#### 4.5 NSW Government Database Records

A review of various NSW government databases was undertaken to evaluate the condition of the surrounding environment and the potential for on or off-site sources of contamination to exist. Details of this information review are summarised below.

#### 4.5.1 Contaminated Land

A review of contaminated sites notified to NSW EPA and regulated under the *Contaminated Land Management Act 1997*, sites that fall under the PFAS investigation program and sites with other contamination issues reported by NSW EPA, was undertaken on 26 June 2020 to determine if the Site is subject to any significant environmental constraints.

Results of the database reviews were as follows:

- Nine properties within a 1km radius of the Site have been notified as contaminated sites as follows:
  - Four service stations located approximately 450m or greater to the north, north-east and west in Brookvale and Freshwater, EPA management class of 'Regulation under the CLM Act not required' for each.
  - Brookvale Bus Depot located 139m west of the Site, EPA management class of 'Regulation under the CLM Act not required'.
  - Warringah Mall located 354m west of the Site, EPA management class of 'Regulation under the CLM Act not required'.
  - John Fisher park as a landfill, located 509m east of the Site, EPA management class of 'Regulation under the CLM Act not required'.
  - Harrison Manufacturing, located 764m west of the Site, EPA management class of 'Regulation under the CLM Act not required'.
  - Littles Dry Cleaners, located 976m west of the Site, EPA management class of 'Regulation under the CLM Act not required'.

The EPA has completed an assessment of the contamination and decided that regulation under the *Contaminated Land Management Act 1997* is not required for each.



- No former gasworks site are known to have been located within close proximity of the Site.
- No properties requiring PFAS investigation or management were identified within a 1km radius of the Site.
- The Site is not listed as a James Hardie asbestos manufacturing / waste disposal site, radiological investigation site in Hunter's Hill, or as part of the Pasminco Lead Abatement Strategy Area.
- No properties were identified on the National Waste Management Site database within 1km of the Site.

#### 4.5.2 Environment Protection Licences

A review of current and former environmental protection licences issued by the NSW EPA under the *Protection of the Environment Operations Act 1997* undertaken on 22 June 2020 and identified the following:

Table 4.7: Licensed Activities in Surrounding Area

Premise	Distance & Direction	Licensed Activity	Organisation	Licence No.
75 Old Pittwater Road, Brookvale	764m W	Petroleum products and fuel production	Harrison Manufacturing Co Pty Ltd	139
Unit 3, 100 Old Pittwater Road, Brookvale	925m W	Resource recovery and waste storage	Cozens Paper Recycling Pty Ltd	20681

Table 4.8: De-Licensed Activities Still Regulated in Surrounding Area

Premise	Distance & Direction	Licensed Activity	Organisation	Licence No.
630-636 Pittwater Road, Brookvale (Brookvale Bus Depot)	139m W	Hazardous, industrial or Group A waste generation and storage	State Transit Authority of NSW	7443
44 Orchard Road (Colormaker Industries Australia)	147m E	Hazardous, industrial or Group A waste generation and storage	Hannaz Zev Holdings Pty Ltd	6810
46 Orchard Rd (Hanson Construction Materials)	175m E	Concrete works	Hanson Construction Material Pty Ltd	1339
2-10 Ada St, Brookvale (Boral Concrete)	254m SE	Concrete works	Boral Resources (NSW) Pty Ltd	1233
18 William St, Brookvale (Brookvale Concrete)	296m SW	Concrete works	Holcim (Australia) Pty Ltd	1085
192 Harbord Rd, Brookvale (Hymix Australia)	430m E	Concrete works	Hymix Australia Pty Ltd	1251



Table 4.9: Formerly Licensed Activities in Surrounding Area

Premise	Distance & Direction	Licensed Activity	Organisation	Licence No.
10 Powell Road, Brookvale	20m SW	Toxic substances production	Urethane Coatings Pty Ltd	13402
Waterways	285m	Application of herbicides in waterways throughout NSW	Luhrmann Environment Management Pty Ltd	4653
Waterways	285m	Application of herbicides in waterways throughout NSW	Robert Orchard	4838
Waterways	285m	Application of herbicides in waterways throughout NSW	Sydney Weed & Pest Management Pty Ltd	6630
Federal Parade, Brookvale	869m NW	Ceramics production	The Austral Brick Co Pty Ltd	2077

### 4.5.3 Heritage Information

Review of Commonwealth, State and Local government heritage lists and registries was undertaken on 2 July 2020 to determine if the Site is subject to any significant environmental constraints. The review indicated the Site and surrounding areas (<200m) are not listed on the Commonwealth or National Heritage List, State Heritage Register or the Warringah LEP 2011.

### 4.6 Storage of Hazardous Chemicals Information

A search of SafeWork NSW records on the storage of hazardous chemicals at the Site was undertaken and result provided in **Appendix F**. The search indicated SafeWork NSW do not have any records for the storage of hazardous chemicals at the Site

### 4.7 Previous Environmental Assessment Reports

No previous environmental and/or contamination assessment or investigation reports are known to have be prepared for the Site.



#### 4.8 Summary of Site History

Based on the information reviewed, a summary of the history of the Site and surrounding area is as follows:

- The local area was initially developed for market gardening / low-density residential in the early 1900s to 1940s. The area became dominated by commercial / light industrial facilities in the 1950s and 1960s.
- Properties directly adjacent and upgradient (west and north-west) of the Site have historically operated as various commercial land uses including car /boat repairers, steel fabricators and manufacturers (including chemical, plastic and pharmaceutical).
- The existing buildings at the Site appear to have been constructed between 1956 and 1961 (based on aerial photographs). Modifications to the roof are evident in the late 2000s (2009 aerial photograph), which is consistent with the development consent for roof construction issued in 2004.
- The Site has been owned by various individuals and two companies with land uses as follows:
  - Prior to 1960: likely vacant land and low-density residential use from at least 1943 (dwelling present on 1943 and 1956 aerial photographs).
  - Early 1960s: The property was sold six times between 1956 and 1960 with the dwelling demolished and two commercial buildings constructed between 1956 and 1961.
  - 1960 to 1970: Used for clothes manufacturing (title information and business listings).
  - 1970 to 2003: Various commercial uses including concrete formwork/fibre glass manufacturer in 1978 and steel fabrication from 1982 to 1991 (based on business listings).
  - 2003 to 2019: Likely various commercial uses under one ownership. The Site was used for car maintenance as part of a car hire business (Travel Car Centre) from 2003. The date the business ceased operating at the Site is not known.
  - 2020 to present: retail / commercial tile supply business.
- The underground storage tank and bowser for mineral turpentine approved by Council in 1970 most likely relates to 25 Orchard Road (Lot 16 DP 1521) as the Site has never been identified as Lot 16 DP 1521 (the identity on the council consent). Further, Council indicated the factory on the property with tank installation approval was constructed in 1965, whereas the commercial buildings on the Site were constructed between 1956 and 1961. The tank was likely located 40m north-east of the Site, cross-gradient of the Site.



## 5 Conceptual Site Model

Based on the outcomes of the desktop review and detailed site inspection, a Conceptual Site Model (CSM) has been developed to outline the framework for identifying how the Site may have become contaminated and how potential receptors may be exposed to contamination either in the present or the future. The key elements of the CSM are summaries below:

Known and Potential Sources of Contamination

Potential sources of contamination at the Site were assessed to include:

- Former clothes manufacturer potential uses of dyes and other chemicals.
- Former fabricator and other commercial uses potential use of solvents, adhesives and other chemicals.
- Former car maintenance centre fuels, oils, degreasers.
- Offsite nearby commercial/industrial activities fuels, oils solvents or other chemicals.

#### Contaminants of Concern

Contaminants of concern associated with the potential sources of contamination are volatile organic compounds and petroleum hydrocarbon compounds.

#### Mechanism of Contamination

The primary mechanisms likely to have caused contamination at the Site are as follows:

- Spillage / leakage of chemicals /solvents associated with the various commercial uses.
- Migration of contamination from offsite (upgradient) sources.

### Potentially Affected Media

Potentially affected media at the Site include soil, soil vapour and groundwater.

#### Receptors

The proposed land use is a micro-brewery including a taproom for patrons. The potential receptors to contamination at the Site are likely to include workers, visitors, patrons and site maintenance workers at the Site under a commercial/industrial land use setting.

#### Exposure Pathways

No changes to the building configuration are proposed. Under the current configuration, exposure to potentially contaminated soil and groundwater via dermal contact is unlikely, and therefore the primary potential exposure pathway to contamination at the Site is considered to be via vapour intrusion.



## 6 Data Quality Objectives

The Data Quality Objective (DQO) process is a systematic planning tool based on the scientific method for establishing criteria for data quality and for developing data collection designs. The process has been developed to ensure that efforts relating to data collection are cost effective, by eliminating unnecessary, duplicative or overly precise data whilst at the same time, ensuring the data collected is of sufficient quality and quantity to support defensible decision making.

It was recognised that the most efficient way to accomplish these goals is to establish criteria for defensible decision making before data collection begins and to develop a data collection design based on these criteria. By using the DQO process to plan the investigation effort, Metech improved the effectiveness, efficiency and defensibility of the decision in a resource and cost-effective manner

The DQO process consists of seven steps, designed to clarify the study objectives, define the appropriate type of data and specify tolerable levels of potential decision errors, summarised as follows:

- Step 1 Defining the Problem. The first step in the DQO process is to 'define the problem' that has initiated the investigation.
- Step 2 Identify the Decision. The second step in the process is to define the decision statements that the study will attempt to resolve.
- Step 3 Identify Inputs to the Decision. In this step, the different types of information needed to resolve the decision statement are identified.
- Step 4 Define the Study Boundaries.
- Step 5 Develop a Decision Rule.
- Step 6 Specify Limits on Decision Errors.
- Step 7 Optimise the Design for Obtaining the Data.

#### 6.1 Define the Problem

The Site is located in a commercial / light industrial area and is proposed to be redeveloped as a microbrewery including a taproom for patrons. Assessment has determined that potential sources of contamination exist at the Site, but that that the primary exposure pathway to contamination is limited to vapour intrusion. Investigation works were required to determine whether there are any significant contamination issues at the Site that would pose a constraint to the proposed use of the Site under a commercial/industrial land use setting.

#### 6.2 Identify the Decision

The relevant decision statements for this investigation are:

• Does contamination occur at the Site at concentrations that pose an unacceptable level of risk to human health receptors based on the proposed use and configuration of the Site?

And if so:



What measures could be adopted to mitigate or manage the risk?

#### 6.3 Identify the Inputs to the Decision

Key data required to resolve the project problem includes the:

- Nature of the potential contaminants of concern;
- Pathways for contaminant movement (vapour intrusion);
- · Concentrations of contaminants within soil vapour; and
- Location of receptors.

#### 6.4 Define the Boundaries of the Study

The boundaries of the study are limited to the extent of the Site (refer **Figure 2**). Sampling locations were located within each of the two site structures. The vertical extent of the study boundaries is limited to the depth of the soil vapour installations beneath the concrete slab (ie. ground surface).

Considering the nature of potential contaminants of concern and primary receptors to the contaminant source, the boundary limitations are considered to be sufficient to meet the objectives of the assessment.

The temporal boundaries of the study extend across the dates for which environmental data has been collected for the Site (July 2020).

#### 6.5 Develop a Decision Rule

The decision rule is:

- If the concentrations of contaminants are below the adopted investigation levels, and the data
  is of acceptable quality, then contamination issues are unlikely to pose a constraint to use of
  the Site under the current configuration and proposed land use setting.
- If the concentrations of contaminants are above the adopted investigation levels, and the data
  is of acceptable quality, then further risk assessment is required to quantify the level of risk,
  which may also require the implementation of remedial action to mitigate risk to acceptable
  levels.

### 6.6 Specify Limits on Decision Errors

Two primary decision error-types may occur due to uncertainties or limitations in the project data set:

- A sample/area may be deemed to pass the nominated criteria, when in fact it does not. This
  may occur if contamination is 'missed' due to limitations in the sampling plan, or if the project
  analytical data set is unreliable.
- A sample/area may be deemed to fail the nominated criteria, when in fact it does not. This
  may occur if the project analytical data set is unreliable, due to inappropriate sampling, sample
  handling, or analytical procedures.



In order to evaluate the adequacy of the data, Data Quality Indicators (DQIs) have been established for precision, accuracy, representativeness, comparability and completeness. The DQIs for sampling techniques and laboratory analysis of collected samples identifies the acceptable level of error for the investigation. The DQOs will be assessed by reference to DQIs as follows:

Precision - measures the reproducibility of measurements under a given set of conditions. The
precision of the laboratory data and sampling techniques is assessed by calculating the
Relative Percent Difference (RPD) of duplicate samples.

RPD% = 
$$\frac{(C_0 - C_d)}{C_0 + C_d} \times 200$$

Where C<sub>0</sub> is the analyte concentration of the original sample

 $C_{\mbox{\scriptsize d}}$  is the analyte concentration of the duplicate sample

Metech adopts a nominal acceptance criterion of  $\pm 30\%$  RPD for duplicates and splits for inorganics and a nominal acceptance criterion of +50% RPD for duplicates and splits for organics. However, it is noted that this will not always be achieved, particularly in heterogeneous soil or fill materials, or at low analyte concentrations.

Accuracy - measures the bias in a measurement system. The accuracy of the laboratory data
that are generated during this study is a measure of the closeness of the analytical results
obtained by a method to the 'true' value. Accuracy is assessed by reference to the analytical
results of laboratory control samples, laboratory spikes and analyses against reference
standards.

The nominal "acceptance limits" on laboratory control samples are defined as follows:

- Matrix spikes 70-130% recovery for metals.
- Laboratory blanks < PQL.
- Representativeness expresses the degree which sample data accurately and precisely represents a characteristic of a population or an environmental condition.
   Representativeness is achieved by collecting samples in an appropriate pattern across the Site and by using an adequate number of sample locations to characterise the Site.
- Comparability expresses the confidence with which one data set can be compared with another. This is achieved through maintaining a level of consistency in techniques used to collect samples, ensuring analysing laboratories use consistent analysis techniques and reporting methods.
- Completeness is defined as the percentage of measurements made which are judged to be
  valid measurements. The completeness goal is set at their being sufficient valid data
  generated during the study. If there is insufficient valid data, then additional data are required
  to be collected.

#### 6.7 Optimise the Design for Obtaining Data

The purpose of this step is to identify a resource-effective data collection approach for generating data to meet the project objectives. This was achieved by developing a systematic sampling program that would provide an unbiased representation of contaminant concentrations across the Site.



## 7 Sampling and Analytical Program

## 7.1 Assessment Methodology

Based on the CSM that was developed for the Site, it was determined that the primary potential exposure pathway to contamination that may be present at the Site derived from the identified potential sources of contamination, is vapour intrusion.

The investigation program was therefore designed to assess contamination within this exposure pathway, with a sub-slab soil vapour investigation implemented as a direct measure of vapour intrusion potential. Details of the soil vapour investigation program are provided in **Table 7.1**.

Table 7.1: Soil Vapour Assessment Methodology

Activity	Details
Sampling Locations	Four soil vapour points (SV1 – SV4) were installed to assess potential risks to site workers and visitors via the vapour intrusion pathway.
	The rationale for the locations of the soil vapour monitoring points are as follows:
	SV1 – Located in the rear building (former garage)
	SV2 – located in the rear building (former garage)
	SV3 – located in the main building (former workshop)
	• SV4 – located in the main building (former workshop).
Soil Vapour Pin Installation	A total of four (4) sub-slab soil vapour pins (SVP) were installed. The pins were constructed of stainless steel and were decontaminated prior to use.
	A 16mm diameter hole was drilled using a hand-held drill through the concrete slab and approximately 25mmm into the underlying soil.
	The drill bit was removed and the hole brushed to remove loose cuttings. The lower end of the vapour pin containing a rubber seal was tapped into the drilling hole using a rubber mallet and protective cap was placed on the vapour pin to prevent vapour loss prior to sampling.
	A leak test was conducted through the placement of a water dam around the vapour pin at each location. All pin installations passed the water shut out test.
Soil Vapour Sampling	Samples were collected as follows:
	<ul> <li>Purging was undertaken with a laboratory provided hand pump until a vacuum was achieved. All dead-air in the sample train was removed prior to sampling.</li> </ul>
	Isopropyl alcohol (IPA) saturated towel was emplaced around the impact at the ground surface and at connections in the sampling system.
	<ul> <li>Vapour samples were obtained in specialised TO-15 vacuum canisters (1.4L) cleaned and pressured by the NATA accredited laboratory.</li> </ul>
	• Laboratory supplied flow regulators were fitted to the sample train, set at a maximum flow rate of 200mL per minute.
	<ul> <li>Measurement of the vacuum within the soil vapour impact was monitored throughout sampling to ensure that the vacuum did not exceed -5" Hg.</li> </ul>



Activity	Details
	Sampling continued until the summa canister was filled with soil vapour, to a pressure of approximately -5"Hg.
Sample Handling and Transportation	All samples were transported within the laboratory supplied summa canisters to the nominated NATA accredited laboratory. Chain-of-custody documentation was prepared for sample transfer from the Site to the laboratory (refer <b>Appendix G</b> ).
Quality Control / Quality Assurance	All sampling equipment was decontaminated and certified for use by the NATA certified testing laboratory.
	All analysis was undertaken in accordance with the relevant standards as defined by NEPM (NEPC 2013) by SGS Environmental Services who are NATA-accredited for all required analytical methods.
	Field equipment used to perform sampling was calibrated prior to use by the testing laboratory.
	Leak testing was undertaken to ensure the sampling train and vapour pin were air tight.
	A field split duplicate sample (QA1) was collected to verify the precision of the laboratory data and sampling technique.
	Data quality objectives are provided in <b>Section 6</b> .
Analytical Program	All collected soil vapour samples were scheduled for the USEPA TO-15 VOCs and NEPM TRH suite.

## 7.2 Quality Assurance / Quality Control

The Data Quality Indicators (DQIs) used to evaluate the data are outlined in Table 7.2.

**Table 7.2: Quality Assurance and Quality Control Program** 

Data Quality Indicator	Frequency	Acceptance Criteria
Precision		
Blind duplicates (field split)	1 in 20 samples	<50% RPD
Accuracy		
Laboratory duplicates	1 in 20 samples	<30% RPD
Laboratory blanks	1 per batch	<pql< td=""></pql<>
Representativeness		
Sampling appropriate for media and analytes	All samples	All samples
Leak testing using water test and IPA shroud	All samples	<10% IPA in sample compared to shroud
Samples extracted and analysed within holding times	All samples	All samples
Completeness		
Sample description and COCs completed and appropriate	All samples	All samples
Appropriate documentation	All samples	All samples
Satisfactory frequency and result for QC samples	All samples	All samples



Data Quality Indicator	Frequency	Acceptance Criteria
Comparability		
Standard operating procedures used for sample collection and handling	All samples	All samples
NATA-accredited analytical methods used for all analytes	All samples	All samples
Consistent field conditions, sampling staff and laboratory analysis	All works	All works
Limits of reporting appropriate and consistent	All samples	All samples

#### 7.3 Assessment Criteria

Sub-slab soil vapour results have been screened against soil vapour screening criteria as follows:

- National Environment Protection (Assessment of Site Contamination) Measure NEPM (2013)
   Soil Vapour HSLs for vapour intrusion (HSL D commercial / industrial) 0-1m depth in sand (most conservative geology); and
- NEPM 2013 Interim Soil Vapour Health Investigation Levels (HILs) for volatile organic chlorinated compounds.

Where health screening levels for soil vapour are not available, sub-slab sampling results have been screened against reference concentrations (RfC) for indoor air values by application of a conservative attenuation factor of 0.1.

The measured sub-slab gas concentrations are not exposure concentrations in indoor or outdoor air and the actual exposure concentration will be significantly less than the measured soil gas concentration due to processes of diffusion and dilution / mixing within the soil profile and in the indoor/ambient air environments (collectively referred to as attenuation). An attenuation factor of 0.1 for soil vapour to indoor is consistent with guidance from the NEPM (2013) for chlorinated compounds. These screening levels are highly conservative and exceedance of these screening values does not indicate a health risk and merely indicates that further risk assessment is warranted.

RfC from the following sources have been referenced in the screening assessment:

- World Health Organisation (WHO) Air Quality Guidelines for Europe, Second Edition, WHO
  Regional Publications, European Series No 91 (2000), WHO Guidelines for Air Quality (2000),
  WHO Indoor Air Quality Guidelines (2010) and associated WHO EHC/CICADs
  documents/revisions.
- USEPA Regional Screening Levels (RSL), Screening Levels for Chemical Contaminants at Superfund Sites (latest version May 2020).

Screening criteria for chemicals detected above the limit of reporting (LOR) are presented in Table 8.1.



# 8 Analytical Results

## 8.1 Soil Vapour Results

Analytical results are provided in summary tables included in **Appendix B**, with the laboratory certificates provided in **Appendix G**.

Chemicals detected above the LOR were compared to the selected applicable screening criteria. Maximum concentrations and relevant screening criteria are presented in **Table 8.1**.

Table 8.1: Maximum Sub-Slab Soil Vapour Results (mg/m³)

, , ,						
Chemical of Concern in Soil Vapour	Soil Vapour Screening Criteria	Maximum Sub- Slab Soil Vapour Concentration	Screening Criteria Reference			
Benzene	4	0.01	NEPM (2013) HSL-D (0 - <1m, sand)			
Toluene	4,800	0.04	NEPM (2013) HSL-D (0 - <1m, sand)			
Ethylbenzene	1,300	0.02	NEPM (2013) HSL-D (0 - <1m, sand)			
Xylene (total)	840	0.09	NEPM (2013) HSL-D (0 - <1m, sand)			
F1 (TRH C <sub>6</sub> -C <sub>10</sub> - BTEX)	680	2.20	NEPM (2013) HSL-D (0 - <1m, sand)			
F2 (TRH C <sub>10</sub> - C <sub>12</sub> - Napthalene)	500	0.19	NEPM (2013) HSL-D (0 - <1m, sand)			
2-Butanone (Methyl Ethyl Ketone)	50	0.02	USEPA RfC for worker ambient air (5mg/m³) and attenuation factor of 0.1			
Cumene	4	0.01	USEPA RfC for worker ambient air (0.4mg/m³) and attenuation factor of 0.1			
Cyclohexane	60	0.06	USEPA RfC for worker ambient air (6mg/m³) and attenuation factor of 0.1			
1,4-Dioxane	0.3	0.09	USEPA RfC for worker ambient air (0.03mg/m³) and attenuation factor of 0.1			
Freon 12	0.10	0.008	USEPA RfC for worker ambient air (0.01mg/m³) and attenuation factor of 0.1			
Heptane	4	0.13	USEPA RfC for worker ambient air (0.4mg/m³) and attenuation factor of 0.1			
Hexane	7	0.09	USEPA RfC for worker ambient air (0.7mg/m³) and attenuation factor of 0.1			
4-methyl-2- pentanone	30	0.01	USEPA RfC for worker ambient air (3mg/m³) and attenuation factor of 0.1			
Propyl benzene	10	0.01	USEPA RSL for worker ambient air (1mg/m³) and attenuation factor of 0.1			
1,1,1-trichloroethane (1,1,1-TCA)	230	0.016	NEPM (2013) Interim HIL D for VOC			
1,2,4- Trimethylbenzene	0.60	0.057	USEPA RSL for worker ambient air (0.06mg/m³) and attenuation factor of 0.1			



Chemical of Concern in Soil Vapour	Soil Vapour Screening Criteria	Maximum Sub- Slab Soil Vapour Concentration	Screening Criteria Reference
1,3,5- Trimethylbenzene	0.60	0.017	USEPA RSL for worker ambient air (0.06mg/m³) and attenuation factor of 0.1

### 8.2 QA/QC Results

The QA/QC results were assessed against the pre-determined DQIs as shown in Table 8.2.

**Table 8.2: Quality Assurance / Quality Control Results** 

Data Quality Indicator	Result	DQI Achieved
Precision		
Blind duplicates (field split)	<50% RPD	Yes
Accuracy		
Laboratory duplicates	<30% RPD	Yes
Laboratory blanks	<pql< td=""><td>Yes</td></pql<>	Yes
Representativeness		
Sampling appropriate for media and analytes	All samples	Yes
Leak testing using water test and IPA shroud	All samples	Yes
Samples extracted and analysed within holding times	All samples	Yes
Completeness	All samples	Yes
Sample description and COCs completed	All samples	Yes
Appropriate documentation		
Satisfactory frequency and result for QC samples	All samples	Yes
Comparability	All samples	Yes
Standard operating procedures used for sample collection and handling	All samples	Yes
NATA-accredited analytical methods used for all analytes	All works	Yes
Consistent field conditions, sampling staff and laboratory analysis	All samples	Yes

Based on the results of the QA/QC program as outlined above, the data produced from the assessment works are considered to precise, accurate, representative, complete and comparable.

Therefore the data is considered to be of an acceptable quality upon which appropriate conclusions and decisions can be made with respect to the environmental conditions at the Site.



### 9 Discussion

The assessment comprised a detailed review of the history of the Site and of the local area and a thorough visual inspection of the Site and surrounds, supported by a soil vapour investigation.

The historical information review determined that the Site and adjacent properties have generally been used for commercial / industrial purposes since the 1960s.

The former commercial land uses of the Site include clothes manufacturing, steel fabricating and a car maintenance centre and were considered to pose a low to moderate risk of contamination to the Site.

There was no evidence to suggest an underground storage tank was installed at the Site as:

- Council provided consent for a tank installation (no. 70/135), but the legal identifier of the subject property is consistent with 25 Orchard Road, located approximately 30m north-east of the Site.
- Council indicated the factory on the property with tank installation approval was constructed in 1965, whereas the commercial buildings on the Site were constructed between 1956 and 1961.
- SafeWork NSW did not have any records of fuel infrastructure being installed at the Site.

Notwithstanding the absence of the underground storage tank at the Site, potentially significant contamination constraints that could affect the suitability of the Site for the proposed use as artisan food and drinks premises (micro-brewery) were identified. A soil vapour investigation was undertaken to assess potential vapour exposure risks to users of the Site under the proposed land use setting.

The soil vapour investigation results identified minor detections of petroleum hydrocarbon and volatile organic compounds, although these were well below the screening criteria and do not represent a risk to site users under a commercial/industrial scenario with respect to the current building configuration.

The highest concentrations of hydrocarbon compounds (TRH, BTEX) and associated compounds were detected in sample location SV2, adjacent to the former vehicle wash bay and oil / waste separator. Concentrations of contaminants were otherwise similar across all four sampling locations and no obvious trends were observed.

The detected compounds have been assessed to be a negligible risk to receptors at the Site under the proposed use and current building configuration.



### 10 Conclusions

Metech Consulting was commissioned to undertake a contamination assessment of the property located at 26 Orchard Road, Brookvale, NSW. The Site is proposed to be used as a micro-brewery.

The objectives of the assessment were to:

- Assess current and historical land use operations for the Site and adjacent properties to identify potential on and off-site sources of contamination;
- Determine the nature of potential contaminants (if any) and the potential location(s) of contamination issues across the Site;
- Identify the presence of any significant contamination issues at the Site that may pose a
  potential constraint to the development;
- Assess the potential risk of harm posed by any potentially significant sources of contamination that are identified at the Site based on the current site configuration a and proposed land use setting; and
- Determine the suitability of the Site for the proposed development and use.

A summary of the key findings from the assessment are as follows:

- The Site and adjacent properties have been used for commercial/industrial purposes since the 1960s with previous uses of the Site including clothes manufacture, steel fabrication, concrete formwork/fibre glass manufacturer and car maintenance.
- There is no evidence to suggest the installation of an underground storage tank at the Site.
- The conceptual site model that was developed for the Site determined that based on the current site configuration and details of the proposed use, that the primary potential exposure pathway to contamination that could pose a risk of harm to occupants of the Site was via the vapour intrusion pathway.
- A soil vapour investigation was undertaken to assess this risk pathway, which identified minor detections of petroleum hydrocarbon and volatile organic compounds below the adopted screening criteria.

Based on the results of the soil vapour investigation, it is concluded that there are no unacceptable risks to occupants of the Site under a commercial/industrial land use setting. As only minor changes to the internal layout of the offices are proposed for the change of use to a micro-brewery, the risks will remain low and acceptable, and it is determined that the Site is suitable for the proposed development and intended use.



### 11 References

Contaminated Land Management Act 1997.

- Department of Urban Affairs and Planning (1998) *Planning Guidelines: SEPP 55 (Remediation of Land) Managing Land Contamination*
- Department of Environment, Climate Change and Water (2010) *Vapour Intrusion: Technical Practice Note*.

Environmental Planning and Assessment Act 1979.

Warringah Local Environmental Plan (2011).

- National Environment Protection Council (NEPC 2013) *National Environment Protection (Assessment of Site Contamination) Measure 1999.*
- NSW Environment Protection Authority (EPA 2020) *Contaminated Land Guidelines: Consultants Reporting on Contaminated Land.*
- NSW Environment Protection Authority (EPA 2016) Guidelines for the Assessment and Management of Sites Impacted by Hazardous Ground Gases.
- NSW Environment Protection Authority (EPA 1995) Contaminated Sites: Sampling Design Guidelines.

Protection of the Environment Operations Act 1997.

- USEPA (2020) Screening Levels for Chemical Contaminants at Superfund Sites (latest version May 2020).
- World Health Organisation (WHO) Air Quality Guidelines for Europe, Second Edition, WHO Regional Publications, European Series No 91 (2000), WHO guidelines for Air Quality (2000), WHO Indoor Air Quality Guidelines (2010).



### 12 Limitations

Metech prepared this report in accordance with the scope of work as outlined in our proposals to Bucketty's Brewery Pty Ltd dated 12 June 2020 and 7 July 2020 and in accordance with normal prudent practice and by reference to applicable environmental regulatory authority and industry standards, guidelines and assessment criteria in existence at the date of this report and any previous site investigation and assessment reports referred to in this report.

This report should be read in full and no excerpts are to be taken as representative of the findings. No responsibility is accepted by Metech for use of any part of this report in any other context.

Subsurface conditions can vary across a particular site and cannot be exhaustively defined by the investigations carried out prior to this report. It is unlikely therefore that the results and estimations expressed or used to compile this report will represent conditions at any location removed from the specific points of sampling.

Site conditions may change over time. This report is based on conditions encountered at the Site at the time of the report and Metech disclaims responsibility for any changes that may have occurred after this time.

The conclusions presented in this report represent Metech's professional judgement based on information made available during the course of this assignment and are true and correct to the best of Metech's knowledge as at the date of the assessment.

Metech did not independently verify all of the written or oral information provided to Metech during the course of this investigation. While Metech has no reason to doubt the accuracy of the information provided to it, the report is complete and accurate only to the extent that the information provided to Metech was itself complete and accurate. Metech assumes no liability for any inaccuracies in or omissions to that information.

This report does not purport to give legal advice. This advice can only be given by qualified legal advisors.

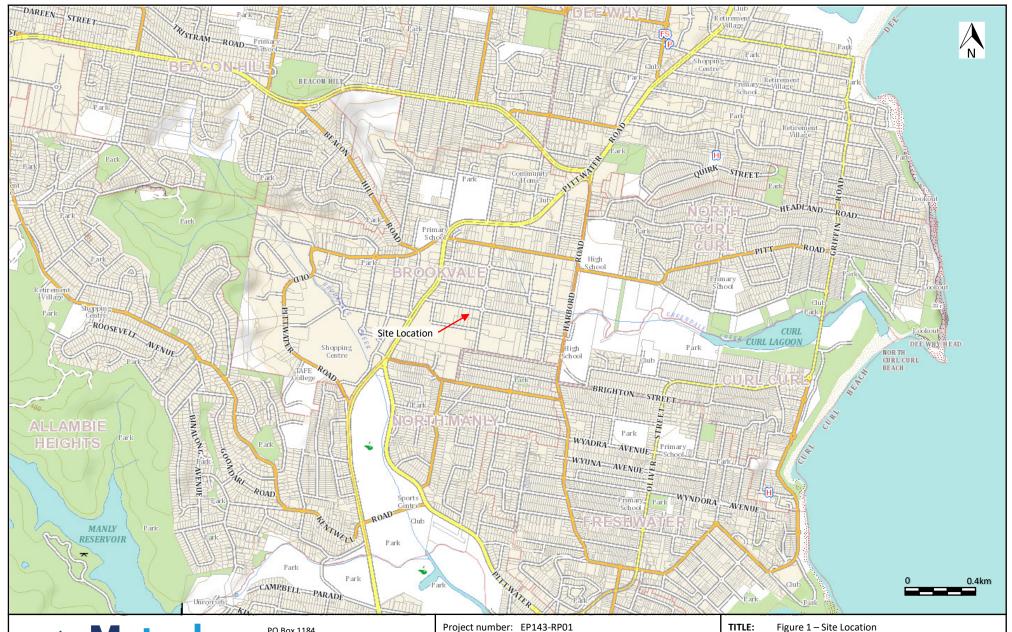
To the extent permitted by law, Metech expressly disclaims and excludes liability for any loss, damage, cost or expenses suffered by any third party relating to or resulting from the use of, or reliance on, any information contained in this report. Metech does not admit that any action, liability or claim may exist or be available to any third party.

#### 12.1 User Reliance

This report has been prepared exclusively for Bucketty's Brewery Pty Ltd and may not be relied upon by any other person or entity without Metech's express written permission.



**Figures** 





PO Box 1184 SUTHERLAND NSW 1499 PH (02) 9575 7755 admin@metech.consulting www.metech.consulting

SIX Maps, 2020 Source:

1.0 Revision:

Date: 15 July 2020

**Contamination Assessment** PROJECT: 26 Orchard Road, Brookvale, NSW

CLIENT: Bucketty's Brewery Pty Ltd





PO Box 1184 SUTHERLAND NSW 1499 PH (02) 9575 7755 admin@metech.consulting www.metech.consulting Project number: EP143-RP01

Source: SIX Maps, Chatswood 17/08/2018

Revision: 1.0

Date: 15 July 2020

**TITLE:** Figure 2 – Site Layout

**PROJECT:** Contamination Assessment 26 Orchard Road, Brookvale, NSW

CLIENT: Bucketty's Brewery Pty Ltd





PO Box 1184 SUTHERLAND NSW 1499 PH (02) 9575 7755 admin@metech.consulting www.metech.consulting Project number: EP143-RP01

Source: SIX Maps, Chatswood 17/08/2018

Revision: 1.0

Date: 20 July 2020

**TITLE:** Figure 3 – Sampling Locations

**PROJECT:** Contamination Assessment 26 Orchard Road, Brookvale, NSW

CLIENT: Bucketty's Brewery Pty Ltd

Appendix A Site Photographs



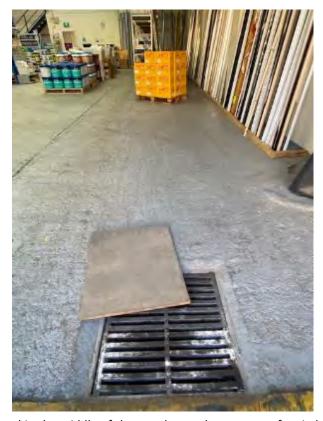
**Photograph 1:** The front of the Site from Orchard Street looking south.



**Photograph 2:** Tiling supplies stored in the warehouse portion of the main building. Stairway to the northern mezzanine storage area in the background.



**Photograph 3:** Tiling supplies stored in rear half (south-western portion) of main building adjacent to rear stairway and south-western mezzanine level.



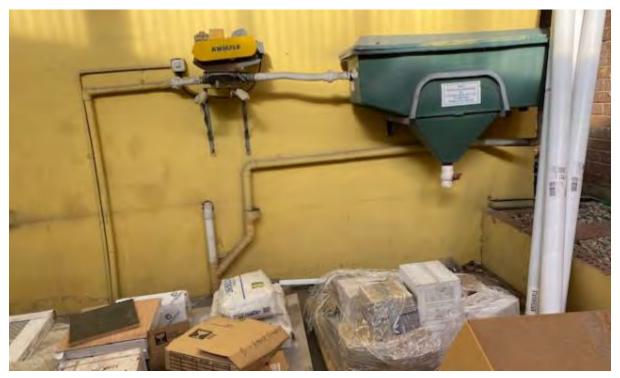
**Photograph 4:** Drain located in the middle of the warehouse door at rear of main building. Photograph taken facing north.



**Photograph 5:** Looking north-west toward the main building and former vehicle car wash with storage building.



**Photograph 6:** Looking west towards the former vehicle car wash with locations of drain and oil / waste separator shown.



**Photograph 7:** The oil / waste separator located in the former vehicle wash bay. Photograph taken facing south.



**Photograph 8:** Inside the storage building in the south-west portion of the site used for tiling supplies storage. Photograph taken facing south.



**Photograph 9:** The storage building in the south-west portion of the site used for tiling supplies storage. Photograph taken facing west.



**Photograph 10** and **11:** Looking west along the driveway located along the southern site boundary towards the storage building in the background and the looking south-west towards the storage building and water tanks.



**Photograph 12:** Looking east at equipment stored on the mezzanine level over the tile display area in the north half of the main building.



**Photograph 13:** Looking north-east towards commercial business located adjacent to the east boundary and north of driveway.



**Photograph 14:** Soil vapour sampling location SV2.



**Photograph 15:** Soil vapour sampling location SV3.

Appendix B Analytical Results Summary Tables



Table 1 Soil Vapour Assessment - 26 Orchard Road, Brookvale NSW Sample Register

Sample ID	Date Sampled	Sample Depth	Sampled By	Sample Type	QC Sample	Analytes Tested <sup>1</sup>
SV1	17/07/2020	225mm	MM	Soil Vapour	-	TRH, BTEXN, VOCs
SV2	17/07/2020	225mm	MM	Soil Vapour	-	TRH, BTEXN, VOCs
SV3	17/07/2020	225mm	MM	Soil Vapour	QC1	TRH, BTEXN, VOCs
SV4	17/07/2020	225mm	MM	Soil Vapour	-	TRH, BTEXN, VOCs
QC1	17/07/2020	225mm	MM	Soil Vapour	SV3	TRH, BTEXN, VOCs

#### Notes:

TRH = Total Recoverable Hydrocarbons

BTEXN = Benzene, Toluene, Ethylbenzene, Xylenes, Napthalene

VOCs = Volatile Organic Compounds



Table 2
Soil Vapour Assessment - 26 Orchard Road, Brookvale NSW
Analytical Results - Total Recoverable Hydrocarbons

All units in mg/m<sup>3</sup>

G:\METECH CONSULTING\EP - Projects\EP143 - Brookvale (Orchard Rd)\09 Report\Tables\[EP143\_RP01 - Appendix F (Result Tables).xlsx]Soil-TRH

					Volatile Tota	al Recoverable I	Hydrocarbons	(TRH/BTEXN)		
Sample ID	Depth	Sampling Date	F1 (C6-C10 less BTEX)	Benzene	Toluene	Ethylbenzene	m,p-Xylene	o-Xylene	Naphthalene	F2 >C <sub>10</sub> -C <sub>12</sub> less Naphthalene
HSL - Vapour Intru	SL - Vapour Intrusion (0 - <1m) <sup>1</sup>			4	4800	1300	84	10	3	500
SV1	225mm (sub-slab)	17/07/2020	0.43	nd	0.02	0.01	0.03	0.01	nd	0.19
SV2	225mm (sub-slab)	17/07/2020	2.20	0.01	0.03	0.02	0.06	0.03	nd	0.18
SV3	225mm (sub-slab)	17/07/2020	0.69	nd	0.02	0.02	0.05	0.02	nd	nd
SV4	225mm (sub-slab)	17/07/2020	0.71	0.01	0.04	0.02	0.05	0.02	nd	0.14
QC1	225mm (sub-slab)	17/07/2020	0.58	nd	0.02	0.02	0.04	0.02	nd	nd

<sup>&</sup>lt;sup>1</sup> Health Screening Levels (HSLs) for Vapour Intrusion - NEPC (2013) National Environment Protection (Assessment of Site Contamination) Measure 1999. Commercial / industrial land use setting, most conservative 'SAND' criteria has been adopted based on no data on geology below slab available.

Above HSL (Vapour Intrusion)

nd: Concentration below laboratory limit of detection. Limits vary. All reviewed and assessed to be below applicable criteria.

<sup>-:</sup> Not applicable



Table 3
Soil Vapour Assessment - 26 Orchard Road, Brookvale NSW
Analytical Results - Volatile Organic Compounds

All units in mg/m<sup>3</sup>

G:\METECH CONSULTING\EP - Projects\EP143 - Brookvale (Orchard Rd)\09 Report\Tables\[EP143\_RP01 - Appendix F (Result Tables).xlsx]Soil-VOC

											Volatile	Organi	c Comp	ounds								
Sample ID	Depth	Sampling Date	Acrolein	Acrylonitrile	tert-Amyl Methyl Ether	Bromodichloromethane	Bromoform	Bromomethane	1,3-Butadiene	2-Butanone (Methyl Ethyl Ketone)	tert-Butyl Alcohol	n-Butylbenzene	sec-Butylbenzene	tert-Butylbenzene	Carbon Tetrachloride	Chlorobenzene	Chloroethane	Chloroform	Chloromethane	2-Chloroprene	3-Chloropropene	2-Chlorotoluene
Screening Criter	ia <sup>1</sup>		٠							50												-
SV1	225mm (sub-slab)	2/01/2019	nd	nd	nd	nd	nd	nd	nd	0.01	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
SV2	225mm (sub-slab)	2/01/2019	nd	nd	nd	nd	nd	nd	nd	0.01	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
SV3	225mm (sub-slab)	2/01/2019	nd	nd	nd	nd	nd	nd	nd	0.00	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
SV4	225mm (sub-slab)	2/01/2019	nd	nd	nd	nd	nd	nd	nd	0.02	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
QC1	225mm (sub-slab)	2/01/2019	nd	nd	nd	nd	nd	nd	nd	0.00	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd

											Volatile	Organi	c Compo	ounds								
Sample ID	Depth	Sampling Date	alpha-Chlorotoluene	Cumene	Cyclohexane	o-Cymene	Dibromochloromethane	1,2-Dibromoethane (EDB)	1,2-Dichlorobenzene	1,3-Dichlorobenzene	1,4-Dichlorobenzene	1,1-Dichloroethane	1,2-Dichloroethane	1,1-Dichloroethene	cis-1,2-Dichloroethene	trans-1,2-Dichloroethene	1,2-Dichloropropane	cis-1,3-Dichloropropene	trans-1,3-Dichloropropene	Diisopropyl Ether	1,4-Dioxane	Ethyl Acetate
Screening Criter	ia <sup>1</sup>		-	4	60																0.3	-
SV1	225mm (sub-slab)	17/07/2020	nd	nd	0.02	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	0.02	nd
SV2	225mm (sub-slab)	17/07/2020	nd	0.01	0.06	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	0.09	nd
SV3	225mm (sub-slab)	17/07/2020	nd	nd	0.02	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
SV4	225mm (sub-slab)	17/07/2020	nd	nd	0.06	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd
QC1	225mm (sub-slab)	17/07/2020	nd	nd	0.02	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd	nd



Table 3
Soil Vapour Assessment - 26 Orchard Road, Brookvale NSW
Analytical Results - Volatile Organic Compounds

All units in mg/m<sup>3</sup>

G:\METECH CONSULTING\EP - Projects\EP143 - Brookvale (Orchard Rd)\09 Report\Tables\[EP143\_RP01 - Appendix F (Result Tables).xlsx]Soil-VOC

											Volatile	Organi	Comp	ounds								
Sample ID	Depth	Sampling Date	Ethyl tert-Butyl Ether	4-Ethyltoluene	Freon 11	Freon 113	Freon 114	Freon 12	Heptane	Hexachlorobutadiene	Hexane	2-Hexanone	Methyl Methacrylate	Methyl tert-butyl ether	4-Methyl-2-pentanone	Propene	Propylbenzene	Styrene	1,1,1,2-Tetrachloroethane	1,1,2,2-Tetrachloroethane	<b>Tetrachloroethene</b>	Tetrahydrofuran
Screening Criter	ia <sup>1</sup>		-					0.10	4		7				30		10					
SV1	225mm (sub-slab)	17/07/2020	nd	0.00	nd	nd	nd	0.003	0.01	nd	0.01	nd	nd	nd	0.01	nd	0.00	nd	nd	nd	nd	nd
SV2	225mm (sub-slab)	17/07/2020	nd	0.01	nd	nd	nd	0.003	0.13	nd	0.09	nd	nd	nd	0.00	nd	0.01	nd	nd	nd	nd	nd
SV3	225mm (sub-slab)	17/07/2020	nd	0.01	0.00	nd	nd	0.008	0.03	nd	0.02	nd	nd	nd	nd	nd	0.01	nd	nd	nd	nd	nd
SV4	225mm (sub-slab)	17/07/2020	nd	0.00	nd	nd	nd	0.003	0.04	nd	0.05	nd	nd	nd	nd	nd	0.00	nd	nd	nd	nd	nd
QC1	225mm (sub-slab)	17/07/2020	nd	0.00	0.00	nd	nd	0.008	0.02	nd	0.01	nd	nd	nd	nd	nd	0.00	nd	nd	nd	nd	nd

	ning Criteria <sup>1</sup> SV1 225mm (sub-slab) 17  SV2 225mm (sub-slab) 17					Volatile	Organi	c Compo	ounds			
Sample ID	Depth	Sampling Date	1,2,4-Trichlorobenzene	1,1,1-Trichloroethane	1,1,2-Trichloroethane	Trichloroethene	1,2,4-Trimethylbenzene	1,3,5-Trimethylbenzene	2,2,4-Trimethylpentane	Vinyl Acetate	Vinyl Bromide	Vinyl Chloride
Screening Criter	ia <sup>1</sup>			230.0			0.60	0.60				
SV1	225mm (sub-slab)	17/07/2020	nd	0.004	nd	nd	0.045	0.012	nd	nd	nd	nd
SV2	225mm (sub-slab)	17/07/2020	nd	0.016	nd	nd	0.057	0.017	nd	nd	nd	nd
SV3	225mm (sub-slab)	17/07/2020	nd	nd	nd	nd	0.040	0.010	nd	nd	nd	nd
SV4	225mm (sub-slab)	17/07/2020	nd	nd	nd	nd	0.045	0.010	nd	nd	nd	nd
QC1	225mm (sub-slab)	17/07/2020	nd	nd	nd	nd	0.029	0.007	nd	nd	nd	nd

 $<sup>^{1}</sup>$  Refer to Section 5.3 and Table 6.1 in text for reference to screening criteria source.

Above screening criteria

nd: Concentration below laboratory limit of detection. Limits vary. All reviewed and assessed to be below applicable criteria.

<sup>-:</sup> Not applicable



Table 4
Soil Vapour Assessment - 26 Orchard Road, Brookvale NSW
Relative Percentage Difference Calculations

All units in mg/m<sup>3</sup>, except RPDs

G:\METECH CONSULTING\EP - Projects\EP143 - Brookvale (Orchard Rd)\09 Report\Tables\[EP143\_RP01 - Appendix F (Result Tables).xlsx]RPD - TRH

Only compounds detected have been included in tables.

				Volatile To	otal Recoverable I	Hydrocarbons (TF	RH/BTEXN)		
Туре	Sample ID	F1 (C6-C10 less BTEX)	Benzene	Toluene	Ethylbenzene	m,p-Xylene	o-Xylene	Naphthalene	F2 >C <sub>10</sub> -C <sub>12</sub> less Naphthalene
Original	SV3	0.69	nd	0.02	0.02	0.05	0.02	nd	nd
Duplicate	QC1	0.58	nd	0.02	0.02	0.04	0.02	nd	nd
RPDs (Dup.)	-	17	N/A	40	40	41	38	N/A	N/A

						Volatile Organ	ic Compounds			
Туре	Sample ID	2-Butanone (Methyl Ethyl Ketone)	Cyclohexane	4-Ethyltoluene	Freon 11	Freon 12	Heptane	Hexane	Propylbenzene	1,2,4-Trimethylbenzene
Original	SV3	0.00	0.02	0.01	0.00	0.008	0.03	0.02	0.01	0.040
Duplicate	QC1	0.00	0.02	0.00	0.00	0.008	0.02	0.01	0.00	0.029
RPDs (Dup.)	-	11	46	32	7	4	30	47	27	32

BOLD = PQL used to calculate RPD value

Appendix C Environmental Risk and Planning Report



Date: 22 Jun 2020 16:23:10 Reference: LS013024 EP

Address: 26 Orchard Road, Brookvale, NSW 2100

#### Disclaimer:

The purpose of this report is to provide an overview of some of the site history, environmental risk and planning information available, affecting an individual address or geographical area in which the property is located. It is not a substitute for an on-site inspection or review of other available reports and records. It is not intended to be, and should not be taken to be, a rating or assessment of the desirability or market value of the property or its features. You should obtain independent advice before you make any decision based on the information within the report. The detailed terms applicable to use of this report are set out at the end of this report.

# **Dataset Listing**

Datasets contained within this report, detailing their source and data currency:

Dataset Name	Custodian	Supply Date	Currency Date	Update Frequency	Dataset Buffer (m)	No. Features Onsite	No. Features within 100m	No. Features within Buffer
Cadastre Boundaries	NSW Department of Finance, Services & Innovation	13/05/2020	13/05/2020	Quarterly	-	-	-	-
Topographic Data	NSW Department of Finance, Services & Innovation	25/06/2019	25/06/2019	As required	-	-	-	-
List of NSW contaminated sites notified to EPA	Environment Protection Authority	15/06/2020	15/06/2020	Monthly	1000	0	0	9
Contaminated Land Records of Notice	Environment Protection Authority	25/05/2020	25/05/2020	Monthly	1000	0	0	0
Former Gasworks	Environment Protection Authority	22/06/2020	11/10/2017	Monthly	1000	0	0	0
National Waste Management Facilities Database	Geoscience Australia	15/05/2020	07/03/2017	Quarterly	1000	0	0	0
National Liquid Fuel Facilities	Geoscience Australia	05/02/2020	13/07/2012	Quarterly	1000	0	0	4
EPA PFAS Investigation Program	Environment Protection Authority	25/05/2020	25/05/2020	Monthly	2000	0	0	0
Defence PFAS Investigation & Management Program - Investigation Sites	Department of Defence	12/02/2020	12/02/2020	Monthly	2000	0	0	0
Defence PFAS Investigation & Management Program - Management Sites	Department of Defence	12/02/2020	12/02/2020	Monthly	2000	0	0	0
Airservices Australia National PFAS Management Program	Airservices Australia	25/05/2020	23/04/2020	Monthly	2000	0	0	0
Defence 3 Year Regional Contamination Investigation Program	Department of Defence	05/06/2020	05/06/2020	Monthly	2000	0	0	0
EPA Other Sites with Contamination Issues	Environment Protection Authority	04/02/2020	13/12/2018	Annually	1000	0	0	0
Licensed Activities under the POEO Act 1997	Environment Protection Authority	15/06/2020	15/06/2020	Monthly	1000	0	0	3
Delicensed POEO Activities still regulated by the EPA	Environment Protection Authority	15/06/2020	15/06/2020	Monthly	1000	0	0	6
Former POEO Licensed Activities now revoked or surrendered	Environment Protection Authority	15/06/2020	15/06/2020	Monthly	1000	0	1	5
UBD Business Directories (Premise & Intersection Matches)	Hardie Grant			Not required	100	14	818	818
UBD Business Directories (Road & Area Matches)	Hardie Grant			Not required	100	-	36	36
UBD Business Directory Dry Cleaners & Motor Garages/Service Stations (Premise & Intersection Matches)	Hardie Grant			Not required	250	0	43	143
UBD Business Directory Dry Cleaners & Motor Garages/Service Stations (Road & Area Matches)	Hardie Grant			Not required	250	-	6	83
Points of Interest	NSW Department of Finance, Services & Innovation	30/03/2020	30/03/2020	Quarterly	1000	0	0	30
Tanks (Areas)	NSW Department of Customer Service - Spatial Services	30/03/2020	30/03/2020	Quarterly	1000	0	0	0
Tanks (Points)	NSW Department of Customer Service - Spatial Services	30/03/2020	30/03/2020	Quarterly	1000	0	0	0
Major Easements	NSW Department of Finance, Services & Innovation	30/03/2020	30/03/2020	Quarterly	1000	0	0	20
State Forest	Forestry Corporation of NSW	18/01/2018	18/01/2018	As required	1000	0	0	0
NSW National Parks and Wildlife Service Reserves	NSW Office of Environment & Heritage	21/01/2020	30/09/2019	•	1000	0	0	0
Hydrogeology Map of Australia	Commonwealth of Australia (Geoscience Australia)	08/10/2014	17/03/2000	As required	1000	1	1	1
Botany Groundwater Management Zones	NSW Department of Planning, Industry and Environment	15/03/2018	01/10/2005	As required	1000	0	0	0

Dataset Name	Custodian	Supply Date	Currency Date	Update Frequency	Dataset Buffer (m)	No. Features Onsite	No. Features within 100m	No. Features within Buffer
Groundwater Boreholes	NSW Dept. of Primary Industries - Water NSW; Commonwealth of Australia (Bureau of Meteorology)	24/07/2018	23/07/2018	Annually	2000	0	3	46
Geological Units 1:100,000	NSW Department of Planning, Industry and Environment	20/08/2014		None planned	1000	1	-	4
Geological Structures 1:100,000	NSW Department of Planning, Industry and Environment	20/08/2014		None planned	1000	0	-	8
Naturally Occurring Asbestos Potential	NSW Dept. of Industry, Resources & Energy	04/12/2015	24/09/2015	Unknown	1000	0	0	0
Atlas of Australian Soils	Australian Bureau of Agriculture and Resource Economics and Sciences (ABARES)	19/05/2017	17/02/2011	As required	1000	1	1	1
Soil Landscapes	NSW Department of Planning, Industry and Environment	12/08/2014		None planned	1000	1	-	6
Environmental Planning Instrument Acid Sulfate Soils	NSW Department of Planning, Industry and Environment	11/06/2020	01/05/2020	Monthly	500	1	-	-
Atlas of Australian Acid Sulfate Soils	CSIRO	19/01/2017	21/02/2013	As required	1000	2	2	2
Dryland Salinity - National Assessment	National Land and Water Resources Audit	18/07/2014	12/05/2013	None planned	1000	0	0	0
Dryland Salinity Potential of Western Sydney	NSW Department of Planning, Industry and Environment	12/05/2017	01/01/2002	None planned	1000	-	-	-
Mining Subsidence Districts	NSW Department of Customer Service - Subsidence Advisory NSW	30/03/2020	30/03/2020	Quarterly	1000	0	0	0
Environmental Planning Instrument SEPP State Significant Precincts	NSW Department of Planning, Industry and Environment	11/06/2020	07/12/2018	Monthly	1000	0	0	0
Environmental Planning Instrument Land Zoning	NSW Department of Planning, Industry and Environment	11/06/2020	05/06/2020	Monthly	1000	1	1	44
Commonwealth Heritage List	Australian Government Department of the Agriculture, Water and the Environment	18/05/2020	20/11/2019	Quarterly	1000	0	0	0
National Heritage List	Australian Government Department of the Agriculture, Water and the Environment	18/05/2020	20/11/2019	Quarterly	1000	0	0	0
State Heritage Register - Curtilages	NSW Department of Planning, Industry and Environment	12/02/2020	09/11/2018	Quarterly	1000	0	0	0
Environmental Planning Instrument Heritage	NSW Department of Planning, Industry and Environment	11/06/2020	05/06/2020	Monthly	1000	0	0	12
Bush Fire Prone Land	NSW Rural Fire Service	04/02/2020	14/12/2019	Quarterly	1000	0	0	2
Native Vegetation of the Sydney Metropolitan Area	NSW Office of Environment & Heritage	01/03/2017	16/12/2016	As required	1000	0	0	10
Ramsar Wetlands of Australia	Department of the Agriculture, Water and the Environment	08/10/2014	24/06/2011	As required	1000	0	0	0
Groundwater Dependent Ecosystems	Bureau of Meteorology	14/08/2017	15/05/2017	Unknown	1000	0	0	0
Inflow Dependent Ecosystems Likelihood	Bureau of Meteorology	14/08/2017	15/05/2017	Unknown	1000	0	0	0
NSW BioNet Species Sightings	NSW Office of Environment & Heritage	22/06/2020	22/06/2020	Weekly	10000	-	-	-

# **Site Diagram**

26 Orchard Road, Brookvale, NSW 2100

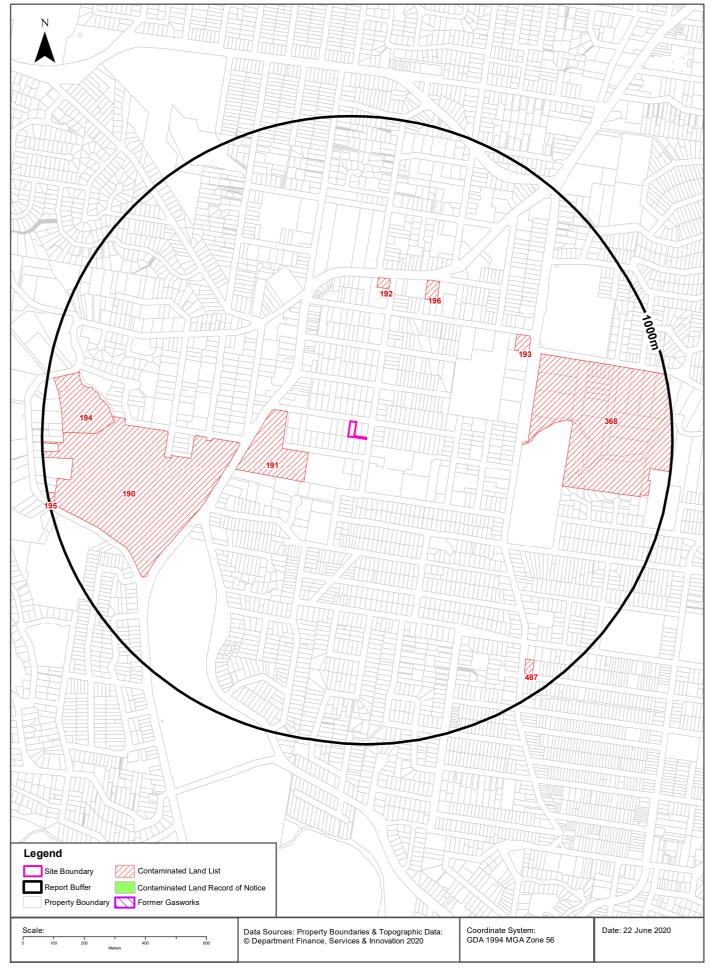




#### **Contaminated Land**

26 Orchard Road, Brookvale, NSW 2100





# **Contaminated Land**

26 Orchard Road, Brookvale, NSW 2100

#### List of NSW contaminated sites notified to EPA

Records from the NSW EPA Contaminated Land list within the dataset buffer:

Map Id	Site	Address	Suburb	Activity	Management Class	Status	Location Confidence	Dist (m)	Direction
191	Brookvale Bus Depot	630-636 Pittwater Road	Brookvale	Other Petroleum	Regulation under CLM Act not required	Current EPA List	Premise Match	139m	West
190	Warringah Mall	Cnr Condamine Street, Old Pittwater Rd & Cross Street	Brookvale	Other Industry	Regulation under CLM Act not required	Current EPA List	Premise Match	354m	West
192	Caltex Service Station Brookvale	740-742 Pittwater Road	Brookvale	Service Station	Regulation under CLM Act not required	Current EPA List	Premise Match	448m	North
196	Woolworths Petrol Brookvale	756 Pittwater Road	Brookvale	Service Station	Regulation under CLM Act not required	Current EPA List	Premise Match	462m	North East
368	John Fisher Park	Corner Harbord and Abbott Roads	Curl Curl	Landfill	Regulation under CLM Act not required	Current EPA List	Premise Match	509m	East
193	Coles Express Service Station Brookvale	198 Harbord ROAD	Brookvale	Service Station	Regulation under CLM Act not required	Current EPA List	Premise Match	562m	North East
194	Harrison Manufacturin g	75 Old Pittwater Road	Brookvale	Other Industry	Regulation under CLM Act not required	Current EPA List	Premise Match	764m	West
487	Prime Service Station Freshwater	117 Harbord Road	Freshwater	Service Station	Regulation under CLM Act not required	Current EPA List	Premise Match	888m	South East
195	Littles Dry Cleaning	123 Old Pittwater Road	Brookvale	Other Industry	Regulation under CLM Act not required	Current EPA List	Premise Match	976m	West

The values within the EPA site management class in the table above, are given more detailed explanations in the table below:

EPA site management class	Explanation
Contamination being managed via the planning process (EP&A Act)	The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. The contamination of this site is managed by the consent authority under the Environmental Planning and Assessment Act 1979 (EP&A Act) planning approval process, with EPA involvement as necessary to ensure significant contamination is adequately addressed. The consent authority is typically a local council or the Department of Planning and Environment.
Contamination currently regulated under CLM Act	The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). Management of the contamination is regulated by the EPA under the CLM Act. Regulatory notices are available on the EPA's Contaminated Land Public Record of Notices.
Contamination currently regulated under POEO Act	The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation. Management of the contamination is regulated under the Protection of the Environment Operations Act 1997 (POEO Act). The EPA's regulatory actions under the POEO Act are available on the POEO public register.

EPA site management class	Explanation
Contamination formerly regulated under the CLM Act	The EPA has determined that the contamination is no longer significant enough to warrant regulation under the Contaminated Land Management Act 1997 (CLM Act). The contamination was addressed under the CLM Act.
Contamination formerly regulated under the POEO Act	The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed under the Protection of the Environment Operations Act 1997 (POEO Act).
Contamination was addressed via the planning process (EP&A Act)	The EPA has determined that the contamination is no longer significant enough to warrant regulation. The contamination was addressed by the appropriate consent authority via the planning process under the Environmental Planning and Assessment Act 1979 (EP&A Act).
Ongoing maintenance required to manage residual contamination (CLM Act)	The EPA has determined that ongoing maintenance, under the Contaminated Land Management Act 1997 (CLM Act), is required to manage the residual contamination. Regulatory notices under the CLM Act are available on the EPA's Contaminated Land Public Record of Notices.
Regulation being finalised	The EPA has completed an assessment of the contamination and decided that the contamination is significant enough to warrant regulation under the Contaminated Land Management Act 1997. A regulatory approach is being finalised.
Regulation under the CLM Act not required	The EPA has completed an assessment of the contamination and decided that regulation under the Contaminated Land Management Act 1997 is not required.
Under assessment	The contamination is being assessed by the EPA to determine whether regulation is required. The EPA may require further information to complete the assessment. For example, the completion of management actions regulated under the planning process or Protection of the Environment Operations Act 1997. Alternatively, the EPA may require information via a notice issued under s77 of the Contaminated Land Management Act 1997 or issue a Preliminary Investigation Order.

NSW EPA Contaminated Land List Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

# **Contaminated Land**

26 Orchard Road, Brookvale, NSW 2100

#### **Contaminated Land: Records of Notice**

Record of Notices within the dataset buffer:

Map Id	Name	Address	Suburb	Notices	Area No	Location Confidence	Distance	Direction
N/A	No records in buffer							

Contaminated Land Records of Notice Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority Terms of use and disclaimer for Contaminated Land: Record of Notices, please visit http://www.epa.nsw.gov.au/clm/clmdisclaimer.htm

#### **Former Gasworks**

Former Gasworks within the dataset buffer:

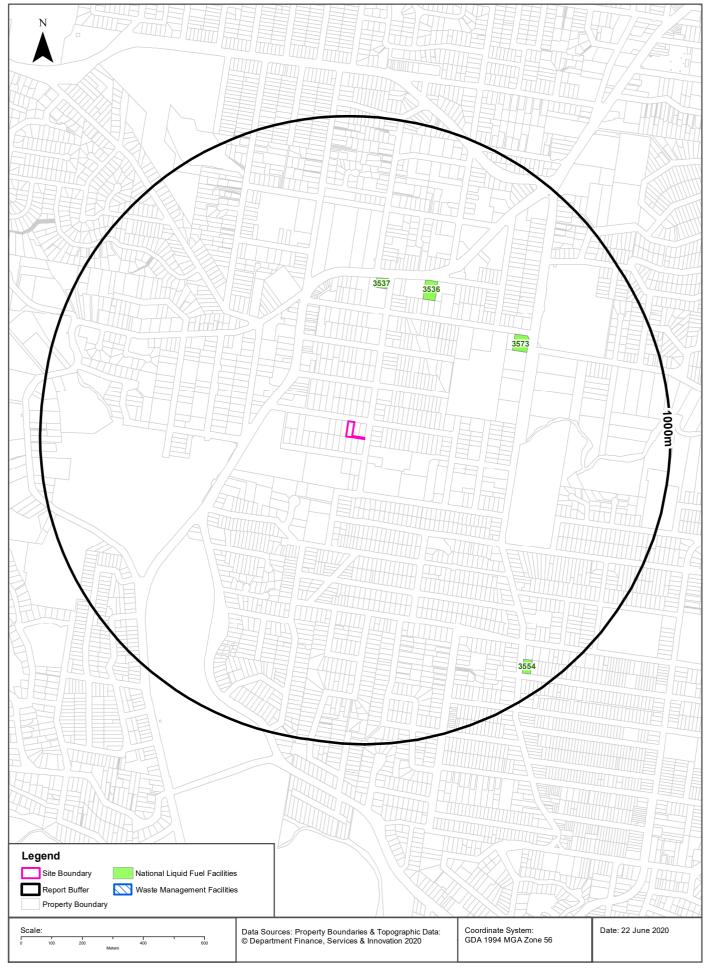
Map Id	Location	Council	Further Info	Location Confidence	Distance	Direction
N/A	No records in buffer					

Former Gasworks Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

# **Waste Management & Liquid Fuel Facilities**

26 Orchard Road, Brookvale, NSW 2100





# **Waste Management & Liquid Fuel Facilities**

26 Orchard Road, Brookvale, NSW 2100

# **National Waste Management Site Database**

Sites on the National Waste Management Site Database within the dataset buffer:

Site Id	Owner	Name	Address	Suburb	Class	Landfill	Reprocess	Transfer	Comments	Loc Conf	Dist (m)	Direction
	No records in buffer											

Waste Management Facilities Data Source: Geoscience Australia Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

# **National Liquid Fuel Facilities**

National Liquid Fuel Facilties within the dataset buffer:

Map Id	Owner	Name	Address	Suburb	Class	Operational Status	Operator	Revision Date	Loc Conf	Dist (m)	Direction
3537	Caltex	Caltex Brookvale	740 Pittwater Road	Brookvale	Petrol Station	Operational		25/07/2011	Premise Match	448m	North
3536	Caltex	Woolworths Caltex Brookvale	754-756 Pittwater Road	Brookvale	Petrol Station	Operational		25/07/2011	Premise Match	462m	North East
3573	Shell	Coles Express Brookvale	5 Winbourne Road	Brookvale	Petrol Station	Operational		25/07/2011	Premise Match	562m	North East
3554	Independen t Fuel Supplies	Mobil Harbord	111 Wyuna Avenue	Freshwater	Petrol Station	Operational		25/07/2011	Premise Match	888m	South East

National Liquid Fuel Facilities Data Source: Geoscience Australia Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

# **PFAS Investigation & Management Programs**

26 Orchard Road, Brookvale, NSW 2100

#### **EPA PFAS Investigation Program**

Sites that are part of the EPA PFAS investigation program, within the dataset buffer:

ld	Site	Address	Loc Conf	Dist	Dir
N/A	No records in buffer				

EPA PFAS Investigation Program: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

# **Defence PFAS Investigation Program**

Sites being investigated by the Department of Defence for PFAS contamination within the dataset buffer:

Map ID	Base Name	Address	Loc Conf	Dist	Dir
N/A	No records in buffer				

Defence PFAS Investigation Program Data Custodian: Department of Defence, Australian Government

# **Defence PFAS Management Program**

Sites being managed by the Department of Defence for PFAS contamination within the dataset buffer:

N	lap ID	Base Name	Address	Loc Conf	Dist	Dir
N	I/A	No records in buffer				

Defence PFAS Management Program Data Custodian: Department of Defence, Australian Government

# Airservices Australia National PFAS Management Program

Sites being investigated or managed by Airservices Australia for PFAS contamination within the dataset buffer:

Map ID	Site Name	Impacts	Loc Conf	Dist	Dir
N/A	No records in buffer				

Airservices Australia National PFAS Management Program Data Custodian: Airservices Australia

# **Defence Sites**

26 Orchard Road, Brookvale, NSW 2100

# **Defence 3 Year Regional Contamination Investigation Program**

Sites which have been assessed as part of the Defence 3 Year Regional Contamination Investigation Program within the dataset buffer:

Property ID	Base Name	Address	Known Contamination	Loc Conf	Dist	Dir
N/A	No records in buffer					

Defence 3 Year Regional Contamination Investigation Program, Data Custodian: Department of Defence, Australian Government

# **EPA Other Sites with Contamination Issues**

26 Orchard Road, Brookvale, NSW 2100

# **EPA Other Sites with Contamination Issues**

This dataset contains other sites identified on the EPA website as having contamination issues. This dataset currently includes:

- · James Hardie asbestos manufacturing and waste disposal sites
- · Radiological investigation sites in Hunter's Hill
- · Pasminco Lead Abatement Strategy Area

#### Sites within the dataset buffer:

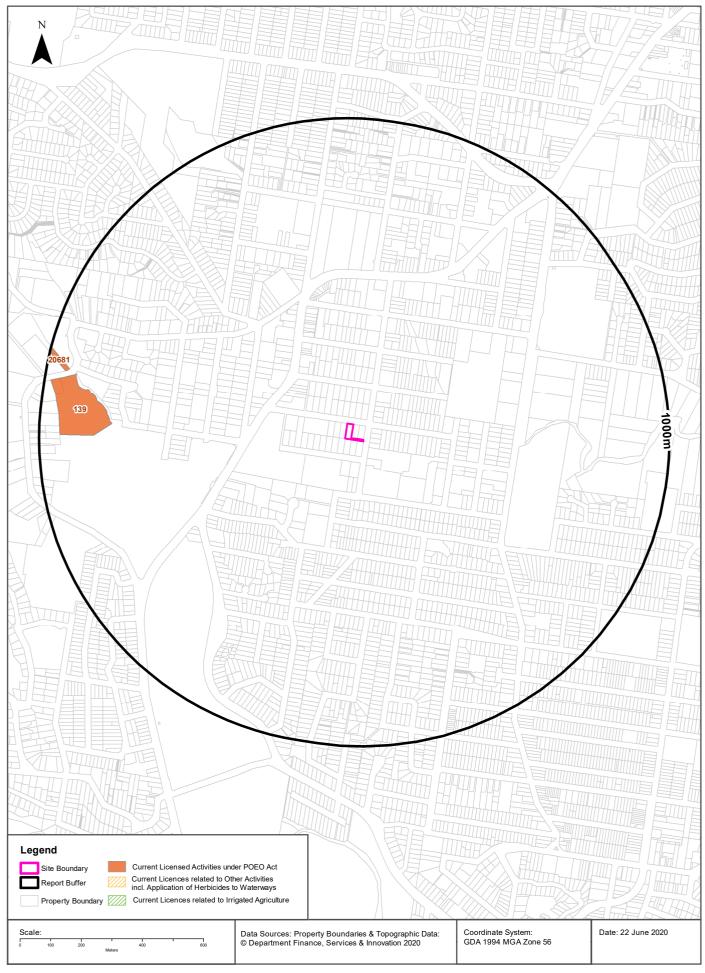
Site Id	Site Name	Site Address	Dataset	Comments	Location Confidence	Distance	Direction
N/A	No records in buffer						

EPA Other Sites with Contamination Issues: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

# **Current EPA Licensed Activities**

26 Orchard Road, Brookvale, NSW 2100





# **EPA Activities**

26 Orchard Road, Brookvale, NSW 2100

# **Licensed Activities under the POEO Act 1997**

Licensed activities under the Protection of the Environment Operations Act 1997, within the dataset buffer:

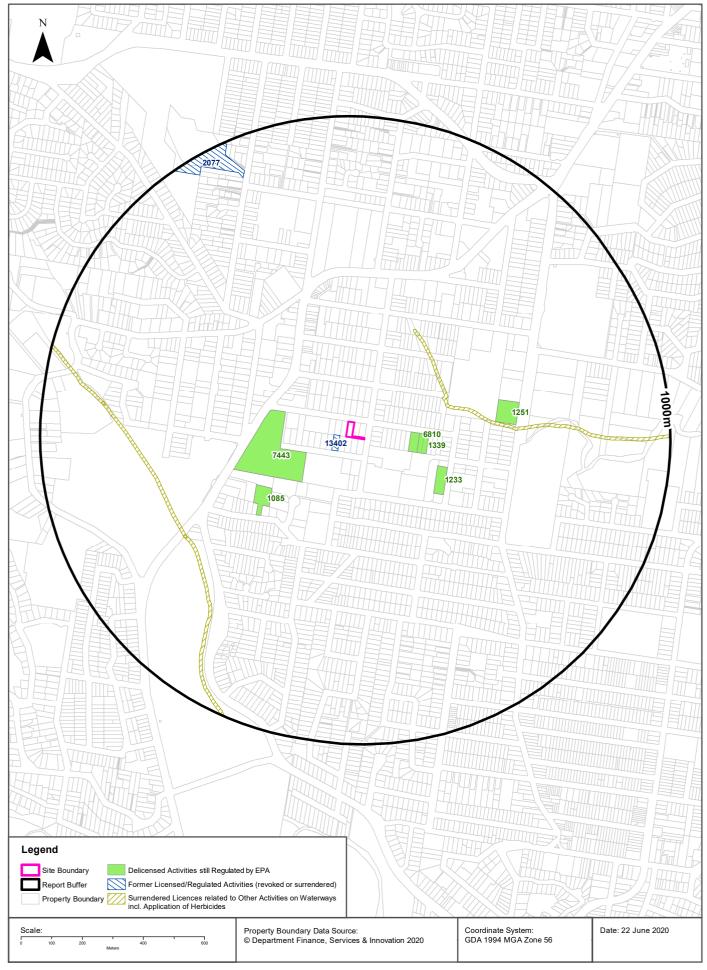
EPL	Organisation	Name	Address	Suburb	Activity	Loc Conf	Distance	Direction
139	HARRISON MANUFACTURING CO PTY LIMITED	HARRISON MANUFACTURING CO PTY LTD	75 OLD PITTWATER ROAD	BROOKVALE	Petroleum products and fuel production	Premise Match	764m	West
20681	Cozens Paper Recycling Pty Ltd		UNIT 3 100 OLD PITTWATER ROAD, BROOKVALE, NSW 2100		Resource recovery	Premise Match	925m	West
20681	Cozens Paper Recycling Pty Ltd		UNIT 3 100 OLD PITTWATER ROAD, BROOKVALE, NSW 2100		Waste storage	Premise Match	925m	West

POEO Licence Data Source: Environment Protection Authority
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# **Delicensed & Former Licensed EPA Activities**

26 Orchard Road, Brookvale, NSW 2100





#### **EPA Activities**

26 Orchard Road, Brookvale, NSW 2100

# **Delicensed Activities still regulated by the EPA**

Delicensed activities still regulated by the EPA, within the dataset buffer:

Licence No	Organisation	Name	Address	Suburb	Activity	Loc Conf	Distance	Direction
7443	STATE TRANSIT AUTHORITY OF NSW	BROOKVALE BUS DEPOT	630-636 PITTWATER ROAD	BROOKVALE	Hazardous, Industrial or Group A Waste Generation or Storage	Premise Match	139m	West
6810	HANNAH ZEV HOLDINGS PTY LIMITED	COLORMAKER INDUSTRIES AUSTRALIA	44 ORCHARD ROAD	BROOKVALE	Hazardous, Industrial or Group A Waste Generation or Storage	Premise Match	147m	East
1339	HANSON CONSTRUCTION MATERIALS PTY LTD	HANSON CONSTRUCTIO N MATERIALS PTY LTD	46 ORCHARD ROAD	BROOKVALE	Concrete works	Premise Match	175m	East
1233	BORAL RESOURCES (NSW) PTY LTD	BORAL CONCRETE	2-10 ADA AVE	BROOKVALE	Concrete works	Premise Match	254m	South East
1085	HOLCIM (AUSTRALIA) PTY LTD	BROOKVALE CONCRETE	18 WILLIAM STREET	BROOKVALE	Concrete works	Premise Match	296m	South West
1251	HYMIX AUSTRALIA PTY LIMITED	HYMIX AUSTRALIA PTY LTD	192 HARBORD ROAD	BROOKVALE	Concrete works	Premise Match	430m	East

Delicensed Activities Data Source: Environment Protection Authority

© State of New South Wales through the Environment Protection Authority

# Former Licensed Activities under the POEO Act 1997, now revoked or surrendered

Former Licensed activities under the Protection of the Environment Operations Act 1997, now revoked or surrendered, within the dataset buffer:

Licence No	Organisation	Location	Status	Issued Date	Activity	Loc Conf	Distance	Direction
13402	URETHANE COATINGS PTY LTD	10 Powells Road, BROOKVALE, NSW 2100	Surrendered	18/05/2011	Toxic substances production	Premise Match	20m	South West
4653	LUHRMANN ENVIRONMENT MANAGEMENT PTY LTD	WATERWAYS THROUGHOUT NSW	Surrendered	06/09/2000	Other Activities / Non Scheduled Activity - Application of Herbicides	Network of Features	285m	-
4838	Robert Orchard	Various Waterways throughout New South Wales - SYDNEY NSW 2000	Surrendered	07/09/2000	Other Activities / Non Scheduled Activity - Application of Herbicides	Network of Features	285m	-
6630	SYDNEY WEED & PEST MANAGEMENT PTY LTD	WATERWAYS THROUGHOUT NSW - PROSPECT, NSW, 2148	Surrendered	09/11/2000	Other Activities / Non Scheduled Activity - Application of Herbicides	Network of Features	285m	-
2077	THE AUSTRAL BRICK CO PTY LTD	FEDERAL PARADE, BROOKVALE, NSW 2100	Surrendered	27/09/1999	Ceramics production	Premise Match	869m	North West

Former Licensed Activities Data Source: Environment Protection Authority © State of New South Wales through the Environment Protection Authority

# **Historical Business Directories**







### **Historical Business Directories**

26 Orchard Road, Brookvale, NSW 2100

## **Business Directory Records 1950-1991 Premise or Road Intersection Matches**

Universal Business Directory records from years 1991, 1986, 1982, 1978, 1975, 1970, 1965, 1961 & 1950, mapped to a premise or road intersection within the dataset buffer:

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
1	Manhole Covers &/or Gratings	Crouch C.S, 26 Orchard Rd., Brookvale 2100	51184	1991	Premise Match	0m	On-site
	Steel Fabricators	Crouch C.S., 26 Orchard Rd Brookvale 2100	63355	1991	Premise Match	0m	On-site
	GRATE &/OR GRID MFRS.	Crouch, C S, 26 Orchard Rd., Brookvale. 2100	40184	1986	Premise Match	0m	On-site
	STEEL FABRICATORS.	Crouch, C. S., 26 Orchard Rd., Brookvale. 2100	88909	1986	Premise Match	0m	On-site
	ENGINEERS-GENERAL &/OR MANUFACTURING &/OR MECHANICAL. (E7140)	Crouch, C. S., 26 Orchard Rd., Brookvale. 2100.	27946	1982	Premise Match	0m	On-site
	STEEL FABRICATORS, (S6105)	Crouch, C. S., 26 Orchard Rd., Brookvale. 2100.	76869	1982	Premise Match	0m	On-site
	FIBREGLASS PRODUCTS MFRS. MOULDING, FABRICATING EXTRUSIONS.	Toby Construction Products Pty. Ltd., 26 Orchard Rd, Brookvale. 2100	27411	1978	Premise Match	0m	On-site
	CONCRETE ADDITIVES- COLOURING - WATER PROOFING ETC. MFRS. &/OR DISTS.	Toby Construction Products Pty. Ltd., 26 Orchard Rd., Brookvale. 2100	15804	1978	Premise Match	0m	On-site
	CONCRETE FORMWORK & FORMPLY MFRS. &/OR SUPPLIERS.	Toby Construction Products Pty. Ltd., 26 Orchard Rd., Brookvale. 2100	15881	1978	Premise Match	0m	On-site
	CLOTHING MFRS &/OR W/SALERS - BLOUSES	McGarry, J & M J., 26 Orchard Rd., Brookvale	282223	1970	Premise Match	0m	On-site
	CLOTHING MFRS. &/OR W/SALERS SPORTSWEAR	McGarry., J & M J 26 Orchard Rd., Brookvale	283670	1970	Premise Match	0m	On-site
	Clothing Mfrs. &/or W'salers - Blouses	McGarry, J. & M. J., 26 Orchard Rd., Brookvale	66872	1965	Premise Match	0m	On-site
	Clothing Mfrs. &/or W'salers - Sportswear	McGarry, J. & M. J., 26 Orchard Rd., Brookvale	68369	1965	Premise Match	0m	On-site
	CLOTHING MFRS. &/OR W'SALERS-GENERAL	McGarry, M. J., 26-28 Orchard Rd., Brookvale	289519	1961	Premise Match	0m	On-site
2	Stationers Manufacturing	Admiral Plastics Pty Ltd, 4 Powells Rd Brookvale 2100	63193	1991	Premise Match	0m	South
	PHARMACEUTICAL & INDUSTRIAL ENZYMES MFRS. &/OR DISTS.(P3206)	Carter-Wallace (Aust.) Pty. Ltd., 4 Powells Rd., Brookvale. 2100.	63347	1982	Premise Match	0m	South
	ELECTRICAL SUPPLIES &/OR APPLIANCES - WHOLESALE.	Goldex Trading Co. Pty. Ltd., 4 Powells Rd., Brookvale. 2100	22961	1978	Premise Match	0m	South
	ELECTRICAL SUPPLIES &/OR APPLIANCES-W/SALE	Goldex Trading Co. Pty. Ltd., 4 Powells Rd., Brookvale. 2100	26586	1975	Premise Match	0m	South
3	Music Systems Background	Australia Music Pty. Ltd. 2 Powells Rd. Brookvale. 2100	55776	1991	Premise Match	0m	South East
	MUSICAL INSTRUMENT MFRS. &/OR IMPS.	Australia Music Pty. Ltd., 2 Powells Rd., Brookvale. 2100	69019	1986	Premise Match	0m	South East
	MOTOR ACCESSORIES DEALERS.	Auto Sun & Air Pty. Ltd., 2 Powells Rd., Brookvale. 2100	56075	1975	Premise Match	0m	South East
	MOTOR BODY REPAIRS &/OR CONVERTERS.	Buckle, B. Auto Conversions Pty. Ltd., 2 Powells Rd., Brookvale. 2100	56622	1975	Premise Match	0m	South East

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
3	AIR CONDITIONING SALES &/OR SERVICE	Buckle, B. Auto Conversions Pty. Ltd., 2 Powells Rd., Brookvale. 2100.	1690	1975	Premise Match	0m	South East
4	Motor Body Builders	Brookvale Smash Repairs, 24 Orchard Rd., Brookvale 2100	52100	1991	Premise Match	0m	West
	Motor Panel Beaters &/or Spray Painters	Brookvale Smash Repairs, 24 Orchard Rd., Brookvale 2100	54230	1991	Premise Match	0m	West
	Motor Panel Beaters &/or Spray Painters	Brookvale Smash Repairs, 24 Orchard Rd., Brookvale 2100	97056	1991	Premise Match	0m	West
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS.	Brookvale Smash Repairs 24 Orchard Road, Brookvale. 2100	65952	1986	Premise Match	0m	West
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS.	Brookvale Smash Repairs, 24 Orchard Rd., Brookvale. 2100	66134	1986	Premise Match	0m	West
	FURNITURE - OFFICE - RETAIL.(F8805)	Bryvord Design Pty. Ltd., 24 Orchard Rd Brookvale. 2100.	35362	1982	Premise Match	0m	West
	FURNITURE - CONTEMPORARY MFRS, &/W/SALERS. (F7400)	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100.	34459	1982	Premise Match	0m	West
	FURNITURE - CUSTOM BUILT - MFRS. &/OR W/SALERS. (F7445)	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100.	34492	1982	Premise Match	0m	West
	FURNITURE MFRS. &/OR. W/SALERS OFFICE. (F8675)	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100.	35264	1982	Premise Match	0m	West
	FURNITURE-GENERAL- MFRS.&/OR W/SALERS. (F7675)	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100.	34947	1982	Premise Match	0m	West
	FURNITURE-GENERAL-MFRS. &/OR W/SALERS.	Bryvord Design Pty, Ltd., 24 Orchard Rd., Brookvale. 2100	31561	1978	Premise Match	0m	West
	FURNITURE-CONTEMPORARY MFRS. &/W/SALERS.	Bryvord Design Pty. Ltd, 24 Orchard Rd., Brookvale. 2100	31298	1978	Premise Match	0m	West
	FURNITURE MFRS. &/OR W/SALERSOFFICE.	Bryvord Design Pty. Ltd., 24 Orchard Rd, Brookvale. 2100	32011	1978	Premise Match	0m	West
	FURNITURE-CUSTOM BUILT.	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100	31343	1978	Premise Match	0m	West
	FURNITURE-OFFICE-RETAIL.	Bryvord Design Pty. Ltd., 24 Orchard Rd., Brookvale. 2100	32116	1978	Premise Match	0m	West
	CARRIERS & CARTAGE CONTRACTORS	Barrett Transport Co., 24 Orchard Rd., Brookvale	284523	1961	Premise Match	0m	West
5	Motor Panel Beaters &/or Spray Painters	Car Renovators, 6 Powells Rd, Brookvale 2100	54252	1991	Premise Match	0m	South
	Engineers Repetition	Tappat Engineering Pty Ltd, 6 Powells Rd., Brookvale 2100	44820	1991	Premise Match	0m	South
	Billiard Table &/or Accessories Mfrs &/or Dists &/or Repairers	Van Borssum Joinery, 4/6 Powells Rd, Brookvale 2100	35934	1991	Premise Match	0m	South
	Joinery Manufacturers &/or Merchants	Van Borssum Joinery, 4/6 Powells Rd., Brookvale. 2100	50040	1991	Premise Match	0m	South
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS.	Car Renovators, 6 Powells Rd., Brookvale. 2100	66164	1986	Premise Match	0m	South
	ENGINEERS - REPETITION.	Tappat Engineering Pty. Ltd., 6 Powells Rd., Brookvale. 2100	31179	1986	Premise Match	0m	South
	ANTIQUES & ART RESTORERS &/OR REPAIRERS.	Thulton's Antiques, 6 Powells Rd., Brookvale. 2100	3373	1986	Premise Match	0m	South
	BILLIARD TABLES & ACCESSORIES MFRS. &/OR DISTS. &/OR REPAIRERS.	Van Borssum Joinery, 4/6 Powells Rd., Brookvale. 2100	5976	1986	Premise Match	0m	South
	JOINERY MANUFACTURERS.	Van Borssum Joinery, 4/6 Powells Rd., Brookvale. 2100	50222	1986	Premise Match	0m	South
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS. (M7360)	Car Renovators, 6 Powells Rd., Brookvale. 2100.	58163	1982	Premise Match	0m	South
	ENGINEERS - REPETITION. (E8100)	Tappat Engineering, 6 Powells Rd., Brookvale. 2100.	29215	1982	Premise Match	0m	South
	MACHINE KNIFE MFRS. (M0060)	Turcon Saws, 4/6 Powells Rd., Brookvale. 2100.	45663	1982	Premise Match	0m	South
	SAW BLADES-BAND, CIRCULAR,- MFRS. &/OR IMPS. &/OR DISTS.(S0885)	Turcon Saws, 4/6 Powells Rd., Brookvale. 2100.	73157	1982	Premise Match	0m	South

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
5	SAW KNIFE &/OR TOOL SHARPENERS. (S0930)	Turcon Saws, 4/6 Powells Rd., Brookvale. 2100.	73189	1982	Premise Match	0m	South
	BILLIARD TABLES & ACCESSORIES MFRS. &/OR DISTS. &/OR REPAIRERS. (B2446)	Van Borssum Joinery, 4/6 Powells Rd., Brookvale. 2100.	6869	1982	Premise Match	0m	South
	JOINERY MANUFACTURERS. (J1050)	Van Borssum Joinery, 4/6 Powells Rd., Brookvale. 2100.	44041	1982	Premise Match	0m	South
	MOTOR PANEL BEATERS	Car Renovators, 6 Powells Rd., Brookvale. 2100	51915	1978	Premise Match	0m	South
	MOTOR PAINTERS.	Car Renovators. 6 Powells Rd., Brookvale. 2100	51339	1978	Premise Match	0m	South
	CABINET MAKERS.	De Jong. R., 6 Powells Rd., Brookvale. 2100	10288	1978	Premise Match	0m	South
	BAG &/OR SACK MERCHANTS.	Edwards, K. Bag & Sack Supply, 6 Powells Rd., Brookvale. 2100	4178	1978	Premise Match	0m	South
	PLASTIC GOODS MFRS.	Le Roy, N. D., 6 Powells Rd., Brookvale. 2100	57685	1978	Premise Match	0m	South
	PLASTIC MFRS. &/OR MOULDERS.	Le Roy, N. D., 6 Powells Rd., Brookvale. 2100	57891	1978	Premise Match	0m	South
	MOTOR PAINTERS.	Car Renovators., 6 Powells Rd. Brookvale. 2100	60023	1975	Premise Match	0m	South
	MOTOR PANEL BEATERS.	Car Renovators., 6 Powells Rd., Brookvale. 2100	60669	1975	Premise Match	0m	South
	CABINETMAKERS.	De Jong, R., 6 Powells Rd., Brookvale. 2100	11649	1975	Premise Match	0m	South
	PLASTIC MFRS. &/OR MOULDERS.	Le Roy. N. D., 6 Powells Rd., Brookvale. 2100	68138	1975	Premise Match	0m	South
	PLASTIC GOODS MFRS.	Le Roy. N. O., 6 Powells Rd., Brookvale. 2100	67930	1975	Premise Match	0m	South
	DISPLAY FITTINGS- MFRS.&/OR SUPPLIERS (D350)	Laronde Displays Pty. Ltd., 6 Powells Rd., Brookvale	289779	1970	Premise Match	0m	South
	Glass Merchants	Hutchinson, W. & K., 6 Powells Rd., Brookvale	95247	1965	Premise Match	0m	South
	SHOP/OFFICE FITTERS	Hutchinson, W. & K., 6 Powells Rd., Brookvale	144613	1965	Premise Match	0m	South
	GLASS MERCHANTS	Hutchinson, W. & K., 6 Powells Rd., Brookvale	319217	1961	Premise Match	0m	South
	SHOP/OFFICE FITTERS	Hutchison, W. & K., 6 Powells Rd., Brookvale	250064	1961	Premise Match	0m	South
6	Engineers Electronic	Sigtronic Industries Pty Ltd, 8 Powells Rd Brookvale 2100	43667	1991	Premise Match	0m	South West
	Electronic Equipment Mfrs &/or Dists	Sigtronic Industries Pty. Ltd, 8 Powells Rd., Brookvale 2100	43011	1991	Premise Match	0m	South West
	ORNAMENTAL METAL WORKERS.(04050)	Beacon Hill Welding, 8 Powells Rd., Brookvale. 2100.	61987	1982	Premise Match	0m	South West
	STAIRCASE BUILDERS. (S5340)	Beacon Hill Welding, 8 Powells Rd., Brookvale. 2100.	76148	1982	Premise Match	0m	South West
	WROUGHT IRON WORKERS. (W9440)	Beacon Hill Welding, 8 Powells Rd., Brookvale. 2100.	85459	1982	Premise Match	0m	South West
	ORGAN BUILDERS &/OR TUNERS.(O3900)	Welby, A., 8 Powells Rd., Brookvale. 2100.	61979	1982	Premise Match	0m	South West
	ENGINEERS - PRECISION. (E7770)	Y. A. R. Engineering, 8 Powells Rd., Brookvale. 2100.	28976	1982	Premise Match	0m	South West
	TOOLMAKERS. (T5575)	Y.A.R. Engineering, 8 Powells Rd., Brookvale. 2100.	80940	1982	Premise Match	0m	South West
	SCFREW MFRS. &/OR W/SALERS	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	65318	1978	Premise Match	0m	South West
	ENGINEERS-PRECISION.	Hickie. K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	25966	1978	Premise Match	0m	South West
	ENGINEERS-REPETITION.	Hickie. K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	26229	1978	Premise Match	0m	South West
	ENGINEERS-PRODUCTION.	Hickie. K. P. &Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	26055	1978	Premise Match	0m	South West
	ENGINEERS-REPETITION.	Tappat Engineering, 8 Powells Rd., Brookvale. 2100	26298	1978	Premise Match	0m	South West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
6	TOOLMAKERS.	Y.A.R. Engineering, 8 Powells Rd, Brookvale.2100	71498	1978	Premise Match	0m	South West
	ENGINEERS-PRECISION.	Y.A.R. Engineering, 8 Powells Rd., Brookvale.	26025	1978	Premise Match	0m	South West
	SCREW MFRS. &/OR W/SALERS	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	76315	1975	Premise Match	0m	South West
	ENGINEERS-PRODUCTION.	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100.	30081	1975	Premise Match	0m	South West
	ENGINEERS-REPETITION.	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100.	30288	1975	Premise Match	0m	South West
	ENGINEERS-PRECISION.	Hickie. K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100.	29983	1975	Premise Match	0m	South West
	BRAIDS & TASSELS MFRS. (B655)	Fine Braid Pty. Ltd., 8 Powells Rd., Brookvale	269506	1970	Premise Match	0m	South West
	ENGINEERS-PRODUCTION (E710)	Hickie, K. P. & Co. Pty. Ldt., 8 Powells Rd., Brookvale, 2100	300533	1970	Premise Match	0m	South West
	ENGINEERS-PRECISION (E705)	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale, 2100	300466	1970	Premise Match	0m	South West
	ENGINEERS-REPETITION (E735)	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale, 2100	300773	1970	Premise Match	0m	South West
	SCREW MFRS. &/OR DISTS. (S173)	Hickie, K. P. & Co. Pty. Ltd., 8 Powells Rd., Brookvale. 2100	360054	1970	Premise Match	0m	South West
	CABINETMAKERS (C006)	Lynch, R., 8 Powells Rd., Brookvale	275147	1970	Premise Match	0m	South West
	RANGES-FUEL & SLOW COMBUSTION-RENOVATORS &/OR REPAIRERS	Delprado, J., 8 Powells Rd., Brookvale	364788	1961	Premise Match	0m	South West
7	FURNITURE MFRSDINING ROOM.	Dineen Furniture, 28 Orchard Rd., Brookvale 2100	37753	1986	Premise Match	0m	East
	FURNITURE-GENERAL-MFRS. &/OR W/SALERS.	Dineen Furniture, 28 Orchard Rd., Brookvale 2100	37459	1986	Premise Match	0m	East
	FURNITURE-OCCASIONAL-MFRS. &/OR W/SALERS.	Dineen Furniture, 28 Orchard Rd., Brookvale 2100	37882	1986	Premise Match	0m	East
	FURNITURE-PERIOD MFRS. &/OR WSALERS.	Dineen Furniture, 28 Orchard Rd., Brookvale 2100	37951	1986	Premise Match	0m	East
8	Engineers General	Jacon Engineering Pty Ltd, 47 Mitchell Rd., Brookvale 2100	44144	1991	Premise Match	20m	South East
	STAIRCASE BUILDERS. (S5340)	Fairway Stairs, 47 Mitchell St., Brookvale. 2100.	76153	1982	Premise Match	20m	South East
	MOTOR PAINTERS.	M.B.D.R. Auto Repairs, 47 Mitchell Rd., Brookvale. 2100	51529	1978	Premise Match	20m	South East
	MOTOR PANEL BEATERS	M.B.D.R. Auto Repairs. 47 Mitchell Rd., Brookvale. 2100	52176	1978	Premise Match	20m	South East
	MOTOR PAINTERS.	M.B.D.R. Auto Repairs., 47 Mitchell Rd., Brookvale. 2100	60264	1975	Premise Match	20m	South East
	MOTOR PANEL BEATERS.	M.B.D.R. Auto Repairs., 47 Mitchell Rd., Brookvale. 2100	60933	1975	Premise Match	20m	South East
	MOTOR PANEL BEATERS (M680)	M. B. D. R. Auto Repairs., 47 Mitchell Rd., Brookvale, 2100	340212	1970	Premise Match	20m	South East
	MOTOR PAINTERS (M672)	M. B. D. R. Auto Repairs., 47 Mitchell Rd., Brookvale. 2100	339455	1970	Premise Match	20m	South East
	Motor Painters	M.B.D.R. Auto Repairs, 47 Mitchell Rd., Brookvale	124047	1965	Premise Match	20m	South East
	Motor Panel Beaters	M.B.D.R. Auto Repairs, 47 Mitchell Rd., Brookvale	124805	1965	Premise Match	20m	South East
	Motor Towing Services	M.B.D.R. Auto Repairs, 47 Mitchell Rd., Brookvale	127107	1965	Premise Match	20m	South East
9	Ink Mfrs &/or Imps &/or Dists	Polycure Pty Ltd, 10 Powells Rd., Brookvale. 2100	49104	1991	Premise Match	20m	South West
	Chemical Mfrs &/or Imps &/or Dists	Polycure Pty. Ltd., 10 Powells Rd., Brookvale 2100	38934	1991	Premise Match	20m	South West
	CHEMICAL MFRS. &/OR IMPS. &/OR DISTS.	Polycure Pty Ltd., 10 Powells Rd., Brookvale. 2100	13712	1986	Premise Match	20m	South West
	INK MFRS. &/OR IMPS.	Polycure Pty. Ltd., 10 Powells Rd., Brookvale. 2100	48097	1986	Premise Match	20m	South West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
9	PAINT, ENAMEL, VARNISH, STAIN MFRS. &/OR DISTS.	Polycure Pty. Ltd., 10 Powells Rd., Brookvale. 2100	71529	1986	Premise Match	20m	South West
	FIRE DOOR MFRS. (F2065)	Fire Control Pty. Ltd., 10 Powells Rd., Brookvale 2100.	30752	1982	Premise Match	20m	South West
	Boat, Launch & Yacht Builders & Repairers	Stebercraft Pty. Ltd., 10 Powells Rd., Brookvale	52127	1965	Premise Match	20m	South West
10	Blind Mfrs &/or Specialists	Supershades (Blinds, Awnings & Curtains), 22 Orchard Rd, Brookvale 2100	36041	1991	Premise Match	20m	West
	Awnings Mfrs &/or Dists	Supershades (Blinds, Awnings, Curtains), 22 Orchard Rd., Brookvale 2100	35128	1991	Premise Match	20m	West
	ENGINEERS – FABRICATING.	K.R.B. Engineering Pty. Ltd., 22 Orchard Rd., Brookvale. 2100	29467	1986	Premise Match	20m	West
	ENGINEERS – GENERAL &/ OR MANUFACTURING &/ OR MECHANICAL.	K.R.B. Engineering Pty. Ltd., 22 Orchard Rd., Brookvale. 2100	30083	1986	Premise Match	20m	West
	BOAT, LAUNCH &/OR YACHT BUILDERS &/OR REPAIRERS.	Rose, D. Yachts, 22 Orchard Rd., Brookvale. 2100	6367	1986	Premise Match	20m	West
	AWNINGS ALUMINIUM &/OR CANVAS MFRS. &/OR SUPPLIERS.	Surfer Shades (Blinds, Awnings, Curtains), 22 Orchard Rd., Brookvale. 2100	4899	1986	Premise Match	20m	West
	BLIND MFRS. &/OR DISTS CANVAS-HOLLAND- VENETIAN.	Surfer Shades (Blinds, Awnings, Curtains), 22 Orchard Rd., Brookvale. 2100	6123	1986	Premise Match	20m	West
	CURTAIN MFRS. &/OR W/SALERS.	Surfer Shades (Blinds, Awnings, Curtains), 22 Orchard Rd., Brookvale. 2100	20819	1986	Premise Match	20m	West
	FURNISHINGS-SOFT-MFRS. &/OR W/SALERS.	Surfer Shades (Blinds, Awnings, Curtains), 22 Orchard Rd., Brookvale. 2100	36637	1986	Premise Match	20m	West
	BOAT, LAUNCH &/OR YACHT BUILDERS &/OR REPAIRERS. (B3600)	Rose, D. Yachts, 22 Orchard Rd., Brookvale. 2100.	7233	1982	Premise Match	20m	West
	ENGINEERS-MARINE.	Curtayne Industries Pty Ltd., 22 Orchard Rd., Brookvale. 2100	25798	1978	Premise Match	20m	West
	BUILDERS HARDWARE MFRS. &/OR IMPS. &/OR DISTS.	Curtayne Industries Pty, Ltd., 22 Orchard Rd., Brookvale. 2100	8043	1978	Premise Match	20m	West
	ENGINEERS- GENERAL &/OR MANUFACTURING &/OR MECHANICAL	Curtayne Industries Pty. Ltd., 22 Orchard Rd., Brookvale. 2100	25018	1978	Premise Match	20m	West
	ENGINEERS-DIESEL	Curtayne Industries Pty. Ltd., 22 Orchard Rd., Brookvale. 2100	24263	1978	Premise Match	20m	West
	BOAT, LAUNCH &/OR YACHT BUILDERS &/OR REPAIRERS.	Rose, D., Yachts, 22 Orchard Rd., Brookvale. 2100	6247	1978	Premise Match	20m	West
11	Butchers Wholesale	Sydney Meat Supply Pty. Ltd., 45 Mitchell Rd., Brookvale 2100	37794	1991	Premise Match	20m	East
	BUTCHERS-WHOLESALE.	Sydney Meat Supply Pty. Ltd., 45 Mitchell Rd., Brookvale.2100	10938	1986	Premise Match	20m	East
	BUTCHERS - WHOLESALE. (B8120)	Sydney Meat Supply Pty. Ltd., 45 Mitchell Rd., Brookvale. 2100.	11923	1982	Premise Match	20m	East
	BUTCHERS - WHOLESALE.	Sydney Meat Supply Pty. Ltd., 45 Mitchell Rd., Brookvale. 2100	10213	1978	Premise Match	20m	East
	BUTCHERS - WHOLESALE	Sydney Meat Supply Pty. Ltd., 45 Mitchell Rd., Brookvale. 2100	11556	1975	Premise Match	20m	East
	SMALLGOODS MANUFACTURERS &/OR WHOLESALERS (S371)	Frenchs Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	361961	1970	Premise Match	20m	East
	BUTCHERS-WHOLESALE (B868)	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	274914	1970	Premise Match	20m	East
	POULTRY DEALERS-RETAIL (P692)	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	351235	1970	Premise Match	20m	East
	POULTRY DEALERS-W'SALE (P696)	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	351315	1970	Premise Match	20m	East
	RABBIT MERCHANTS (R010)	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	353941	1970	Premise Match	20m	East
	BACON & HAM CURERS (B025)	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale, 2100	264329	1970	Premise Match	20m	East

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11	Rabbit Merchants	French's Foods Pty, Ltd., 45 Mitchell Rd., Brookvale	137681	1965	Premise Match	20m	East
	SMALLGOODS MANUFACTURERS &/OR WHOLESALERS	Frenchs Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	145188	1965	Premise Match	20m	East
	Butchers' - Wholesale	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	59667	1965	Premise Match	20m	East
	Poultry Dealers - Retail	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	135453	1965	Premise Match	20m	East
	Poultry Dealers - W'Sale	French's Foods Pty. Ltd., 45 Mitchell Rd., Brookvale	135527	1965	Premise Match	20m	East
12	Motor Brake Specialists	Freedman's, 23 Orchard Rd., Brookvale 2100	52262	1991	Premise Match	21m	North
	Motor Shock Absorber Specialists	Freedman's, 23 Orchard Rd., Brookvale 2100	55005	1991	Premise Match	21m	North
	KITCHEN UNIT MANUFACTURERS.(K0500)	Northside Kitchens Pty. Ltd., 23 Orchard Rd., Brookvale. 2100.	44232	1982	Premise Match	21m	North
	CLOTHING - SPORTSWEAR MFRS.&/OR W/SALERS. (C5701)	Shirlette Pty. Ltd., 23 Orchard Rd., Brookvale. 2100.	17122	1982	Premise Match	21m	North
	CLOTHING - SPORTSWEAR MFRS. &/OR W/SALERS.	Shirlette Pty. Ltd., 23 Orchard Rd., Brookvale. 2100	15434	1978	Premise Match	21m	North
	CLOTHING-SPORTSWEAR LADIES MFRS.&/OR W/SALERS	Shirlette Pty. Ltd., 23 Orchard Rd., Brookvale. 2100	17857	1975	Premise Match	21m	North
	ROOFING CONTRACTORS/REPAIRERS	C. & G. Roofing Co. Pty. Ltd., 23 Orchard Rd., Brookvale.2100	357791	1970	Premise Match	21m	North
	MOTOR PANEL BEATERS (M680)	Hurley, P., 23 Orchard Rd., Brookvale, 2100	340139	1970	Premise Match	21m	North
	MOTOR PAINTERS (M672)	Hurley, P., 23 Orchard Rd., Brookvale. 2100	339387	1970	Premise Match	21m	North
	CLOTHING MFRS. &/OR W/SALERS SPORTSWEAR	Shirlette Pty. Ltd., 23 Orchard Rd., Brookvale, 2100	283712	1970	Premise Match	21m	North
	SIGNWRITERS (S320)	Site Signs, 23 Orchard Rd., Brookvale, 2100	361661	1970	Premise Match	21m	North
13	Engineers Fabricating	Griffith's B Stainless Steel, Unit 1/19 Orchard Rd., Brookvale 2100	43742	1991	Premise Match	21m	North
	Boat, Launch &/or Yacht Equipment	Griffith's, B. Stainless Steel, Unit 1/19 Orchard Rd., Brookvale 2100	36219	1991	Premise Match	21m	North
	Staircase Builders	Sure-Tread Manufacturing, 19 Orchard Rd Brookvale 2100	63146	1991	Premise Match	21m	North
	Engineers Fabricating	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale 2100	43818	1991	Premise Match	21m	North
	ENGINEERS – FABRICATING.	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100	29548	1986	Premise Match	21m	North
	ENGINEERS – STRUCTURAL.	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100	31318	1986	Premise Match	21m	North
	SHEET METAL WORKERS.	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100	86138	1986	Premise Match	21m	North
	STAIRCASE BUILDERS.	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100	88122	1986	Premise Match	21m	North
	SIGNWRITERS. (S3465)	Dyer, I. Signs, 3/19 Orchard Rd., Brookvale. 2100.	74918	1982	Premise Match	21m	North
	STEEL FABRICATORS, (S6105)	Edwards Engineering, Bay 5, 19 Orchard Rd., Brookvale. 2100.	76893	1982	Premise Match	21m	North
	ENGINEERS - FABRICATING (E6870)	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100.	27638	1982	Premise Match	21m	North
	STAIRCASE BUILDERS. (S5340)	Sure-Tread Manufacturing, 19 Orchard Rd., Brookvale. 2100.	76172	1982	Premise Match	21m	North
	SHEET METAL WORKERS. (S2595)	Sure-Tread Manufacturing. 19 Orchard Rd., Brookvale. 2100.	74412	1982	Premise Match	21m	North
	STAIRCASE BUILDERS.	Comer, G. W. R., & Associates, 19 Orchard Rd., Brookvale. 2100	67428	1978	Premise Match	21m	North
	ENGINEERS-FABRICATING.	Comer, G. W. R., & Associates. 19 Orchard Rd., Brookvale. 2100	24560	1978	Premise Match	21m	North
	SHEET METAL WORKERS.	Comer. G. W. R., & Associates, 19 Orchard Rd., Brookvale. 2100	65726	1978	Premise Match	21m	North

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13	ELECTRICAL REPAIR SERVICES.	Tachyon Industries, 19 Orchard Rd., Brookvale. 2100	22639	1978	Premise Match	21m	North
	METAL SPINNERS.	Brookvale Metal Spinning Works., 19 Orchard Rd., Brookvale. 2100	53018	1975	Premise Match	21m	North
	BUSINESS AGENTS &/OR BROKERS.	Golosky, D. & Sons. 19 Orchard Rd., Brookvale. 2100	9770	1975	Premise Match	21m	North
	SCRAP METAL MERCHANTS (S161)	Associated Scrap Metals Pty. Ltd., 19 Orchard Rd., Brookvale	359825	1970	Premise Match	21m	North
	TYRE DEALERS, RETREADERS & VULCANIZERS	Brookvale Tyre Pty. Ltd., 19 Orchard Rd., Brookvale	371669	1970	Premise Match	21m	North
	TYRE/TUBE DEALERS (T760)	Brookvale Tyre Pty. Ltd., 19 Orchard Rd., Brookvale	371830	1970	Premise Match	21m	North
	Tyre Dealers, Retreaders & Vulcanizers	Brookvale Tyre Pty. Ltd., 19 Orchard Rd., Brookvale	154667	1965	Premise Match	21m	North
	Tyre/Tube Dealers	Brookvale Tyre Pty. Ltd., 19 Orchard Rd., Brookvale	154458	1965	Premise Match	21m	North
14	Motor Engineers	Heinzel M & J & Son, Unit 2/21 Orchard Rd, Brookvale 2100	53214	1991	Premise Match	21m	North
	Motor Brake Specialists	Heinzel, M & J. & Son, Unit 2/21 Orchard Rd., Brookvale. 2100	96416	1991	Premise Match	21m	North
	Electric Switch & Control Gear Mfrs &/or Imps &/or Dists	Kemvale Industries Pty. Ltd., 21 Orchard Rd, Brookvale 2100	42305	1991	Premise Match	21m	North
	Electrical Switchboard Mfrs &/or Dists	Kemvale Industries Pty. Ltd., 21 Orchard Rd, Brookvale 2100	42776	1991	Premise Match	21m	North
	ELECTRIC SWITCH & CONTROL GEAR MFRS. &/OR IMPS. &/OR DISTS.	Kemvaie Industries Pty. Ltd., 21 Orchard Rd., Brookvale. 2100	26802	1986	Premise Match	21m	North
	ELECTRICAL SWITCHBOARD MFRS. &/OR DISTS.	Kemvale Industries Pty. Ltd., 21 Orchard Rd., Brookvale. 2100	27742	1986	Premise Match	21m	North
	CABINET MAKERS. (C0030)	Hatzis, H. & H., 21 Orchard Rd., Brookvale. 2100.	12016	1982	Premise Match	21m	North
	JOINERY MANUFACTURERS. (J1050)	Hatzis, H. & H., 21 Orchard Rd., Brookvale. 2100.	43960	1982	Premise Match	21m	North
	KITCHEN UNIT MANUFACTURERS.(K0500)	Hatzis, H. & H., 21 Orchard Rd., Brookvale. 2100.	44180	1982	Premise Match	21m	North
	SHOP &/OR OFFICE FITTERS. (S3060)	Hatzis, H. & H., 21 Orchard Rd., Brookvale. 2100.	74697	1982	Premise Match	21m	North
	ELECTRICAL SWITCHBOARD MFRS. &/OR DISTS. (E3960)	Kemvale Industries Pty. Ltd., 21 Orchard Rd., Brookvale. 2100.	26013	1982	Premise Match	21m	North
	MOTOR PAINTERS.	Haslam. G., Smash Repair, 21 Orchard Rd., Brookvale. 2100	51452	1978	Premise Match	21m	North
	MOTOR PANEL BEATERS	Haslam. G., Smash Repair, 21 Orchard Rd., Brookvale. 2100	52082	1978	Premise Match	21m	North
	MOTOR PAINTERS.	Lyons, D., 21 Orchard Rd., Brookvale. 2100	51527	1978	Premise Match	21m	North
	MOTOR PANEL BEATERS	Lyons, D., 21 Orchard Rd., Brookvale. 2100	52173	1978	Premise Match	21m	North
	MOTOR PANEL BEATERS.	Kellendonk, Pty. Ltd., 21 OrchardRd., Brookvale. 2100	60887	1975	Premise Match	21m	North
	MOTOR PAINTERS.	Kellendonk. Pty. Ltd., 21 Orchard Rd., Brookvale. 2100	60222	1975	Premise Match	21m	North
	PARTITIONS-OFFICE &/OR FACTORY MFRS.	Liddy Australia Pty. Ltd., 21 Orchard Rd., Brookvale. 2100	66159	1975	Premise Match	21m	North
	CABINETMAKERS.	Liddy Australia Pty. Ltd., 21 Orchard Rd., Brookvale. 2100.	11672	1975	Premise Match	21m	North
	MOTOR PAINTERS (M672)	Cora, W., 21 Orchard Rd., Brookvale	339222	1970	Premise Match	21m	North
	MOTOR PANEL BEATERS (M680)	Cora, W., 21 Orchard Rd., Brookvale	339959	1970	Premise Match	21m	North
	MOTOR PAINTERS (M672)	Gora, W., 21 Orchard Rd., Brookvale	339323	1970	Premise Match	21m	North
	MOTOR PANEL BEATERS (M680)	Gora, W., 21 Orchard Rd., Brookvale	340073	1970	Premise Match	21m	North
	MOTOR PAINTERS (M672)	Kellendonk, W. F. Pty. Ltd., 21 Orchard Rd., Brookvale	339409	1970	Premise Match	21m	North

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14	MOTOR PANEL BEATERS (M680)	Kellendonk, W. F. Pty. Ltd., 21 Orchard Rd., Brookvale	340162	1970	Premise Match	21m	North
	WASTE PRODUCT MERCHANTS (W070)	Newport Industrial Cleaning Cloths, 21 Orchard Rd., Brookvale, 2100	373166	1970	Premise Match	21m	North
	Motor Painters	Lancaster, Stan, 21 Orchard Rd., Brookvale	124025	1965	Premise Match	21m	North
	Motor Panel Beaters	Lancaster, Stan, 21 Orchard Rd., Brookvale	124780	1965	Premise Match	21m	North
15	Motor Panel Beaters &/or Spray Painters	Chilvers D. M. Panel Beater-Spray Painter, 43 Mitchell Rd, Brookvale 2100	54277	1991	Premise Match	23m	East
	Motor Panel Beaters &/or Spray Painters	Fekete, F.S. Vehicle Repairs, 43 Mitchell Rd, Brookvale 2100	54367	1991	Premise Match	23m	East
	Motor Panel Beaters &/or Spray Painters	Ladics Motor Body Wors, 43 Mitchell Rd Brookvale 2100	54519	1991	Premise Match	23m	East
	Welding Equipment &/or Supplies Mfrs &/or Dists	Plasmair Pty Ltd, 43 Mitchell Rd Brookvale 2100	66157	1991	Premise Match	23m	East
	LAWNMOWER SALES &/OR SERVICE.	Brookvale Lawn Mower Centre, 43 Mitchell Rd., Brookvale. 2100	51363	1986	Premise Match	23m	East
	ENGINE RECONDITIONERS - INDUSTRIAL (E5880)	Brookvale Mowars, 43 Mitchell Rd., Brookvale. 2100.	26636	1982	Premise Match	23m	East
	CHAIN SAWS MFRS. &/OR DISTS (C3510)	Brookvale Mowers, 43 Mitchell Rd., Brookvale. 2100.	14237	1982	Premise Match	23m	East
	LAWNMOWER REPAIRERS &/OR SHARPENERS. (L2550)	Brookvale Mowers, 43 Mitchell Rd., Brookvale. 2100.	44978	1982	Premise Match	23m	East
	LAWNMOWER SALES &/OR.SERVICE. (L2600)	Brookvale Mowers, 43 Mitchell Rd., Brookvale. 2100.	45006	1982	Premise Match	23m	East
	LAWNMOWER REPAIRERS &/OR SHARPENERS.	Pride Mowers Pty. Ltd., 43 Mitchell Rd., Brookvale. 2100	39921	1978	Premise Match	23m	East
	LAWNMOWER SALES & OR SERVICE	Pride Mowers Pty. Ltd., 43 Mitchell Rd., Brookvale. 2100	39982	1978	Premise Match	23m	East
	MOTOR CYCLE SALES &/OR SERVICE.	Pride Mowers Pty. Ltd., 43 Mitchell Rd., Brookvale. 2100	48865	1978	Premise Match	23m	East
	MOTOR CYCLE SALES &/OR SERVICE	Pride Mowers Pty, Ltd., 43 Mitchell Rd., Brookvale. 2100.	57806	1975	Premise Match	23m	East
	LAWNMOWER REPAIRERS &/OR SHARPENERS.	Pride Mowers Pty. Ltd., 43 Mitchell Rd., Brookvale. 2100	47089	1975	Premise Match	23m	East
	LAWNMOWER SALES &/OR SERVICE	Pride Mowers Pty. Ltd., 43 Mitchell Rd., Brookvale. 2100	47143	1975	Premise Match	23m	East
	TRANSFORMER MFRS.(T615)	Electronic Transformers Pty. Ltd., 43 Mitchell Rd., Brookvale	370820	1970	Premise Match	23m	East
	Transformer Mfrs.	Electronic Transformers Pty. Ltd., 43 Mitchell Rd., Brookvale	153679	1965	Premise Match	23m	East
16	Importers	Ceram-Art Ceramics, 2/49 Mitchell Rd., Brookvale 2100	48922	1991	Premise Match	26m	South East
	Ceramics Mfrs &/or Suppliers	Ceram-Art Ceramics., 2/49 Mitchell Rd., Brookvale 2100	38725	1991	Premise Match	26m	South East
	Fireplace &/or Accessory Mfrs &/or Dists	Davies Western Developments Pty Ltd, 51 Mitchell Rd., Brookvale 2100	45796	1991	Premise Match	26m	South East
	Display & Exhibition Equipment &/or Supplies	Selmor Display Centre, 49 Mitchell Rd., Brookvale 2100	41562	1991	Premise Match	26m	South East
	FIREPLACE MFRS. &/OR DISTS.	Davies Western Developments Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100	33009	1986	Premise Match	26m	South East
	GLASS MFRS. &/OR W/SALERS.	Davies Western Developments Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100	39750	1986	Premise Match	26m	South East
	CEMENT &/OR LIME MERCHANTS &/OR DISTS.	Davies Western Developments Pty. Ltd., 51 Mitchell Rd., Brookvale.2100	13333	1986	Premise Match	26m	South East
	BOOKSELLERS-WHOLESALE.	Savvas Wholesale, 3/49 Mitchell Rd., Brookvale. 2100	7317	1986	Premise Match	26m	South East
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	Selmor Display Centre, 49 Mitchell Rd., Brookvale. 2100	24323	1986	Premise Match	26m	South East
	SCREEN PROCESS PRINTERS.	Selmor Display Centre, 49 Mitchell Rd., Brookvale. 2100	85236	1986	Premise Match	26m	South East
	IMPORTERS.	Versatile Ceramics, 2/49 Mitchell Rd., Brookvale. 2100	47956	1986	Premise Match	26m	South East

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16	TILE - FLOOR &/OR WALL - DISTS. &/OR MERCHANTS.	Versatile Ceramics, 2/49 Mitchell Rd., Brookvale. 2100	93392	1986	Premise Match	26m	South East
	CERAMICS-EQUIPMENT & SUPPLIES.	Versatile Ceramics, 2/49 Mitchell Rd., Brookvale.2100	13393	1986	Premise Match	26m	South East
	PLASTIC FOAM MFRS. &/OR DISTS. (P5793)	Celluform Plastics (N.S.W.) Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100.	64654		Premise Match	26m	South East
	PLASTIC MFRS. &/OR MOULDERS.(P6080)	Celluform Plastics (N.S.W.) Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100.	64873	1982	Premise Match	26m	South East
	SCREEN PROCESS PRINTERS.(S1650)	Selmor Screenprint, 49 Mitchell Rd., Brookvale. 2100.	73775	1982	Premise Match	26m	South East
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS. (D4260)	Selmore Display Cantre, 49 Mitchell Rd., Brookvale. 2100.	21739	1982	Premise Match	26m	South East
	WIRE PRODUCTS MFRS. &/OR DISTS. (W6600)	Selmore Display Centre, 49 Mitchell Rd., Brookvale. 2100.	85184	1982	Premise Match	26m	South East
	WIREWORKERS - GENERAL. (W7120)	Selmore Display Centre, 49 Mitchell Rd., Brookvale. 2100.	85239	1982	Premise Match	26m	South East
	PLASTIC MFRS. &/OR MOULDERS.	C & L. Foam Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100	57840	1978	Premise Match	26m	South East
	PLASTIC CONTAINERS MFRS. &/OR . DISTS.	C. & L. Foam Pty. Ltd., 51 Mitchell Rd., Brookvale. 2100	57447	1978	Premise Match	26m	South East
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	Selmor Display Centre 49-51 Mitchell Rd., Brookvale. 2100	19146	1978	Premise Match	26m	South East
	ELECTRONIC EQUIPMENT MFRS. &/OR DISTS.	Hawker Siddeley Electronics Ltd., 49 Mitchell Rd., Brookvale. 2100	26825	1975	Premise Match	26m	South East
17	Steel Fabricators	Allmesh Engineering Pty Ltd, 25 Orchard Rd, Brookvale 2100	63312	1991	Premise Match	29m	North East
	Engineers Structural	Allmesh Engineering Pty. Ltd., 25 Orchard Rd., Brookvale 2100	44838	1991	Premise Match	29m	North East
	RUSTPROOFING SPECIALISTS,	Wynn's Centre, 25 Orchard Rd., Brookvale. 2100	84069	1986	Premise Match	29m	North East
18	Pharmaceutical Products Mfrs &/or W/Salers	Milupa & Co. Pty. Ltd., 17 Orchard Rd., Brookvale. 2100	57089	1991	Premise Match	29m	North
	CHEMISTS- PHARMACEUTICAL -MFRS. &/OR IMPS. &/OR W/SALERS.	Milupa & Co Pty. Ltd., 17 Orchard Rd., Brookvale. 2100	13827	1986	Premise Match	29m	North
	CHEMISTS MFRG.&/OR W/SALERS. (C4095)	Pharmpack & Co, Pty. Ltd., 17 Orchard Rd., Brookvale. 2100.	14646	1982	Premise Match	29m	North
	CHEMISTS MFRG. &/OR W/SALERS.	Pharmpack & Co. Pty. Ltd., 17 Orchard Rd., Brookvale. 2100	12840	1978	Premise Match	29m	North
	FURNITURE REMOVALISTS/STORAGE (F785)	Abbey Removals., 17 Orchard Rd., Brookvale 2100	308805	1970	Premise Match	29m	North
	CARAVAN HIRERS (C098)	Abby Removal., 17 Orchard Rd., Brookvale, 2100	277355	1970	Premise Match	29m	North
19	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS.	Carroll, Raymond J. (Smash Repairs) & Co., 41 Mitchell Rd., Brookvale. 2100	66172	1986	Premise Match	33m	East
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS. (M7360)	Carroll, Raymond (Smash Repairs) & Co., 41 Mitchell Rd., Brookvale. 2100.	58170	1982	Premise Match	33m	East
	MOTOR PANEL BEATERS	Carroll, R. J., 41 Mitchell Rd., Brookvale. 2100	51920	1978	Premise Match	33m	East
	MOTOR PANEL BEATERS (M680)	Inder Motors Used Car Reconditioning., 41 Mitchell Rd., Brookvale	340143	1970	Premise Match	33m	East
	MOTOR PAINTERS (M672)	Inder Motors Used Car Reconditioning., 41 Mitchell Rd., Brookvale	339447	1970	Premise Match	33m	East
	Motor Painters	Inder Motors Used Car Reconditioning, 41 Mitchell Rd., Brookvale	123983		Premise Match	33m	East
	Motor Panel Beaters	Inder Motors Used Car Reconditioning, 41 Mitchell Rd., Brookvale	124735	1965	Premise Match	33m	East
20	Abattoirs Machinery & Equipment Mfrs &/or Dists	Jarvis, A.N.Z. Pty Ltd., 12 Powells Rd., Brookvale 2100	33272	1991	Premise Match	40m	South West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
20	ABATTOIRS MACHINERY & EQUIPMENT MFRS. &/OR DISTS.	Jarvis, A.N.Z. Pty. Ltd., 12 Powells Rd., Brookvale. 2100	8	1986	Premise Match	40m	South West
	ABATTOIRS MACHINERY SUPPLIES&/OR MFRS. (A0120)	Jarvis, A.N.Z. Pty. Ltd., 12 Powells Rd., Brookvale. 2100.	13	1982	Premise Match	40m	South West
	ABATTOIRS MACHINERY SUPPLIES &/OR MFRS.	Jarvis, A.N.Z. Pty. Ltd., 12 Powells Rd., Brookvale. 2100	11	1978	Premise Match	40m	South West
	ABATTOIRS MACHINERY SUPPLIES &/OR MFRS.	Jarvis, A.N.Z. Pty. Ltd., 12 Powells Rd., Brookvale. 2100.	15	1975	Premise Match	40m	South West
	ABATTOIRS MACHINERY SUPPLIES-MANUFACTURERS	Jarvis A.N.Z Pty. Ltd., 12 Powells Rd., Brookvale. 2100	258337	1970	Premise Match	40m	South West
21	Steel Fabricators	Treco Structures Pty Ltd, 20 Orchard Rd Brookvale 2100	63439	1991	Premise Match	40m	West
	Steel Merchants General	Treco Structures Pty Ltd, 20 Orchard Rd Brookvale 2100	63489	1991	Premise Match	40m	West
	Builders Supplies	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale 2100	37278	1991	Premise Match	40m	West
	Carport &/or Awning Mfrs &/or Erectors	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale 2100	38290	1991	Premise Match	40m	West
	STEEL MERCHANTS - GENERAL.	Treco Structures Pty. Ltd. 20 Orchard Road, Brookvale. 2100	89151	1986	Premise Match	40m	West
	BUILDERS SUPPLIERS.	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale. 2100	8800	1986	Premise Match	40m	West
	STEEL FABRICATORS.	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale. 2100	89073	1986	Premise Match	40m	West
	STEEL MERCHANTS - GENERAL.	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale. 2100	89197	1986	Premise Match	40m	West
	CARPORT &/OR AWNING MFRS.	Treco Structures Pty. Ltd., 20 Orchard Rd., Brookvale.2100	12651	1986	Premise Match	40m	West
	ENGINEERS-GENERAL &/OR MFRG.&/OR MECHANICAL (E615)	Brookvale Construction Co. Pty. Ltd., 20 Orchard Rd., Brookvale	298909	1970	Premise Match	40m	West
	ENGINEERS-STRUCTURAL (E165)	Brookvale Construction Co. Pty. Ltd., 20 Orchard Rd., Brookvale	301045	1970	Premise Match	40m	West
	STEEL FABRICATORS (S673)	Brookvale Construction Co. Pty. Ltd., 20 Orchard Rd., Brookvale	365180	1970	Premise Match	40m	West
	WELDERS-ELECTRIC &/OR OXY	Brookvale Construction Co. Pty. Ltd., 20 Orchard Rd., Brookvale	373502	1970	Premise Match	40m	West
	ENGINEERS-FABRICATING (E580)	Brookvale Constructions Co. Pty. Ltd., 20 Orchard Rd., Brookvale	298436	1970	Premise Match	40m	West
	Engineers - Fabricating	Brookvale Construction Co. , 20 Orchard Rd., Brookvale	81694	1965	Premise Match	40m	West
	Welders - Electric &/or Oxy	Brookvale Construction Co. Pty. Ltd, 20 Orchard Rd, Brookvale	156294	1965	Premise Match	40m	West
	STEEL FABRICATORS	Brookvale Construction Co. Pty. Ltd., 20 Orchard Rd., Brookvale	148085	1965	Premise Match	40m	West
	Engineers - Structural	Brookvale Construction Co., 20 Orchard Rd., Brookvale	84257	1965	Premise Match	40m	West
	Engineers General &/or Mfrg. &/or Mechanical	Brookvale Construction Co., 20 Orchard Rd., Brookvale	82166	1965	Premise Match	40m	West
	ENGINEERS-FABRICATING	Brookvale Construction Co 20 Orchard Rd., Brookvale	305715	1961	Premise Match	40m	West
	ENGINEERS-STRUCTURAL	Brookvale Construction Co 20 Orchard Rd., Brookvale	308489	1961	Premise Match	40m	West
	STEEL FABRICATORS	Brookvale Construction Co 20 Orchard Rd., Brookvale	253401	1961	Premise Match	40m	West
	ENGINEERS-FABRICATING	Brookvale Construction Co., 20 Orchard Rd., Brookvale	305716	1961	Premise Match	40m	West
	ENGINEERS- GENERAL/MFRG./ MECHANICAL	Brookvale Construction Co., 20 Orchard Rd., Brookvale	306223	1961	Premise Match	40m	West
	ENGINEERS-STRUCTURAL	Brookvale Construction Co., 20 Orchard Rd., Brookvale	308490	1961	Premise Match	40m	West
	STEEL FABRICATORS	Brookvale Construction Co., 20 Orchard Rd., Brookvale	253402	1961	Premise Match	40m	West
22	Pump & Pumping Equipment Mfrs &/or Dists	Altek Industries Pty. Ltd., 15 Orchard Rd Brookvale 2100	59940	1991	Premise Match	45m	North West

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22	Cleaners General	Broadlex Pty. Limited., 15 Orchard Rd., Brookvale 2100	39036	1991	Premise Match	45m	North West
	Cleaners Industrial &/or Marine Steam &/or Water Pressure	Broadlex Pty. limited., 15 Orchard Rd., Brookvale 2100	39060	1991	Premise Match	45m	North West
	Tank &/or Tankstand Mfrs &/or Dists	D.W.K Display Metals Co, 5/15 Orchard Rd Brookvale 2100	63839	1991	Premise Match	45m	North West
	Display & Exhibition Equipment &/or Supplies	D.W.K. Display Metals Co., 5/15 Orchard Rd., Brookvale 2100	41503	1991	Premise Match	45m	North West
	Signs Writers	Fender Lisa Signs, 3/15 Orchard Rd Brookvale 2100	62653	1991	Premise Match	45m	North West
	Property Management	Golosky Business Brokers, 15 Orchard Rd Brookvale 2100	59615	1991	Premise Match	45m	North West
	Business Agents &/or Brokers	Golosky Business Brokers, 15 Orchard Rd., Brookvale 2100	37710	1991	Premise Match	45m	North West
	CLEANERS-INDUSTRIAL &/OR MARINE.	Broadlex Pty. Limited, 15 Orchard Rd., Brookvale. 2100	15332	1986	Premise Match	45m	North West
	CLEANING CONTRACTORS- GENERAL.	Broadlex Pty. Limited, 15 Orchard Rd., Brookvale. 2100	15394	1986	Premise Match	45m	North West
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	D.W.K. Display Metals Co., 5/15 Orchard Rd., Brookvale. 2100	24285	1986	Premise Match	45m	North West
	BUSINESS AGENTS &/OR BROKERS.	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100	9366	1986	Premise Match	45m	North West
	PROPERTY MANAGEMENT.	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100	77579	1986	Premise Match	45m	North West
	REAL ESTATE AGENTS.	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100	79486	1986	Premise Match	45m	North West
	AQUARIUMS & SUPPLIES.	Greenwich Rare Fish Centre, 15 Orchard Rd., Brookvale. 2100	3400	1986	Premise Match	45m	North West
	CLEANERS - GENERAL. (C4845)	Broadlex Pty. Limited, Unit 6, 15 Orchard Rd., Brookvale. 2100.	16154	1982	Premise Match	45m	North West
	CLEANERS - INDUSTRIAL &/OR MARINE. (C4860)	Broadlex Pty. Limited, Unit 6, 15 Orchard Rd., Brookvale. 2100.	16200	1982	Premise Match	45m	North West
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS. (D4260)	D.W.K. Display Metals Co., 5/15 Orchard Rd., Brookvale. 2100.	21696	1982	Premise Match	45m	North West
	BUSINESS AGENTS &/OR BROKERS. (B7920)	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100.	10292	1982	Premise Match	45m	North West
	PROPERTY MANAGEMENT. (P9060)	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100.	67307	1982	Premise Match	45m	North West
	REAL ESTATE AGENTS. (R2555)	Golosky, D. & Sons, 15 Orchard Rd., Brookvale. 2100.	68995	1982	Premise Match	45m	North West
	REFRIGERATOR DEALERS &/OR SERVICEMEN. (R4130)	Port Jackson Refrigeration & Washing Machine Service, 3/15 Orchard Rd., Brookvale. 2100.	70211	1982	Premise Match	45m	North West
	WASHING MACHINE SALES &/ORSERVICE. (W0960)	Port Jackson Refrigeration & Washing Machine Service, 3/15 Orchard Rd., Brookvale. 2100.	83811	1982	Premise Match	45m	North West
	CLEANERS-GENERAL.	Broadlex Cleaning Services Pty. Ltd., 15 Orchard Rd., Brookvale. 2100	14300	1978	Premise Match	45m	North West
	CLEANERS-INDUSTRIAL	Broadlex Cleaning Services Pty. Ltd., 15 Orchard Rd., Brookvale. 2100	14333	1978	Premise Match	45m	North West
	PROPERTY MANAGEMENT.	Golosky D. & Sons, 15 Orchard Rd., Brookvale 2100	60162	1978	Premise Match	45m	North West
	REAL ESTATE AGENTS &/OR VALUERS.	Golosky, D. & Sons. 15 Orchard Rd., Brookvale. 2100	61694	1978	Premise Match	45m	North West
	BUSINESS AGENTS &/OR BROKERS.	Golosky. D. & Sons, 15 Orchard Rd., Brookvale. 2100	8676	1978	Premise Match	45m	North West
	NOVELTY GOODS MFRS.&/OR IMPS. &/OR W/SALERS.	Looney Glass, 15 Orchard Rd, Brookvale 2100	54349	1978	Premise Match	45m	North West
	GLASSWARE, CRYSTALWARE IMPS. &/OR MFRS. &/OR W/SALERS.	Looney Glass, 15 Orchard Rd., Brookvale. 2100	33176	1978	Premise Match	45m	North West
	REAL ESTATE AGENTS/VALUERS(R205)	Golosky, D. & Co., 15 Orchard Rd., BROOKVALE	355382	1970	Premise Match	45m	North West
	BUSINESS AGENTS &/OR BROKERS(B852)	Golosky, D., 15 Orchard Rd., Brookvale	272728	1970	Premise Match	45m	North West

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22	Real Estate Agents/Valuers	Golosky, D. & Co., 15 Orchard Rd. Brookvale	139021	1965	Premise Match	45m	North West
	Business Agents &/or Brokers	Golosky, D., 15 Orchard Rd., Brookvale	57515	1965	Premise Match	45m	North West
	REAL ESTATE AGENTS/VALUERS	Colosky, D., 15 Orchard Rd. BROOKVALE	365140	1961	Premise Match	45m	North West
	REAL ESTATE AGENTS/VALUERS	Golosky, D., 15 Orchard Rd. BROOKVALE	365142	1961	Premise Match	45m	North West
	BUSINESS AGENTS &/OR BROKERS	Golosky, D., 15 Orchard Rd., Brookvale	279525	1961	Premise Match	45m	North West
23	Plasterers - Solid - Plastering Contractors	C.M.C. Industries Pty. Ltd., Orchard & Mitchell Rds, Brookvale	133549	1965	Road Intersection	52m	North East
	TERRAZZO SPECIALISTS	C.M.C. Industries Pty. Ltd., Orchard & Mitchell Rds., Brookvale	150685	1965	Road Intersection	52m	North East
	Earth Moving Equipment - Mfrs., Importers &/or Dists.	Callander & McGrath, Cnr. Orchard & Mitchell Rds., Brookvale	76885	1965	Road Intersection	52m	North East
	Earth Moving Machinery Parts - Mfrs. &/or Dists.	Callander & McGrath, Mitchell & Orchard Rds., Brookvale	77041	1965	Road Intersection	52m	North East
	Trailer Mfrs. &/or Dists Boat & Car	Callander & McGrath., Orchard & Mitchell Rds., Brookvale	153587	1965	Road Intersection	52m	North East
	Agricultural Machinery - Mfrs. &/or Dists.	I.C.A.M.S. Pty, Ltd., Orchard & Mitchell Rds., Brookvale	45454	1965	Road Intersection	52m	North East
	Agricultural Machinery Dealers	I.C.A.M.S. Pty. Ltd., Orchard & Mitchell Rds., Brookvale	45369	1965	Road Intersection	52m	North East
	Agricultural Machinery Parts Mfrs. &/or Dists.	I.C.A.M.S. Pty. Ltd., Orchard & Mitchell Rds., Brookvale	45507	1965	Road Intersection	52m	North East
	Die & Press Tool Makers	I.C.A.M.S. Pty. Ltd., Orchard & Mitchell Rds., Brookvale	74102	1965	Road Intersection	52m	North East
	Die Casters	I.C.A.M.S. Pty. Ltd., Orchard & Mitchell Rds., Brookvale	74189	1965	Road Intersection	52m	North East
	Plastic Manufacturers &/or Moulders	I.C.A.M.S. Pty. Ltd., Orchard & Mitchell Rds., Brookvale	134090	1965	Road Intersection	52m	North East
	Insecticide Mfrs.	Permaclean Products, Orchard & Mitchell Rd., Brookvale	103513	1965	Road Intersection	52m	North East
	Cleaner & Cleaning Preparation Mfrs. &/or Dists.	Permaclean Products, Orchard & Mitchell Rds., Brookvale	66546	1965	Road Intersection	52m	North East
	Wall Finishes - Texture	Permacolor Treatment, Cnr. Mitchell & Orchard Rds., Brookvale	155580	1965	Road Intersection	52m	North East
24	Motor Wreckers	European Auto Spares 32 Orchard Rd. Brookvale. 2100	55680	1991	Premise Match	55m	East
	GRAVEL, SAND &/OR SOIL SUPPLIES	Brookvale Sand Co., 32 Orchard Rd., Brookvale. 2100	33477	1978	Premise Match	55m	East
	LIME &/OR CEMENT MERCHANTS.	Brookvale Sand Co., 32 Orchard Rd., Brookvale. 2100	40334	1978	Premise Match	55m	East
	LIME &/OR CEMENT MERCHANTS.	Brookvale Sand Co., 32 Orchard Rd., Brookvale. 2100	47585	1975	Premise Match	55m	East
	GRAVEL, SAND &/OR SOIL SUPPLIES.	Brookvale Sand Co., 32 Orchard Rd., Brookvale. 2100.	38930	1975	Premise Match	55m	East
25	Chemical Mfrs &/or Imps &/or Dists	Galmet Paints & Chemicals Pty. Ltd., 53 Mitchell Rd., Brookvale 2100	38888	1991	Premise Match	55m	South East
	Paint Anti Corrosive Mfrs &/or Imps &/or Dists	Galmet Paints & Chemicals Pty. Ltd., 53 Mitchell Rd., Brookvale. 2100	56596	1991	Premise Match	55m	South East
26	Drawing & Drafting Equipment &/or Supplies	Ados Pty. Ltd., 10 Orchard Rd., Brookvale 2100	41697	1991	Premise Match	60m	West
	Paper Sensitized Mfrs &/or Dists	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	56806	1991	Premise Match	60m	West
	Engineers General	Cowie Engineering Co Pty Ltd, 4/18 Orchard Rd Brookvale 2100	43998	1991	Premise Match	60m	West
	Engineers Mining	Cowie Engineering Co Pty Ltd, 4/18 Orchard Rd., Brookvale 2100	44589	1991	Premise Match	60m	West
	Engineers General	Doyle J Engineering Pty Ltd, 2/18 Orchard Rd Brookvale 2100	44031	1991	Premise Match	60m	West
	Electrical Switchboard Mfrs &/or Dists	E.G.W. Controls Pty. Ltd., 3/18 Orchard Rd. Brookvale 2100	42764	1991	Premise Match	60m	West
	Vanity Unit Mfrs &/or Dists	International Kitchens Pty Ltd, 6/14 Orchard Rd Brookvale 2100	65587	1991	Premise Match	60m	West

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26	Kitchen Units Mfrs &/or Dists &/or Installers	International Kitchens Pty Ltd, Unit 6, 14 Orchard Road, Brookvale. 2100	50198	1991	Premise Match	60m	West
	Joinery Manufacturers &/or Merchants	International Kitchens Pty. Ltd, 6/14 Orchard Rd., Brookvale. 2100	49988	1991	Premise Match	60m	West
	Cabinet Makers	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale 2100	37859	1991	Premise Match	60m	West
	Kitchen Units Mfrs &/or Dists &/or Installers	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale.2100	50199	1991	Premise Match	60m	West
	Joinery Manufacturers &/or Merchants	North Shore Kitchens, 6/18 Orchard Rd., Brookvale. 2100	50006	1991	Premise Match	60m	West
	Kitchen Units Mfrs &/or Dists &/or Installers	North Shore Kitchens, 6/18 Orchard Rd., Brookvale. 2100	50255	1991	Premise Match	60m	West
	Sheet Metal Workers	Waringah Building & Heating, 2/14 Orchard Rd Brookvale 2100	62166	1991	Premise Match	60m	West
	Fireplace &/or Accessory Mfrs &/or Dists	Waringah Building & Heating, 2/14 Orchard Rd., Brookvale 2100	45808	1991	Premise Match	60m	West
	Timber Merchants &/or Sawmillers	Warringah Heating & Building Centre, 2/14 Orchard Rd Brookvale 2100	64417	1991	Premise Match	60m	West
	Timber Merchants &/or Sawmillers	WARRINGAH HEATING &BUILDING CENTRE, 14 Orchard Rd Brookvale2100	64416	1991	Premise Match	60m	West
	PAPER SENSITIZED MFRS.	Ados Pty. Ltd. 10 Orchard Road, Brookvale. 2100	72178	1986	Premise Match	60m	West
	DRAWING OFFICE SUPPLIES.	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	24934	1986	Premise Match	60m	West
	PAPER SENSITIZED MFRS.	Ados Pty. Ltd., 10 Orchard Rd., Brookville. 2100	72180	1986	Premise Match	60m	West
	PRINTERS - LITHOGRAPHIC.	Boyes-Sinclair (Typography) Pty. Ltd., 2/18 Orchard Rd. Brookvale. 2100	76533	1986	Premise Match	60m	West
	PRINTERS - LETTERPRESS.	Boyes-Sinclair (Typography) Pty. Ltd., 2/18 Orchard Rd., Brookvale. 2100	76118	1986	Premise Match	60m	West
	TYPESETTERS - TRADE.	Boyes-Sinclair (Typography) Pty. Ltd., 2/18 Orchard Rd., Brookvale. 2100	96034	1986	Premise Match	60m	West
	PRINTERS - LETTERPRESS.	Boyes-Sinclair Pty. Ltd. 2, 18 Orchard Road, Brookvale. 2100	76069	1986	Premise Match	60m	West
	HYDRAULIC JACK MFRS. &/OR DISTS.	Cowie Engineering Co. Pty. Ltd 4/18 Orchard Rd., Brookvale. 2100	47329	1986	Premise Match	60m	West
	ENGINEERS – GENERAL &/ OR MANUFACTURING &/ OR MECHANICAL.	Cowie Engineering Co. Pty. Ltd., 4/18 Orchard Rd., Brookvale. 2100	29872	1986	Premise Match	60m	West
	ENGINEERS - MINING.	Cowie Engineering Co. Pty. Ltd., 4/18 Orchard Rd., Brookvale. 2100	30771	1986	Premise Match	60m	West
	ELECTRICAL SWITCHBOARD MFRS. &/OR DISTS.	E.G.W. Controls Pty. Ltd., 3/18 Orchard Rd., Brookvale. 2100	27724	1986	Premise Match	60m	West
	FOOD PROCESSING MACHINERY MFRS. &/OR DEALERS.	Farindon, A C. Pty Ltd., 4/14 Orchard Rd., Brookvale. 2100	34280	1986	Premise Match	60m	West
	FIREPLACE MFRS. &/OR DISTS.	Hoffmann & Delbridge Eng. Pty. Ltd., 2/14 Orchard Rd., Brookvale. 2100	33010	1986	Premise Match	60m	West
	KITCHEN UNITS MFRS. &/OR DISTS. &/OR INSTALLERS.	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale. 2100	50429	1986	Premise Match	60m	West
	FURNITURE-LOUNGE SUITES-MFRS. &/OR W/SALERS.	La Chaise Upholstery, 1/14 Orchard Rd., Brookvale 2100	37694	1986	Premise Match	60m	West
	UPHOLSTERERS.	La Chaise Upholstery, 1/14 Orchard Rd., Brookvale. 2100.	96602	1986	Premise Match	60m	West
	DRAWING OFFICE SUPPLIES. (D6750)	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100.	22256	1982	Premise Match	60m	West
	PAPER SENSITIZED MFRS. (P1480)	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100.	62957	1982	Premise Match	60m	West
	PRINTERS - LETTERPRESS. (P8420)	Boyea-SInclair (Typography) Pty. Ltd., 2/18 Orchard Rd., Brookvale. 2100.	66012	1982	Premise Match	60m	West
	TYPESETTERS - TRADE. (T8500)	Boyes-Sinclalr (Typography) Pty. Ltd., 2/18 Orchard Rd., Brookvale. 2100.	82408	1982	Premise Match	60m	West
	ENGINEERS-GENERAL &/OR MANUFACTURING &/OR MECHANICAL. (E7140)	Cowie Engineering Co. Pty. Ltd., 4/18 Orchard Rd., Brookvale. 2100.	27935	1982	Premise Match	60m	West

ap Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
26	ENGINEERS - MINING. (E7560)	Cowle Engineering Co. Pty. Ltd., 4/18 Orchard Rd., Brookvale. 2100.	28788	1982	Premise Match	60m	West
	ELECTRICAL SWITCHBOARD MFRS. &/OR DISTS. (E3960)	E. G. W. Controls Pty. Ltd., 3/18 Orchard Rd., Brookvale. 2100.	25996	1982	Premise Match	60m	West
	FIREPLACE MFRS. (F2350)	Hoffmann & Delbridge Eng. Pty. Ltd., 5/14 Orchard Rd., Brookvale.2100.	30824	1982	Premise Match	60m	West
	KITCHEN UNIT MANUFACTURERS.(K0500)	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale. 2100.	44194	1982	Premise Match	60m	West
	UPHOLSTERERS. (U0450)	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale. 2100.	82860	1982	Premise Match	60m	West
	ELECTRICAL CONTRACTORS -LICENSED. (E3360)	L. & T. Electric Pty. Ltd 18 Orchard Rd., Brookvale. 2100.	25485	1982	Premise Match	60m	West
	FURNITURE-LOUNGE SUITES MFRS. &/OR W/SALERS. (F7800)	Prestige Upholstery Pty. Ltd., 1/14 Orchard Rd., Brookvale. 2100.	35224	1982	Premise Match	60m	West
	DRAWING OFFICE SUPPLIES	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	19717	1978	Premise Match	60m	West
	PAPER SENSITIZED MFRS.	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	56069	1978	Premise Match	60m	West
	TYPESETTERS-TRADE.	Boyes-SInciair (Typography) Pty. Ltd, 2/18 Orchard Rd, Brookvale. 2100	72674	1978	Premise Match	60m	West
	TYPOGRAPHERS- ADVERTISING &/OR COMMERCIAL	Boyes-Sinclalr (Typography) Pty. Ltd., 2/18 Orchard Rd., Brookvale. 2100	72824	1978	Premise Match	60m	West
	ENGINEERS- GENERAL &/OR MANUFACTURING &/OR MECHANICAL	Cowie Engineering Co. Pty. Ltd., 4/18 Orchard Rd., Brookvale. 2100	25004	1978	Premise Match	60m	West
	ELECTRICAL SWITCHBOARD MFRS. &/OR DISTS.	E.G.W. Controls Pty. Ltd, 3/18 Orchard Rd, Brookvale. 2100	23021	1978	Premise Match	60m	West
	FOOD PROCESSING MACHINERY MFRS. &/OR DEALERS.	Farindon, A.C. Pty. Ltd., 4/14 Orchard Rd., Brookvale. 2100	28958	1978	Premise Match	60m	West
	METAL PRESSERS &/OR STAMPERS.	Farindon. A. C. Pty. Ltd., 4/14 Orchard Rd., Brookvale. 2100	45553	1978	Premise Match	60m	West
	FIREPLACE MFRS.	Hoffman & Delbridge Eng. Pty. Ltd., 5/14 Orchard Rd., Brookvale. 2100	27889	1978	Premise Match	60m	West
	FURNITURE-KITCHEN UNITS &/OR CABINETS MFRS. &/OR W/SALERS.	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale. 2100	31896	1978	Premise Match	60m	West
	UPHOLSTERERS.	International Kitchens Pty. Ltd., 6/14 Orchard Rd., Brookvale. 2100	73107	1978	Premise Match	60m	West
	ELECTRICAL CONTRACTORS-LICENSED.	L. & T. Electric Pty. Ltd., 18 Orchard Rd., Brookvale. 2100	22428	1978	Premise Match	60m	West
	FURNITURE-LOUNGE SUITES MFRS. &/OR W/SALERS.	Prestige Upholstery Pty. Ltd., 1/14 Orchard Rd., Brookvale. 2100	31967	1978	Premise Match	60m	West
	OPTICAL SUPPLIES MFRS. &/OR W/SALERS.	Tasco Sales Pty Ltd, 12 Orchard Rd, Brookvale 2100	54938	1978	Premise Match	60m	West
	IMPORTERS.	Tasco Sales Pty. Ltd., 12 Orchard Rd., Brookvale. 2100	37150	1978	Premise Match	60m	West
	MANUFACTURERS AGENTS.	Tasco Sales Pty. Ltd., 12 Orchard Rd., Brookvale. 2100	41474	1978	Premise Match	60m	West
	SCREEN PROCESS PRINTERS.	Watson Screen print, 6/18 Orchard Rd., Brookvale. 2100	65280	1978	Premise Match	60m	West
	DRAWING OFFICE SUPPLIES.	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	22723	1975	Premise Match	60m	West
	PAPER COATERS &/OR TREATERS.	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	65881	1975	Premise Match	60m	West
	PAPER SENSITIZED MFRS.	Ados Pty. Ltd., 10 Orchard Rd., Brookvale. 2100	66056	1975	Premise Match	60m	West
	ENGINEERS - GENERAL &/OR MANUFACTURING &/OR MECHANICAL	Cowle Engineering Co. Pty. Ltd., 18 Orchard Rd., Brookvale. 2100.	28914	1975	Premise Match	60m	West
	COPPERSMITHS	Hoffman, & Delbridge Eng. Pty. Ltd., 18 Orchard Rd., Brookvale. 2100	18933	1975	Premise Match	60m	West
	FURNITURE-KITCHEN UNITS &/OR CABINET MFRS. &/OR W/SALERS	International Kitchens., 14 Orchard Rd., Brookvale. 2100	37041	1975	Premise Match	60m	West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
26	ELECTRICAL CONTRACTORS-LICENSED.	L. & T. Electric Pty. Ltd., 18 Orchard Rd., Brookvale. 2100	25876	1975	Premise Match	60m	West
	PRINTERS-LETTERPRESS.	Print Promotions Pty. Ltd., 14 Orchard Rd., Brookvale. 2100	69609	1975	Premise Match	60m	West
	PRINTERS-LITHOGRAPHIC (OFFSET).	Print Promotions Pty. Ltd., 14 Orchard Rd., Brookvale. 2100	70032	1975	Premise Match	60m	West
	FURNITURE MFRS. &/OR W/SALERS OFFICE	Revcon Furniture Pty. Ltd., 14 Orchard Rd., Brookvale. 2100	37199	1975	Premise Match	60m	West
	PAPER-SENSITISED-MFRS. (P149)	Ados Pty. Ltd., 10 Orchard Rd., Brookvale, 2100	347223	1970	Premise Match	60m	West
	DESIGN CONSULTANTS (D175)	Club Development & Finance Corp. Pty. Ltd., 14 Orchard Rd., Brookvale	289229	1970	Premise Match	60m	West
	FURNITURE & FURNISHINGS (F726)	Club Development & Finance Corp.Pty. Ltd., 14 Orchard Rd., Brookvale	308655	1970	Premise Match	60m	West
	VENEER MANUFACTURERS &/OR MERCHANTS (V110)	Consolidated Joinery Pty. Ltd., 2/18 Orchard Rd., Brookvale	372489	1970	Premise Match	60m	West
	ENGINEERS-GENERAL &/OR MFRG.&/OR MECHANICAL (E615)	Cowie Engineering Co. Pty. Ltd., 18 Orchard Rd., Brookvale.	299013	1970	Premise Match	60m	West
	FLUORESCENT LIGHTING EQUIPMENT MANUFACTURERS (F365)	Designed Lighting Co. (N.S.W.) Pty. Ltd., 14 Orchard Rd., Brookvale, 2100	304578	1970	Premise Match	60m	West
	MOTOR GARAGES & ENGINEERS(M6S6)	Erskine & Prothero., 14 Orchard Rd., BROOKVALE	337738	1970	Premise Match	60m	West
	FIBREGLASS MOULDERS/FABRICATORS	G.P.S. (FIBREGLASS) INDUSTRIES., 3-14 ORCHARD RD., BROOKVALE, 2100.	302419	1970	Premise Match	60m	West
	MOTOR PAINTERS (M672)	J. T. Car Repairs., 14 Orchard Rd., Brookvale	339396	1970	Premise Match	60m	West
	MOTOR PANEL BEATERS (M680)	J. T. Car Repairs., 14 Orchard Rd., Brookvale	340148	1970	Premise Match	60m	West
	JOINERY MERCHANTS (J250)	Reeves, A. L., 14 Orchard Rd., Brookvale	321968	1970	Premise Match	60m	West
	MOTOR RACING CAR & EQUIP DESIGNERS (M692)	U. S. Performance Engineering., 14 Orchard Rd., Brookvale	340650	1970	Premise Match	60m	West
	SHOP/OFFICE FITTERS (S276)	Vanooi, W. & Richardson, A., 14 Orchard Rd., Brookvale, 2100	361414	1970	Premise Match	60m	West
	WELDERS-ELECTRIC &/OR OXY	Brookvale Construction Company, 18 Orchard Rd., Brookvale	261937	1961	Premise Match	60m	West
	READY-CUT HOMES	Dymac Pty. Ltd., 18 Orchard Rd., Brookvale	364901	1961	Premise Match	60m	West
27	Engineers Structural	Lonergan D Steel, 14 Powells Rd., Brookvale 2100	44863	1991	Premise Match	60m	West
	Toolmakers	T.A Tooling, 14 Powells Rd Brookvale 2100	64678	1991	Premise Match	60m	West
	Mouldings Mfrs &/or Dists	T.A. Tooling 14 Powells Rd. Brookvale. 2100	55767	1991	Premise Match	60m	West
	MOULDING MFRS.	Nubrook Engineering Pty. Ltd., 14 Powells Rd., Brookvale. 2100	68865	1986	Premise Match	60m	West
	TOOLMAKERS.	Nubrook Engineering Pty. Ltd., 14 Powells Rd., Brookvale. 2100	94196	1986	Premise Match	60m	West
	WASHING MACHINE SALES &/OR SERVICE.	Warringah Washer Service, 14 Powells Rd., Brookvale. 2100	98256	1986	Premise Match	60m	West
	BEARINGS &/OR BUSH MFRS.&/OR DISTS. (B1980)	Associated Bearing Co., 14 Powells Rd., Brookvale. 2100.	5080	1982	Premise Match	60m	West
	BEARINGS &/OR BUSH MFRS. &/OR DISTS.	Associated Bearing Co., 14 Powells Rd., Brookvale. 2100	4629	1978	Premise Match	60m	West
	TOOLMAKERS.	D. & L. Roberts, 14 Powells Rd, Brookvale.2100	71350	1978	Premise Match	60m	West
	ENGINEERS-PRECISION.	D.& L. Roberts. 14 Powells Rd., Brookvale. 2100	25945	1978	Premise Match	60m	West
	RADIO &/OR TELEVISION SALES &/OR SERVICEMEN.	Valna Sales & Service Pty. Ltd., 14 Powells Rd., Brookvale. 2100	61163	1978	Premise Match	60m	West
	BEARINGS &/OR BUSH MFRS. &/OR DISTS.	Associated Bearing Co., 14 Powells Rd., Brookvale. 2100.	4853	1975	Premise Match	60m	West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
27	TOOLMAKERS	D. & L. Roberts, 14 Powells Rd., Brookvale. 2100	83947	1975	Premise Match	60m	West
	ENGINEERS-PRECISION.	D. & L. Roberts, 14 Powells Rd., Brookvale. 2100.	29958	1975	Premise Match	60m	West
	RADIO &/OR TELEVISION SALES &/OR SERVICEMEN.	Valna Sales & Service Co., 14 Powells Rd., Brookvale. 2100	71740	1975	Premise Match	60m	West
	BUILDERS & CONTRACTORS (B800)	Connor Concrete & Building Constructions, 14 Powells Rd., Brookvale	270036	1970	Premise Match	60m	West
	CONCRETE CONTRACTORS- CONSTRUCTIONAL (C560)	Connor Concrete & Building Constructions., 14 Powells Rd., Brookvale	285053	1970	Premise Match	60m	West
	BRICKLAYERS & BRICKLAYING CONTRACTORS (B724)	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	269667	1970	Premise Match	60m	West
	CONCRETE POST MFRS. (C590)	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	285222	1970	Premise Match	60m	West
	FENCING CONTRACTORS (F095)	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	302297	1970	Premise Match	60m	West
	CONCRETE PRODUCTS MFRS. (C593)	Fencing Industries., 14 Powells Rd., Brookvale	285245	1970	Premise Match	60m	West
	FENCE/GATE MFRS. (F090)	Fencing industries., 14 Powells Rd., Brookvale	302239	1970	Premise Match	60m	West
	ENGINEERS-PRODUCTION (E710)	Production Systems' (Aust.) Pty. Ltd., 14 Powells Rd., Brookvale.	300566	1970	Premise Match	60m	West
	Builders & Contractors	Connor Concrete & Building Construction., 14 Powells Rd., Brookvale	55201	1965	Premise Match	60m	West
	Fencing Contractors	Connor, J. V., 14 Powells Rd., Brookvale	85702	1965	Premise Match	60m	West
	Concrete Post Mfrs.	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	69889	1965	Premise Match	60m	West
	Fencing Contractors	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	85708	1965	Premise Match	60m	West
	Concrete Products Mfrs.	Fencing Industries, 14 Powells Rd., Brookvale	69908	1965	Premise Match	60m	West
	Fence/Gate Mfrs.	Fencing Industries, 14 Powells Rd., Brookvale	85635	1965	Premise Match	60m	West
	BUILDERS & CONTRACTORS	Connor Concrete & Building Construction, 14 Powells Rd., Brookvale	276278	1961	Premise Match	60m	West
	FENCING CONTRACTORS	Connor, J. V., 14 Powells Rd., Brookvale	309909	1961	Premise Match	60m	West
	BRICKLAYERS & BRICKLAYING CONTRACTOR	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	275828	1961	Premise Match	60m	West
	CONCRETE POST MFRS.	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	292396	1961	Premise Match	60m	West
	FENCING CONTRACTORS	Fencing Industries Pty. Ltd., 14 Powells Rd., Brookvale	309917	1961	Premise Match	60m	West
	CONCRETE PRODUCTS MFRS.	Fencing Industries, 14 Powells Rd., Brookvale	292419	1961	Premise Match	60m	West
	FENCE/GATE MFRS.	Fencing Industries, 14 Powells Rd., Brookvale	309837	1961	Premise Match	60m	West
28	Motor Engineers	Alder Performance Engineering, 39 Mitchell Rd, Brookvale 2100	52961	1991	Premise Match	64m	North East
	Motor Engine Reconditioners	Alder Performance Engineering, 39 Mitchell Rd., Brookvale 2100	96270	1991	Premise Match	64m	North East
	Bolt, Nut &/or Rivet Mfrs &/or Dists	Alder Performance Engineering., 39 Mitchell Rd., Brookvale 2100	36331	1991	Premise Match	64m	North East
	Motor Engineers	Gray L E & K W Pty Ltd, 39 Mitchell Rd, Brookvale 2100	53195	1991	Premise Match	64m	North East
	BOLT &/OR NUT MFRS. &/OR DISTS.	Alder Performance Engineering, 39 Mitchell Rd., Brookvale. 2100	6670	1986	Premise Match	64m	North East
	MOTOR ENGINE RECONDITIONERS.	Alder Performance Engineering, 39 Mitchell Rd., Brookvale. 2100	63072	1986	Premise Match	64m	North East
	MOTOR ENGINE RECONDITIONERS. (M6640)	Alder Performance Engineering, 39 Mitchell Rd., Brookvale. 2100.	55635	1982	Premise Match	64m	North East

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28	MOTOR ENGINE RECONDITIONERS.	Alder Performance Engineering, 39 Mitchell Rd., Brookvale. 2100	49099	1978	Premise Match	64m	North East
	MOTOR GARAGES &/OR ENGINEERS.	Alder Performance Engineering., 39 Mitchell Rd., Brookvale. 2100	58312	1975	Premise Match	64m	North East
29	Display & Exhibition Equipment &/or Supplies	Original Displays (Aust) Pty. Ltd, 13 Orchard Rd., Brookvale 2100	41545	1991	Premise Match	64m	North West
	Shop &/or Office Fittings Mfrs &/or Dists	Original Displays (Aust.) Pty Ltd, 13 Orchard Rd Brookvale 2100	62418	1991	Premise Match	64m	North West
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	Original Displays (Aust.) Pty. Ltd., 13 Orchard Rd., Brookvale. 2100	24312	1986	Premise Match	64m	North West
	SIGN MFRS. &/OR DISTS.	Original Displays (Aust.) Pty. Ltd., 13 Orchard Rd., Brookvale. 2100	86739	1986	Premise Match	64m	North West
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS. (D4260)	Original Displays (Aust.) Pty. Ltd., 13 Orchard Rd., Brookvale. 2100.	21727	1982	Premise Match	64m	North West
	SIGN MFRS. (S3360)	Original Displays (Aust.) Pty. Ltd., 13 Orchard Rd., Brookvale. 2100.	74864	1982	Premise Match	64m	North West
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale. 2100	22071	1975	Premise Match	64m	North West
	SCREEN PROCESS PRINTERS	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale. 2100	76239	1975	Premise Match	64m	North West
	SHOP & OR/OFFICE FITTERS	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale. 2100	77442	1975	Premise Match	64m	North West
	ADVERTISING-DISPLAY SPECIALISTS.	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale. 2100.	1197	1975	Premise Match	64m	North West
	DISPLAY FITTINGS- MFRS.&/OR SUPPLIERS (D350)	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale	289787	1970	Premise Match	64m	North West
	PLASTIC DISPLAY UNITS (P553)	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale	349475	1970	Premise Match	64m	North West
	PLASTIC DISPLAY UNITS (P553)	ORIGINAL DISPLAYS PTY. LTD., 13 ORCHARD RD., BROOKVALE, 2100	349474	1970	Premise Match	64m	North West
	ADVERTISING DISPLAY SPECIALISTS	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale.	260181	1970	Premise Match	64m	North West
	SCREEN PROCESS PRINTERS (S168)	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale.	359996	1970	Premise Match	64m	North West
	SHOP/OFFICE FITTERS (S276)	Original Displays Pty. Ltd., 13 Orchard St., Brookvale	361383	1970	Premise Match	64m	North West
	Screen Process Printers	Original Displays Pty. Ltd., 8 Sydenham Rd,. Brookvale	143348	1965	Premise Match	64m	North West
	Advertising Display Spec.	Original Displays Pty. Ltd., 8 Sydenham Rd., Brookvale	45005	1965	Premise Match	64m	North West
	Display Fittings - Mfrs. &/or Suppliers	Original Displays Pty. Ltd., 8 Sydenham Rd., Brookvale	74439	1965	Premise Match	64m	North West
	Plastic Display Units	Original Displays Pty. Ltd., 8 Sydenham Rd., Brookvale	133730	1965	Premise Match	64m	North West
	SHOP/OFFICE FITTERS	Original Displays Pty. Ltd., 8 Sydenham Rd., Brookvale	144645	1965	Premise Match	64m	North West
	BAKERS - BREAD	Rose Bros., S. & C. Bakery., 8 Sydenham Rd., Brookvale	49270	1965	Premise Match	64m	North West
	ADVERTISING DISPLAY SPEC.	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale	266537	1961	Premise Match	64m	North West
	SHOP/OFFICE FITTERS	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale	250106	1961	Premise Match	64m	North West
	SILK SCREEN CRAFTSMEN	Original Displays Pty. Ltd., 13 Orchard Rd., Brookvale	250529	1961	Premise Match	64m	North West
	DISPLAY FITTINGS-MFRS. &/OR SUPPLIES	Original Displays Pty. Ltd., 13 Orchard St., Brookvale	297200	1961	Premise Match	64m	North West
	PLASTIC DISPLAY UNITS	Original Displays Pty. Ltd., 13 Orchard St., Brookvale	359098	1961	Premise Match	64m	North West
	SAWMILLERS	Vale Timber Co. Pty. Ltd., 13 Orchard Rd., Brookvale	248051	1961	Premise Match	64m	North West
	TIMBER MERCHANTS	Vale Timber Co. Pty. Ltd., 13 Orchard Rd., Brookvale	257552	1961	Premise Match	64m	North West

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30	Metal Spinners	A.D.N Spunware, 1 Powells Rd., Brookvale. 2100	51716	1991	Premise Match	70m	South
	METAL SPINNERS.	A D N Spunware, 1 Powells Rd., Brookvale. 2100	58867	1986	Premise Match	70m	South
	PAINT – INDUSTRIAL PROTECTIVE COATING.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	71565	1986	Premise Match	70m	South
	PAINT - PLASTIC - MFRS. &/OR DISTS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	71651	1986	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH, STAIN MFRS. &/OR DISTS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	71484	1986	Premise Match	70m	South
	PAINT – INDUSTRIAL PROTECTIVE COATING.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	71574	1986	Premise Match	70m	South
	PAINT - PLASTIC - MFRS. &/OR DISTS.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	71656	1986	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH, STAIN MFRS. &/OR DISTS.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	71498	1986	Premise Match	70m	South
	METAL SPINNERS. (M2560)	A.D.N. Spunware, 1 Powells Rd., Brookvale. 2100.	51890	1982	Premise Match	70m	South
	PAINT -PLASTIC- MFRS. &/OR DISTS, (P0640)	C O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100.	62495	1982	Premise Match	70m	South
	PAINT - INDUSTRIAL PROTECTIVECOATING. (P0400)	C. O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100.	62429	1982	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH, STAIN MFRS.&/OR DISTS. (P0360)	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100.	62370	1982	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH, STAIN MFRS.&/OR DISTS. (P0360)	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100.	62371	1982	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS. (T3225)	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100.	79781	1982	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS. (T3225)	Durobond Paints, 3 Powells Rd, Brookvale. 2100.	79784	1982	Premise Match	70m	South
	PAINT - INDUSTRIAL PROTECTIVECOATING. (P0400)	Durobond Paints, 3 Powells Rd., Brookvale. 2100.	62438	1982	Premise Match	70m	South
	PAINT -PLASTIC- MFRS. &/OR DISTS, (P0640)	Durobond Paints, 3 Powells Rd., Brookvale. 2100.	62499	1982	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH, STAIN MFRS.&/OR DISTS. (P0360)	Durobond Paints, 3 Powells Rd., Brookvale. 2100.	62381	1982	Premise Match	70m	South
	FLY SCREEN DOOR &/OR WINDOW MFRS. &/OR DISTS. (F4475)	Northside Screens, 1 Powells Rd., Brookvale. 2100,	31774	1982	Premise Match	70m	South
	METAL SPINNERS.	A.D.N. Spunware, 1 Powells Rd., Brookvale. 2100	45655	1978	Premise Match	70m	South
	PAINT-LACQUER MFRS.	C. O. Manufacturing Co. 3 Powells Rd., Brookvale. 2100	55501	1978	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH/STAIN MFRS. &/OR DISTS.	C. O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	55398	1978	Premise Match	70m	South
	PAINT-INDUSTRIAL PROTECTIVE COATING.	C. O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	55457	1978	Premise Match	70m	South
	PAINT-PLASTIC MFRS.	C. O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	55554	1978	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS.	C.O. Manufacturing Co, 3 Powells Rd, Brookvale.2100	70368	1978	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS.	Durobond Paints, 3 Powells Rd, Brookvale.2100	70370	1978	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH/STAIN MFRS. &/OR DISTS.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	55410	1978	Premise Match	70m	South
	PAINT-INDUSTRIAL PROTECTIVE COATING.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	55467	1978	Premise Match	70m	South
	PAINT-PLASTIC MFRS.	Durobond Paints, 3 Powells Rd., Brookvale. 2100	55559	1978	Premise Match	70m	South
	PAINT-LACQUER MFRS.	Durobond Paints. 3 Powells Rd., Brookvale. 2100	55508	1978	Premise Match	70m	South

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30	MOTOR PAINTERS.	R. & A. Auto Refinishers 1 Powells Rd., Brookvale. 2100	51621	1978	Premise Match	70m	South
	MOTOR PANEL BEATERS	R. & A. Auto Refinishers, 1 Powells Rd., Brookvale. 2100	52294	1978	Premise Match	70m	South
	FURNITURE-KITCHEN UNITS &/OR CABINETS MFRS. &/OR W/SALERS.	Sherwood Furniture, 1 Powells Rd., Brookvale. 2100	31917	1978	Premise Match	70m	South
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Wickham, P. Automotive Pty. Ltd., 1 Powells Rd., Brookvale. 2100	51107	1978	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH/STAIN MFRS. &/OR DISTS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	65304	1975	Premise Match	70m	South
	PAINT-INDUSTRIAL PROTECTIVE COATING.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	65351	1975	Premise Match	70m	South
	PAINT-LACQUER MFRS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	65389	1975	Premise Match	70m	South
	PAINT-PLASTIC MFRS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	65440	1975	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS.	C.O. Manufacturing Co., 3 Powells Rd., Brookvale. 2100	82863	1975	Premise Match	70m	South
	PAINT, ENAMEL, VARNISH/STAIN MFRS. &/OR DISTS.	Durobond Paints., 3 Powells Rd., Brookvale. 2100	65313	1975	Premise Match	70m	South
	PAINT-INDUSTRIAL PROTECTIVE COATING.	Durobond Paints., 3 Powells Rd., Brookvale. 2100	65360	1975	Premise Match	70m	South
	PAINT-LACQUER MFRS.	Durobond Paints., 3 Powells Rd., Brookvale. 2100	65396	1975	Premise Match	70m	South
	PAINT-PLASTIC MFRS.	Durobond Paints., 3 Powells Rd., Brookvale. 2100	65445	1975	Premise Match	70m	South
	TEXTILE MFRS. SUPPLIERS.	Durobond Paints., 3 Powells Rd., Brookvale. 2100	82865	1975	Premise Match	70m	South
	MOTOR PAINTERS.	R & A. Auto Refinishers., 1 Powells Rd., Brookvale. 2100	60368	1975	Premise Match	70m	South
	MOTOR PANEL BEATERS.	R. & A. Auto Refinishers., 1 Powells Rd., Brookvale. 2100	61058	1975	Premise Match	70m	South
	FURNITURE-KITCHEN UNITS & CABINETS- MANUFACTURERS &/OR WHOLESALERS	Kitchen Master Pty. Ltd., 3 Powells Rd., Brookvale	309674	1970	Premise Match	70m	South
	Concrete Products Mfrs.	Giuffida, V., 3 Powells Rd., Brookvale	69909	1965	Premise Match	70m	South
	Cement Garden Ornament Mfrs.	Giuffrida, V., 3 Powells Rd., Brookvale	63752	1965	Premise Match	70m	South
31	Novelty Goods Mfrs &/or Imps &/or W/salers	C A Toys, 5 Powells Rd., Brookvale. 2100	55903	1991	Premise Match	70m	South
	Toy Mfrs &/or Imps &/or Wsalers	CA Toys, 5 Powells Rd Brookvale 2100	64730	1991	Premise Match	70m	South
	TOY IMPS. &/OR W/SALERS.	C.A. Imports, 5 Powells Rd., Brookvale. 2100	94611	1986	Premise Match	70m	South
	TOY IMPS. &/OR W/SALERS. (T6225)	C.A. Imports, 5 Powells Rd., Brookvale. 2100	81263	1982	Premise Match	70m	South
	MOTOR EXHAUST SYSTEMS MFRS. (M6705)	D & D Exhausts, 7 Powells Rd., Brookvale. 2100.	55847	1982	Premise Match	70m	South
	FENCE &/OR GATE MFRS.	Fencing Industries Pty. Ltd., 7 Powells Rd., Brookvale. 2100	27226	1978	Premise Match	70m	South
	FENCING CONTRACTORS.	Fencing Industries Pty. Ltd., 7 Powells Rd., Brookvale. 2100	27268	1978	Premise Match	70m	South
	BUILDERS &/OR BUILDING CONTRACTORS.	School Repairs Services, 7 Powells Rd., Brookvale. 2100	7892	1978	Premise Match	70m	South
	BUILDING ALTERATIONS &/OR REPAIRS.	School Repairs Services, 7 Powells Rd., Brookvale. 2100	8416	1978	Premise Match	70m	South
	FENCE &/OR GATE MFRS.	Fencing Industries Pty. Ltd., 7 Powells Rd., Brookvale. 2100.	31428	1975	Premise Match	70m	South
	FENCING CONTRACTORS.	Fencing Industries Pty. Ltd., 7 Powells Rd., Brookvale. 2100.	31466	1975	Premise Match	70m	South
	HONEY MERCHANTS.	McNall.B. G., 5 Powells Rd., Brookvale. 2100	42409	1975	Premise Match	70m	South

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
31	BUILDERS &/OR BUILDING CONTRACTORS.	School Repairs Services, 7 Powells Rd., Brookvale. 2100	8658	1975	Premise Match	70m	South
	HONEY MERCHANTS (H510)	McNall, V. G., 5 Powells Rd., Brookvale	316673	1970	Premise Match	70m	South
	Wax Mfrs. &/or Importers	Malan, V. G., 5 Powells Rd., Brookvale	156086	1965	Premise Match	70m	South
	Honey Merchants	McNall, V. G., 5 Powells Rd., Brookvale	100649	1965	Premise Match	70m	South
	HONEY MERCHANTS	McNall V G 5 Powells Rd., Brookvale	324559	1961	Premise Match	70m	South
	HONEY MERCHANTS	McNall, V. G., 5 Powells Rd., Brookvale	324560	1961	Premise Match	70m	South
	WAX MANUFACTURERS &/OR IMPORTERS	McNall, V. G., 5 Powells Rd., Brookvale	261699	1961	Premise Match	70m	South
32	Builders Equipment &/or Plant Hirers	Cyclone Scaffolding Pty Ltd., 34 Orchard Rd., Brookvale 2100	36977	1991	Premise Match	70m	East
	Concrete Formwork, Form Ties & Accessories Mfrs &/or Suppliers	Cyclone Scaffolding Pty. Ltd., 34 Orchard Rd., Brookvale 2100	40469	1991	Premise Match	70m	East
	SCAFFOLD MFRS.&/OR ERECTORS &/OR HIRERS.	Cyclone Scaffolding Pty. Ltd., 34 Orchard Rd., Brookvale. 2100	84621	1986	Premise Match	70m	East
	SCAFFOLDING ERECTORS &/OR HIRERS. (S1140)	Cyclone Scaffolding Pty. Ltd, 34 Orchard Rd., Brookvale. 2100.	73240	1982	Premise Match	70m	East
	BUILDERS SUPPLIERS.	Cyclone Double Grip Scaffolding Pty. Ltd., 36 Orchard Rd., Brookvale. 2100	9212	1975	Premise Match	70m	East
33	Tiling Equipment &/or Supplies	Homelux Pty Ltd, 54 Wattle St Brookvale 2100	64295	1991	Premise Match	70m	South West
34	Motor Transmission Specialists	Wheeler Bob Automatics Pty Ltd, 37 Mitchell Rd Brookvale 2100	55404	1991	Premise Match	70m	North East
	MOTOR GEAR &/OR TRANSMISSION SPECIALISTS.	Wheeler, Bob Automatics Pty. Ltd., 37 Mitchell Rd., Brookvale. 2100	65847	1986	Premise Match	70m	North East
	MOTOR TRANSMISSION SPECIALISTS.	Wheeler, Bob Automatics Pty. Ltd., 37 Mitchell Rd., Brookvale. 2100	68185	1986	Premise Match	70m	North East
	MOTOR GEAR &/OR TRANSMISSION SPECIALISTS. (M6920)	Wheeler, Bob Automatics Pty. Ltd., 37 Mitchell Rd., Brookvale. 2100.	57932	1982	Premise Match	70m	North East
	MOTOR TRANSMISSIONS. (M8240)	Wheeler, Bob Automatics Pty. Ltd., 37 Mitchell Rd., Brookvale. 2100.	59778	1982	Premise Match	70m	North East
	MOTOR TRANSMISSIONS.	Wheeler, B, 37 Mitchell Rd, Brookvale 2100	53254	1978	Premise Match	70m	North East
	MOTOR GEAR SPECIALISTS.	Wheeler, B., 37 Mitchell Rd., Brookvale. 2100	51171	1978	Premise Match	70m	North East
35	Motor Radiator Specialists &/or Repairers	Australian Radiator Manufacturers Pty. Ltd., 18 Sydenham Rd., Brookvale 2100	54949	1991	Premise Match	71m	North
	MUSICAL INSTRUMENT MFRS. &/OR IMPS.	Australis Instruments Pty Ltd, 18 Sydenham Rd, Brookvale 2100	53672	1978	Premise Match	71m	North
	ORGAN BUILDERS &/OR TUNERS.	Australis Instruments Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100	55006	1978	Premise Match	71m	North
	AIR CONDITIONING UNIT &/OR MACHINERY MFRS.	Bonaire Industries Pty. Ltd., 18 Sydenham Rd, Brookvale. 2100.	1766	1975	Premise Match	71m	North
	HEATING SYSTEMS.	Bonaire Industries Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100	42008	1975	Premise Match	71m	North
	OIL HEATING DOMESTIC &/OR INDUSTRIAL	Bonaire Industries Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100	64693	1975	Premise Match	71m	North
	AIR CONDITIONING SALES &/OR SERVICE	Bonaire Industries Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100.	1689	1975	Premise Match	71m	North
	ENGINEERS-AIR CONDITIONING.	Bonaire Industries Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100.	27412	1975	Premise Match	71m	North
	FAN &/OR BLOWER MFRS. &/OR DISTS.	Bonaire Industries Pty. Ltd., 18 Sydenham Rd., Brookvale. 2100.	31278	1975	Premise Match	71m	North
36	Furniture Mfrs &/or W/salers Custom Built	Captive Coloured Furniture, 16 Sydenham Rd., Brookvale. 2100	46958	1991	Premise Match	71m	North
	Furniture Mfrs &/or W/salers Office	Captive Coloured Furniture, 16 Sydenham Rd., Brookvale. 2100	47194	1991	Premise Match	71m	North
	Engineers Fabricating	VGS General Engineering Pty Ltd, 16 Sydenham Rd Brookvale 2100	43830	1991	Premise Match	71m	North

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36	Engineers General	VGS General Engineering Pty Ltd, 16 Sydenham Rd Brookvale 2100	44385	1991	Premise Match	71m	North
	MOTOR TRIMMERS.	K. & C. Motor Trimmers, Rear 16 Sydenham Rd., Brookvale. 2100	68232	1986	Premise Match	71m	North
	STEEL ERECTORS. (S6075)	Parada - Laimes, 16 Sydenham Rd., Brookvale. 2100.	76803	1982	Premise Match	71m	North
	WELDERS - ELECTRIC &/OR OXY.(W3160)	Parada - Laimes, 16 Sydenham Rd., Brookvale. 2100.	84213	1982	Premise Match	71m	North
	Motor Painters	Jones, N. & Co., 16 Sydenham Rd., Brookvale	123998	1965	Premise Match	71m	North
	Motor Panel Beaters	Jones, N. & Co., 16 Sydenham Rd., Brookvale	124751	1965	Premise Match	71m	North
	Welders - Electric &/or Oxy	Jones, N. & Co., 16 Sydenham Rd., Brookvale	156566	1965	Premise Match	71m	North
37	T-SHIRT - PRINTERS &/OR SUPPLIERS	Gooses T-Shirt Aust Pty Ltd, 14 Sydenham Rd Brookvale 2100	65033	1991	Premise Match	71m	North
	Screen Printers	Gosses T-Shirt Aust Pty Ltd, 14 Sydenham Rd Brookvale 2100	61712	1991	Premise Match	71m	North
	CHEMICAL MFRS. &/OR IMPS. &/OR DISTS.	Anglo Design Pty. Ltd., 14 Sydenham Rd., Brookvale. 2100	13569	1986	Premise Match	71m	North
	LUBRICATING OILS &/OR GREASES.	Anglo Design Pty. Ltd., 14 Sydenham Rd., Brookvale. 2100	51888	1986	Premise Match	71m	North
38	Carpet &/or Floor Covering Planners &/or Layers	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale 2100	38228	1991	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING RETAILERS &/OR SPECIALISTS.	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100	12528	1986	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING PLANNERS &/OR LAYERS.	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale.2100	12447	1986	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING PLANNERS &/OR LAYERS. (C1815)	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100.	13344	1982	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING RETAILERS &/OR SPECIALISTS.(C1830)	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100.	13430	1982	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING PLANNERS &/OR LAYERS.	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100	11492	1978	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING RETAILERS &/OR SPECIALISTS.	Floormasters Floor Coverings, 12 Sydenham. Rd., Brookvale. 2100	11578	1978	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING PLANNERS &/OR LAYERS.	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100	13410	1975	Premise Match	74m	North
	CARPET &/OR FLOOR COVERING RETAILERS &/OR SPECIALISTS.	Floormasters Floor Coverings, 12 Sydenham Rd., Brookvale. 2100.	13498	1975	Premise Match	74m	North
	FLOOR SANDING/POLISHING CONTRACTORS (F325)	Australian Floor Sanding, Polishing & Carpet Cleaning Co., 12 Sydenham Rd., Brookvale	304184	1970	Premise Match	74m	North
	FLOOR TREATMENT SPECIALISTS	Australian Floor Sanding, Polishing & Carpet Cleaning Co., 12 Sydenham Rd., Brookvale.	304201	1970	Premise Match	74m	North
	PACKAGING/PACKING SPEC. (P 004)	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale	345698	1970	Premise Match	74m	North
	POLISH MFRS./DISTRIBUTORS (P638)	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale	351038	1970	Premise Match	74m	North
	POLISH MFRS./DISTRIBUTORS (P638)	BENHAM PRODUCTS PTY. LTD., 12 SYDENHAM RD., BROOKVALE	351037	1970	Premise Match	74m	North
	CLEANSER & CLEANING PREPARATION MFRS. &/OR DISTS.(C392)	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale.	281905	1970	Premise Match	74m	North
	WAX MANUFACTURERS &/OR IMPORTERS (W115)	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale.	373320	1970	Premise Match	74m	North
	CARPET & FLOOR COVERING RETAILERS &/OR SPECIALISTS(C135)	Floormaster Pty. Ltd., 12 Sydenham Rd., Brookvale, 2100	277743	1970	Premise Match	74m	North

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38	INK MFRS. &/OR IMPORTERS (1310)	Mabie, Todd & Co. Pty. Ltd., 12 Sydenham Rd., Brookvale, 2100	319203	1970	Premise Match	74m	North
	Advertising Novelty Mfrs.	Allen L. R. Pty. Ltd., 12 Sydenham Rd., Brookvale	45063	1965	Premise Match	74m	North
	Advertising Agents - Direct Mail	Allen, L. R. Pty. Ltd., 12 Sydenham Rd., Brookvale	44647	1965	Premise Match	74m	North
	Advertising Novelty Supp.	Allen, L. R. Pty. Ltd., 12 Sydenham Rd., Brookvale	45073	1965	Premise Match	74m	North
	Calendars - Desk, Etc Mfrs. &/or Dists.	Allen, L. R. Pty. Ltd., 12 Sydenham Rd., Brookvale	61702	1965	Premise Match	74m	North
	Christmas & Greeting Card Mfrs. &/or Dists.	Allen, L. R. Pty. Ltd., 12 Sydenham Rd., Brookvale	66286	1965	Premise Match	74m	North
	Floor Sanding/Polishing Contractors	Australian Floor Sanding, Polishing & Carpet Cleaning Co., 12 Sydenham Rd., Brookvale	87501	1965	Premise Match	74m	North
	Floor Treatment Specialists	Australian Floor Sanding, Polishing & Carpet Cleaning Co., 12 Sydenham Rd., Brookvale	87552	1965	Premise Match	74m	North
	Cleaner & Cleaning Preparation Mfrs. &/or Dists.	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale	66475	1965	Premise Match	74m	North
	Packaging/Packing Specialist	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale	130256	1965	Premise Match	74m	North
	Wax Mfrs. &/or Importers	Benham Products Pty. Ltd., 12 Sydenham Rd., Brookvale	156076	1965	Premise Match	74m	North
	Motor Body Repairs/Converters	Buckle Bill Auto Conversions, 12 Sydenham Rd., Brookvale	120097	1965	Premise Match	74m	North
	Motor Car Right-hand Drive Conversions	Buckle Bill Auto Conversions, 12 Sydenham Rd., Brookvale	121209	1965	Premise Match	74m	North
39	PRINTERS SILK &/OR TEXTILE	Gooses T-Shirt Aust. Pty. Ltd., 20 Sydenham Rd., Brookvale. 2100	77149	1986	Premise Match	74m	North East
	FURNITURE-OCCASIONAL- MFRS. &/OR W/SALERS.	Roicil Pty. Ltd., 20 Sydenham Rd., Brookvale. 2100	32098	1978	Premise Match	74m	North East
	FURNITURE-OCCASIONAL- MFRS &/OR W/SALERS.	Roicill Pty. Ltd., 20 Sydenham Rd., Brookvale. 2100	37264	1975	Premise Match	74m	North East
40	Aircraft Maintenance & Repair	Aeroclear, 2/46 Wattle Rd., Brookvale 2100	34216	1991	Premise Match	77m	South East
	Hi-Fedelity Equipment Mfrs &/or Dists	Allison Audio., 1/46 Wattle Rd., Brookvale. 2100	48342	1991	Premise Match	77m	South East
	Adhesive Mfrs &/or Imps &/or Dists	Carson, M. Pty Ltd., 57 Mitchell Rd., Brookvale 2100	33406	1991	Premise Match	77m	South East
	Motor Engineers	Kwik Tune, 46 Mitchell Rd, Brookvale 2100	53270	1991	Premise Match	77m	South East
	Display & Exhibition Equipment &/or Supplies	National Exhibitions & Construction Ltd., 55 Mitchell Rd., Brookvale 2100	41540	1991	Premise Match	77m	South East
	Chemical Machinery &/or Plant Mfrs &/or Imps &/or Dists	Zellweger Pty. Ltd., 42 Wattle Rd., Brookvale 2100	38815	1991	Premise Match	77m	South East
	Engineers Chemical	Zellweger Pty. Ltd., 42 Wattle Rd., Brookvale 2100	43344	1991	Premise Match	77m	South East
	PUBLISHERS.	Iris Publishing Co. Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	78259	1986	Premise Match	77m	South East
	MATTRESS &/OR BEDDING MFRS. &/OR DISTS.	Masment Pty. Ltd., 46 Wattle Rd., Brookvale. 2100	53210	1986	Premise Match	77m	South East
	EXHIBITION DISPLAY DESIGNERS & MANUFATURERS.	National Exhibition Constructions Pty. Ltd. 55 Mitchell Road, Brookvale. 2100	31679	1986	Premise Match	77m	South East
	DISPLAY SPECIALISTS.	National Exhibitions & Construction Ltd., 55 Mitchell Rd, Brookvale. 2100	24355	1986	Premise Match	77m	South East
	DISPLAY FITTINGS & STANDS MFRS. &/OR DISTS. &/OR SUPPLIERS.	National Exhibitions & Construction Ltd., 55 Mitchell Rd., Brookvale. 2100	24309	1986	Premise Match	77m	South East
	ENGINEERS – FABRICATING.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	29568	1986	Premise Match	77m	South East
	SHEET METAL WORKERS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	86162	1986	Premise Match	77m	South East
	STEEL FABRICATORS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	89083	1986	Premise Match	77m	South East

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40	WELDERS - ELECTRIC &/OR OXY.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	98757	1986	Premise Match	77m	South East
	ENGINEERS COMMUNICATIONS.	Zeliweger Uster Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	28733	1986	Premise Match	77m	South East
	ENGINEERS - ELECTRICAL.	Zellweger Uster Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	29259	1986	Premise Match	77m	South East
	ENGINEERS-CHEMICAL.	Zellweger Uster Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	28608	1986	Premise Match	77m	South East
	ENGINEERS-WATER TREATMENT.	Zellweger Uster Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	31534	1986	Premise Match	77m	South East
	INSTRUMENT-SCIENTIFIC ¬MFRS. &/OR IMPS. &/OR DISTS.	Zellweger Uster Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	48548	1986	Premise Match	77m	South East
	ENGINEERS - FABRICATING (E6870)	Warringah Sheet Metal Pty, Ltd., 44 Wattle Rd., Brookvale. 2100.	27653	1982	Premise Match	77m	South East
	STEEL FABRICATORS, (S6105)	Warringah Sheet Metal Pty. Ltd. 44 Wattle Rd., Brookvale. 2100.	77027	1982	Premise Match	77m	South East
	SHEET METAL WORKERS. (S2595)	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100.	74433	1982	Premise Match	77m	South East
	WELDERS - ELECTRIC &/OR OXY.(W3160)	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100.	84279	1982	Premise Match	77m	South East
	ENGINEERS - ELECTRICAL. (E6780)	Zellweger (Uster) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	27398	1982	Premise Match	77m	South East
	ENGINEERS - WATER TREATMENT. (E8580)	Zellweger (Uster) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	29568	1982	Premise Match	77m	South East
	ENGINEERS-CHEMICAL (E6360)	Zellweger (Uster) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	26786	1982	Premise Match	77m	South East
	ENGINEERS- COMMUNICATIONS.(E6510)	Zellweger (Uster) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	26884	1982	Premise Match	77m	South East
	ENGINEERS-FABRICATING.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	24690	1978	Premise Match	77m	South East
	SHEET METAL WORKERS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	65875	1978	Premise Match	77m	South East
	STEEL FABRICATORS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	68211	1978	Premise Match	77m	South East
	WELDERS-ELECTRIC &/OR OXY.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	74372	1978	Premise Match	77m	South East
	ENGINEERS-WATER TREATMENT.	Zellweger (Australia) Pty. Ltd., 42 Wattle Rd., Brookvale 2100	26669	1978	Premise Match	77m	South East
	ENGINEERS-CHEMICAL.	Zellweger (Australia) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	23815	1978	Premise Match	77m	South East
	ENGINEERS- COMMUNICATIONS.	Zellweger (Australia) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	23918	1978	Premise Match	77m	South East
	ENGINEERS-ELECTRICAL.	Zellweger (Australia) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	24446	1978	Premise Match	77m	South East
	INSTRUMENTS-SCIENTIFIC MFRS. &/OR DISTS. &/OR IMPS.	Zellweger (Australia) Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	37768	1978	Premise Match	77m	South East
	RUBBER CEMENT &/OR SOLUTION MFRS.	Carson, M. Pty. Ltd., 46 Wattle Rd., Brookvale. 2100	74755	1975	Premise Match	77m	South East
	ENGINEERS - FABRICATING	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd, Brookvale. 2100	28567	1975	Premise Match	77m	South East
	SHEET METAL WORKERS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	76972	1975	Premise Match	77m	South East
	STEEL FABRICATORS.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	80649	1975	Premise Match	77m	South East
	WELDERS., Electric &/OR OXY.	Warringah Sheet Metal Pty. Ltd., 44 Wattle Rd., Brookvale. 2100	87129	1975	Premise Match	77m	South East
	ENGINEERS- COMMUNICATIONS.	Zellweger Australia Pty. Ltd. 42 Wattle Rd. Brookvale. 2100	27674	1975	Premise Match	77m	South East
	INSTRUMENTS-SCIENTIFIC MFRS- &/OR DISTS. &/OR IMPS.	Zellweger Australia Pty. Ltd., 42 Wattle Rd., Brookvale. 2100	44677	1975	Premise Match	77m	South East
	ENGINEERS-CHEMICAL	Zellweger Australia Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	27554	1975	Premise Match	77m	South East
	ENGINEERS-ELECTRICAL	Zellweger Australia Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	28289	1975	Premise Match	77m	South East

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40	ENGINEERS-WATER TREATMENT.	Zellweger Australia Pty. Ltd., 42 Wattle Rd., Brookvale. 2100.	30780	1975	Premise Match	77m	South East
	SHEET METAL WORKERS (S230)	Warringah Sheet MetaJ & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	360788	1970	Premise Match	77m	South East
	WELDERS-ELECTRIC &/OR OXY	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	374049	1970	Premise Match	77m	South East
	ENGINEERS-FABRICATING (E580)	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 WattleRd., Brookvale	298645	1970	Premise Match	77m	South East
	STEEL FABRICATORS (S673)	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 WattleRd., Brookvale	365387	1970	Premise Match	77m	South East
	Sheet Metal Workers	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	144081	1965	Premise Match	77m	South East
	STEEL FABRICATORS	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	148284	1965	Premise Match	77m	South East
	Welders - Electric &/or Oxy	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	156903	1965	Premise Match	77m	South East
	Engineers - Fabricating	Warringah Sheet Metal & Welding Co., 44 Wattle St., Brookvale	81898	1965	Premise Match	77m	South East
	SHEET METAL WORKERS	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	249444	1961	Premise Match	77m	South East
	WELDERS-ELECTRIC &/OR OXY	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 Wattle Rd., Brookvale	262552	1961	Premise Match	77m	South East
	STEEL FABRICATORS	Warringah Sheet Metal & Welding Co. Pty. Ltd., 44 WattleRd., Brookvale	253563	1961	Premise Match	77m	South East
	ENGINEERS-FABRICATING	Warringah Sheet Metal & Welding Co., 44 Wattle St., Brookvale	305918	1961	Premise Match	77m	South East
41	Bearings &/or Bush Mfrs &/or Imps &/or Dists	Associated Bearing Co., 16 Powells Rd, Brookvale 2100	35812	1991	Premise Match	80m	West
	Motor Garages & Service Stations	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale 2100	97610	1991	Premise Match	80m	West
	BEARINGS &/OR BUSH MFRS. &/OR DISTS.	Associated Bearing Co., 16 Powells Rd., Brookvale. 2100	5612	1986	Premise Match	80m	West
	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powell, Rd., Brookvale. 2100	64282	1986	Premise Match	80m	West
	MOTOR WHEEL ALIGNING & BALANCING SERVICES.	Burleigh Morgan Automotive Repairs, 16 Powells Rd. Brookvale. 2100	68526	1986	Premise Match	80m	West
	AIR CONDITIONING- AUTOMOTIVE.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	2067	1986	Premise Match	80m	West
	MOTOR BRAKE SERVICES.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	61534	1986	Premise Match	80m	West
	MOTOR CLUTCH SPECIALISTS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	62510	1986	Premise Match	80m	West
	MOTOR ENGINE RECONDITIONERS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	63082	1986	Premise Match	80m	West
	MOTOR TUNING SPECIALISTS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	68407	1986	Premise Match	80m	West
	MOTOR REPAIRS. * (M7633)	Burleigh Morgan Automative Repairs 16 Powells Road, Brookvale. 2100	58961	1982	Premise Match	80m	West
	AIR CONDITIONING - AUTOMOTIVE. (A3480)	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100.	1886	1982	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100.	56365	1982	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Haiqaz Bentain, 16 Powells Rd., Brookvale. 2100.	56933	1982	Premise Match	80m	West
	ENGINEERS-HYDRAULIC.	Hydraulic Controls Pty. Ltd., 16 Powells Rd., Brookvale. 2100	25694	1978	Premise Match	80m	West
	ELECTROPLATERS.	Reliable Zinc Plating, 16 Powells Rd., Brookvale. 2100	23390	1978	Premise Match	80m	West
	ENGINEERS-HYDRAULIC.	V.C.C. Australia Pty. Ltd., 16 Powells Rd., Brookvale. 2100	25730	1978	Premise Match	80m	West
	CLEANING CLOTH MFRS.	Boyd, W. E. & Son Pty. Ltd., 16 Powells Rd., Brookvale. 2100	16523	1975	Premise Match	80m	West
	CLEANSER &/OR CLEANING PREPARATIONS MFRS. &/OR DISTS.	Boyd, W. E. & Son Pty. Ltd., 16 Powells Rd., Brookvale. 2100	16559	1975	Premise Match	80m	West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
41	ELECTROPLATERS.	C. & G. Plating Pty. Ltd., 16 Powells Rd., Brookvale. 2100.	26995	1975	Premise Match	80m	West
	ENGINEERS-HYDRAULIC.	Hydraulic Controls Pty. Ltd., 16 Powells Rd., Brookvale. 2100.	29680	1975	Premise Match	80m	West
	ENGINEERS-HYDRAULIC.	U.C.C. Australia Pty. Ltd., 16 Powell Rd., Brookvale. 2100	29709	1975	Premise Match	80m	West
	BLUE METAL SUPPLIES	Booker, A. G., 16 Powells Rd., Brookvale	273507	1961	Premise Match	80m	West
	GRAVEL, SAND/SOIL SUPPLIES	Booker, A. G., 16 Powells Rd., Brookvale	319869	1961	Premise Match	80m	West
42	Cable Flexible &/or Wire Mfrs &/or Dists	Lawrence & Hanson, 35 Mitchell Rd., Brookvale 2100	37924	1991	Premise Match	80m	North East
	Electric Cable Flexible &/or Wire Mfrs &/or Dists	Lawrence & Hanson, 35 Mitchell Rd., Brookvale 2100	41939	1991	Premise Match	80m	North East
	Electrical Contractors Supplies	Lawrence & Hanson, 35 Mitchell Rd., Brookvale 2100	42621	1991	Premise Match	80m	North East
	Electrical Supplies &/or Appliances Mfrs &/or W/salers	Lawrence & Hanson, 35 Mitchell Rd., Brookvale 2100	42706	1991	Premise Match	80m	North East
	CABLE FLEXIBLE &/OR WIRE MFRS, &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	11128	1986	Premise Match	80m	North East
	ELECTRIC CABLE-FLEXIBLE &/OR WIRE-MFRS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26041	1986	Premise Match	80m	North East
	ELECTRIC CIRCUIT BREAKERS MFRS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26079	1986	Premise Match	80m	North East
	ELECTRIC CONDUIT/WIRING ACCESSORIES MFRS. &/OR IMPS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26150	1986	Premise Match	80m	North East
	ELECTRIC FAN MFRS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26213	1986	Premise Match	80m	North East
	ELECTRIC LIGHT FITTINGS (SHADES, BRACKETS, ETC) MFRS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26384	1986	Premise Match	80m	North East
	ELECTRIC SWITCH & CONTROL GEAR MFRS. &/OR IMPS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26805	1986	Premise Match	80m	North East
	ELECTRIC SWITCH & CONTROL GEAR-FLAME &/OR DUST IGNITION PROOF-MFRS. &/OR IMPS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26727	1986	Premise Match	80m	North East
	ELECTRIC TOOLS-PORTABLE-MFRS. &/OR DISTS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26901	1986	Premise Match	80m	North East
	ELECTRICAL ACCESSORIES MFRS. &/OR W/SALERS.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	26967	1986	Premise Match	80m	North East
	ELECTRICAL CONTRACTORS SUPPLIES.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	27262	1986	Premise Match	80m	North East
	ELECTRICAL CONTRACTORS SUPPLIES.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	27268	1986	Premise Match	80m	North East
	ELECTRICAL SUPPLIES &/OR APPLIANCES-WHOLESALE.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	27634	1986	Premise Match	80m	North East
	ELECTRICAL SUPPLIES &/OR APPLIANCES-WHOLESALE.	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100	27640	1986	Premise Match	80m	North East
	ELECTRICAL CONTRACTORS SUPPLIES. (E3405)	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100.	25591	1982	Premise Match	80m	North East
	ELECTRICAL SUPPLIES &/OR APPLIANCES - WHOLESALE. (E3870)	Lawrence & Hanson, 35 Mitchell Rd., Brookvale. 2100.	25927	1982	Premise Match	80m	North East
43	ENGINEERS-GENERAL &/OR MANUFACTURING &/OR MECHANICAL. (E7140)	N. & J., 27 Orchard Rd., Brookvale. 2100.	28231	1982	Premise Match	81m	East
	ENGINEERS - REPETITION. (E8100)	Narn Engineering Pty. Ltd., 27 Orchard Rd., Brookvale. 2100.	29189	1982	Premise Match	81m	East
	ENGINEERS-REPETITION.	Automatic Tooling Pty. Ltd., 27 Orchard Rd., Brookvale. 2100	26165	1978	Premise Match	81m	East
	ENGINEERS-REPETITION.	Narm Engineering Pty. Ltd., 27 Orchard Rd., Brookvale. 2100	26264	1978	Premise Match	81m	East

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
43	METAL PRESSERS &/OR STAMPERS.	Richray Tooling & Engineering Pty. Ltd., 27 Orchard Rd., Brookvale. 2100	52952	1975	Premise Match	81m	East
	TOOLMAKERS	Richray Tooling & Engineering Pty. Ltd., 27 Orchard Rd., Brookvale. 2100	84062	1975	Premise Match	81m	East
	ENGINEERS-PRECISION.	Richray Tooling & Engineering. Pty. Ltd., 27 Orchard Rd., Brookvale. 2100	30018	1975	Premise Match	81m	East
	STAINLESS STEEL FABRICATORS.	RIchray Tooling & Engineering Pty. Ltd., 27 Orchard Rd, Brookvale. 2100	79616	1975	Premise Match	81m	East
	ENGINEERS-REPETITION (E735)	Automatic Tooling Pty. Ltd., 27 Orchard Rd., Brookvale, 2100	300695	1970	Premise Match	81m	East
	SIGN MANUFACTURERS (S317)	Bernasco, N. I. Pty. Ltd., 2-27 Orchard Rd., Brookvale, 2100	361513	1970	Premise Match	81m	East
	ADVERTISING DISPLAY SPECIALISTS	Bernasco, N.I. Pty. Ltd., 2-27 Orchard Rd., Brookvale, 2100	260140	1970	Premise Match	81m	East
44	Record Mfrs &/or Imps &/or Dists	Hughes Leisure Group, 10 Sydenham Rd Brookvale 2100	60849	1991	Premise Match	82m	North
	FOOD PRODUCTS MFRS. &/OR DISTS.	Pymble Kitchen Pty. Ltd., The, 10 Sydenham Rd., Brookvale. 2100	34432	1986	Premise Match	82m	North
	FOOD PRODUCTS MFRS. &/OR DISTS. (F5050)	Pymble Kitchen Pty. Ltd., The, 10 Sydenham Rd., Brookvale. 2100.	32095	1982	Premise Match	82m	North
45	Hospital Equipment &/or Supplies Mfrs &/or Imps &/or Dists	Minivator Pty Ltd, 11 Orchard Rd., Brookvale. 2100	48626	1991	Premise Match	83m	North West
	Lift Mfrs &/or Engineers	Minivator Pty Ltd, 11 Orchard Rd., Brookvale. 2100	50757	1991	Premise Match	83m	North West
	LIFTS.,	Minivator Pty. Ltd. 11 Orchard Road, Brookvale. 2100	51663	1986	Premise Match	83m	North West
	ELEVATOR MFRS. &/OR INSTALLERS &/OR MAINTENANCE.	Minivator Pty. Ltd., 11 Orchard Rd., Brookvale. 2100	28295	1986	Premise Match	83m	North West
	INVALID CHAIR MFRS. &/OR RETAILERS &/OR HIRERS.	Minivator Pty. Ltd., 11 Orchard Rd., Brookvale. 2100	49218	1986	Premise Match	83m	North West
	MOTOR PANEL BEATERS &/OR SPRAY PAINTERS. (M7360)	Orchard Body Works, 11 Orchard Rd., Brookvale. 2100.	58582	1982	Premise Match	83m	North West
	MOTOR PAINTERS.	Orchard Body Works, 11 Orchard Rd., Brookvale. 2100	51594	1978	Premise Match	83m	North West
	MOTOR PANEL BEATERS	Orchard Body Works, 11 Orchard Rd., Brookvale. 2100	52254	1978	Premise Match	83m	North West
	MOTOR PAINTERS.	Orchard Body Works., 11 Orchard Rd., Brookvale. 2100	60332	1975	Premise Match	83m	North West
	MOTOR PANEL BEATERS.	Orchard Body Works., 11 Orchard Rd., Brookvale. 2100	61013	1975	Premise Match	83m	North West
	MOTOR PAINTERS.	Three-Four -O., 11 Orchard Rd., Brookvale. 2100	60475	1975	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Three-Four-O, 11 Orchard Rd., Brookvale. 2100	59637	1975	Premise Match	83m	North West
	MOTOR PANEL BEATERS.	Three-Four-O., 11 Orchard Rd., Brookvale. 2100	61171	1975	Premise Match	83m	North West
	MOTOR PAINTERS (M672)	Three-Four-0., 11 Orchard Rd., Brookvale, 2100	339689	1970	Premise Match	83m	North West
	MOTOR PANEL BEATERS (M680)	Three-Four-O., 11 Orchard Rd., Brookvale, 2100	340483	1970	Premise Match	83m	North West
	Motor Garages & Engineers	Bombardier Motors, 11 Orchard Rd. Brookvale	122306	1965	Premise Match	83m	North West
	Motor Painters	Myers, B., Rear 11 Orchard Rd., Brookvale	124112	1965	Premise Match	83m	North West
	Motor Panel Beaters	Myers, B., Rear 11 Orchard Rd., Brookvale	124870	1965	Premise Match	83m	North West
	WROUGHT IRON WORKERS	G. & M. Welded Products 11 Orchard Rd., Brookvale	264272	1961	Premise Match	83m	North West
	FENCE/GATE MFRS.	G. & M. Welded Products, 11 Orchard Rd., Brookvale	309840	1961	Premise Match	83m	North West
	WELDERS-ELECTRIC &/OR OXY	G. & M. Welded Products, 11 Orchard Rd., Brookvale	262102	1961	Premise Match	83m	North West
	WROUGHT IRON WORKERS	G. & M. Welded Products, 11 Orchard Rd., Brookvale	264273	1961	Premise Match	83m	North West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
46	Motor Garages & Service Stations	Kostas Dimas Automotives, 29 Orchard Rd., Brookvale 2100	53767	1991	Premise Match	92m	East
	TRAILER &/OR TRAILER EQUIPMENT - BOAT &/OR CAR - MFRS. &/OR DISTS. &/OR HIRERS.	Tracer Trailers Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	94905	1986	Premise Match	92m	East
	TRAILER &/OR TRAILER EQUIPMENT MFRS. &/OR DISTS. &/OR HIRERS.	Tracer Trailers Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	94993	1986	Premise Match	92m	East
	TRAILER &/OR TRAILER EQUIPMENT MFRS. &/OR DISTS.&/OR HIRERS. (T6925)	Tracer Trailers Pty. Ltd., 29 Orchard Rd, Brookvale. 2100.	81574	1982	Premise Match	92m	East
	TRAILER MFRS. &/OR DISTS. &/OR HIRERS - BOAT &/OR CAR. (T6825)	Tracer Trailers Pty. Ltd., 29 Orchard Rd., Brookvale. 2100.	81523	1982	Premise Match	92m	East
	BOAT, LAUNCH &/OR YACHT RIGGING SPECIALISTS.	Manta Marine Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	6320	1978	Premise Match	92m	East
	SHIP CHANDLERS.	Manta Marine Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	65959	1978	Premise Match	92m	East
	TRAILER MFRS. &/OR DISTS. &/OR HIRERSBOAT &/OR CAR.	Manta Trailers Pty. Ltd, 29 Orchard Rd, Brookvale. 2100	72027	1978	Premise Match	92m	East
	MOTOR PAINTERS.	Alko Brookvale Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	59927	1975	Premise Match	92m	East
	MOTOR PANEL BEATERS.	Alko Brookvale Pty. Ltd., 29 Orchard Rd., Brookvale. 2100	60555	1975	Premise Match	92m	East
	MOTOR PAINTERS (M672)	Smash & Trim Repairs., 29 Orchard Rd., Brookvale, 2100	339643	1970	Premise Match	92m	East
	MOTOR PANEL BEATERS (M680)	Smash & Trim Repairs., 29 Orchard Rd., Brookvale, 2100	340416	1970	Premise Match	92m	East
	Fibreglass Products Mfrs. (Moulding, Fabricating, Extrusions, Converting, Etc.)	British Fibre Glass N.S.W. Pty. Ltd., 29 Orchard Rd., Brookvale	85838	1965	Premise Match	92m	East
47	Motor Engineers	Brookvale Brake & Clutch, 33 Mitchell Rd, Brookvale 2100	53037	1991	Premise Match	93m	North East
	Motor Brake Specialists	Warringbah Brake Centre, 33 Mitchell Rd., Brookvale 2100	52338	1991	Premise Match	93m	North East
	MOTOR BRAKE SERVICES.	Warringah Brake Centre, 33 Mitchell Rd., Brookvale. 2100	61678	1986	Premise Match	93m	North East
	MOTOR WRECKERS. (M8600)	Aachen Motor Wreckers, 31 Mitchell Rd., Brookvale. 2100.	59974	1982	Premise Match	93m	North East
	MOTOR WRECKERS. (M8600)	Beetle Wreckers, 33 Mitchell Rd., Brookvale. 2100.	60000	1982	Premise Match	93m	North East
	MOTOR TRUCK HIRERS.	Pangauo A & Sons 33 Mitchell Rd, Brookvale 2100	53324	1978	Premise Match	93m	North East
	GRAVEL, SAND &/OR SOIL SUPPLIES	Pangauo. A. & Sons, 33 Mitchell Rd., Brookvale. 2100	33519	1978	Premise Match	93m	North East
	LIME &/OR CEMENT MERCHANTS.	Pangauo.A. & Sons, 33 Mitchell Rd., Brookvale. 2100	40353	1978	Premise Match	93m	North East

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# **Business Directory Records 1950-1991 Road or Area Matches**

Universal Business Directory records from years 1991, 1986, 1982, 1978, 1975, 1970, 1965, 1961 & 1950, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published:

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
48	BLIND MFRS. &/OR DISTS CANVAS-HOLLAND-VENETIAN.	Blindmaster Pty. Ltd., Mitchell Rd., Brookvale. 2100	6064	1986	Road Match	0m
	CURTAIN RAILS, RODS & RINGS MFRS. &/OR DISTS.	Blindmaster Pty. Ltd., Mitchell Rd., Brookvale. 2100	20833	1986	Road Match	0m
	MOTOR ELECTRICIANS.	Warringah Auto Electrical, 24 Mitchell Rd., Brookvale. 2100	63049	1986	Road Match	0m
	PRINTERS SILK &/OR TEXTILE	Wilprint Pty. Ltd., 32 Mitchell Rd., Brookvale. 2100	77164	1986	Road Match	0m
	MOTOR PAINTERS.	Ed's Smash Repairs., 50 Mitchell Rd., Brookvale. 2100	60100	1975	Road Match	0m
	MIXED BUSINESSES.	Friar Tuck Shop., Mitchell Rd., Brookvale. 2100	54870	1975	Road Match	0m
	SANDWICH &/OR LUNCHEON SHOPS.	Friar Tuck Shop., Mitchell Rd., Brookvale. 2100	75331	1975	Road Match	0m
	CURTAIN RAILS, RODS & RINGS MFRS &/OR DISTS.	Litchfield, E. N. & G. Pty. Ltd., Mitchell Rd., Brookvale. 2100	19403	1975	Road Match	0m
	BLIND MFRS. &/OR DISTS CANVAS - HOLLAND- VENETIAN.	Litchfield, E. N. & G. Pty. Ltd., Mitchell Rd., Brookvale. 2100.	6426	1975	Road Match	0m
	ENGINEERS-ELECTRONIC.	Sigtronic Industries Pty. Mitchell Rd. Brookvale. 2100	28344	1975	Road Match	0m
	ELECTRONIC EQUIPMENT MFRS. &/OR DISTS.	Sigtronic Industries Pty., Mitchel Rd., Brookvale. 2100.	26861	1975	Road Match	0m
	MOTOR GARAGES &/OR ENGINEERS.	White Motors, Mitchell Rd., Brookvale. 2100	59776	1975	Road Match	0m
	MOTOR ACCESSORIES DEALERS.	White Motors., Mitchell Rd., Brookvale. 2100	56322	1975	Road Match	0m
	FOUNDERS-FERROUS	Brookvale Foundry, Mitchell Rd., Brookvale	313500	1961	Road Match	0m
	RADIO &/OR TELEVISION COMPONENT PARTS MFRS.	Telecomponents Pty. Ltd., Mitchell Rd., Brookvale	363867	1961	Road Match	0m
	TELEPHONE SUPPLIES	Telecomponents Pty. Ltd., Mitchell Rd., Brookvale	255860	1961	Road Match	0m
	TELEVISION EQUIPMENT IMPORTS., MFRS. &/OR DISTS.	Telecomponents Pty. Ltd., Mitchell Rd., Brookvale	255962	1961	Road Match	0m
	FRUIT, VEGETABLE, POTATO & PRODUCE AGENTS &/OR W'SALERS	Warringah Market Pty. Ltd., Mitchell Rd., Brookvale	314870	1961	Road Match	0m
	FOUNDERS-FERROUS	Brookvale Foundry, Mitchell Rd., Brookvale	47639	1950	Road Match	0m
	FOUNDERS-NON-FERROUS	Brookvale Foundry, Mitchell Rd., Brookvale	47793	1950	Road Match	0m
49	BUILDERS SUPPLIERS.	McPhersons Limited, 1 Orchard Rd., Brookvale. 2100.	9315	1975	Road Match	0m
	ENGINEER'S SUPPLIES	McPhersons Limited, 1 Orchard Rd., Brookvale. 2100.	30668	1975	Road Match	0m
	STEEL MERCHANTS	McPhersons Limited., 1 Orchard Rd., Brookvale, 2100	80773	1975	Road Match	0m
	PLUMBERS SUPPLIES.	McPhersons Limited., 1 Orchard Rd., Brookvale. 2100	68710	1975	Road Match	0m
	MOTOR BODY REPAIRS &/OR CONVERTERS.	Small. P Auto Conversions., Orchard Rd., Brookvale. 2100	56695	1975	Road Match	0m
	GRAVEL, SAND/SOIL SUPPLIES (G570)	Brookvale Sand Co., Orchard Rd., Brookvale	311894	1970	Road Match	0m
	LIME/CEMENT MERCHANTS (L490)	Brookvale Sand Co., Orchard Rd., Brookvale	323368	1970	Road Match	0m

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
49	MOTOR BODY REPAIRS/CONVERTERS(M496)	Buckle, B, Auto Conversions., Orchard Rd., Brookvale.	335286	1970	Road Match	0m
	MOTOR GARAGES & ENGINEERS(M6S6)	Buckle, B. Auto Conversions., 559 Orchard Rd., BROOKVALE	337460	1970	Road Match	0m
	FIBREGLASS PRODUCTS MFRS.(MOULDING, FABRICATING, EXTRUSIONS, CONVERTING, Etc.)	S.& J. Plastics Engineering., Orchard Rd., Brookvale	302478	1970	Road Match	0m
	BUILDERS & CONTRACTORS (B800)	Sallows, J.W. & Sons PtyLtd., Orchid St., Brookvale	270363	1970	Road Match	0m
	BUILDERS & CONTRACTORS- (M.M.B.A.) (B796)	Wormald, A.E.K.W., Orchard Rd., Brookvale	270939	1970	Road Match	0m
	Lime/Cement Merchants	Brookvale Sand Co., Orchard Rd., Brookvale	107909	1965	Road Match	0m
50	BOTTLE MERCHANTS &/OR EXCHANGES.	Manly-Warringah Bottle Exchange, Powells Rd., Brookvale. 2100.	7955	1975	Road Match	50m
	INSTRUMENTS - INDUSTRIAL - MFRS. &/OR DISTRIBUTORS	Process Instrument & Controls Pty. Ltd., Powells Rd., Brookvale	319593	1970	Road Match	50m
	Bottle Merchants & Exchanges	Manly-Warringah Bottle Exchange., Powells Rd., Brookvale	53891	1965	Road Match	50m

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### **Dry Cleaners, Motor Garages & Service Stations**







#### **Historical Business Directories**

26 Orchard Road, Brookvale, NSW 2100

## **Dry Cleaners, Motor Garages & Service Stations 1948-1993 Premise or Road Intersection Matches**

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a premise or road intersection, within the dataset buffer.

Note: The Universal Business Directories were published between 1948 and 1993. Dry Cleaners, Motor Garages & Service Stations have been extracted from all of these directories except the following years 1951, 1955, 1957, 1960, 1963, 1973, 1974, 1977, 1987.

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
1	MOTOR GARAGES & SERVICE STATIONS.	Heinzei, M. & J. & Son, Unit 2/21 Orchard Rd., Brookvale. 2100	11693	1990	Premise Match	21m	North
	MOTOR GARAGES & ENGINEERS	Kellendonk W. F. Pty. Ltd., 21 Orchard Rd Brookvale	43513	1964	Premise Match	21m	North
2	MOTOR GARAGES & ENGINEERS(M6S6)	Erskine & Prothero., 14 Orchard Rd., BROOKVALE	337738	1970	Premise Match	60m	West
	MOTOR GARAGES & ENGINEERS.	Erskine & Prothero., 14 Orchard Rd Brookvale	37692	1969	Premise Match	60m	West
	MOTOR GARAGES & ENGINEERS	Erskine & Prothero., 14 Orchard Rd Brookvale	21123	1968	Premise Match	60m	West
	MOTOR GARAGES & ENGINEERS.	Erskine & Prothero., 14 Orchard Rd Brookvale	6693	1967	Premise Match	60m	West
3	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Alder Performance Engineering., 39 Mitchell Rd., Brookvale 2100	23921	1976	Premise Match	64m	North East
	MOTOR GARAGES &/OR ENGINEERS.	Alder Performance Engineering., 39 Mitchell Rd., Brookvale. 2100	58312	1975	Premise Match	64m	North East
4	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Wickham P. Automotive Pty. Ltd., 1 Powells Rd., Brookvale. 2100	63182	1980	Premise Match	70m	South
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Wickham P. Automotive Pty. Ltd., 1 Powells Rd., Brookvale. 2100.	46617	1979	Premise Match	70m	South
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Wickham, P. Automotive Pty. Ltd., 1 Powells Rd., Brookvale. 2100	51107	1978	Premise Match	70m	South
5	MOTOR GARAGES & SERVICE STATIONS.	Wickham Phil Automotive Pty. Ltd., 46 Mitchell Rd., Brookvale. 2100	18397	1990	Premise Match	77m	South East
	MOTOR GARAGE & SERVICE STATIONS.	Wickham, Phil Automotive Pty. Ltd., 46 Mitchell Rd., Brookvale. 2100	5734	1989	Premise Match	77m	South East
6	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	18721	1993	Premise Match	80m	West
	Motor Garages & Service Stations	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale 2100	97610	1991	Premise Match	80m	West
	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	11249	1990	Premise Match	80m	West
	MOTOR GARAGE & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	64687	1989	Premise Match	80m	West
	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	53812	1988	Premise Match	80m	West
	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powell, Rd., Brookvale. 2100	64282	1986	Premise Match	80m	West
	MOTOR GARAGES & SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100	39284	1985	Premise Match	80m	West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
6	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Burleigh Morgan Automotive Repairs, 16 Powells St., Brookvale. 2100	27896	1984	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Burleigh Morgan Automotrve Repairs., 16 Powells Rd., Brookvale 2100	14311	1983	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Haiqaz Bentain., 16 Powells Rd., Brookvale. 2100	14867	1983	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Burleigh Morgan Automotive Repairs, 16 Powells Rd., Brookvale. 2100.	56365	1982	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Haiqaz Bentain, 16 Powells Rd., Brookvale. 2100.	56933	1982	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Burleigh Morgan Automotive Repairs., 16 Powells Rd., Brookvale. 2100	64039	1981	Premise Match	80m	West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Burleigh Morgan Automotive Repairs., 16 Powells Rd., Brookvale. 2100	51544	1980	Premise Match	80m	West
7	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Hans Noelle Motors., 11 Orchard Rd., Brookvale 2100	30225	1976	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Three-Four-O., 11 Orchard Rd., Brookvale 2100	35022	1976	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Three-Four-O, 11 Orchard Rd., Brookvale. 2100	59637	1975	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Pycke M., 11 Orchard Rd Brookvale	7678	1972	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Three-Four-O., 11 Orchard Rd Brookvale	7683	1972	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Pycke M., 11 Orchard Rd Brookvale	56433	1971	Premise Match	83m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Three-Four-O., 11 Orchard Rd., Brookvale	56436	1971	Premise Match	83m	North West
	MOTOR GARAGES & ENGINEERS.	Bombardier Motors., 11 Orchard Rd Brookvale	37686	1969	Premise Match	83m	North West
	MOTOR GARAGES & ENGINEERS	Bombardier Motors., 11 Orchard Rd Brookvale	21116	1968	Premise Match	83m	North West
	MOTOR GARAGES & ENGINEERS.	Bombardier Motors., 11 Orchard Rd Brookvale	6687	1967	Premise Match	83m	North West
	MOTOR GARAGES & ENGINEERS.	Bombardier Motors., 11 Orchard Rd Brookvale	55731	1966	Premise Match	83m	North West
	Motor Garages & Engineers	Bombardier Motors, 11 Orchard Rd. Brookvale	122306	1965	Premise Match	83m	North West
8	MOTOR GARAGES & SERVICE STATIONS.	Kostas Dimas Automotives, 29 Orchard Rd., Brookvale. 2100	19058	1993	Premise Match	92m	North East
	Motor Garages & Service Stations	Kostas Dimas Automotives, 29 Orchard Rd., Brookvale 2100	53767	1991	Premise Match	92m	North East
	MOTOR GARAGES & SERVICE STATIONS.	Kostas Dimas Automotives, 29 Orchard Rd., Brookvale. 2100	11759	1990	Premise Match	92m	North East
	MOTOR GARAGE & SERVICE STATIONS.	Kostas Dimas Automotives, 29 Orchard Rd., Brookvale. 2100	5157	1989	Premise Match	92m	North East
9	MOTOR GARAGES & SERVICE STATIONS.	De De Ce Joinery, 18 Powells Rd., Brookvale. 2100	11490	1990	Premise Match	101m	West
	MOTOR GARAGES & SERVICE STATIONS.	Cooke & Stead Automotive & Marine Services, 18 Powells Rd., Brookvale. 2100	59109	1988	Premise Match	101m	West

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
10	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Bradley & Chapman., 2 Sydenham Rd., Brookvale 2100	25165	1976	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Bradley & Chapman., 2 Sydenham Rd., Brookvale. 2100	58473	1975	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Bradley & Chapman., 2 Sydenham Rd Brookvale	7658	1972	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Bradley & Chapman., 2 Sydenham Rd Brookvale	56411	1971	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Pankhurst & Tait., 2 Sydenham Rd., Brookvale	61242	1956	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Panhurst & Tait., 2 Sydenham Rd., Brookvale	44651	1954	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Pankhurst & Tait., 2 Sydenham Rd Brookvale	49804	1954	Premise Match	140m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Pankhurst & Tait., 2 Sydenham Rd., Brookvale	40468	1953	Premise Match	140m	North West
11	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Conwell Automotive., 15 Sydenham Rd., Brookvale. 2100.	3113	1981	Premise Match	141m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Conwell Automotive., 15 Sydenham Rd., Brookvale. 2100	52755	1980	Premise Match	141m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Conwell Automotive., 15 Sydenham Rd., Brookvale. 2100.	41305	1979	Premise Match	141m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J.E.Automotive Repairs, 15 Sydenham Rd., Brookvale. 2100	50286	1978	Premise Match	141m	North
12	MOTOR GARAGES & SERVICE STATIONS.	Brookvale Mechanical & LP Gas, 37 Orchard Rd., Brookvale. 2100	39266	1985	Premise Match	143m	East
13	MOTOR GARAGES & SERVICE STATIONS.	J.E. Automotive Repairs, 11 Sydenham Rd., Brookvale. 2100	45003	1985	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J.E. Automotive Repairs, 11 Sydenham Rd., Brookvale. 2100	28503	1984	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J.E. Automotive Repairs., 11 Sydenham Rd., Brookvale 2100	14931	1983	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	J.E. Automotive Repairs, 11 Sydenham Rd., Brookvale. 2100.	56997	1982	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J E Automotive Repairs., 11 Sydenham Rd., Brookville 2100	3551	1981	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J.E. Automotive Repairs., 11 Sydenham Rd., Brookvale. 2100	58286	1980	Premise Match	147m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	J.E. Automotive Repairs., 11 Sydenham Rd., Brookvale. 2100.	41752	1979	Premise Match	147m	North
14	MOTOR GARAGES & ENGINEERS.	Drinkwater Automotive Engineering., 9 Sydenham Rd Brookvale	37690	1969	Premise Match	154m	North
	MOTOR GARAGES & ENGINEERS	Drinkwater Automotive Engineering., 9 Sydenham Rd Brookvale	21121	1968	Premise Match	154m	North
	MOTOR GARAGES & ENGINEERS.	Drinkwater Automotive Engineering., 9 Sydenham Rd Brookvale	6691	1967	Premise Match	154m	North

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
15	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Brookvale Motor Emporium Pty. Ltd., 648 Pittwater Rd., Brookvale 2100	25182	1976	Premise Match	173m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motor Emporium Pty. Ltd., 648 Pittwater Rd., Brookvale. 2100	58487	1975	Premise Match	173m	North West
	MOTOR GARAGES & ENGINEERS.	Erichsen Motors Pty. Ltd., 646-648 Pittwater Rd Brookvale	37691	1969	Premise Match	173m	North West
	MOTOR GARAGES & ENGINEERS	Erichsen Motors Pty. Ltd., 646-648 Pittwater Rd Brookvale	21122	1968	Premise Match	173m	North West
	MOTOR GARAGES & ENGINEERS.	Erichsen Motors Pty. Ltd., 646-648 Pittwater Rd Brookvale	6692	1967	Premise Match	173m	North West
	MOTOR GARAGES & ENGINEERS.	Erichsen Motors Pty Ltd., 646-648 Pittwater Rd., Brookvale	55735	1966	Premise Match	173m	North West
	Motor Garages & Engineers	Erichsen Motors Pty. Ltd., 646-648 Pittwater Rd. Brookvale	122309	1965	Premise Match	173m	North West
	MOTOR GARAGES & ENGINEERS	Erichsen Motors Pty. Ltd., 646-648 Pittwater Rd Brookvale	43506	1964	Premise Match	173m	North West
16	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Eastern Automotives., 5 Sydenham Rd., Brookvale 2100	29875	1976	Premise Match	174m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Eastern Automotives., 5 Sydenham Rd., Brookvale. 2100	58789	1975	Premise Match	174m	North West
	MOTOR GARAGES &/OR ENGINEERS.	C. & P. Motors., 5 Sydenham Rd., Brookvale	7663	1972	Premise Match	174m	North West
	MOTOR GARAGES &/OR ENGINEERS.	C. & P. Motors., 5 Sydenham Rd Brookvale	56416	1971	Premise Match	174m	North West
	MOTOR GARAGES & ENGINEERS(M6S6)	C. & P. Motors., 5 Sydenham Rd., BROOKVALE	337479	1970	Premise Match	174m	North West
	MOTOR GARAGES & ENGINEERS.	C. & P. Motors., 5 Sydenham Rd Brookvale	37689	1969	Premise Match	174m	North West
	MOTOR GARAGES & ENGINEERS	C. & P. Motors., 5 Sydenham Rd Brookvale	21119	1968	Premise Match	174m	North West
17	MOTOR GARAGES & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	19198	1993	Premise Match	192m	North
	MOTOR GARAGES & SERVICE STATIONS.	Wardsport, 23 Chard Rd., Brookvale. 2100	25526	1993	Premise Match	192m	North
	Motor Garages & Service Stations	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale 2100	97817	1991	Premise Match	192m	North
	MOTOR GARAGES & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	11939	1990	Premise Match	192m	North
	MOTOR GARAGE & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	5348	1989	Premise Match	192m	North
	MOTOR GARAGES & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	59720	1988	Premise Match	192m	North
	MOTOR GARAGES & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	65198	1986	Premise Match	192m	North
	MOTOR GARAGES & SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	45301	1985	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100	33878	1984	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Northside Hi Performance Centre., 23 Chard Rd., Brookvale 2100	15230	1983	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Northside Hi-Performance Centre, 23 Chard Rd., Brookvale. 2100.	57310	1982	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Porter Automotive Services., 23 Chard Rd., Brookvale 2100	3937	1981	Premise Match	192m	North

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
17	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Porter Automotive Services., 23 Chard Rd., Brookvale. 2100	58678	1980	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Porter Automative Services., 23 Chard Rd., Brookvale. 2100.	46174	1979	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Porter Automative Services, 23 Chard Rd., Brookvale. 2100	50677	1978	Premise Match	192m	North
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Porter Automative Services., 23 Chard Rd., Brookvale 2100	34744	1976	Premise Match	192m	North
	MOTOR GARAGES & ENGINEERS(M6S6)	Booney, S. & N., 23 Chard Rd., Brookvale	337338	1970	Premise Match	192m	North
18	MOTOR GARAGES &/OR ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	7671	1972	Premise Match	195m	South
	MOTOR GARAGES &/OR ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	56423	1971	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS(M6S6)	Madden, R., 61 Wattle Rd., BROOKVALE	338186	1970	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	37698	1969	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS	Madden R., 61 Wattle Rd Brookvale	21130	1968	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	6700	1967	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	55742	1966	Premise Match	195m	South
	Motor Garages & Engineers	Madden, R., 61 Wattle Rd. Brookvale	122316	1965	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS	Madden R., 61 Wattle Rd Brookvale	43514	1964	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS.	Madden R., 61 Wattle Rd Brookvale	29008	1962	Premise Match	195m	South
	MOTOR GARAGES & ENGINEERS	Madden Ron 61 Wattle Rd. BROOKVALE	347613	1961	Premise Match	195m	South
19	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	7660	1972	Premise Match	207m	North West
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	56413	1971	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS(M6S6)	Brookvale Motors., 658 Pittwater Rd., BROOKVALE	337446	1970	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	37687	1969	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS	Brookvale Motors., 658 Pittwater Rd Brookvale	21117	1968	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	6688	1967	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	55732	1966	Premise Match	207m	North West
	Motor Garages & Engineers	Brookvale Motors, 658 Pittwater Rd. Brookvale	122307	1965	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS	Brookvale Motors., 658 Pittwater Rd Brookvale	43505	1964	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS.	Brookvale Motors., 658 Pittwater Rd Brookvale	29001	1962	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS	Brookvale Motors, 658 Pittwater Rd. BROOKVALE	346746	1961	Premise Match	207m	North West
	MOTOR GARAGES & ENGINEERS	Brookvale Motors., 658 Pittwater Rd Brookvale	13718	1959	Premise Match	207m	North West
20	DRY CLEANERS, PRESSERS/ DYERS	Murphys Dry Cleaners., 7 Chard Rd Brookvale	55286	1966	Premise Match	208m	North
	Dry Cleaners, Pressers/Dyers	Murphys Dry Cleaners, 7 Chard Rd., Brookvale	76252	1965	Premise Match	208m	North

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Property Boundary or Road Intersection	Direction
21	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners, 5 Chard Rd., Brookvale. 2100	53222	1988	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners, 5 Chard Rd., Brookvale. 2100	25450	1986	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners, 5 Chard Rd., Brookvale. 2100	34668	1985	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners, 5 Chard Rd., Brookvale. 2100	22119	1984	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners., 5 Chard Rd., Brookvale 2100	8714	1983	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.(D8500)	Murphys Dry Cleaners, 5 Chard Rd., Brookvale. 2100.	23984	1982	Premise Match	217m	North
	DRY CLEANERS & PRESSERS.	Murphys Dry Cleaners., 5 Chard Rd., Brookvale. 2100	63470	1981	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS.	Murphys Dry Cleaners., 5 Chard Rd., Brookvale. 2100	49948	1980	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS.	Murphys Dry Cleaners., 5 Chard Rd., Brookvale. 2100	35481	1979	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS	Murphys Dry Cleaners. 5 Chard Rd., Brookvale. 2100	20885	1978	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS.	Murphys Dry Cleaners., 5 Chard Rd., Brookvale 2100	23708	1976	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS.	Murphy's Pty. Ltd., 5 Chard Rd., Brookvale. 2100	24232	1975	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS.	Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd Brookvale	7142	1972	Premise Match	217m	North
	DRY CLEANERS, PRESSERS &/OR DYERS	Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd Brookvale	51206	1971	Premise Match	217m	North
	DRY CLEANERS,PRESSERS /DYERS (D710)	Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd., Brookvale	292409	1970	Premise Match	217m	North
	DRY CLEANERS, PRESSERS/ DYERS	Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd Brookvale	37218	1969	Premise Match	217m	North
	DRY CLEANERS, PRESSERS/DYERS	Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd Brookvale	20678	1968	Premise Match	217m	North
	DRY CLEANERS, PRESSERS/ DYERS	Mosman Murphys Dry Cleaners Pty. Ltd., 5 Chard Rd Brookvale	6234	1967	Premise Match	217m	North

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# **Dry Cleaners, Motor Garages & Service Stations 1948-1993 Road or Area Matches**

Dry Cleaners, Motor Garages & Service Stations from UBD Business Directories, mapped to a road or an area, within the dataset buffer. Records are mapped to the road when a building number is not supplied, cannot be found, or the road has been renumbered since the directory was published.

Note: The Universal Business Directories were published between 1948 and 1993. Dry Cleaners, Motor Garages & Service Stations have been extracted from all of these directories except the following years 1951, 1955, 1957, 1960, 1963, 1973, 1974, 1977, 1987.

Map Id Business Activity		Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
22	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	White Motors., Mitchell Rd., Brookvale 2100	35208	1976	Road Match	Om
	MOTOR GARAGES &/OR ENGINEERS.	White Motors, Mitchell Rd., Brookvale. 2100	59776	1975	Road Match	0m
23	MOTOR GARAGES & ENGINEERS(M6S6)	Buckle, B. Auto Conversions., 559 Orchard Rd., BROOKVALE	337460	1970	Road Match	0m
	MOTOR GARAGES & ENGINEERS.	Buckle B. Auto Conversions., 559 Orchard Rd Brookvale	37688	1969	Road Match	0m
	MOTOR GARAGES & ENGINEERS	Buckle B. Auto Conversions., 559 Orchard Rd Brookvale	21118	1968	Road Match	0m
	MOTOR GARAGES & ENGINEERS.	Buckle B. Auto Conversions., 559 Orchard Rd Brookvale	6689	1967	Road Match	0m
24	MOTOR GARAGES & ENGINEERS	Madden, R., Wattle Rd. BROOKVALE	347616	1961	Road Match	171m
	MOTOR GARAGES & ENGINEERS	Madden R., Wattle Rd Brookvale	13724	1959	Road Match	171m
	MOTOR GARAGE/ENGINEERS.	Madden R., Wattle Rd Brookvale	4533	1958	Road Match	171m
	MOTOR GARAGES &/OR ENGINEERS.	Madden R., Wattle Rd Brookvale	58041	1956	Road Match	171m
25	MOTOR GARAGE & SERVICE STATIONS.	Caltex Service Station Brookvale, 46 Pittwater Rd., Brookvale. 2100	64814	1989	Road Match	218m
	MOTOR GARAGES & SERVICE STATIONS.	Caltex Service Station Brookvale, 46 Pittwater Rd., Brookvale. 2100	53930	1988	Road Match	218m
	MOTOR GARAGES & SERVICE STATIONS.	Caltex Service Station Brookvale, 46 Pittwater Rd., Brookvale. 2100	64393	1986	Road Match	218m
	MOTOR GARAGES & SERVICE STATIONS.	Fisher Motors Pty Ltd., 467 Pittwater Rd., Brookvale. 2100	39700	1985	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty Ltd., 467 Pittwater Rd., Brookvale. 2100	28275	1984	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale 2100	14698	1983	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS. (M6860)	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100.	56761	1982	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100	3309	1981	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty Ltd., 467 Pittwater Rd., Brookvale. 2100	52965	1980	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100.	41513	1979	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100	50047	1978	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale 2100	30019	1976	Road Match	218m

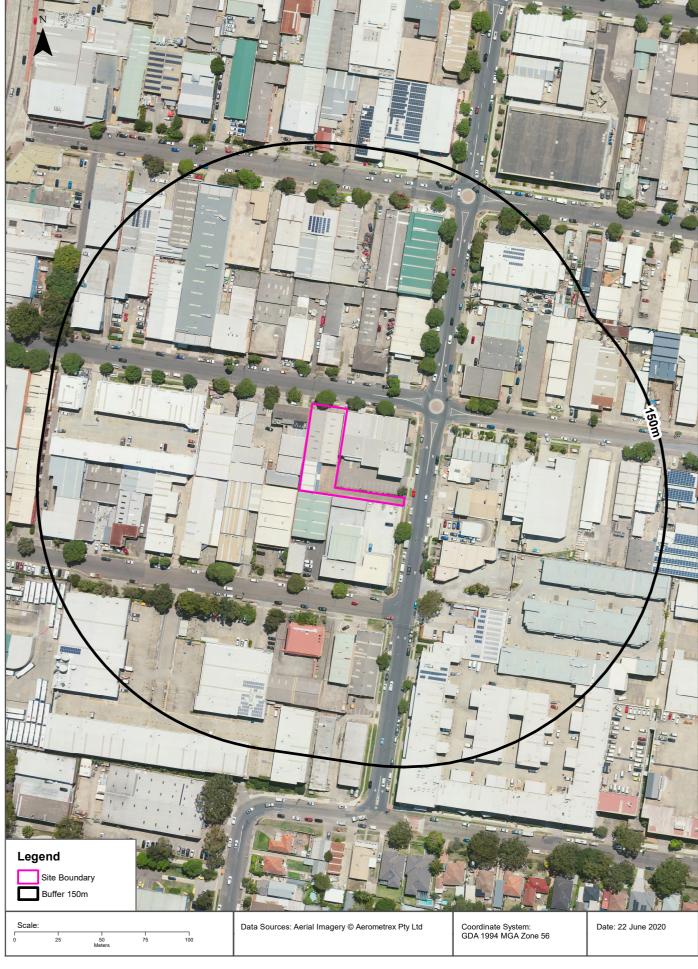
Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
25	MOTOR GARAGES &/OR ENGINEERS &/OR SERVICE STATIONS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale 2100	30018	1976	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100	58874	1975	Road Match	218m
	MOTOR SERVICE STATIONS - PETROL, OIL	Fisher Motors Pty. Ltd., 467 Pittwater Rd., Brookvale. 2100	61746	1975	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	7668	1972	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	16494	1972	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	56420	1971	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	63079	1971	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL,OIL,Etc.	Ensign Service Station., Pittwater Rd., BROOKVALE	341031	1970	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL,OIL,Etc.	Fisher Motors Pty. Ltd., 467 Pittwater Rd., BROOKVALE	341117	1970	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Booney S. & N., Pittwater Rd Brookvale	47571	1969	Road Match	218m
	MOTOR GARAGES & ENGINEERS.	BP Corvette Service Station., Pittwater Rd Brookvale	37685	1969	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Ensign Service Station., Pittwater Rd Brookvale	47573	1969	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	47575	1969	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Booney S. & N., Pittwater Rd Brookvale	30993	1968	Road Match	218m
	MOTOR GARAGES & ENGINEERS	BP Corvette Service Station., Pittwater Rd Brookvale	21115	1968	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Ensign Service Station., Pittwater Rd Brookvale	30995	1968	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	30996	1968	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Booney S. & N., Pittwater Rd Brookvale	15474	1967	Road Match	218m
	MOTOR GARAGES & ENGINEERS.	BP Corvette Service Station., Pittwater Rd Brookvale	6686	1967	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Ensign Service Station., Pittwater Rd Brookvale	15476	1967	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Fisher Motors Pty. Ltd., 467 Pittwater Rd Brookvale	15477	1967	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Booney S. & N., Pittwater Rd Brookvale	1051	1966	Road Match	218m
	MOTOR GARAGES & ENGINEERS.	BP Corvette Service Station., Pittwater Rd Brookvale	55730	1966	Road Match	218m
	MOTOR GARAGES & ENGINEERS.	Drinkwater Automotive Engineering., 457 Pittwater Rd Brookvale	55734	1966	Road Match	218m
	MOTOR SERVICE STATIONS-PETROL, OIL, ETC.	Ensign Service Station., Pittwater Rd Brookvale	1053	1966	Road Match	218m
	MOTOR GARAGES & ENGINEERS	Bombardier Motor Sales Pty. Ltd., 305 Pittwater Rd Brookvale	43504	1964	Road Match	218m
	MOTOR GARAGES & ENGINEERS.	Bombardier Motor Sales Pty. Ltd., 305 Pittwater Rd Brookvale	29000	1962	Road Match	218m
	MOTOR GARAGES & ENGINEERS	Bombardier Motor Sales Pty. Ltd., 305 Pittwater Rd. BROOKVALE	346681	1961	Road Match	218m

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
25	MOTOR GARAGES & ENGINEERS	Golden Fleece Brookvale Service Station, 459 Pittwater Rd. BROOKVALE	347244	1961	Road Match	218m
	MOTOR GARAGES & ENGINEERS	Try Lance., 220 Pittwater Rd Brookvale	13729	1959	Road Match	218m
	MOTOR GARAGE/ENGINEERS.	Brookvale Motors., Pittwater Rd Brookvale	717	1958	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS	Mercury Dry Cleaners., Pittwater Rd Brookvale	317	1958	Road Match	218m
	MOTOR GARAGE/ENGINEERS.	Try Lance., 220 Pittwater Rd Brookvale	9179	1958	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., Pittwater Rd Brookvale	57329	1956	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., Pittwater Rd., Brookvale	57060	1956	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Goddard B. D., Pittwater Rd Brookvale	57714	1956	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Try Lance., 220 Pittwater Rd Brookvale	61595	1956	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Bombardier S., 240 Pittwater Rd Brookvale	48919	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale House Car Repairs., 220 Pittwater Rd Brookvale	48962	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., Pittwater Rd Brookvale	48963	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale Motors., Pittwater Rd Brookvale	44596	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Goddard B D., Pittwater Rd Brookvale	44622	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Goddard B. D., Pittwater Rd Brookvale	49326	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Lance Try's Service Station., 220 Pittwater Rd Brookvale	49551	1954	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS.	Mercury Dry Cleaners., 343 Pittwater Rd Brookvale	44448	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Try Lance., 220 Pittwater Rd., Brookvale	54227	1954	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Bombardier S., 240 Pittwater Rd Brookvale	36634	1953	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Brookvale House Car Repairs., 220 Pittwater Rd Brookvale	36675	1953	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Goddard B D., Pittwater Rd Brookvale	36448	1953	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Goddard B. D., Pittwater Rd Brookvale	40052	1953	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS.	Mercury Dry Cleaners., 343 Pittwater Rd Brookvale	36273	1953	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Try Lance., 220 Pittwater Rd., Brookvale	43846	1953	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	James C., Pitt Water Rd Brookvale	31798	1952	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS.	Mercury Dry Cleaners., 343 Pittwater Rd Brookvale	27184	1952	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	Try Lance., 220 Pittwater Rd Brookvale	32349	1952	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS	James, C., Pittwater Rd., Brookvale	83920	1950	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS	Mercury Dry Cleaners, 343 Pittwater Rd., Brookvale	35525	1950	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS	Try, Lance, 220 Pittwater Rd., Brookvale	84483	1950	Road Match	218m
	MOTOR GARAGES &/OR ENGINEERS.	James C., Pittwater Rd Brookvale	22498	1948-49	Road Match	218m
	DRY CLEANERS, PRESSERS & DYERS.	Mercury Dry Cleaners., 343 Pittwater Rd Brookvale	17364	1948-49	Road Match	218m

Map Id	Business Activity	Premise	Ref No.	Year	Location Confidence	Distance to Road Corridor or Area
2	MOTOR GARAGES &/OR ENGINEERS.	Try Lance., 220 Pittwater Rd Brookvale	22959	1948-49	Road Match	218m

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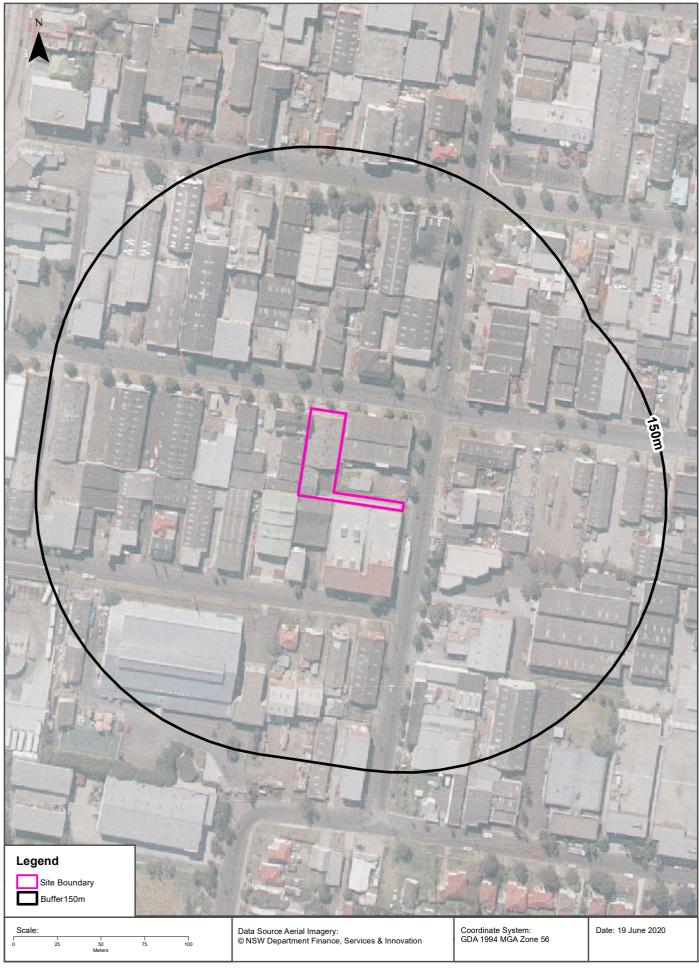


# Aerial Imagery 1991 26 Orchard Road, Brookvale, NSW 2100









# Aerial Imagery 1982 26 Orchard Road, Brookvale, NSW 2100













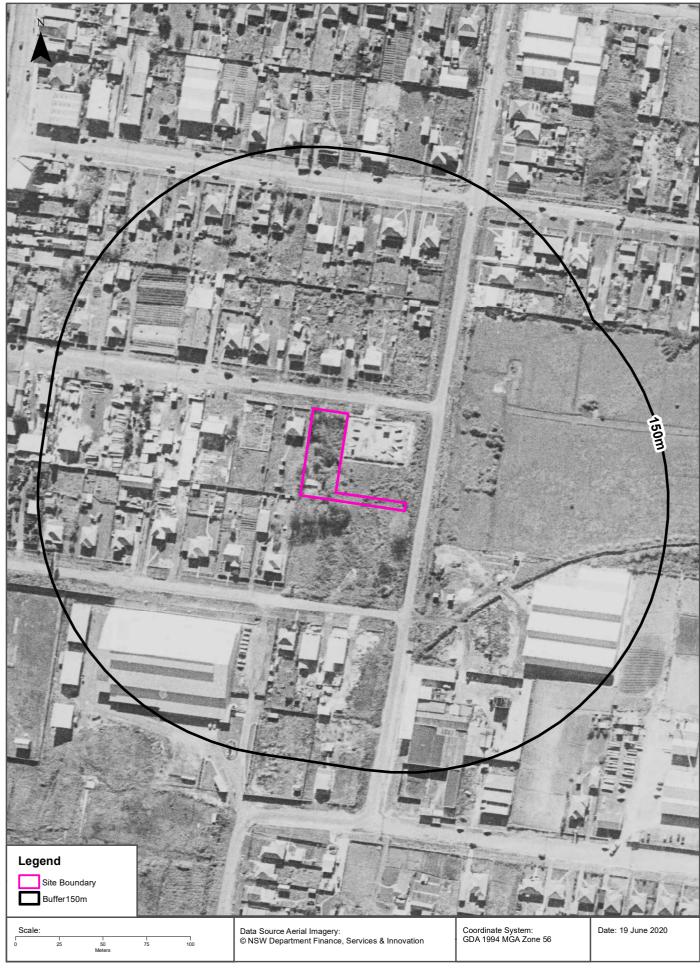




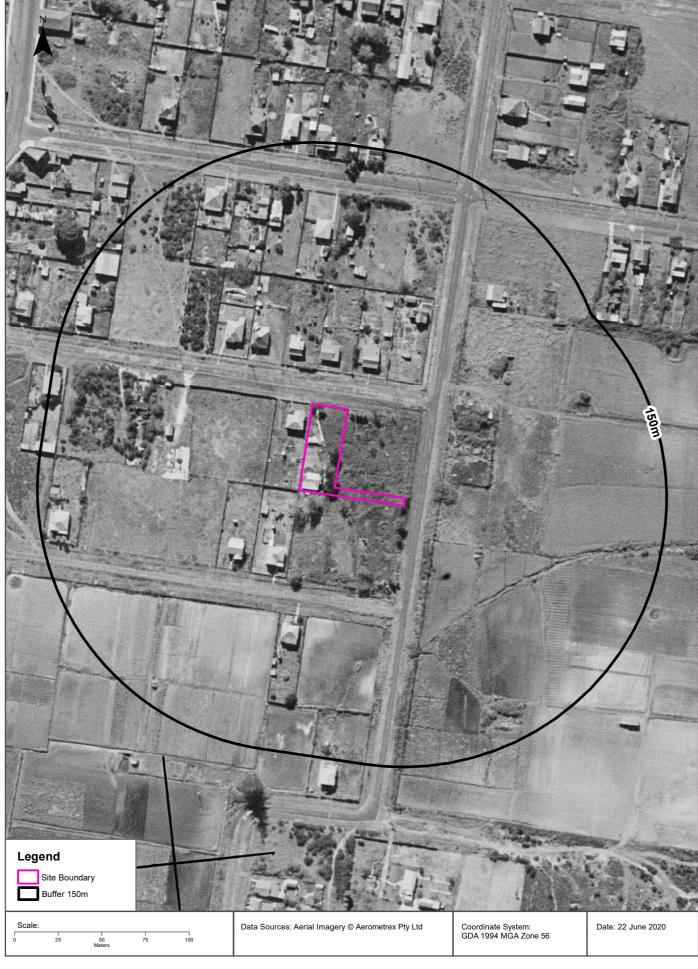






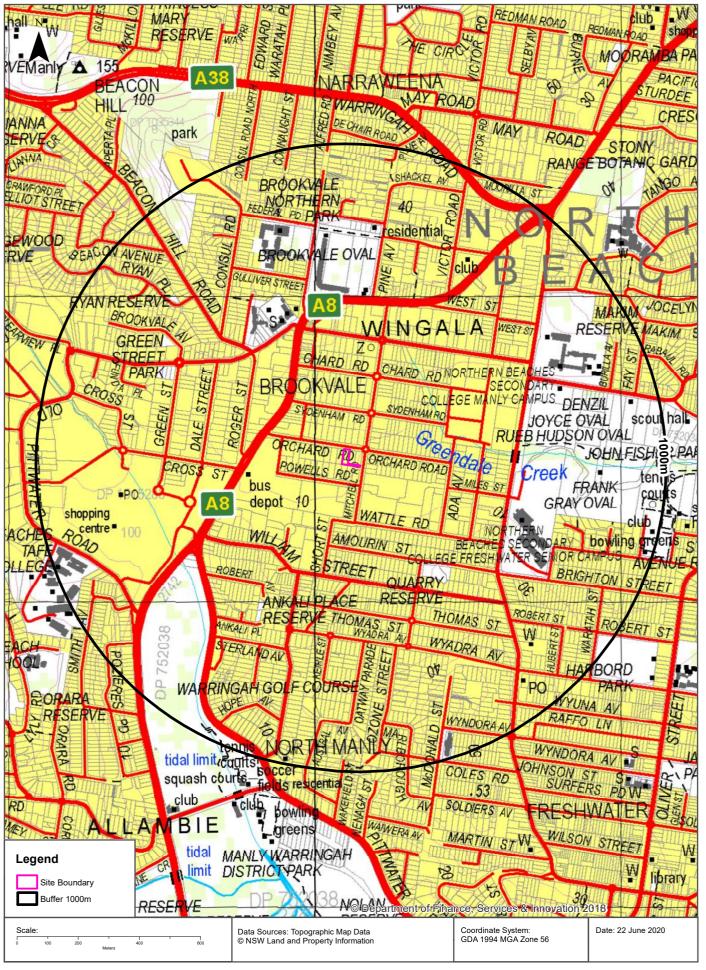






#### **Topographic Map 2015**





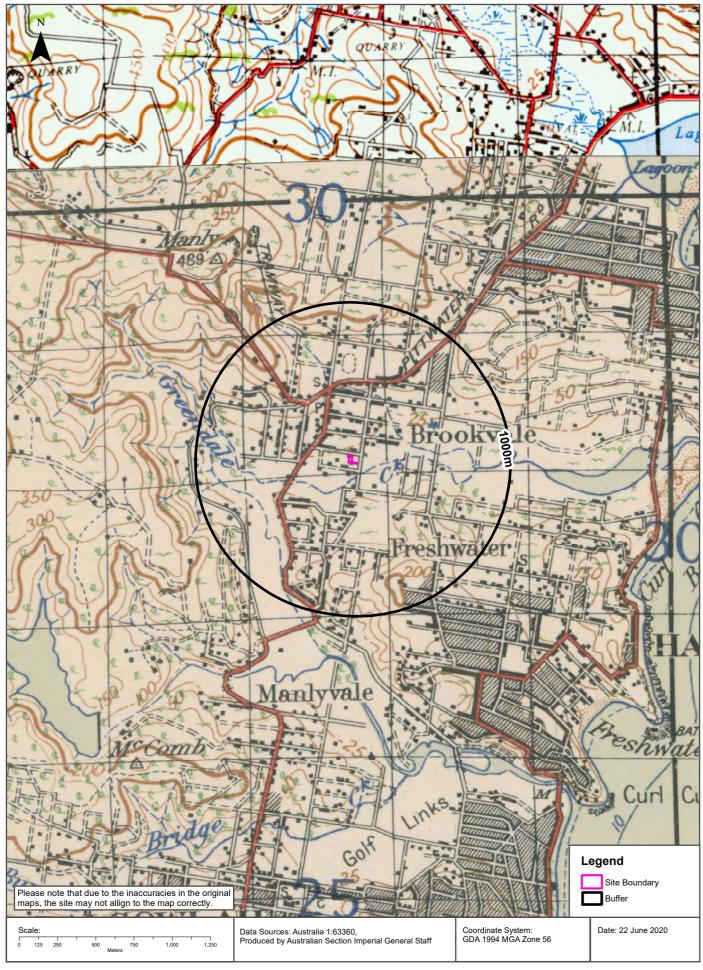
### **Historical Map 1975**





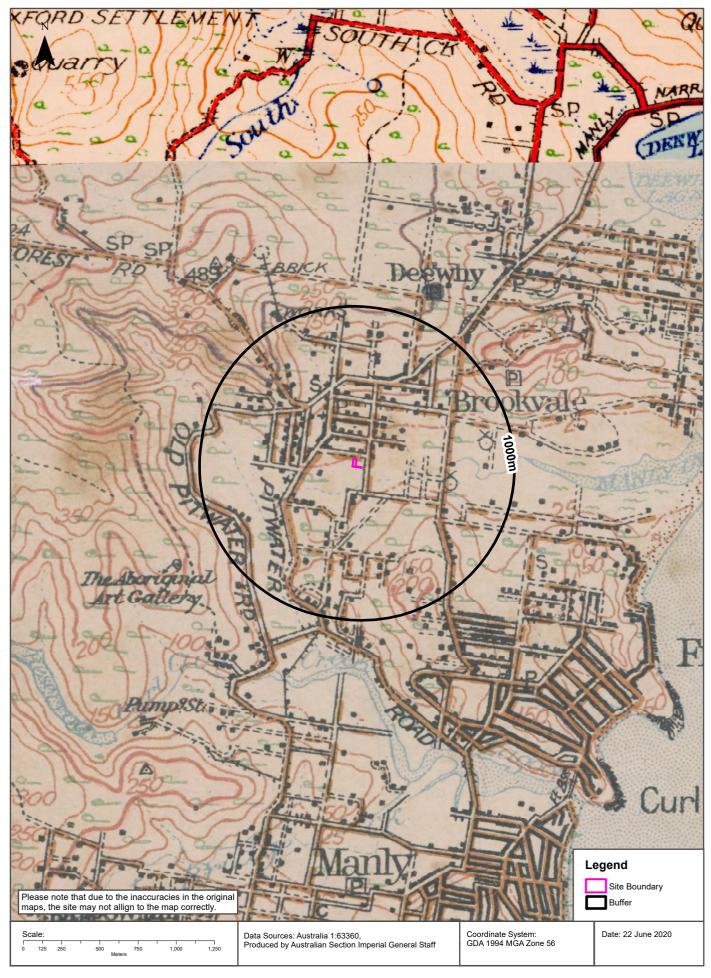
### Historical Map c.1936





### **Historical Map c.1917**









26 Orchard Road, Brookvale, NSW 2100

### **Points of Interest**

What Points of Interest exist within the dataset buffer?

Map Id	Feature Type	Label	Distance	Direction
1727407	Suburb	BROOKVALE	251m	North West
1727428	Park	QUARRY RESERVE	417m	South East
1727402	Primary School	BROOKVALE PUBLIC SCHOOL	468m	North West
1726246	Community Facility	BROOKVALE COMMUNITY CENTRE	486m	North
1727645	High School	NORTHERN BEACHES SECONDARY COLLEGE FRESHWATER SENI	556m	East
1727438	Park	ANKALI PLACE RESERVE	567m	South West
1727390	Sports Field	BROOKVALE OVAL	606m	North
1726865	Park	BROOKVALE PARK	615m	North
1726312	Urban Place	WINGALA	622m	North East
1727437	Park	GREEN STREET PARK	630m	North West
1726841	Community Medical Centre	BROOKVALE COMMUNITY HEALTH CENTRE	676m	North West
1727192	Post Office	WARRINGAH MALL POST OFFICE	727m	West
1727175	High School	NORTHERN BEACHES SECONDARY COLLEGE MANLY CAMPUS	731m	North East
1727286	Club	MANLY WARRINGAH RUGBY LEAGUE CLUB	732m	North East
1727435	Park	BROOKVALE NORTHERN PARK	734m	North
1727423	Park	RYAN RESERVE	742m	North West
1727476	Combined Primary-Secondary School	ST AUGUSTINE'S COLLEGE SYDNEY	747m	North
1727194	Shopping Centre	WARRINGAH MALL	770m	West
1727447	Place Of Worship	MORMON CHURCH	806m	South East
1727419	Community Home	ALEXANDER AGED CARE	814m	North
1727643	Sports Field	DENZIL JOYCE OVAL	837m	East
1727436	Sports Field	FRANK GRAY OVAL	859m	East
1727450	Post Office	HARBORD WEST POST OFFICE	880m	South East
1727401	Sports Field	RUEB HUDSON OVAL	906m	East
1727361	Golf Course	WARRINGAH GOLF COURSE	918m	South West
1727641	Sports Court	TENNIS COURTS	965m	East
1727640	Club	HARBORD BOWLING AND RECREATION CLUB	979m	East
1727336	Place Of Worship	BAPTIST CHURCH	981m	South
1727309	TAFE College	NORTHERN BEACHES TAFE COLLEGE	986m	West
1727395	Suburb	NORTH MANLY	999m	South

Topographic Data Source: © Land and Property Information (2015)
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26 Orchard Road, Brookvale, NSW 2100

### Tanks (Areas)

What are the Tank Areas located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

Map Id	Tank Type	Status	Name	Feature Currency	Distance	Direction
	No records in buffer					

### **Tanks (Points)**

What are the Tank Points located within the dataset buffer?

Note. The large majority of tank features provided by LPI are derived from aerial imagery & are therefore primarily above ground tanks.

Map Id	Tank Type	Status	Name	Feature Currency	Distance	Direction
	No records in buffer					

Tanks Data Source: © Land and Property Information (2015)

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### **Major Easements**

What Major Easements exist within the dataset buffer?

Note. Easements provided by LPI are not at the detail of local governments. They are limited to major easements such as Right of Carriageway, Electrical Lines (66kVa etc.), Easement to drain water & Significant subterranean pipelines (gas, water etc.).

Map Id	Easement Class	Easement Type	Easement Width	Distance	Direction
120110300	Primary	Undefined		537m	North West
120114572	Primary	Undefined		548m	North West
120114243	Primary	Undefined		574m	North West
120110131	Primary	Undefined		583m	South
120117757	Primary	Undefined		709m	South West
120121823	Primary	Undefined		726m	South East
120110676	Primary	Undefined		728m	North West
120117982	Primary	Undefined		765m	North West
120118363	Primary	Undefined		779m	North West
120110730	Primary	Undefined		790m	North West
120122201	Primary	Undefined		799m	South
120106963	Primary	Undefined		817m	South West
120114574	Primary	Undefined		822m	North West

Map Id	Easement Class	Easement Type	Easement Width	Distance	Direction
120113894	Primary	Undefined		854m	South
154571720	Primary	Right of way	1.7m and Var.	877m	North West
174382307	Primary	Right of way	Variable	904m	South East
120121891	Primary	Undefined		936m	South East
177603801	Primary	Right of way		990m	South East
175615949	Primary	Right of way	3.5 & 5.5	993m	South East
120113888	Primary	Undefined		994m	North East

Easements Data Source: © Land and Property Information (2015)
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26 Orchard Road, Brookvale, NSW 2100

#### **State Forest**

What State Forest exist within the dataset buffer?

State Forest Number	State Forest Name	Distance	Direction
N/A	No records in buffer		

State Forest Data Source: © NSW Department of Finance, Services & Innovation (2018) Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

#### **National Parks and Wildlife Service Reserves**

What NPWS Reserves exist within the dataset buffer?

1	Reserve Number	Reserve Type	Reserve Name	<b>Gazetted Date</b>	Distance	Direction
1	N/A	No records in buffer				

NPWS Data Source: © NSW Department of Finance, Services & Innovation (2018) Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

### **Elevation Contours (m AHD)**





### **Hydrogeology & Groundwater**

26 Orchard Road, Brookvale, NSW 2100

### Hydrogeology

Description of aquifers on-site:

Description	
Porous, extensive aquifers of low to moderate productivity	

Description of aquifers within the dataset buffer:

Description	
Porous, extensive aquifers of low to moderate productivity	

Hydrogeology Map of Australia : Commonwealth of Australia (Geoscience Australia)
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### **Botany Groundwater Management Zones**

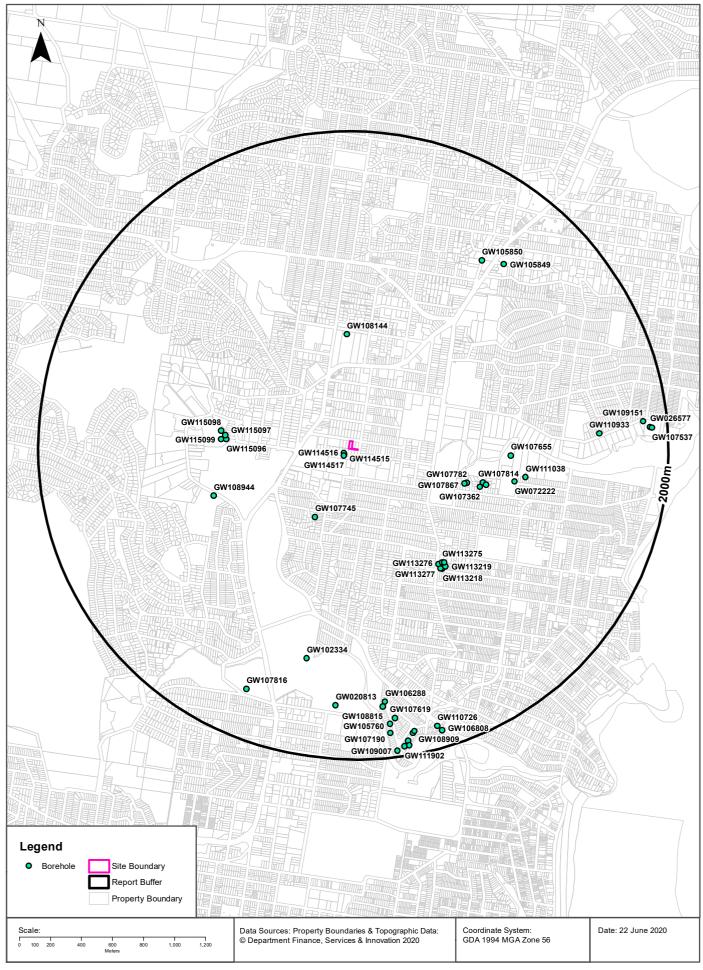
Groundwater management zones relating to the Botany Sand Beds aquifer within the dataset buffer:

Management Zone No.	Restriction	Distance	Direction
N/A	No records in buffer		

 ${\bf Botany\ Groundwater\ Management\ Zones\ Data\ Source: NSW\ Department\ of\ Primary\ Industries}$ 

#### **Groundwater Boreholes**





# **Hydrogeology & Groundwater**

26 Orchard Road, Brookvale, NSW 2100

### **Groundwater Boreholes**

Boreholes within the dataset buffer:

GW No.	Licence No	Work Type	Owner Type	Authorised Purpose	Intended Purpose	Name	Complete Date	Final Depth (m)	Drilled Depth (m)	Salinity (mg/L)	SWL (m bgl)		Elev (AHD)	Dist	Dir
GW114 515	10BL605 404	Bore	Private	Monitoring Bore	Monitoring Bore		17/04/2013	4.00	4.50					41m	South West
GW114 516	10BL605 404	Bore	Private	Monitoring Bore	Monitoring Bore		17/04/2013	4.00	4.50					47m	South West
GW114 517	10BL605 404	Bore	Private	Monitoring Bore	Monitoring Bore		17/04/2013	3.50	4.00					53m	South West
GW107 745	10BL165 912, 10WA10 9034	Spear	Private	Domestic	Domestic		13/10/2005	15.00	15.00	270	9.00	0.800		491m	South West
GW108 144	10BL164 675, 10BL601 916, 10WA10 9503	Bore		Recreation (groundwater ), Test Bore	Recreation (groundwate r)		20/01/2005	150.00	150.00	200	15.0 0	1.000		689m	North
GW107 867	10BL600 108, 10WA10 9050	Spear	Private	Domestic	Domestic		06/03/2006	4.00	5.00		2.10	1.000		721m	East
GW107 782	10BL165 941, 10WA10 9036	Spear	Private	Domestic	Domestic		19/01/2006	3.00	4.00	509	1.20	0.500		734m	East
GW115 096	10BL605 539			Monitoring Bore	Monitoring Bore		09/10/2015	8.50	8.50					789m	West
GW115 097	10BL605 539			Monitoring Bore	Monitoring Bore		09/10/2015	8.50	8.50					798m	West
GW115 099	10BL605 539			Monitoring Bore	Monitoring Bore		09/10/2015	10.00	10.00					822m	West
GW107 362	10BL165 162, 10WA10 8956	Spear	Private	Domestic	Domestic		10/08/2005	5.00	5.00	Good	3.00	0.500		823m	East
GW115 098	10BL605 539			Monitoring Bore	Monitoring Bore		09/10/2015	10.00	10.00					828m	West
GW107 814	10BL165 812	Spear	Private	Domestic	Domestic		05/12/2005	4.00	4.00					834m	East
GW108 029	10BL164 674, 10WA10 8912	Spear	Private	Domestic	Domestic		19/04/2006	6.00	6.00		2.00	0.500		856m	East
GW113 276	10BL161 976	Bore	Private	Monitoring Bore	Monitoring Bore		01/04/2003	6.00	6.00					902m	South East
GW113 275	10BL161 976	Bore	Private	Monitoring Bore	Monitoring Bore		01/04/2003	7.00	7.00					908m	South East
GW113 220	10BL161 977	Bore	Private	Monitoring Bore	Monitoring Bore	Mobil	13/11/2013	4.50	4.50					917m	South East
GW108 944	10BL601 921, 10WA10 7657	Bore	Private	Domestic	Domestic		19/06/2008	120.00		352	13.0	0.500		919m	West
GW113 277	10BL161 976	Bore	Private	Monitoring Bore	Monitoring Bore		02/04/2013	6.00	6.00					934m	South East
GW113 219	10BL161 977	Bore	Private	Monitoring Bore	Monitoring Bore	Mobil	03/04/2003	3.00	3.00					940m	South East
GW113 218	10BL161 977	Bore	Private	Monitoring Bore	Monitoring Bore	Mobil	13/11/2013	5.00	5.00					943m	South East

GW No.	Licence No	Work Type	Owner Type	Authorised Purpose	Intended Purpose	Name	Complete Date	Final Depth (m)		Salinity (mg/L)	SWL (m bgl)		Elev (AHD)	Dist	Dir
GW107 655	10BL164 287, 10BL165 857, 10WA10 7749	Bore		Recreation (groundwater ), Test Bore	Recreation (groundwate r)		14/01/2005	78.00	78.00	220	3.00	3.000		985m	East
GW072 222	10BL156 434, 10BL165 087, 10BL600 068, 10WA11 7889	Bore	Private	Recreation (groundwater ), Test Bore	Recreation (groundwate r)		30/11/1994	10.00	12.00	7001- 10000 ppm	1.00	1.000		1032m	East
GW111 038	10BL601 567, 10BL604 702, 10WA11 7323	Bore	Private	Recreation (groundwater ), Test Bore	Recreation (groundwate r)		11/08/2010	90.00	90.00	350	2.00	1.000		1096m	East
GW102 334	10BL159 038, 10WA10 7785	Bore	Private	Recreation (groundwater )	Recreation (groundwate r)		01/10/1997	60.00	60.00	240	4.00	1.800		1379m	South
GW105 850	10BL160 121	Bore		Monitoring Bore	Monitoring Bore		01/05/2001	15.00	15.00		1.47			1435m	North East
GW105 849	10BL160 121	Bore		Monitoring Bore	Monitoring Bore		01/01/2001	15.00	15.00		1.47			1501m	North East
GW110 933	10BL603 657, 10WA10 7701	Spear	Private	Domestic	Domestic		21/06/2010	4.00	4.00		1.90	0.900		1559m	East
GW106 288	10BL163 708, 10WA10 7537	Bore	Private	Domestic	Domestic		02/08/2005	2.00	2.00					1635m	South
GW020 813	10BL013 831	Well	Private	Not Known	Irrigation		01/01/1957	2.70						1655m	South
GW108 815	10BL601 542, 10WA10 7643	Spear	Private	Domestic	Domestic		11/05/2007	4.00	4.00	Good	2.00	0.500		1666m	South
GW107 816	10BL165 143, 10BL165 919, 10WA10 9469	Bore		Recreation (groundwater ), Test Bore	Irrigation		05/09/2005	78.50	78.50	505	7.00	2.500		1685m	South West
GW107 619	10BL165 694, 10WA10 7582	Spear	Private	Domestic	Domestic		21/11/2005	6.10	6.10		2.50	1.000		1747m	South
GW105 760	10BL162 518, 10WA10 7505	Spear	Private	Domestic	Domestic		05/01/2004	3.66	3.66		1.52	1.000		1780m	South
GW107 190	10BL165 253, 10WA10 7570	Spear	Private	Domestic	Domestic		07/07/2005	6.00	6.00		2.00	0.500		1841m	South
GW109 151	10BL600 432, 10BL602 807, 10WA10 7779	Bore	Private	Recreation (groundwater ), Test Bore	Recreation (groundwate r)		05/08/2008	120.00	120.00	610	10.0	2.100		1848m	East
GW109 644	10BL602 376, 10WA10 7671	Spear	Private	Domestic	Domestic		03/10/2008	5.20	5.20	249	2.40	0.900		1853m	South
GW110 726	10BL601 238, 10WA10 7635	Spear	Private	Domestic	Domestic		06/03/2007	4.00	4.00	Good	2.00	0.500		1855m	South

GW No.	Licence No	Work Type	Owner Type	Authorised Purpose	Intended Purpose	Name	Complete Date	Final Depth (m)	Drilled Depth (m)	Salinity (mg/L)	SWL (m bgl)	Yield (L/s)	Elev (AHD)	Dist	Dir
GW108 909	10BL601 544, 10WA10 7644	Spear	Private	Domestic	Domestic		12/06/2008	5.50		280	21.0	0.800		1864m	South
GW026 577	10BL019 626	Spear	Private	Recreation (groundwater )	Irrigation		01/12/1965	2.70						1887m	East
GW106 808	10BL164 118, 10WA10 7541	Spear	Private	Domestic	Domestic		08/12/2004	3.00	3.00	Good	1.00	0.500		1889m	South
GW107 537	10BL165 295, 10BL165 540, 10WA10 7755	Bore		Recreation (groundwater ), Test Bore	Recreation (groundwate r)		10/04/2005	4.34	4.34	550	1.10	1.470		1899m	East
GW108 968	10BL602 161, 10WA10 7662	Spear	Private	Domestic	Domestic		26/06/2008	8.00						1906m	South
GW108 714	10BL601 605, 10WA10 7650	Spear	Private	Domestic	Domestic		30/04/2007	5.20	5.20	280	2.10	1.000		1935m	South
GW111 902	10BL602 011, 10WA10 7660	Spear	Private	Domestic	Domestic		04/09/2007	5.50	5.50	285	2.10	1.000		1936m	South
GW109 007	10BL601 583, 10WA10 7649	Spear	Private	Domestic	Domestic		09/07/2008	8.00						1960m	South

Borehole Data Source: NSW Department of Primary Industries - Office of Water / Water Administration Ministerial Corporation for all bores prefixed with GW. All other bores © Commonwealth of Australia (Bureau of Meteorology) 2015. Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

## **Hydrogeology & Groundwater**

26 Orchard Road, Brookvale, NSW 2100

### **Driller's Logs**

Drill log data relevant to the boreholes within the dataset buffer:

Groundwater No	Drillers Log	Distance	Direction
GW114515	0.00m-0.23m CONCRETE 0.23m-0.50m FILL.SILTY SAND,FINE TO MED.GRAINED 0.50m-1.50m SAND FINE TO MED.GRAINED,YELLOW BROWN AND GREY 1.50m-4.50m SAND FINE TO MED.GRAINED,LIGHT GREY,SILT	41m	South West
GW114516	0.00m-0.21m CONCRETE 0.21m-0.70m FILL SILTY SAND FINE TO MED. GRAINED 0.70m-1.00m SILTY SAND ORANGE BROWN MOIST 1.00m-1.50m SAND.FINE TO MED.GRAINED,MOIST TO WET 1.50m-2.00m SILTY SAND FINE TO MED.GRAINED 2.00m-4.30m SAND LIGHT GREY MOIST TO WET 4.30m-4.50m SANDY CLAY MED.PLASTICITY,DARK GREY	47m	South West
GW114517	0.00m-0.18m CONCRETE 0.18m-0.70m SILTY SAND,FINE TO MED.GRAINED,LIGHT BROWN 0.70m-1.00m SILTY SAND,ORANGE BROWN 1.00m-2.20m SILTY SAND LIGHT GREY,RED BROWN 2.20m-3.00m SANDY CLAY MED.PLASTICITY GREY MOT. 3.00m-4.00m SAND FINE TIO MED.GRAINED,LIGHT GREY	53m	South West
GW107745	0.00m-15.00m sand	491m	South West
GW108144	0.00m-4.00m SAND 4.00m-15.00m RED CLAY BANDS 15.00m-21.00m SANDSTONE YELLOW 21.00m-25.00m SHALE 25.00m-68.00m SANDSTONE/SHALE 68.00m-75.00m SHALE 75.00m-86.00m SANDSTONE/SHALE 86.00m-91.00m SHALE 91.00m-131.00m SANDSTONE/SHALE 131.00m-143.00m SHALE 143.00m-146.00m SANDSTONE/SHALE	689m	North
GW107867	0.00m-4.00m sand 4.00m-5.00m clay	721m	East
GW107782	0.00m-3.00m sand 3.00m-4.00m clay	734m	East
GW115096	0.00m-0.20m CONCRETE 0.20m-0.70m CLAY FIRM GREY BROWN,BRICK AND SHALE 0.70m-1.20m CLAY SOFT BROWN AND BLACK 1.20m-1.30m CLAY FIRM BROWN GREY ORANGE 1.30m-2.50m CLAY SOFT GREY,ORANGE MOTTLED 2.50m-2.60m SHALE FRACTURED WEATHERED 2.60m-2.80m CLAY FIRM GREY 2.80m-3.60m SHALE HIGHLY FRACTURED RED TO ORANGE 3.60m-3.80m SHALE FRACTURED BROWN 3.80m-8.50m SHALE BROWN	789m	West
GW115097	0.00m-0.20m CONCRETE 0.20m-0.80m CLAY FIRM,BROWN,MOTTLED RED AND BLACK 0.80m-1.40m CLAY GREY MOTTLED WITH ORANGE FRAG. 1.40m-2.00m SHALE RED WETHERED 2.00m-2.70m SHALE BROWN, HIGHLY FRACTURED 2.70m-3.10m CLAY STIFF, GREY MOTTLED WITH RED 3.10m-8.50m SHALE BROWN	798m	West
GW115099	0.00m-0.20m CONCRETE 0.20m-0.50m SAND 0.50m-0.60m CLAYEY SAND 0.60m-1.20m NO RECOVERY 1.20m-1.90m CLAYEY SAND COARSE 1.90m-2.60m CLAY FIRM, GREY 2.60m-3.00m SHALE RED, WEATHERED 3.00m-3.30m CLAY FIRM GREY 3.30m-3.80m SHALE WEATHERED GREY 3.80m-10.00m SHALE BROWN	822m	West

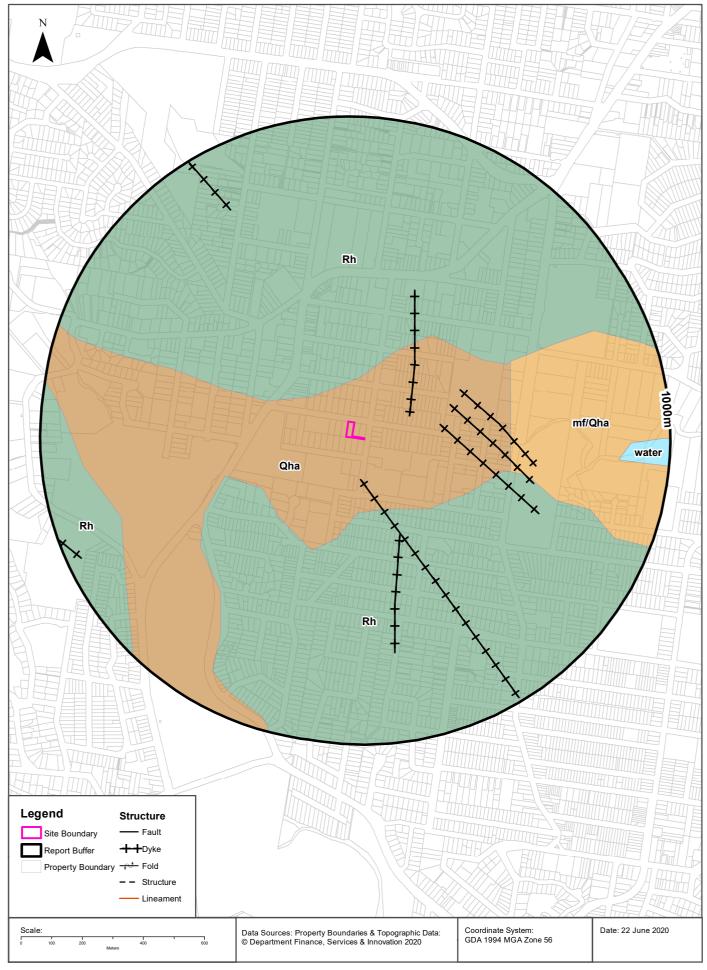
Groundwater No	Drillers Log	Distance	Direction
GW107362	0.00m-0.30m topsoil 0.30m-3.50m sand, white 3.50m-5.00m sand, yellow silty	823m	East
GW115098	0.00m-0.20m CONCRETE 0.20m-0.30m CLAY SOFT DARK BROWN 0.30m-0.40m CONCRETE 0.40m-0.50m SANDY CLAY 0.50m-1.00m CLAY FIRM ,GREY AND BROWN 1.00m-1.50m CLAY ORANGE 1.50m-2.30m SHALE WEATHERED 2.30m-2.40m CLAY STIFF GREY 2.40m-3.30m SHALE RED AND GREY 3.30m-3.60m SHALE HIGHLY WEATERED 3.60m-3.80m SHALE FRACTURED BROWN 3.80m-10.00m SHALE BROWN	828m	West
GW107814	0.00m-0.50m topsoil 0.50m-2.00m sand, white 2.00m-3.50m sand, yellow silty 3.50m-4.00m clay, grey	834m	East
GW108029	0.00m-0.30m topsoil 0.30m-2.50m sand, grey 2.50m-4.20m sand, grey silty 4.20m-6.00m sand, grey	856m	East
GW107655	0.00m-26.00m SAND 26.00m-33.00m SAND/CLAY 33.00m-43.00m SAND/CLAY/QUARTZ 43.00m-71.00m SANDSTONE 71.00m-78.00m SHALE	985m	East
GW072222	0.00m-1.00m SAND 1.00m-19.00m SANDY CLAY 19.00m-27.50m SANDSTONE L/BROWN 27.50m-27.70m SANDSTONE SOFT 27.70m-46.50m SANDSTONE GREY 46.50m-48.00m SANDSTONE DARK GREY 48.00m-64.30m SANDSTONE GREY 64.30m-64.70m SANDSTONE FINE QUARTZ 64.70m-83.00m SANDSTONE GREY 83.00m-83.50m SANDSTONE FINE QUARTZ 83.50m-96.30m SANDSTONE FINE QUARTZ 83.50m-96.30m SANDSTONE FRACTURED 96.40m-120.00m SANDSTONE DARK GREY	1032m	East
GW111038	0.00m-5.00m FIIL / RUBBISH 5.00m-30.00m SAND , GRAVEL 30.00m-80.00m SANDSTONE 80.00m-81.00m SHALE 81.00m-90.00m SANDSTONE	1096m	East
GW102334	0.00m-0.50m Topsoil 0.50m-3.00m SAND YELLOW 3.00m-7.00m MARINE DARK GREY/CLAY-VERY GREASY 7.00m-11.00m MARINE WITH 15%SHELL FRAG.QUARTZ. 11.00m-17.00m MARINE NO QUARTZ 17.00m-23.00m MARINE/5%SHELL FRAGMENT 23.00m-26.00m MARINE/10%SHELL FRAGMENT 26.00m-28.00m MARINE/10%SHELL FRAGMENT 28.00m-30.00m SANDSTONE/BROWN/ GRAIN 30.00m-31.00m SANDSTONE/BROWN/R. QUARTZ 31.00m-35.00m SANDSTONE/GREY/F/G/BIT CLAY MATRIX 35.00m-40.00m CLAY STONE GREY 40.00m-60.00m SANDSTONE/WHITE BIT OF QUARTZ	1379m	South
GW110933	0.00m-0.20m TOSOIL 0.20m-0.50m SANDS MIXED 0.50m-1.40m SAND GREY AND CLAY 1.40m-1.90m SAND DARK WITH CLAY 1.90m-2.50m CLAY 2.50m-3.00m SAND AND CLAY 3.00m-4.00m SAND AND QUARTZ	1559m	East
GW108815	0.00m-0.30m topsoil' 0.30m-2.20m sand, brown 2.20m-4.00m sand, grey	1666m	South

Groundwater No	Drillers Log	Distance	Direction
GW107816	0.00m-1.40m SANDY CLAY L/BROWN 1.40m-4.70m RED CLAY 4.70m-13.80m GREY SANDSTONE 13.80m-14.30m SANDSTONE FRACTURED,GREY 14.30m-22.30m SANDSTONE L/GREY 22.30m-23.00m SANDSTONE GREY,CLAY GREY 23.00m-26.40m GREY SANDSTONE 26.40m-27.20m BROWN SANDSTONE,QUARTZ 27.20m-27.50m SANDSTONE GREY 27.50m-28.00m BROWN SANDSTONE,QUARTZ 28.00m-29.50m L/GREY SANDSTONE 29.50m-29.60m GREY CLAY 29.60m-30.30m BROWN SANDSTONE,QUARTZ 30.30m-34.00m DARK GREY SANDSTONE 34.70m-48.10m DARK GREY SANDSTONE 34.70m-48.10m DARK GREY SANDSTONE 48.10m-48.90m DARK GREY SHALE 48.90m-78.50m SANDSTONE GREY/L/GREY	1685m	South West
GW107619	0.00m-6.10m sand	1747m	South
GW105760	0.00m-3.66m sand, fine unconsolidated	1780m	South
GW107190	0.00m-6.00m sand	1841m	South
GW109151	0.00m-2.50m SAND, YELLOW 2.50m-27.20m SAND/CLAY 27.20m-32.80m SANDSTONE WEATHERED 32.80m-34.90m SANDSTONE GREY 34.90m-35.50m CLAY 35.50m-44.70m SANDSTONE GREY 44.70m-44.90m SANDSTONE FRACTURED 44.90m-56.80m SANDSTONE GREY 56.80m-57.10m SANDSTONE DARK GREY 57.10m-58.90m SANDSTONE DARK GREY 58.90m-62.00m SANDSTONE GREY 62.00m-65.00m SILTSTONE GREY 65.00m-91.90m SANDSTONE GREY 91.90m-98.50m SILTSTONE GREY 91.90m-98.50m SILTSTONE GREY 91.50m-115.00m SANDSTONE GREY	1848m	East
GW109644	0.00m-0.10m TOPSOIL 0.10m-0.25m RUBBLE 0.25m-0.50m WHITE SAND 0.50m-1.00m SAND 1.00m-2.50m SAND/TOPSOIL 2.50m-4.00m DARK SAND 4.00m-5.20m SAND/ SHELLS	1853m	South
GW110726	0.00m-2.00m SAND YELLOW 2.00m-4.00m SAND LIGHT BROWN	1855m	South
GW106808	0.00m-0.30m topsoil 0.30m-1.50m silty sand, brown 1.50m-3.00m sand, grey	1889m	South
GW107537	0.00m-2.00m CLAY FILL 2.00m-4.34m SAND	1899m	East
GW108714	0.00m-2.00m topsoil 2.00m-2.10m sand, grey 2.10m-5.20m sand, grey and shells	1935m	South
GW111902	0.00m-0.20m TOPSOIL 0.20m-2.10m SAND GREY 2.10m-5.50m SAND GREY / SHELLS	1936m	South

Drill Log Data Source: NSW Department of Primary Industries - Office of Water / Water Administration Ministerial Corp Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

Geology 1:100,000 26 Orchard Road, Brookvale, NSW 2100





# **Geology**

26 Orchard Road, Brookvale, NSW 2100

# **Geological Units**

What are the Geological Units onsite?

Symbol	Description	Unit Name	Group	Sub Group	Age	Dom Lith	Map Sheet	Dataset
Qha	Silty to peaty quartz sand, silt, and clay. Ferruginous and humic cementation in places. Common shell layers				Quaternary		Sydney	1:100,000

What are the Geological Units within the dataset buffer?

Symbol	Description	Unit Name	Group	Sub Group	Age	Dom Lith	Map Sheet	Dataset
mf/Qha	Man-made fill (dredged estuarine sand and mud, demolition rubble, industrial and household waste) overlying silty to peaty quartz sand, silt and clay with ferruginous & humic cementation in places and common shell layers				Quaternary		Sydney	1:100,000
Qha	Silty to peaty quartz sand, silt, and clay. Ferruginous and humic cementation in places. Common shell layers				Quaternary		Sydney	1:100,000
Rh	Medium to coarse grained quartz sandstone, very minor shale and laminate lenses				Triassic		Sydney	1:100,000
water							Sydney	1:100,000

## **Geological Structures**

What are the Geological Structures onsite?

Feature	Name	Description	Map Sheet	Dataset
No features				1:100,000

What are the Geological Structures within the dataset buffer?

Feature	Name	Description	Map Sheet	Dataset
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000
Dyke			Sydney	1:100,000

Feature	Name	Description	Map Sheet	Dataset
Dyke			Sydney	1:100,000

Geological Data Source : NSW Department of Industry, Resources & Energy © State of New South Wales through the NSW Department of Industry, Resources & Energy

# **Naturally Occurring Asbestos Potential**

26 Orchard Road, Brookvale, NSW 2100

# **Naturally Occurring Asbestos Potential**

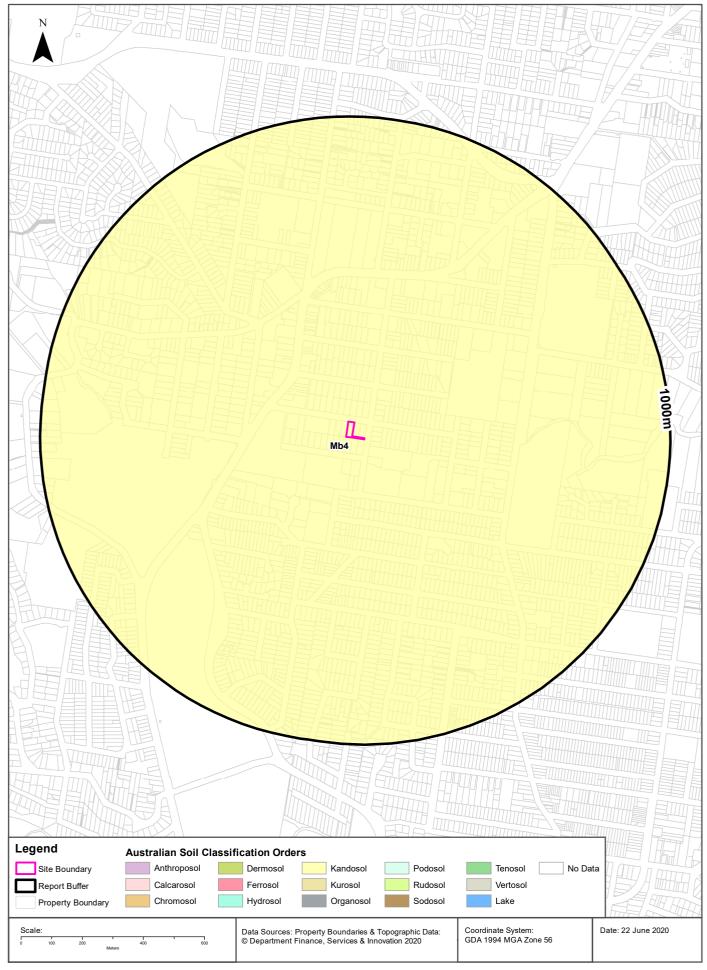
Naturally Occurring Asbestos Potential within the dataset buffer:

Potential	Sym	Strat Name	Group	Formation	Scale	Min Age	Max Age	Rock Type	Dom Lith	Description	Dist	Dir
No records in buffer												

Mining Subsidence District Data Source: © State of New South Wales through NSW Department of Industry, Resources & Energy

### **Atlas of Australian Soils**





### Soils

26 Orchard Road, Brookvale, NSW 2100

### **Atlas of Australian Soils**

Soil mapping units and Australian Soil Classification orders within the dataset buffer:

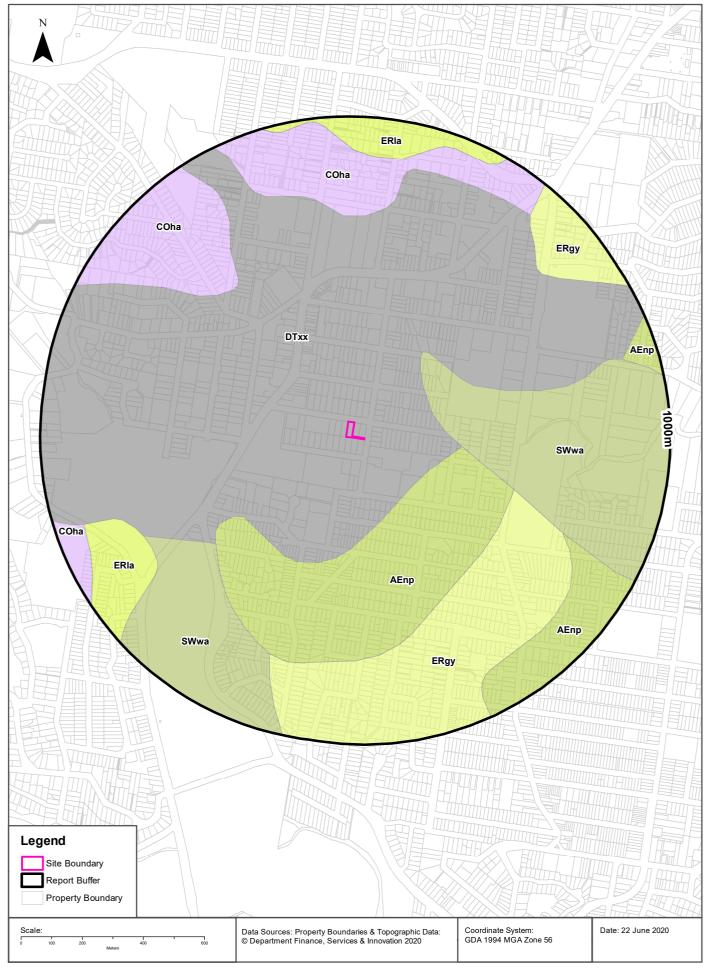
Map Unit Code	Soil Order	Map Unit Description	Distance
Mb4	Kandosol	Coastal complex: chief soils are acid yellow leached earths (Gn2.74) and (Gn2.34), hard acidic yellow mottled soils (Dy3.41), and hard acidic red soils (Dr2.21). This unit includes headlands and rugged coastal areas of unit Mb2; ridges and slopes of unit Tb35; low-lying coastal areas of unit Cb27; and some swampy areas.	0m

Atlas of Australian Soils Data Source: CSIRO

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# **Soil Landscapes**





## Soils

### 26 Orchard Road, Brookvale, NSW 2100

## **Soil Landscapes**

What are the onsite Soil Landscapes?

Soil Code	Name	Group	Process	Map Sheet	Scale
DTxx	DISTURBED TERRAIN		DISTURBED TERRAIN	Sydney	1:100,000

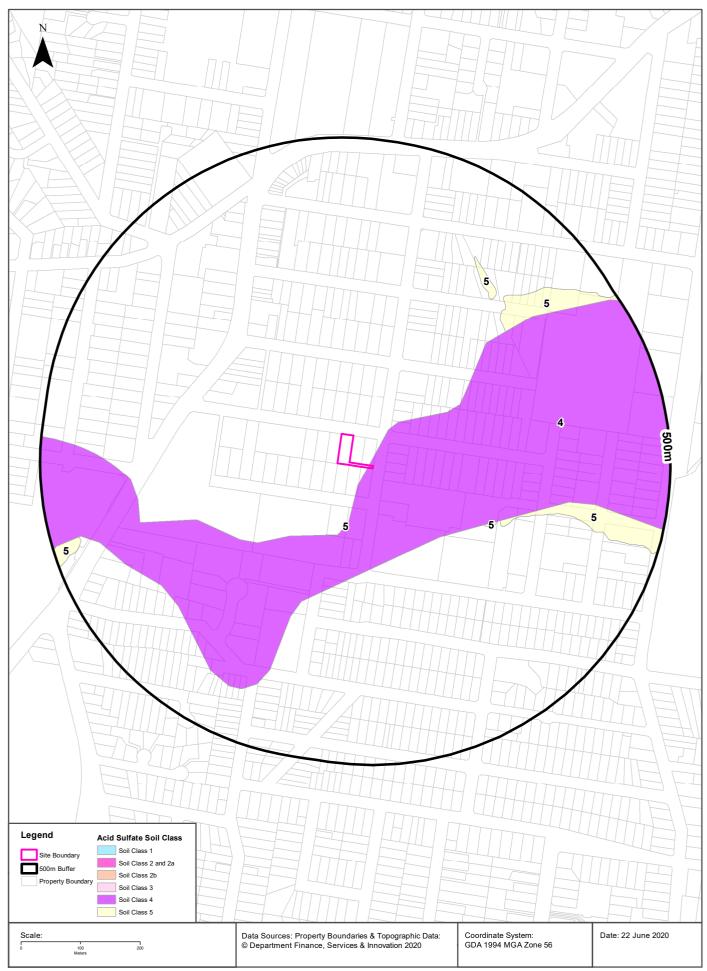
### What are the Soil Landscapes within the dataset buffer?

Soil Code	Name	Group	Process	Map Sheet	Scale
AEnp	NEWPORT		AEOLIAN	Sydney	1:100,000
COha	HAWKESBURY		COLLUVIAL	Sydney	1:100,000
DTxx	DISTURBED TERRAIN		DISTURBED TERRAIN	Sydney	1:100,000
ERgy	GYMEA		EROSIONAL	Sydney	1:100,000
ERla	LAMBERT		EROSIONAL	Sydney	1:100,000
SWwa	WARRIEWOOD		SWAMP	Sydney	1:100,000

Soils Landscapes Data Source : NSW Office of Environment and Heritage Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

### **Acid Sulfate Soils**





## **Acid Sulfate Soils**

26 Orchard Road, Brookvale, NSW 2100

## **Environmental Planning Instrument - Acid Sulfate Soils**

What is the on-site Acid Sulfate Soil Plan Class that presents the largest environmental risk?

Soil Class	Description	EPI Name
4	Works more than 2 metres below natural ground surface present an environmental risk; Works by which the watertable is likely to be lowered more than 2 metres below natural ground surface, present an environmental risk	Warringah Local Environmental Plan 2011

If the on-site Soil Class is 5, what other soil classes exist within 500m?

Soil Class	Description	EPI Name	Distance	Direction
N/A				

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### **Atlas of Australian Acid Sulfate Soils**





## **Acid Sulfate Soils**

26 Orchard Road, Brookvale, NSW 2100

### **Atlas of Australian Acid Sulfate Soils**

Atlas of Australian Acid Sulfate Soil categories within the dataset buffer:

Class	Description	Distance
В	Low Probability of occurrence. 6-70% chance of occurrence.	0m
С	Extremely low probability of occurrence. 1-5% chance of occurrence with occurrences in small localised areas.	0m

Atlas of Australian Acid Sulfate Soils Data Source: CSIRO Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

## **Dryland Salinity**

26 Orchard Road, Brookvale, NSW 2100

### **Dryland Salinity - National Assessment**

Is there Dryland Salinity - National Assessment data onsite?

No

Is there Dryland Salinity - National Assessment data within the dataset buffer?

No

What Dryland Salinity assessments are given?

Assessment 2000	Assessment 2020	Assessment 2050	Distance	Direction
N/A	N/A	N/A	N/A	N/A

Dryland Salinity Data Source: National Land and Water Resources Audit

The Commonwealth and all suppliers of source data used to derive the maps of "Australia, Forecast Areas Containing Land of High Hazard or Risk of Dryland Salinity from 2000 to 2050" do not warrant the accuracy or completeness of information in this product. Any person using or relying upon such information does so on the basis that the Commonwealth and data suppliers shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. Any persons using this information do so at their own risk.

In many cases where a high risk is indicated, less than 100% of the area will have a high hazard or risk.

## **Dryland Salinity Potential of Western Sydney**

Dryland Salinity Potential of Western Sydney within the dataset buffer?

Feature Id	Classification	Description	Distance	Direction
N/A	Outside Data Coverage			

Dryland Salinity Potential of Western Sydney Data Source: NSW Office of Environment and Heritage Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

# **Mining Subsidence Districts**

26 Orchard Road, Brookvale, NSW 2100

# **Mining Subsidence Districts**

Mining Subsidence Districts within the dataset buffer:

District	Distance	Direction
There are no Mining Subsidence Districts within the report buffer		

Mining Subsidence District Data Source: © Land and Property Information (2016)
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# **State Environmental Planning Policy**

26 Orchard Road, Brookvale, NSW 2100

# **State Significant Precincts**

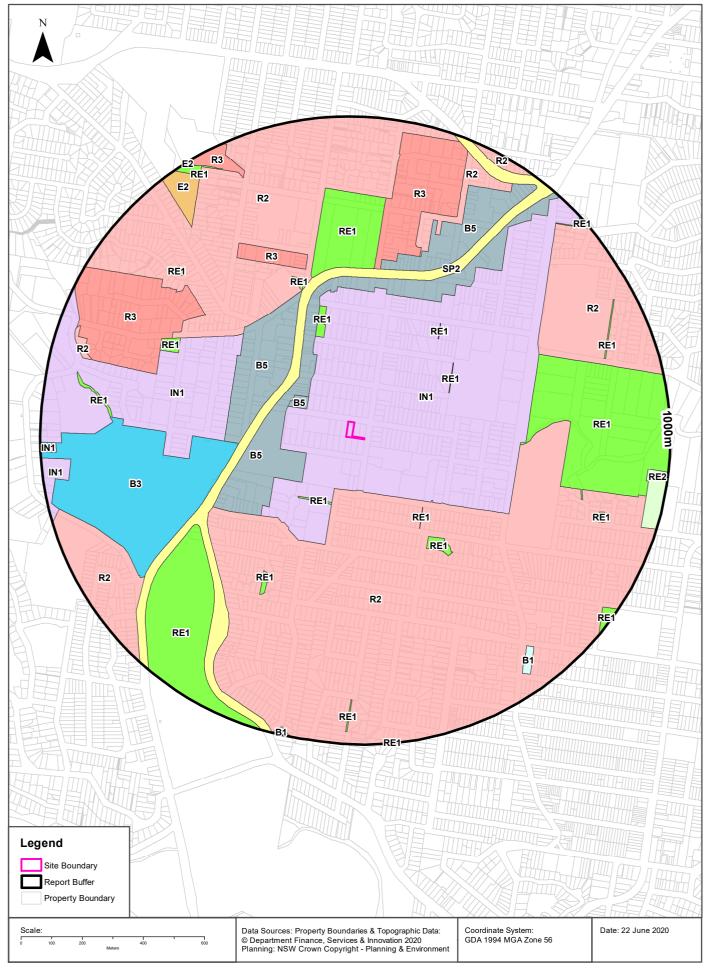
What SEPP State Significant Precincts exist within the dataset buffer?

Map Id	Precinct	EPI Name	Published Date	Commenced Date	Currency Date	Amendment	Distance	Direction
N/A	No Records in Buffer							

State Environment Planning Policy Data Source: NSW Crown Copyright - Planning & Environment Creative Commons 4.0  $\odot$  Commonwealth of Australia https://creativecommons.org/licenses/by/4.0/

**EPI Planning Zones** 26 Orchard Road, Brookvale, NSW 2100





# **Environmental Planning Instrument**

26 Orchard Road, Brookvale, NSW 2100

# **Land Zoning**

What EPI Land Zones exist within the dataset buffer?

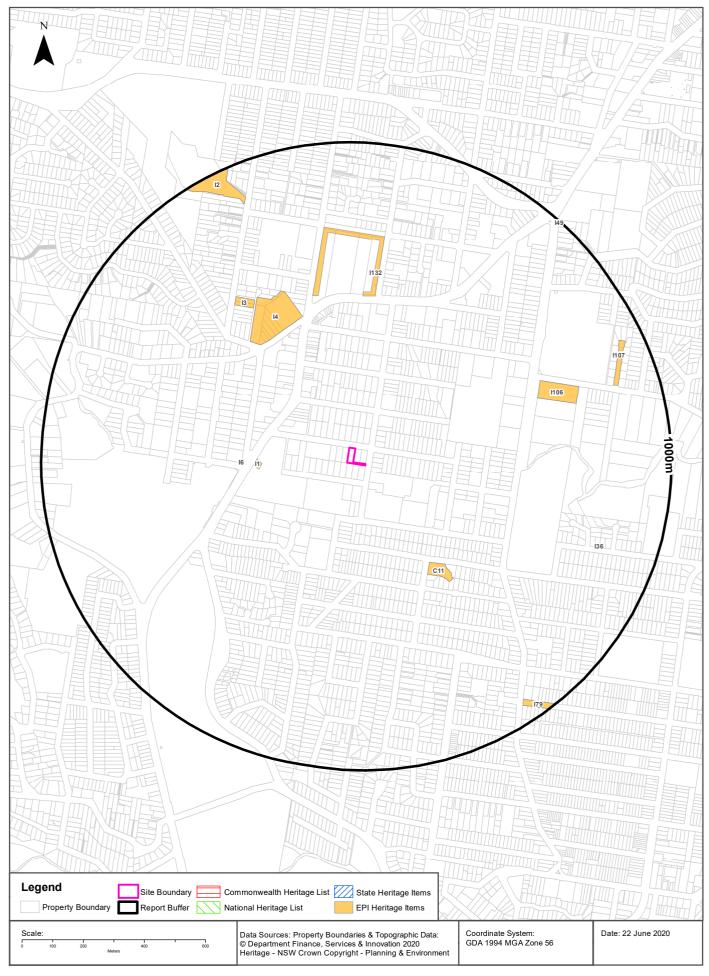
Zone	Description	Purpose	EPI Name	Published Date	Commenced Date	Currency Date	Amendment	Distance	Direction
IN1	General Industrial		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		0m	Onsite
B5	Business Development		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		139m	North
B5	Business Development		Warringah Local Environmental Plan 2011	28/03/2013	28/03/2013	30/06/2017	Amendment No 1	142m	North West
R2	Low Density Residential		Warringah Local Environmental Plan 2011			167m	South East		
SP2	Infrastructure	Classified Road	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		218m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		220m	South West
B5	Business Development		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		250m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		288m	North
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		292m	South East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		312m	North East
ВЗ	Commercial Core		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		354m	West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		380m	South East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		387m	North East
IN1	General Industrial		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		392m	West
R2	Low Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		438m	West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		456m	North
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		487m	North
R3	Medium Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		507m	North
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		509m	North East
B5	Business Development		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		510m	North East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		514m	South West
R3	Medium Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		519m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		562m	South
R3	Medium Density Residential		Warringah Local Environmental Plan 2011	ingah Local 09/12/2011 09/12/2011 30/06/2017		583m	North West		
R2	Low Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		584m	North East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		600m	North West
R2	Low Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	Amendment No 19	633m	East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		720m	North West

Zone	Description	Purpose	EPI Name	Published Date	Commenced Date	Currency Date	Amendment	Distance	Direction
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		767m	West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		805m	East
E2	Environmental Conservation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		818m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		826m	East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		853m	South
B1	Neighbourhood Centre		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		859m	South East
R2	Low Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		865m	West
R3	Medium Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		869m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		921m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		927m	North East
RE2	Private Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		931m	East
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		954m	South East
R2	Low Density Residential		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		962m	North
B1	Neighbourhood Centre		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		973m	South
E2	Environmental Conservation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		975m	North West
RE1	Public Recreation		Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017		992m	South

Environmental Planning Instrument Data Source: NSW Crown Copyright - Planning & Environment Creative Commons 4.0 © Commonwealth of Australia https://creativecommons.org/licenses/by/4.0/

## **Heritage Items**





## Heritage

26 Orchard Road, Brookvale, NSW 2100

### **Commonwealth Heritage List**

What are the Commonwealth Heritage List Items located within the dataset buffer?

Place Id	Name	Address	Place File No	Class	Status	Register Date	Distance	Direction
N/A	No records in buffer							

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch Creative Commons 3.0 © Commonwealth of Australia https://creativecommons.org/licenses/by/3.0/au/deed.en

### **National Heritage List**

What are the National Heritage List Items located within the dataset buffer? Note. Please click on Place Id to activate a hyperlink to online website.

Place Id	Name	Address	Place File No	Class	Status	Register Date	Distance	Direction
N/A	No records in buffer							

Heritage Data Source: Australian Government Department of the Environment and Energy - Heritage Branch Creative Commons 3.0 © Commonwealth of Australia https://creativecommons.org/licenses/by/3.0/au/deed.en

## **State Heritage Register - Curtilages**

What are the State Heritage Register Items located within the dataset buffer?

Map Id	Name	Address	LGA	Listing Date	Listing No	Plan No	Distance	Direction
N/A	No records in buffer							

Heritage Data Source: NSW Crown Copyright - Office of Environment & Heritage Creative Commons 4.0 © Commonwealth of Australia https://creativecommons.org/licenses/by/4.0/

## **Environmental Planning Instrument - Heritage**

What are the EPI Heritage Items located within the dataset buffer?

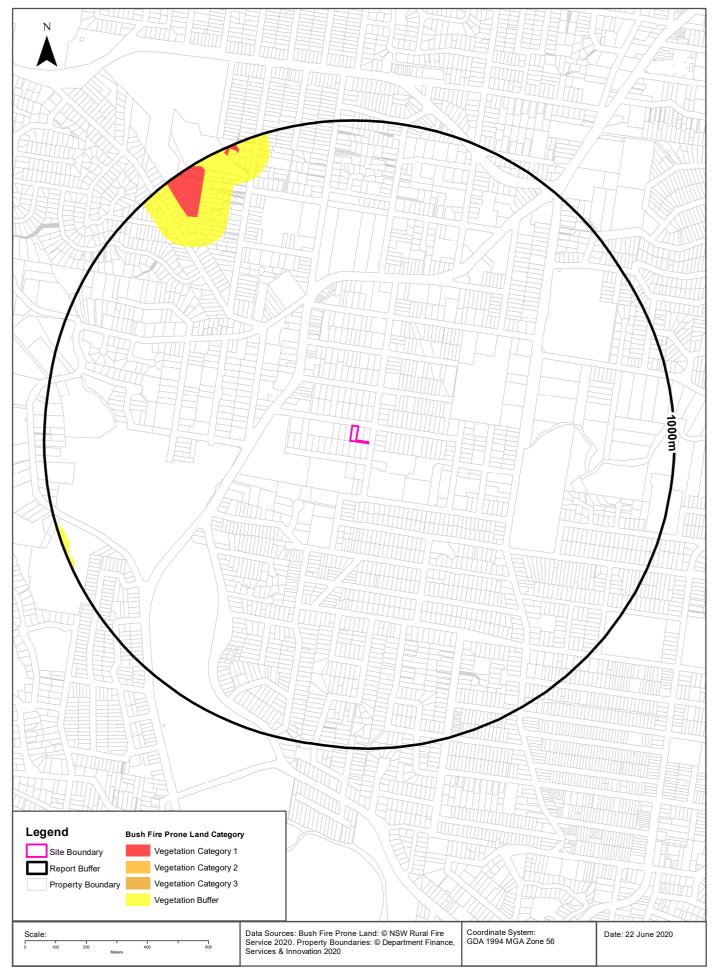
Map Id	Name	Classification	Significance	EPI Name	Published Date	Commenced Date	Currency Date	Distance	Direction
<b>I</b> 1	Tramway Staff War Memorial	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	278m	West
16	Palm Tree & Plaque	Item - Landscape	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	342m	West
C11	Park	Conservation Area - Landscape	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	380m	South East

Map Id	Name	Classification	Significance	EPI Name	Published Date	Commenced Date	Currency Date	Distance	Direction
14	Brookvale Public School	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	438m	North West
l132	Brush Box and Camphor Laurel Trees surrounding Brookvale Park	Item - Landscape	Local	Warringah Local Environmental Plan 2011	30/05/2014	30/05/2014	30/06/2017	499m	North
13	House known as Milroy	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	555m	North West
I106	Memorial Gateway, John Fisher Park	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	602m	East
136	Port Jackson Fig Tree	Item - Landscape	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	805m	East
I107	Street Trees	Item - Landscape	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	851m	East
12	Former Premises relating to Austral Brickworks	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	869m	North West
179	Street Trees	Item - Landscape	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	923m	South East
149	Former Wormald Building (front entrance/canteen)	Item - General	Local	Warringah Local Environmental Plan 2011	09/12/2011	09/12/2011	30/06/2017	990m	North East

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## **Natural Hazards - Bush Fire Prone Land**





## **Natural Hazards**

26 Orchard Road, Brookvale, NSW 2100

### **Bush Fire Prone Land**

What are the nearest Bush Fire Prone Land Categories that exist within the dataset buffer?

Bush Fire Prone Land Category	Distance	Direction
Vegetation Buffer	751m	North West
Vegetation Category 1	851m	North West

NSW Bush Fire Prone Land - © NSW Rural Fire Service under Creative Commons 4.0 International Licence

# **Ecological Constraints - Native Vegetation & RAMSAR Wetlands**





26 Orchard Road, Brookvale, NSW 2100

# **Native Vegetation**

What native vegetation exists within the dataset buffer?

Map ID	Map Unit Name	Threatened Ecological Community NSW	Threatened Ecological Community EPBC Act	Understorey	Disturbance	Disturbance Index	Dominant Species	Dist	Direction
Urban_E/N	Urban_E/N: Urban Exotic/Native			00: Not assessed	00: Not assessed	0: Not assessed	Urban Exotic/Native	144m	North West
S_FoW03	S_FoW03: Coastal Freshwater Swamp Forest			20: Weeds and exotics	13: Weeds	3: High	C.glauca	513m	East
S_DSF04	S_DSF04: Coastal Enriched Sandstone Dry Forest			15: Grassy natives and exotics	20: Previously cleared 1943	3: High	C.gummifera/E.h aemastoma/A.co stataE.sieberi	535m	South East
S_FoW08	S_FoW08: Estuarine Swamp Oak Forest	Swamp Oak Floodplain Forest		20: Weeds and exotics	20: Previously cleared 1943	3: High	C.glauca	561m	South West
Water	Water			00: Not assessed	00: Not assessed	0: Not assessed	Water	563m	East
S_FrW06	S_FrW06: Estuarine Reedland	Swamp Oak Floodplain Forest		00: Not assessed	00: Not assessed	0: Not assessed	P.australis/B.junc ea	638m	East
S_DSF09	S_DSF09: Coastal Sandstone Gully Forest			11: Semi sheltered dry/mesic	24: Urban mixed use	4: Very high	A.costata/E.piperi ta/C.gummifera/S .glomulifera/E.res inifera	701m	North West
Weed_Ex	Weed_Ex: Weeds and Exotics			00: Not assessed	00: Not assessed	0: Not assessed	Exotic Species >90%cover	765m	West
Cleared	Cleared			00: Not assessed	00: Not assessed	0: Not assessed	Cleared	848m	North East
S_DSF11	S_DSF11: Sydney North Exposed Sandstone Woodland			12: Dry xeric shrubs	15: Regrowth	1: Low	E.haemastoma/B .serrata	875m	North East

Native Vegetation of the Sydney Metropolitan Area: NSW Office of Environment and Heritage Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

### **Ramsar Wetlands**

What Ramsar Wetland areas exist within the dataset buffer?

Map Id	Ramsar Name	Wetland Name	<b>Designation Date</b>	Source	Distance	Direction
N/A	No records in buffer					

Ramsar Wetlands Data Source: © Commonwealth of Australia - Department of Environment

26 Orchard Road, Brookvale, NSW 2100

## **Groundwater Dependent Ecosystems Atlas**

Туре	GDE Potential	Geomorphology	Ecosystem Type	Aquifer Geology	Distance
N/A	No records within buffer				

Groundwater Dependent Ecosystems Atlas Data Source: The Bureau of Meteorology Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

26 Orchard Road, Brookvale, NSW 2100

## **Inflow Dependent Ecosystems Likelihood**

Туре	IDE Likelihood	Geomorphology	Ecosystem Type	Aquifer Geology	Distance
N/A	No records within buffer				

Inflow Dependent Ecosystems Likelihood Data Source: The Bureau of Meteorology Creative Commons 3.0 © Commonwealth of Australia http://creativecommons.org/licenses/by/3.0/au/deed.en

26 Orchard Road, Brookvale, NSW 2100

### **NSW BioNet Atlas**

Species on the NSW BioNet Atlas that have a NSW or federal conservation status, a NSW sensitivity status, or are listed under a migratory species agreement, and are within 10km of the site?

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Animalia	Amphibia	Heleioporus australiacus	Giant Burrowing Frog	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Amphibia	Litoria aurea	Green and Golden Bell Frog	Endangered	Not Sensitive	Vulnerable	
Animalia	Amphibia	Pseudophryne australis	Red-crowned Toadlet	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Actitis hypoleucos	Common Sandpiper	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Anous stolidus	Common Noddy	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Anseranas semipalmata	Magpie Goose	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Anthochaera phrygia	Regent Honeyeater	Critically Endangered	Not Sensitive	Critically Endangered	
Animalia	Aves	Apus pacificus	Fork-tailed Swift	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Ardea ibis	Cattle Egret	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Ardenna carneipes	Flesh-footed Shearwater	Vulnerable	Not Sensitive	Not Listed	ROKAMBA;JAMBA
Animalia	Aves	Ardenna grisea	Sooty Shearwater	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Ardenna pacificus	Wedge-tailed Shearwater	Not Listed	Not Sensitive	Not Listed	JAMBA
Animalia	Aves	Ardenna tenuirostris	Short-tailed Shearwater	Not Listed	Not Sensitive	Not Listed	ROKAMBA;JAMBA
Animalia	Aves	Arenaria interpres	Ruddy Turnstone	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Artamus cyanopterus cyanopterus	Dusky Woodswallow	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Botaurus poiciloptilus	Australasian Bittern	Endangered	Not Sensitive	Endangered	
Animalia	Aves	Burhinus grallarius	Bush Stone- curlew	Endangered	Not Sensitive	Not Listed	
Animalia	Aves	Calidris acuminata	Sharp-tailed Sandpiper	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Calidris alba	Sanderling	Vulnerable	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Calidris canutus	Red Knot	Not Listed	Not Sensitive	Endangered	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Calidris ferruginea	Curlew Sandpiper	Endangered	Not Sensitive	Critically Endangered	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Calidris ruficollis	Red-necked Stint	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Calidris tenuirostris	Great Knot	Vulnerable	Not Sensitive	Critically Endangered	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Callocephalon fimbriatum	Gang-gang Cockatoo	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Calyptorhynchus banksii banksii	Red-tailed Black- Cockatoo (coastal subspecies)	Critically Endangered	Category 2	Not Listed	
Animalia	Aves	Calyptorhynchus banksii samueli	Red-tailed Black- Cockatoo (inland subspecies)	Vulnerable	Category 2	Not Listed	

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Animalia	Aves	Calyptorhynchus lathami	Glossy Black- Cockatoo	Vulnerable	Category 2	Not Listed	
Animalia	Aves	Charadrius leschenaultii	Greater Sand- plover	Vulnerable	Not Sensitive	Vulnerable	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Charadrius mongolus	Lesser Sand- plover	Vulnerable	Not Sensitive	Endangered	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Charadrius veredus	Oriental Plover	Not Listed	Not Sensitive	Not Listed	ROKAMBA;JAMBA
Animalia	Aves	Chlidonias leucopterus	White-winged Black Tern	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Daphoenositta chrysoptera	Varied Sittella	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Diomedea exulans	Wandering Albatross	Endangered	Not Sensitive	Endangered	JAMBA
Animalia	Aves	Egretta sacra	Eastern Reef Egret	Not Listed	Not Sensitive	Not Listed	CAMBA
Animalia	Aves	Esacus magnirostris	Beach Stone- curlew	Critically Endangered	Not Sensitive	Not Listed	
Animalia	Aves	Eudyptula minor	Little Penguin	Endangered Population	Not Sensitive	Not Listed	
Animalia	Aves	Falco subniger	Black Falcon	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Fregata ariel	Lesser Frigatebird	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Gallinago hardwickii	Latham's Snipe	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Glossopsitta pusilla	Little Lorikeet	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Gygis alba	White Tern	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Haematopus fuliginosus	Sooty Oystercatcher	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Haematopus longirostris	Pied Oystercatcher	Endangered	Not Sensitive	Not Listed	
Animalia	Aves	Haliaeetus leucogaster	White-bellied Sea-Eagle	Vulnerable	Not Sensitive	Not Listed	CAMBA
Animalia	Aves	Hieraaetus morphnoides	Little Eagle	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Hirundapus caudacutus	White-throated Needletail	Not Listed	Not Sensitive	Vulnerable	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Hydroprogne caspia	Caspian Tern	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Ixobrychus flavicollis	Black Bittern	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Lathamus discolor	Swift Parrot	Endangered	Category 3	Critically Endangered	
Animalia	Aves	Limosa Iapponica	Bar-tailed Godwit	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Lophochroa leadbeateri	Major Mitchell's Cockatoo	Vulnerable	Category 2	Not Listed	
Animalia	Aves	Lophoictinia isura	Square-tailed Kite	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Macronectes giganteus	Southern Giant Petrel	Endangered	Not Sensitive	Endangered	
Animalia	Aves	Macronectes halli	Northern Giant- Petrel	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Aves	Merops ornatus	Rainbow Bee- eater	Not Listed	Not Sensitive	Not Listed	JAMBA
Animalia	Aves	Neophema pulchella	Turquoise Parrot	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Neophema splendida	Scarlet-chested Parrot	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Ninox connivens	Barking Owl	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Ninox strenua	Powerful Owl	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Numenius madagascariensi s	Eastern Curlew	Not Listed	Not Sensitive	Critically Endangered	ROKAMBA;CAMBA; JAMBA

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Animalia	Aves	Numenius phaeopus	Whimbrel	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Onychoprion fuscata	Sooty Tern	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Pachycephala olivacea	Olive Whistler	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Pandion cristatus	Eastern Osprey	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Petroica boodang	Scarlet Robin	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Phaethon lepturus	White-tailed Tropicbird	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Philomachus pugnax	Ruff	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Phoebetria fusca	Sooty Albatross	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Aves	Plegadis falcinellus	Glossy Ibis	Not Listed	Not Sensitive	Not Listed	CAMBA
Animalia	Aves	Pluvialis fulva	Pacific Golden Plover	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Pluvialis squatarola	Grey Plover	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Polytelis swainsonii	Superb Parrot	Vulnerable	Category 3	Vulnerable	
Animalia	Aves	Pterodroma leucoptera leucoptera	Gould's Petrel	Vulnerable	Not Sensitive	Endangered	
Animalia	Aves	Pterodroma solandri	Providence Petrel	Vulnerable	Not Sensitive	Not Listed	JAMBA
Animalia	Aves	Ptilinopus magnificus	Wompoo Fruit- Dove	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Ptilinopus regina	Rose-crowned Fruit-Dove	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Ptilinopus superbus	Superb Fruit- Dove	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Puffinus assimilis	Little Shearwater	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Rostratula australis	Australian Painted Snipe	Endangered	Not Sensitive	Endangered	
Animalia	Aves	Stagonopleura guttata	Diamond Firetail	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Stercorarius longicaudus	Long-tailed Jaeger	Not Listed	Not Sensitive	Not Listed	JAMBA
Animalia	Aves	Stercorarius parasiticus	Arctic Jaeger	Not Listed	Not Sensitive	Not Listed	ROKAMBA;JAMBA
Animalia	Aves	Stercorarius pomarinus	Pomarine Jaeger	Not Listed	Not Sensitive	Not Listed	CAMBA;JAMBA
Animalia	Aves	Sterna hirundo	Common Tern	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Sternula albifrons	Little Tern	Endangered	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Stictonetta naevosa	Freckled Duck	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Sula dactylatra	Masked Booby	Vulnerable	Not Sensitive	Not Listed	ROKAMBA;JAMBA
Animalia	Aves	Thalassarche cauta	Shy Albatross	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Aves	Thalassarche chrysostoma	Grey-headed Albatross	Not Listed	Not Sensitive	Endangered	
Animalia	Aves	Thalassarche melanophris	Black-browed Albatross	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Aves	Thinornis rubricollis	Hooded Plover	Critically Endangered	Not Sensitive	Vulnerable	
Animalia	Aves	Todiramphus chloris	Collared Kingfisher	Vulnerable	Not Sensitive	Not Listed	
Animalia	Aves	Tringa brevipes	Grey-tailed Tattler	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Tringa incana	Wandering Tattler	Not Listed	Not Sensitive	Not Listed	JAMBA

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Animalia	Aves	Tringa nebularia	Common Greenshank	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Tringa stagnatilis	Marsh Sandpiper	Not Listed	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Aves	Tyto novaehollandiae	Masked Owl	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Tyto tenebricosa	Sooty Owl	Vulnerable	Category 3	Not Listed	
Animalia	Aves	Xenus cinereus	Terek Sandpiper	Vulnerable	Not Sensitive	Not Listed	ROKAMBA;CAMBA; JAMBA
Animalia	Mammalia	Arctocephalus forsteri	New Zealand Fur- seal	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Arctocephalus pusillus doriferus	Australian Fur- seal	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Cercartetus nanus	Eastern Pygmy- possum	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Chalinolobus dwyeri	Large-eared Pied Bat	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Mammalia	Dasyurus maculatus	Spotted-tailed Quoll	Vulnerable	Not Sensitive	Endangered	
Animalia	Mammalia	Dugong dugon	Dugong	Endangered	Not Sensitive	Not Listed	
Animalia	Mammalia	Eubalaena australis	Southern Right Whale	Endangered	Not Sensitive	Endangered	
Animalia	Mammalia	Falsistrellus tasmaniensis	Eastern False Pipistrelle	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Isoodon obesulus obesulus	Southern Brown Bandicoot (eastern)	Endangered	Not Sensitive	Endangered	
Animalia	Mammalia	Macrotis lagotis	Bilby	Presumed Extinct	Not Sensitive	Vulnerable	
Animalia	Mammalia	Megaptera novaeangliae	Humpback Whale	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Mammalia	Micronomus norfolkensis	Eastern Coastal Free-tailed Bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Miniopterus australis	Little Bent-winged Bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Miniopterus orianae oceanensis	Large Bent- winged Bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Myotis macropus	Southern Myotis	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Nyctophilus bifax	Eastern Long- eared Bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Perameles nasuta	Long-nosed Bandicoot	Endangered Population	Not Sensitive	Not Listed	
Animalia	Mammalia	Petaurus norfolcensis	Squirrel Glider	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Petrogale penicillata	Brush-tailed Rock-wallaby	Endangered	Not Sensitive	Vulnerable	
Animalia	Mammalia	Phascolarctos cinereus	Koala	Endangered Population, Vulnerable	Not Sensitive	Vulnerable	
Animalia	Mammalia	Phascolarctos cinereus	Koala	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Mammalia	Physeter macrocephalus	Sperm Whale	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Pseudomys desertor	Desert Mouse	Critically Endangered	Not Sensitive	Not Listed	
Animalia	Mammalia	Pseudomys novaehollandiae	New Holland Mouse	Not Listed	Not Sensitive	Vulnerable	
Animalia	Mammalia	Pteropus poliocephalus	Grey-headed Flying-fox	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Mammalia	Saccolaimus flaviventris	Yellow-bellied Sheathtail-bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Scoteanax rueppellii	Greater Broad- nosed Bat	Vulnerable	Not Sensitive	Not Listed	
Animalia	Mammalia	Vespadelus troughtoni	Eastern Cave Bat	Vulnerable	Not Sensitive	Not Listed	

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Animalia	Reptilia	Antaresia stimsoni	Stimson's Python	Vulnerable	Not Sensitive	Not Listed	
Animalia	Reptilia	Aspidites ramsayi	Woma	Vulnerable	Not Sensitive	Not Listed	
Animalia	Reptilia	Caretta caretta	Loggerhead Turtle	Endangered	Not Sensitive	Endangered	
Animalia	Reptilia	Chelonia mydas	Green Turtle	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Reptilia	Dermochelys coriacea	Leatherback Turtle	Endangered	Not Sensitive	Endangered	
Animalia	Reptilia	Eretmochelys imbricata	Hawksbill Turtle	Not Listed	Not Sensitive	Vulnerable	
Animalia	Reptilia	Myuchelys bellii	Western Sawshelled Turtle, Bell's Turtle	Endangered	Not Sensitive	Vulnerable	
Animalia	Reptilia	Suta flagellum	Little Whip Snake	Vulnerable	Not Sensitive	Not Listed	
Animalia	Reptilia	Tiliqua occipitalis	Western Blue- tongued Lizard	Vulnerable	Not Sensitive	Not Listed	
Animalia	Reptilia	Uvidicolus sphyrurus	Border Thick- tailed Gecko	Vulnerable	Not Sensitive	Vulnerable	
Animalia	Reptilia	Varanus rosenbergi	Rosenberg's Goanna	Vulnerable	Not Sensitive	Not Listed	
Plantae	Flora	Acacia bynoeana	Bynoe's Wattle	Endangered	Not Sensitive	Vulnerable	
Plantae	Flora	Acacia terminalis subsp. terminalis	Sunshine Wattle	Endangered	Not Sensitive	Endangered	
Plantae	Flora	Allocasuarina portuensis	Nielsen Park She- oak	Endangered	Category 3	Endangered	
Plantae	Flora	Asterolasia buxifolia		Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Baeckea kandos		Endangered	Category 3	Endangered	
Plantae	Flora	Caladenia tessellata	Thick Lip Spider Orchid	Endangered	Category 2	Vulnerable	
Plantae	Flora	Callistemon linearifolius	Netted Bottle Brush	Vulnerable	Category 3	Not Listed	
Plantae	Flora	Chamaesyce psammogeton	Sand Spurge	Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Darwinia biflora		Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Deyeuxia appressa		Endangered	Not Sensitive	Endangered	
Plantae	Flora	Epacris purpurascens var. purpurascens		Vulnerable	Not Sensitive	Not Listed	
Plantae	Flora	Eucalyptus camfieldii	Camfield's Stringybark	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Eucalyptus nicholii	Narrow-leaved Black Peppermint	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Eucalyptus scoparia	Wallangarra White Gum	Endangered	Not Sensitive	Vulnerable	
Plantae	Flora	Euphrasia collina subsp. muelleri	Mueller's Eyebright	Endangered	Not Sensitive	Endangered	
Plantae	Flora	Genoplesium baueri	Bauer's Midge Orchid	Endangered	Category 2	Endangered	
Plantae	Flora	Grammitis stenophylla	Narrow-leaf Finger Fern	Endangered	Category 3	Not Listed	
Plantae	Flora	Grevillea caleyi	Caley's Grevillea	Critically Endangered	Category 3	Critically Endangered	
Plantae	Flora	Haloragodendron lucasii		Endangered	Not Sensitive	Endangered	
Plantae	Flora	Hibbertia puberula		Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Hibbertia superans		Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Isotoma fluviatilis subsp. fluviatilis		Not Listed	Not Sensitive	Extinct	

Kingdom	Class	Scientific	Common	NSW Conservation Status	NSW Sensitivity Class	Federal Conservation Status	Migratory Species Agreements
Plantae	Flora	Kunzea rupestris		Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Lasiopetalum joyceae		Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Leptospermum deanei		Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Macadamia integrifolia	Macadamia Nut	Not Listed	Not Sensitive	Vulnerable	
Plantae	Flora	Macadamia tetraphylla	Rough-shelled Bush Nut	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Melaleuca biconvexa	Biconvex Paperbark	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Melaleuca deanei	Deane's Paperbark	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Microtis angusii	Angus's Onion Orchid	Endangered	Category 2	Endangered	
Plantae	Flora	Persoonia hirsuta	Hairy Geebung	Endangered	Category 3	Endangered	
Plantae	Flora	Persoonia laxa		Presumed Extinct	Not Sensitive	Extinct	
Plantae	Flora	Pimelea curviflora var. curviflora		Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Prasophyllum fuscum	Slaty Leek Orchid	Critically Endangered	Category 2	Vulnerable	
Plantae	Flora	Prostanthera densa	Villous Mint-bush	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Prostanthera junonis	Somersby Mintbush	Endangered	Not Sensitive	Endangered	
Plantae	Flora	Prostanthera marifolia	Seaforth Mintbush	Critically Endangered	Category 3	Critically Endangered	
Plantae	Flora	Rhodamnia rubescens	Scrub Turpentine	Critically Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Sarcochilus hartmannii	Hartman's Sarcochilus	Vulnerable	Category 2	Vulnerable	
Plantae	Flora	Senecio spathulatus	Coast Groundsel	Endangered	Not Sensitive	Not Listed	
Plantae	Flora	Syzygium paniculatum	Magenta Lilly Pilly	Endangered	Not Sensitive	Vulnerable	
Plantae	Flora	Tetratheca glandulosa		Vulnerable	Not Sensitive	Not Listed	
Plantae	Flora	Tetratheca juncea	Black-eyed Susan	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Thesium australe	Austral Toadflax	Vulnerable	Not Sensitive	Vulnerable	
Plantae	Flora	Triplarina imbricata	Creek Triplarina	Endangered	Not Sensitive	Endangered	

Data does not include NSW category 1 sensitive species.

NSW BioNet: © State of NSW and Office of Environment and Heritage

## **Location Confidences**

Where Lotsearch has had to georeference features from supplied addresses, a location confidence has been assigned to the data record. This indicates a confidence to the positional accuracy of the feature. Where applicable, a code is given under the field heading "LC" or "LocConf". These codes lookup to the following location confidences:

LC Code	Location Confidence
Premise match	Georeferenced to the site location / premise or part of site
General area or suburb match	Georeferenced with the confidence of the general/approximate area
Road match	Georeferenced to the road or rail
Road intersection	Georeferenced to the road intersection
Feature is a buffered point	Feature is a buffered point
Land adjacent to geocoded site	Land adjacent to Georeferenced Site
Network of features	Georeferenced to a network of features

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12. These Terms are subject to New South Wales law.

Appendix D Historical Land Titles



**ABN: 36 092 724 251 Ph: 02 9099 7400** (Ph: 0412 199 304)

Level 14, 135 King Street, Sydney Sydney 2000 GPO Box 4103 Sydney NSW 2001 DX 967 Sydney

### **Summary of Owners Report**

Address: - 26 Orchard Road, Brookvale

Description: - Lot A D.P. 413126

### As regards the part numbered (1) on the attached Cadastral Records Enquiry Report

Date of Acquisition and term held	Registered Proprietor(s) & Occupations where available	Reference to Title at Acquisition and sale
25.09.1913 (1913 to 1924)	John Foreman Watson (Salesman)	Vol 1350 Fol 233
01.12.1924 (1924 to 1940)	Elvert Milton Thew (Carrier)	Vol 1350 Fol 233
22.11.1940 (1940 to 1942)	Edith Margaret Thew (Married Woman)	Vol 1350 Fol 233
13.03.1942 (1942 to 1955)	Isaak Doornbusch (Waterside Worker) (& His deceased estate)	Vol 1350 Fol 233
09.02.1955 (1955 to 1958)	Stanley Stewart Skinner (Labourer)	Vol 1350 Fol 233 Now Vol 7030 Fol 226
15.09.1958 (1958 to 1958)	Frank Skinner (Boilerman)	Vol 7030 Fol 226
04.12.1958 (1958 to 1959)	Sidney George Barnes (Journalist) Guy Von Nida	Vol 7030 Fol 226 Now Vol 7624 Fol's 94 & 95
24.07.1959 (1959 to 1959)	Sidney George Barnes (Journalist) Norman Guy Von Nida (Professional Golfer) Jean Marie Sinclair (Married Woman) Mary Agnes Leahy (Married Woman)	Vol 7624 Fol's 94 & 95 Now Vol 7624 Fol's 94 & 95 & Vol 7760 Fol's 155 & 156
08.12.1959 (1959 to 1960)	Leslie Owen Traynor (Company Director)	Vol 7624 Fol's 94 & 95 & Vol 7760 Fol's 155 & 156 Now Vol 8019 Fol 153

### As regards the part numbered (2) on the attached Cadastral Records Enquiry Report

Date of Acquisition and term held	Registered Proprietor(s) & Occupations where available	Reference to Title at Acquisition and sale
25.09.1913 (1913 to 1924)	John Foreman Watson (Salesman)	Vol 1350 Fol 233
01.12.1924 (1924 to 1940)	Elvert Milton Thew (Carrier)	Vol 1350 Fol 233
22.11.1940 (1940 to 1942)	Edith Margaret Thew (Married Woman)	Vol 1350 Fol 233
13.03.1942 (1942 to 1954)	Isaak Doornbusch (Waterside Worker) (& His deceased estate)	Vol 1350 Fol 233
10.06.1954 (1954 to 1956)	Distinctive Products Pty Limited	Vol 1350 Fol 233 Now Vol 6868 Fol 13



**ABN: 36 092 724 251 Ph: 02 9099 7400** (Ph: 0412 199 304)

Level 14, 135 King Street, Sydney Sydney 2000 GPO Box 4103 Sydney NSW 2001 DX 967 Sydney

Continued as regards the part numbered (2) on the attached Cadastral Records Enquiry Report

Date of Acquisition and term held	Registered Proprietor(s) & Occupations where available	Reference to Title at Acquisition and sale
13.02.1956 (1956 to 1959)	Norman Guy Von Nida (Professional Golfer)	Vol 6868 Fol 13
08.12.1959 (!959 to 1960)	Leslie Owen Traynor (Company Director)	Vol 6868 Fol 13 Now Vol 8019 Fol 153

### Continued as regards the whole of the subject land

Date of Acquisition and term held	Registered Proprietor(s) & Occupations where available	Reference to Title at Acquisition and sale
01.07.1960 (1960 to 1970)	John (Patrick) McGarry (Clothing Manufacturer) Melvie Joan McGarry (Married Woman)`	Vol 8019 Fol 153
13.05.1970 (1970 to 1970)	Roy Leslie Pegler (Chartered Accountant) Eric Bruce Ellis (Chartered Accountant) (Section 14 Application not investigated)	Vol 8019 Fol 153
16.04.1970 (1970 to 1982)(	Gavin Gordon Gracie (Plumber) Iris Mary Gracie (Married Woman)	Vol 8019 Fol 153 Now Vol 11582 Fol 24
01.10.1982 (1982 to 1985)	Vera Pickering Natalie Clark	Vol 11582 Fol 24
11.07.1985 (1985 to 2003)	Natalie Clark Now Natalie Tkal	Vol 11582 Fol 24 Now A/413126
14.08.2003 (2003 to 2019)	Bruno Frischknecht Lynette Mary Frischknecht Christian Eugen Boller	A/413126
28.05.2019 (2019 to 2020)	Bruno Frischknecht Christian Eugen Boller	A/413126
05.03.2020 (23020 to date)	G & A Bland Holdings Pty Ltd	A/413126

### # Denotes current registered proprietor

### Leases: -

- 26.08.1986 to Tudela Holdings Pty Limited expires 16.06.1989
- 01.09.1989 to Tudela Holdings Pty Limited expires 16.06.1992
- 07.10.1992 (E 909285) expired, not investigated
- 01.09.1995 (O 503644) surrendered 16.10.1997, not investigated
- 16.10.1997 (3498905) expired, not investigated
- 30.09.2016 (AK 798054) expired, not investigated

### Easements: - NIL

Yours Sincerely Mark Groll 25 June 2020

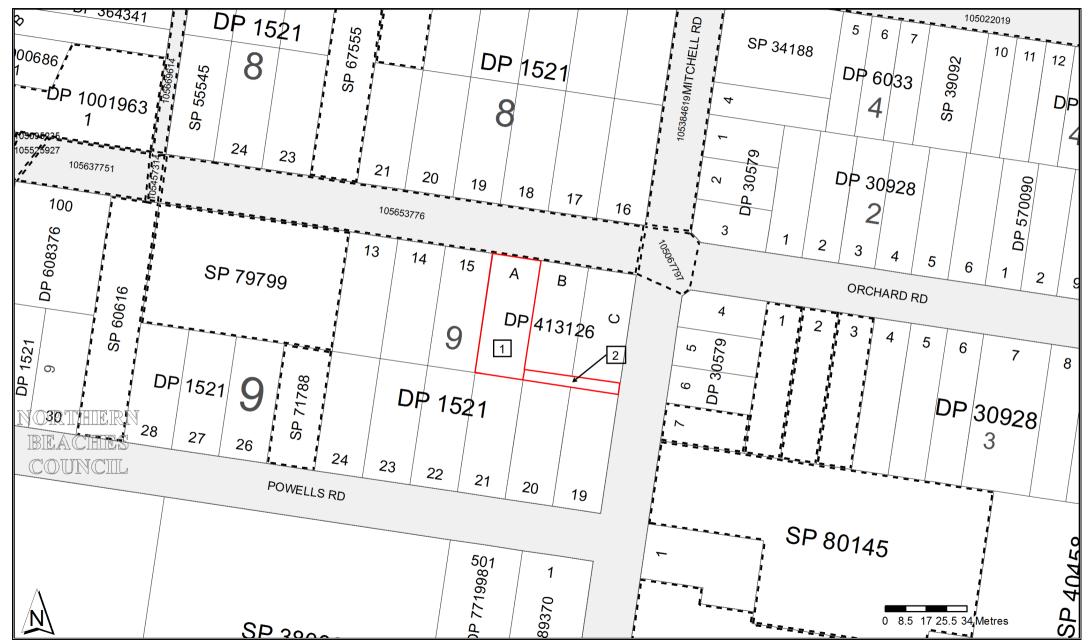
## Cadastral Records Enquiry Report: Lot A DP 413126

Ref: Brookvale 26 Orchard Rd



Locality: BROOKVALE
LGA: NORTHERN BEACHES

Parish: MANLY COVE
County: CUMBERLAND

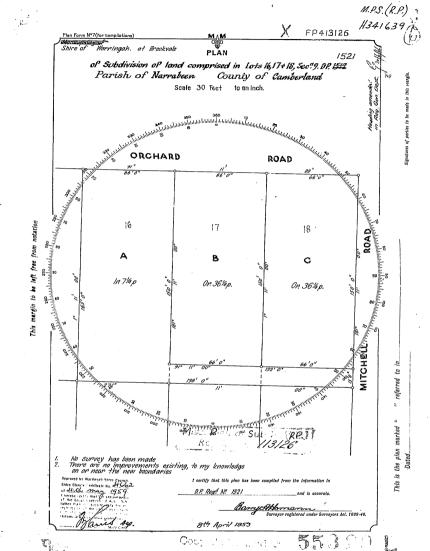




Req:R243480 /Doc:DP 0413126 P /Rev:29-Dec-1992 /NSW LRS /Pgs:ALL /Prt:24-Jun-2020 12:31 © Office of the Registrar-General /Src:INFOTRACK /Ref:Brookvale 26 Orchard Rd



CONVERSION TA	ABLE ADDED IN
DP 413126	
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### FIRST SCHEDULE

CAVIN CORDON GRACIE of Collaroy, Plumber and IRIS MARY GRACIE, his wife as Tenants in Common in Equal Shares

## SECOND SCHEDULE

GRY

1. Reservations and conditions, if any, contained in the Crown Grant above referred to. Discharged N493146

OFFICE

FIRST SCHEDULE (continued)			FIRST SCHEDULE (continued)					
REGISTERED PROPRIETOR	NATURE	INSTRUMENT NATURE NUMBER DATE		- Cleananna		M/8542		
era Pickering and Natalie Clark as joint tenants by Transpar T225307. Regiotered 1 10 1982		7,77,72	DAIS	<del> </del>	Registrar-General	N 493 14		
atalie Clark by Transfer V783101. Registered 11-7-1985.	eta e agranda e agran							
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(Page 2 of 2 pages) 🕏

NATURE NUM		ALDTONI LOG					
16		PARTICULARS	ENTERED	Registrar-General		CANCELLATION	
Mortgage M85	122 24-2-1971	to London Finence and Mortgage Company Pty.Lim	1-6-1971	Saulation	Discharged	N493145	mintend
Mortgage N493	24-9-1973	to-Permanent-Trustee-Company-Limited	15 <b>-10-</b> 1973	- Julothamore	Discharged	T225306	6
Marigege N443		Affected by 4833717 Variation & Ministry	25-8-1978-	Ben	Cancelled	Т225306	b
T225308 Mortgage to	o John Acheson Se d 1-10-1982	rs, Keith Lennon Molean and Jane Godfrey as tenants in comm	on.				
				<u>e</u>	Discharged	T643646	Bene-
	dela Holdings Pty	Limited. Expires 16-6-1986. Option of renewal 2 years.	egistered_				
29-5-1985. V783102 PMortgage to	The Uniting Churc	h (N.S.W.) Trust Association. Registered 11-7-1985.	-		Expired	26-8-1986	
		Limited Expires 16-6-1999 Option of renewal 3 years Rec	stered				
<b>26-8-1986</b>					7565723		
X4/00/9 N V183	102 Modgage	X 610019 Variation. Registers 11.4.1988.			1363 125	· · · · · · · · · · · · · · · · ·	
Y565723 Lease to Tud	ela Holdings Pty	imited. Expires 16-6-1992. Registered 1-9-1989.					
V 783102 Prhatyry	Z696788 Varia	ion. Rejutered 11-6-1991.					
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W475386L 1 610019 VM F

Z696788



# Historical Title



NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

24/6/2020 12:32PM

FOLIO: A/413126

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First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 11582 FOL 24

Recorded	Number	Type of Instrument	C.T. Issue
29/7/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
2/9/1991		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
5/9/1991		AMENDMENT: PARISH-COUNTY	
7/10/1992	E809285	LEASE	EDITION 1
20/6/1994	U365326	DISCHARGE OF MORTGAGE	EDITION 2
1/9/1995	0503644	LEASE	EDITION 3
13/9/1996	2459084	CHANGE OF NAME	EDITION 4
26/8/1997		AMENDMENT: LOCAL GOVT AREA	
16/10/1997	3498904	SURRENDER OF LEASE	
16/10/1997	3498905	LEASE	EDITION 5
19/1/2001	7357452	VARIATION OF LEASE	
14/8/2003	9879415	TRANSFER	
14/8/2003	9879416	MORTGAGE	EDITION 6
20/7/2007	AD284015	DISCHARGE OF MORTGAGE	
20/7/2007	AD284016	MORTGAGE	EDITION 7
30/9/2016	AK798053	DISCHARGE OF MORTGAGE	
30/9/2016	AK798054	LEASE	EDITION 8
28/5/2019	AP275767	NOTICE OF DEATH	EDITION 9
13/1/2020	AP821678	REQUEST	EDITION 10
5/3/2020	AP945788	TRANSFER	EDITION 11

\*\*\* END OF SEARCH \*\*\*

Brookvale 26 Orchard Rd

PRINTED ON 24/6/2020

	Form: 01T Release: 2.1 www.lpi.nsw.gov.	New South Wales Real Property Act 1900  Q879415M
•	STAMP DUTY	Real Property Act 1900 9879415M  RIVARY NOTE this information as legally required and winners were particulated property act 1900  Office of States Recognizing only STAMP No. 557  STAMP DUTY \$2.00 SIGNATURE  TRANSACTION No. 1520331 DATE 28:01-93  ASSESSMENT DETAILS:
(A)	TORRENS TITLE	IDENTIFIER A/413126
(B)	LODGED BY	Delivery Box P. R. & J. M. WHITE P/L. PHONE 261-5720 Reference:  Reference:  Phone 261-5720
(C)	TRANSFEROR	NATALIE TKAL
(D)	CONSIDERATION	The transferor acknowledges receipt of the consideration of \$ 1,419,000.00 and as regards
(E)		the land specified above transfers to the transferee an estate in fee simple
(F) (G)	SHARE Transferred	Encumbrances (if applicable):
(H)	TRANSFEREE	BRUNO FRISCHKNECHT and LINETTE MARY FRISCHKNECHT as Joint Tenants as to a 50% interest as Tenants in Common with CHRISTIAN EUGEN BOLLER as to the remaining 50% interest
(I)		TENANCY:
<b>(J)</b>	DATE	AND STREET CONTINUES AND ASSESSMENT OF THE PROPERTY OF THE PRO
	I am personally a	person(s) signing opposite, with whom Certified correct for the purposes of the Real cquainted or as to whose identity I am Property Act 1900 by the transferor.  d, signed this instrument in my presence.
	Signature of with	, ,
	Name of witness: Address of witne	NORMA MARY ROCETES Natalie ( Cal

Certified for the purposes of the Real Property Act 1900 by the person whose signature appears below.

Signature: Son Ddu

Signatory's name: Signatory's capacity:

Sylvia LIDDLE transferee's solicitor

Page 1 of \_\_\_\_\_ number additional pages sequentially

BROOKUALE

#### **System Document Identification**

Form Number:01T-e
Template Number: T\_nsw16
ELN Document ID:548966578
ELN NOS ID: 548966579

### **TRANSFER**

New South Wales Real Property Act 1900 **Land Registry Document Identification** 

AP945788

Stamp Duty: 9771000-001

PRIVACY NOTE: Section 31B of the Real Property Act 1900 (RP Act) authorises the Registrar General to collect the information required by this form for the establishment and maintenance of the Real Property Act Register. Section 96B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any.

#### LODGED BY:

Responsible Subscriber: BACK SCHWARTZ VAUGHAN ABN 18613203802

Address: L1, 156 Edgecliff RD

Woollahra 2025

Telephone:

PEXA Subscriber Number: 20601 Customer Account Number: 502245S Document Collection Box: 1W

Client Reference: DL BOLLER

#### LAND TITLE REFERENCE

A/413126

### **TRANSFEROR**

**BRUNO FRISCHKNECHT** 

CHRISTIAN EUGEN BOLLER

#### **TRANSFEREE**

G & A BLAND HOLDINGS PTY LTD ACN 002209118

Registered company **Tenancy:** Sole Proprietor

### **CONSIDERATION**

The transferor acknowledges receipt of the consideration of \$3,500,000.00

#### **ESTATE TRANSFERRED**

FEE SIMPLE

The Transferor transfers to the Transferee the Estate specified in this Instrument and acknowledges receipt of any Consideration shown.

### SIGNING FOR TRANSFEROR

I certify that:

- 1. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.
- 2. The Certifier has retained the evidence supporting this Registry Instrument or Document.
- 3. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
- 4. The Certifier has taken reasonable steps to verify the identity of the transferor.

### Party Represented by Subscriber:

BRUNO FRISCHKNECHT CHRISTIAN EUGEN BOLLER

Signed By: Richard John David Legg
Signer Capacity: Practitioner Certifier
PEXA Signer Number: 61439
Digital Signing Certificate Number: 34722

Signed for PARTNERS OF BURRIDGE & LEGG ABN 32502362994

Subscriber:

BURRIDGE & LEGG

Subscriber Capacity: Representative Subscriber

PEXA Subscriber Number:24308 Customer Account Number:503532

Date: 05/03/2020

### SIGNING FOR TRANSFEREE

I certify that:

- 1. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.
- 2. The Certifier has retained the evidence supporting this Registry Instrument or Document.
- 3. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
- 4. The Certifier has taken reasonable steps to verify the identity of the transferee.

### Party Represented by Subscriber:

G & A BLAND HOLDINGS PTY LTD

Signed By: Francis Joseph Back Signer Capacity: Practitioner Certifier PEXA Signer Number: 47326 **Digital Signing Certificate Number: 24376** 

Signed for Subscriber:

BSV PTY LIMITED ABN 18613203802

**BACK SCHWARTZ VAUGHAN** 

Subscriber Capacity: Representative Subscriber

PEXA Subscriber Number: 20601 Customer Account Number:502245

Date: 05/03/2020



NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: A/413126

\_\_\_\_\_

LAND

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LOT A IN DEPOSITED PLAN 413126
AT BROOKVALE
LOCAL GOVERNMENT AREA NORTHERN BEACHES
PARISH OF MANLY COVE COUNTY OF CUMBERLAND

TITLE DIAGRAM DP413126

FIRST SCHEDULE

G & A BLAND HOLDINGS PTY LTD

(T AP945788)

SECOND SCHEDULE (1 NOTIFICATION)

\_\_\_\_\_

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

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UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*

Brookvale 26 Orchard Rd

PRINTED ON 24/6/2020

<sup>\*</sup> Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title. Warning: the information appearing under notations has not been formally recorded in the Register. InfoTrack an approved NSW Information Broker hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with Section 96B(2) of the Real Property Act 1900.

Appendix E Council Information



# Northern Beaches Council Planning Certificate – Part 2&5

**Applicant:** Michelle Metech Consulting

Level 1/29 Kiora Road MIRANDA NSW 2227

 Reference:
 EP143

 Date:
 18/06/2020

 Certificate No.
 ePLC2020/3601

Address of Property: 26 Orchard Road BROOKVALE NSW 2100

**Description of Property:** Lot A DP 413126

# Planning Certificate – Part 2

The following certificate is issued under the provisions of Section 10.7(2) of the *Environmental Planning and Assessment Act 1979* (as amended – formerly Section 149). The information applicable to the land is accurate as at the above date.

# 1. Relevant planning instruments and Development Control Plans

# 1.1 The name of each environmental planning instrument that applies to the carrying out of development on the land:

## 1.1a) Local Environmental Plan

Warringah Local Environmental Plan 2011

# 1.1b) State Environmental Planning Policies and Regional Environmental Plans

State Environmental Planning Policy 19 – Bushland in Urban Areas

State Environmental Planning Policy 21 – Caravan Parks

State Environmental Planning Policy 33 – Hazardous and Offensive Development

State Environmental Planning Policy 50 – Canal Estate Development

State Environmental Planning Policy 55 - Remediation of Land

State Environmental Planning Policy 64 – Advertising and Signage

State Environmental Planning Policy 65 – Design Quality of Residential Apartment Development

State Environmental Planning Policy No 70—Affordable Housing (Revised Schemes)

State Environmental Planning Policy (Affordable Rental Housing) 2009

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

State Environmental Planning Policy (Infrastructure) 2007

State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007

State Environmental Planning Policy (State and Regional Development) 2011

State Environmental Planning Policy (State Significant Precincts) 2005

State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017

State Environmental Planning Policy (Primary Production and Rural Development) 2019

State Environmental Planning Policy (Koala Habitat Protection) 2019

Sydney Regional Environmental Plan No 20-Hawkesbury-Nepean River (No 2-1997)

Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

Sydney Regional Environmental Plan No 9-Extractive Industry (No 2-1995)

## 1.2 Draft Environmental Planning Instruments

The name of each proposed environmental planning instrument that will apply to the carrying out of development on the land and that is or has been subject of community consultation or on public exhibition under the Act (unless the Secretary has notified the Council that the making of the proposed instrument has been deferred indefinitely or has not been approved):

## 1.2 a) Draft State Environmental Planning Policies

Draft State Environmental Planning Policy (Environment)

Draft State Environmental Planning Policy (Short-term Rental Accommodation) 2019

Amendment to State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

Draft Remediation of Land State Environmental Planning Policy (intended to replace State Environmental Planning Policy 55)

## 1.2 b) Draft Local Environmental Plans

# Planning Proposal - Manly Creek Riparian Lands, Manly Vale (in the vicinity of "Mermaid Pool")

Applies to: Crown Land:

- Part Lot 7370 DP1165551 being land adjoining 102 King Street, Manly Vale
- Part Lot 7369 DP1165551 Wandella Road, Allambie Heights, south of Jenna Close, Allambie heights
- · Lot 7371 DP1165577
- Part unmade road at the southern end of Wandella Road, King Street, Manly Vale

**Outline:** Proposed amendment to WLEP 2011 to:

- Amend Land Zoning Map to change the zoning from R2 (Low Density Residential) to RE1 (Public Recreation).
- Amend Height of Building Map and Minimum Lot Size Map to remove the residential development standards for height and minimum lot size from all of the subject lots.

Council resolution: 27 November 2018

Gateway Determination: 9 August 2019

## Planning Proposal - Freshwater Village Carpark Reclassification

Applies to land: Oliver Street carpark and Lawrence Street carpark, Freshwater

Outline: Amends WLEP 2011 to:

- · Amend Schedule 4 Part 1 to include reference to the land
- Amend LZN\_010 map to change the zoning from RE1 Public Recreation to SP2 -Infrastructure
- Amend HOB 010 map to implement a maximum height of building of 3 metres.

Council resolution: 27 November 2018

Gateway determination: 23 September 2019

## 1.3 Development Control Plans

The name of each development control plan that applies to the carrying out of development on the land:

Warringah Development Control Plan 2011

## 2. Zoning and land use under relevant Local Environmental Plans

For each environmental planning instrument or proposed instrument referred to in Clause 1 (other than a SEPP or proposed SEPP) that includes the land in any zone (however described):

## 2.1 Zoning and land use under relevant Local Environmental Plans

## 2.1 (a), (b), (c) & (d)

The following information identifies the purposes for which development may be carried out with or without development consent and the purposes for which the carrying out of development is prohibited, for all zones (however described) affecting the land to which the relevant Local Environmental Plan applies.

### **EXTRACT FROM WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011**

### Zone IN1 General Industrial

### 1 Objectives of zone

- To provide a wide range of industrial and warehouse land uses.
- To encourage employment opportunities.
- To minimise any adverse effect of industry on other land uses.
- To support and protect industrial land for industrial uses.
- To enable other land uses that provide facilities or services to meet the day to day needs of workers in the area.
- To enable a range of compatible community and leisure uses.
- To maintain the industrial character of the land in landscaped settings.

### 2 Permitted without consent

Nil

### 3 Permitted with consent

Boat building and repair facilities; Depots; Freight transport facilities; Garden centres; General industries; Hardware and building supplies; Industrial retail outlets; Industrial training facilities; Light industries; Liquid fuel depots; Neighbourhood shops; Places of public worship; Roads; Storage premises; Take away food and drink premises; Timber yards; Vehicle body repair workshops; Vehicle repair stations; Vehicle sales or hire premises; Warehouse or distribution centres; Any other development not specified in item 2 or 4

### 4 Prohibited

Advertising structures; Agriculture; Air transport facilities; Amusement centres; Animal boarding or

training establishments; Boat sheds; Camping grounds; Caravan parks; Cemeteries; Charter and tourism boating facilities; Commercial premises; Correctional centres; Crematoria; Eco-tourist facilities; Educational establishments; Entertainment facilities; Environmental facilities; Exhibition homes; Exhibition villages; Extractive industries; Forestry; Function centres; Health services facilities; Heavy industrial storage establishments; Heavy industries; Highway service centres; Home-based child care; Home businesses; Home occupations; Home occupations (sex services); Information and education facilities; Marinas; Mooring pens; Moorings; Open cut mining; Passenger transport facilities; Port facilities; Recreation facilities (major); Recreation facilities (outdoor); Registered clubs; Research stations; Residential accommodation; Restricted premises; Rural industries; Tourist and visitor accommodation; Veterinary hospitals; Water recreation structures; Wharf or boating facilities

## Additional permitted uses

Additional permitted uses, if any, for which development is permissible with development consent pursuant to Clause 2.5 and Schedule 1 of the relevant Local Environmental Plan:

Nil

## (e) Minimum land dimensions

The Warringah Local Environmental Plan 2011 contains no development standard that fixes minimum land dimensions for the erection of a dwelling house on the land.

## (f) Critical habitat

The land does not include or comprise critical habitat.

## (g) Conservation areas

The land is not in a heritage conservation area.

### (h) Item of environmental heritage

The land does not contain an item of environmental heritage.

## 2.2 Draft Local Environmental Plan - if any

For any proposed changes to zoning and land use, see Part 1.2 b)
Please contact Council's Strategic and Place Planning unit with enquiries on 1300 434 434.

# 2A. Zoning and land use under State Environmental Planning Policy (Sydney Region Growth Centres) 2006

The State Environmental Planning Policy (Sydney Region Growth Centres) 2006 does not apply to the land.

# 3. Complying Development

The extent to which the land is land on which complying development may or may not be carried out under each of the codes for complying development because of the provisions of clauses

1.17A (1) (c) to (e), (2), (3) and (4), 1.18 (1) (c3) and 1.19 of State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

## a) Housing Code

Complying Development under the Housing Code may be carried out on all of the land.

## b) Rural Housing Code

Complying Development under the Rural Housing Code may be carried out on all of the land.

## c) Low Rise Medium Density Code

Complying Development under the Low Rise Medium Density Code may not be carried out on all the land.

**Note**: Pursuant to clause 3B.63 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, all land in Northern Beaches Council is a 'deferred area' meaning that the Low Rise Medium Density Code does not apply until 1 July 2020.

## d) Greenfield Housing Code

Complying Development under the Greenfield Housing Code may not be carried out on all of the land.

## e) Housing Alterations Code

Complying Development under the Housing Alterations Code may be carried out on all of the land.

## f) General Development Code

Complying Development under the General Development Code may be carried out on all of the land.

## g) Commercial and Industrial Alterations Code

Complying Development under the Commercial and Industrial Alterations Code may be carried out on all of the land.

# h) Commercial and Industrial (New Buildings and Additions) Code

Complying Development under the Commercial and Industrial (New Buildings and Additions) Code may be carried out on all of the land.

# i) Container Recycling Facilities Code

Complying Development under the Container Recycling Facilities Code may be carried out on all of the land.

## j) Subdivisions Code

Complying Development under the Subdivisions Code may be carried out on all of the land.

## k) Demolition Code

Complying Development under the Demolition Code may be carried out on all of the land.

## I) Fire Safety Code

Complying Development under the Fire Safety Code may be carried out on all of the land.

## m) Inland Code

Complying Development under the Inland Code does not apply to the land.

**Note**: Pursuant to clause 3D.1 of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, the Inland Code only applies to 'inland local government areas'. Northern Beaches local government area is not defined as an 'inland local government area' by *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

## 4, 4A (Repealed)

# 4B. Annual charges under Local Government Act 1993 for coastal protection services that relate to existing coastal protection works

The owner of the land (or any previous owner) has not consented in writing to the land being subject to annual charges under section 496B of the *Local Government Act 1993* for coastal protection services that relate to existing coastal protection works (within the meaning of section 553B of that Act).

## 5. Mine Subsidence

The land has not been proclaimed to be a mine Subsidence (Mine Subsidence) district within the meaning of section 15 of the *Mine Subsidence (Mine Subsidence) Compensation Act.* 1961.

## 6. Road widening and road realignment

- (a) The land is not affected by a road widening or re-alignment proposal under Division 2 of Part 3 of the *Roads Act 1993*.
- (b) The land is not affected by a road widening or re-alignment proposal under an environmental planning instrument.
- (c) The land is not affected by a road widening or re-alignment proposal under a resolution of Council.

# 7. Council and other public authority policies on hazard risk restriction

(a) Council has adopted a number of policies with regard to various hazards or risks which may restrict development on this land. The identified hazard or risk and the respective Council policies which affect the property, if any, are listed below (other than flooding – see 7A):

### Acid Sulfate Soils-Class 4

This land is identified as Acid Sulfate Soils Class 4 on the Acid Sulfate Soils Map of the *Warringah Local Environmental Plan 2011* (WLEP 2011). Restrictions apply to the carrying out of works on this land under Clause 6.1 of the WLEP 2011.

(b) The following information applies to any policy as adopted by any other public authority and notified to the Council for the express purpose of its adoption by that authority being referred to in a planning certificate issued by the Council. The identified hazard or risk and the respective Policy which affect the property, if any, are listed below:

Nil

## 7A. Flood related development control Information

- (1) Development on the land or part of the land for the purposes of dwelling houses, dual occupancies, multi dwelling housing or residential flat buildings (not including development for the purposes of group homes or seniors housing) is not subject to flood related development controls.
- (2) Development on the land or part of the land for any other purpose is not subject to flood related development controls.

## 8. Land reserved for acquisition

Environmental planning instrument referred to in Clause 1 does not make provision in relation to the acquisition of the land by a public authority, as referred to in section 3.15 of the Act.

## 9. Contribution plans

The following applies to the land:

Northern Beaches Section 7.12 Contributions Plan 2019

## 9A. Biodiversity certified land

The land is not biodiversity certified land under Part 8 of the *Biodiversity Conservation Act* 2016 (includes land certified under Part 7AA of the repealed *Threatened Species Conservation Act* 1995).

# 10. Biodiversity Stewardship Sites

The Council has not been notified by the Chief Executive of the Office of Environment and Heritage that the land is a biodiversity stewardship site under a biodiversity stewardship agreement under Part 5 of the *Biodiversity Conservation Act 2016* (includes land to which a biobanking agreement under Part 7A of the repealed *Threatened Species Conservation Act 1995* relates).

# 10A. Native vegetation clearing set asides

Council has not been notified by Local Land Services of the existence of a set aside area under section 60ZC of the *Local Land Services Act 2013*.

# 11. Bush fire prone land

### **Bush Fire Prone Land**

The land is not bush fire prone land.

### **Draft Northern Beaches Bush Fire Prone Land Map 2018**

The land is not bush fire prone land.

# 12. Property vegetation plans

The Council has not been notified that the land is land to which a vegetation plan under the *Native Vegetation Act 2003* applies.

# 13. Orders under Trees (Disputes Between Neighbours) Act 2006

Council has not been notified of the existence of an order made under the *Trees (Disputes Between Neighbours) Act 2006* to carry out work in relation to a tree on the land.

## 14. Directions under Part 3A

There is not a direction by the Minister in force under section 75P(2) (c1) of the Act that a provision of an environmental planning instrument prohibiting or restricting the carrying out of a project or a stage of a project on the land under Part 4 of the Act does not have effect.

# 15. Site compatibility certificates and conditions for seniors housing

- (a) There is not a current site compatibility certificate (seniors housing), of which the council is aware, in respect of proposed development on the land.
- (b) No condition of consent applies to the property that limits the kind of people who may occupy the premises/ development. This refers only to consents granted after 11 October 2007 with conditions made in accordance with clause 18(2) of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.

# 16. Site compatibility certificates for infrastructure, schools or TAFE establishments

There is not a valid site compatibility certificate (infrastructure) or site compatibility certificate (schools or TAFE establishments), of which the council is aware, in respect of proposed development on the land.

# 17. Site compatibility certificate and conditions for affordable rental housing

- (a) There is not a current site compatibility certificate (affordable rental housing), of which the council is aware, in respect of proposed development on the land.
- (b) There are not terms of a kind referred to in clause 17 (1) or 38 (1) of *State Environmental Planning Policy (Affordable Rental Housing) 2009* that have been imposed as a condition of consent to a development application in respect of the land.

# 18. Paper subdivision information

There is no current paper subdivision, of which council is aware, in respect of this land according to Part 16C of the *Environmental Planning and Assessment Regulation 2000*.

# 19. Site verification certificates

There is no current site verification certificate, of which council is aware, in respect of the land according to Part 4AA of the *State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007.* 

# 20. Loose-fill asbestos insulation

The residential dwelling erected on this land has not been identified in the Loose-Fill Asbestos Insulation Register as containing loose-fill asbestos ceiling insulation.

This clause applies to residential premises (within the meaning of Division 1A of part 8 of the Home Building Act 1989) that are listed in the register that is required to be maintained under that Division.

Contact NSW Fair Trading for more information.

# 21 Affected building notices and building product rectification orders

- (1) There is not an affected building notice of which the council is aware that is in force in respect of the land.
- (2) There is not a building product rectification order of which the council is aware that is in force in respect of the land and has not been fully complied with, and
- (3) There is not a notice of intention to make a building product rectification order of which the council is aware has been given in respect of the land and is outstanding.

In this clause:

affected building notice has the same meaning as in Part 4 of the Building Products (Safety) Act 2017. building product rectification order has the same meaning as in the Building Products (Safety) Act 2017.

# <u>Additional matters under the Contaminated Land Management Act</u> <u>1997</u>

Note. The following matters are prescribed by section 59 (2) of the *Contaminated Land Management Act 1997* as additional matters to be specified in a planning certificate:

- (a) the land to which the certificate relates is not significantly contaminated land within the meaning of that Act
- (b) the land to which the certificate relates is not subject to a management order within the meaning of that Act
- (c) the land to which the certificate relates is not the subject of an approved voluntary management proposal within the meaning of that Act
- (d) the land to which the certificate relates is not subject to an ongoing maintenance order within the meaning of that Act
- (e) the land to which the certificate relates is not the subject of a site audit statement

If contamination is identified above please contact the Environmental Protection Authority (EPA) for further information.

# Planning Certificate - Part 5

ePLC2020/3601

The following is information provided in good faith under the provisions of Section 10.7(5) of the *Environmental Planning and Assessment Act 1979* (as amended – formerly Section 149) and lists relevant matters affecting the land of which Council is aware. The Council shall not incur any liability in respect of any such advice.

Persons relying on this certificate should read the environmental planning instruments referred to in this certificate.

## Company Title Subdivision

Clause 4.1 of the *Pittwater Local Environmental Plan 2014*, *Warringah Local Environmental Plan 2011* or *Manly Local Environmental Plan 2013* provides that land may not be subdivided except with the consent of the Council. This includes subdivision by way of company title schemes. Persons considering purchasing property in the Northern Beaches local government area the subject of a company title scheme are advised to check that the land has been subdivided with the consent of the Council.

## **District Planning**

Under the Greater Sydney Regional Plan – A Metropolis of Three Cities 2018, the Greater Sydney Commission sets a planning framework for a metropolis of three cities across Greater Sydney which reach across five Districts. Northern Beaches is located within the 'Eastern Harbour City' area and is in the North District which forms a large part of the Eastern Harbour City. The North District Plan sets out planning priorities and actions for the growth of the North District, including Northern Beaches. Northern Beaches Council is preparing a Local Strategic Planning Statement which will give effect to the District Plan based on local characteristics and opportunities and Council's own priorities in the community.

# **Council Resolution To Amend Environmental Planning Instrument**

The following instrument or resolution of Council proposes to vary the provisions of an environmental planning instrument, other than as referred to in the Planning Certificate – Part 2:

### Planning Proposal - Response to Low Rise Medium Density Code

**Applies to land:** Certain land in the Pittwater Local Environmental Plan 2014 (PLEP 2014) and Manly Local Environmental Plan 2013 (MLEP 2013)

**Outline:** Seeks to amend the PLEP 2014 and MLEP 2013 in response to issues arising from the future implementation of the NSW Governments' SEPP (Exempt and Complying Development) Amendment (Low Rise Medium Density Code). The intent of the Planning Proposal is to prohibit:

- manor houses and multi-dwelling housing (including terraces) in zone R2 Low Density Residential zone under the Manly LEP 2013
- dual occupancy in zone R2 Low Density Residential zone under the Manly LEP 2013 and Pittwater LEP 2014
- multi-dwelling housing and dual occupancies in the R3 Zone in the Warriewood Valley under Pittwater LEP 2014

Council resolution: 26 June 2018

Planning Proposal - rezone deferred land within the Oxford Falls Valley & Belrose North

#### area

**Applies to land:** Land within the B2 Oxford Falls Valley and C8 Belrose North localities of WLEP 2000 and land zoned E4 Environmental Living under WLEP 2011 at Cottage Point (Boundaries identified within the Planning Proposal)

Outline: Amends WLEP 2000 and WLEP 2011 to:

- Transfer the planning controls for land within the B2 Oxford Falls Valley and C8 Belrose North localities of WLEP 2000 into the best fit zones and land use controls under WLEP 2011
- Rezone the majority of the subject land to E3 Environmental Management under WLEP 2011
- Rezone smaller parcels of land to E4 Environmental Living, RU4 Primary Production Small Lots, SP2 Infrastructure, SP1 Special Activities, R5 Large Lot Residential and R2 Low Density Residential under WLEP 2011
- Include various parcels of land as having additional permitted uses under Schedule 1 of WLEP 2011

Council resolution: 24 February 2015

Planning Proposal - Manly Warringah War Memorial State Park (Wakehurst Parkway, Allambie Heights & 1 Kirkwood Street, North Balgowlah)

**Applies to: Crown Land**: Lots 76 and 77 DP 504237; Lot 2 DP 710023 and Lot 1 DP 1200869; and **Sydney Water Land**: Lot 1 DP 710023 and Lot 1 DP 835 123

Outline: Proposed amendment to WLEP 2011 to:

- Amend Land Zoning Map to change the zoning from R2 (Low Density Residential) to RE1 (Public Recreation) for Lots 76 and 77 DP 504237, Lots 1 and 2 DP 710023, and Lot 1 DP 1200869.
- Amend Land Zoning Map to change the zoning from R2 (Low Density Residential) to SP2 (Infrastructure) 'Water Supply System' for Lot 1 DP 835123.
- Amend Height of Building Map and Minimum Lot Size Map to remove the residential development standards for height and minimum lot size from all of the subject lots.

Council resolution: 28 May 2019

## Planning Proposal - Pittwater Road and Albert Street, Narrabeen

Applies to: 1294 - 1300 Pittwater Road and 2 - 4 Albert Street, Narrabeen

Outline: Amends WLEP 2011 to:

- Amend Height of Building Map to increase height from 8.5m to 11m (excluding lot 1 DP613544 and part lot 8C DP200030.
- · Amend Schedule 1 to allow "shop top housing" on the site.
- To seek an affordable housing contribution in conjunction with future redevelopment of the land.

Council resolution: 28 May 2019

# Additional Information Applying To The Land

Additional information, if any, relating to the land the subject of this certificate:

Nil

# **General Information**

## **Threatened Species**

Many threatened species identified under the Biodiversity Conservation Act 2016 (NSW) and

Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth) are found within the former Local Government Area of Warringah (now part of Northern Beaches). Council's Natural Environment unit can be contacted to determine whether any site specific information is available for this property. Records of threatened flora and fauna are also available from the NSW Office of Environment and Heritage's Atlas of NSW Wildlife database: <a href="http://www.bionet.nsw.gov.au">http://www.bionet.nsw.gov.au</a>

Potential threatened species could include:

- (a) threatened species as described in the final determination of the scientific committee to list endangered and vulnerable species under Schedule 1 of the *Biodiversity Conservation Act 2016*, and/or
- (b) one or more of the following threatened ecological communities as described in the final determination of the scientific committee to list the ecological communities under Schedule 2 of the *Biodiversity Conservation Act 2016*:
- Duffys Forest Ecological Community in the Sydney Basin Bioregion
- Swamp Sclerophyll Forest on Coastal Floodplain
- Coastal Saltmarsh of the Sydney Basin Bioregion
- Swamp Oak Floodplain Forest
- Bangalay Sand Forest of the Sydney Basin Bioregion
- Themeda grasslands on Seacliffs and Coastal Headlands
- Sydney Freshwater Wetlands in the Sydney Basin Bioregion
- Coastal Upland Swamp in the Sydney Basin Bioregion
- River-Flat Eucalypt Forest on Coastal Floodplains of the New South Wales North Coast, Sydney Basin and South East Corner Bioregions

### **Bush fire**

Certain development may require further consideration under section 79BA or section 91 of the Environmental Planning and Assessment Act 1979, and section 100B of the Rural Fires Act, 1997 with respect to bush fire matters. Contact NSW Rural Fire Service.

### **Aboriginal Heritage**

Many Aboriginal objects are found within the Local Government Area. It is prudent for the purchaser of land to make an enquiry with the Office of Environment and Heritage as to whether any known Aboriginal objects are located on the subject land or whether the land has been declared as an Aboriginal place under the *National Parks and Wildlife Act 1974* (NSW). The carrying out of works may be prevented on land which is likely to significantly affect an Aboriginal object or Aboriginal place. For information relating to Aboriginal sites and objects across NSW, contact: Aboriginal Heritage Information Management System (AHIMS) on (02) 9585 6345 or email **AHIMS@environment.nsw.gov.au**. Alternatively visit

 $\underline{\text{http://www.environment.nsw.gov.au/licences/AboriginalHeritageInformationManagementSystem.ht}}\\ \underline{m}.$ 

### **Coastal Erosion**

Information available to Council indicates coastal erosion may affect a greater number of properties and may present an increased risk to properties than that shown on published hazard maps of the Warringah coastline. Council's Natural Environment Unit can be contacted for further information

Ray Brownlee PSM
Chief Executive Officer
18/06/2020

### WARRINGAH SHIRE COUNCIL

Telephone: 93-0241-9



Shire Hall BROOKVALE

LAND USE CONSENT.

No. 70/135

Applicant's Name and Address:

Bu-Chem Pty.std. 25 Orchard Road, EMOSYADE: N.S.V.

Description of Land: Lot 15. b.F. 1521. No. 25 Grehard Moad, Aroukvain.

The Council of the Shire of Warringsh as the responsible audiority under the Shire of Warringsh Planning Scheme Oddinance Earthy constants to the abovernmentoned hand being used for the following purposes:

INSPALLAZION OF UNINAGENUES OF LAG. FOR ALLIAZIA TURPS & MORSING,
subject to the following conditions:

(a) Under CL40(4) of the Shire of Warringsh Planning Scheme Ordinance this Consent shall be voted if the developments which is read to usualize and all consents of the date of the consent consents between the shall be voted if the developments which is read without the shall be voted if the developments which is read without the shall be voted if the developments which is read without the shall be voted if the development of the shall be voted in the shall be voted in the consent of the shall be voted in the shall be vo

(b) Compliance with all Health & Building Department requirements.

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1970 .



IMPORTANT.

(1) It is to be clearly understood that the above consent is NOT as approval to carry out any structural work. A formal Building Application must be submitted to Council and be approved before any structural work is carried out to implement the above consent, also the applicant is not relieved of any obligation to obtain any other approvial required under usery other approvial required under usery other.

### **Michelle Battam**

**From:** Carol Freshwater < Carol.Freshwater@northernbeaches.nsw.gov.au>

Sent:Tuesday, 30 June 2020 1:42 PMTo:mbattam@metech.consultingSubject:26 ORCHARD ROAD BROOKVALE

Attachments: Consent Register - 1970 135 - 26 ORCHARD ROAD BROOKVALE.TIF

#### Michelle

Council only has the attached consent for the tank. No supporting documentation is now available

Consent for underground tank attached . Supporting documentation is no longer available

The factory was built in 1965 the building approval or possible consent are not available

DA2004/0668 to follow.

Carol

Carol Freshwater
Information Access Officer

Information Management t 02 8495 6166 carol.freshwater@northernbeaches.nsw.gov.au northernbeaches.nsw.gov.au

### Northern Beaches Council

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# APPLICATION NO 2004/0668 DA/CC

Date Determined: \*DA + Ce - 23/9/04.

Street No: 2	6	Unit No:		Lot No: 0		DP No:	413	12
Street Name:	ORCHA	ARD R	OAD	Suburb: BR	OOKV	ALE		
Development T			· ·	IONS RECONST AWNING OVE	and the second s		F OVE	R
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s.,			Da	ate				

APPLICATION NO 2004/0668 DA/CO

Fax 94532983 21/05/2004

# STATEMENT OF ENVIRONMENTAL EFFECTS FOR PREMISES No 26 ORCHARD ROAD BROOKVALE

### SITE DESCRIPTION:

The site is identified as Lot A in DP 413126 No 26 Orchard Road BROOKVALE. It has an area of 1104 square metres in the shape of a battle-axe allotment. The property is within Division F, Curl Curl Lagoon Catchment F3 Brookvale Industrial.

### **HISTORY**

The owner Mr Bruno Frischknecht had lodged a Development Application 2003/1578 DA for alterations and additions to the premises including internal works to the existing main factory building fronting Orchard Road however as the internal works were carried out prior to Consent, Councils Officer Mr David Bowen refused the application. Council's letter dated 24<sup>th</sup> February 2004 provides details of the refusal.

As a result an application for a Building Certificate was lodged with Council approximately three weeks ago including a detailed submission with structural engineers certificates and appropriate reports in order to assist Councils determination of the application.

The applicant now wishes to lodge a Development Application for approval to construct a new roof over the rear workshop and an awning over the adjoining wash bay.

## PROPOSED WORKS

The application before Council is for the construction of a new skillion roof over the existing workshop on site whereby it is proposed to be used for the servicing of 4 x wheel drive vehicles, which will be rented out to tourists. In addition the new roof will be extended towards to rear wall of the main building on site (north) to accommodate a vehicle wash down area with an approved trade waste oil and solids separator.

The ceiling height of the existing workshop is not adequate to accommodate hoists, which are necessary for the maintenance of the vehicles. The owner has had to relocate from 54 Orchard Road and is satisfied that the subject site will be adequate for the future needs of the business providing approval is granted for the minor alterations proposed.

### IMPACT OF THE PROPOSAL

As the site is located in an industrial area and the business operations would not generate excessive noise, traffic, odours and waste then the use of the premises for the hire of vehicles is most suited for the site.

The proposed new roof over the existing workshop will result in a minor increase in height to match the overall height of the main building on site. As the premises adjoin other industrial buildings, which are generally constructed up to, the side boundaries of the site then there would be minimal impact caused to the surrounding properties.

The new roof and awning will be located in the southwestern corner of the site with vehicle access provided either through the main building from Orchard Road or from the rear battle-axe driveway from Mitchell Road.

### **STREETSCAPE**

The proposed works will not be visible from Orchard Road or the western property however it will be partially visible from Mitchell Road and as a result of the modifications it will improve the aesthetics of the premises and improve the streetscape.

### DEVELOPMENT CONTROL PLAN

The proposal has been designed to comply with Councils Local Environmental Plan 2000 for Division F, Curl Curl Lagoon Catchment. The controls regarding height, boundary setbacks, floor space ratios and car parking have been complied with insofar that the building currently exist on site and the proposed awning will be constructed over existing concrete paving and will not generate the need for additional parking as it is required to cover a wash bay only.

The development application addresses all aspects of Councils LEP and is in keeping with the existing form of development within the general locality.

## STORMWATER DISPOSAL

The stormwater disposal will not be altered from the current system, which is piped to Councils street gutter and there will be no increase in volume, as the catchment remains unaltered

### **DESIGN AND EXTERNAL APPEARANCE**

All new and existing brickwork will be cement rendered and painted a suitable colour and the form of architecture is in keeping with industrial style of development.

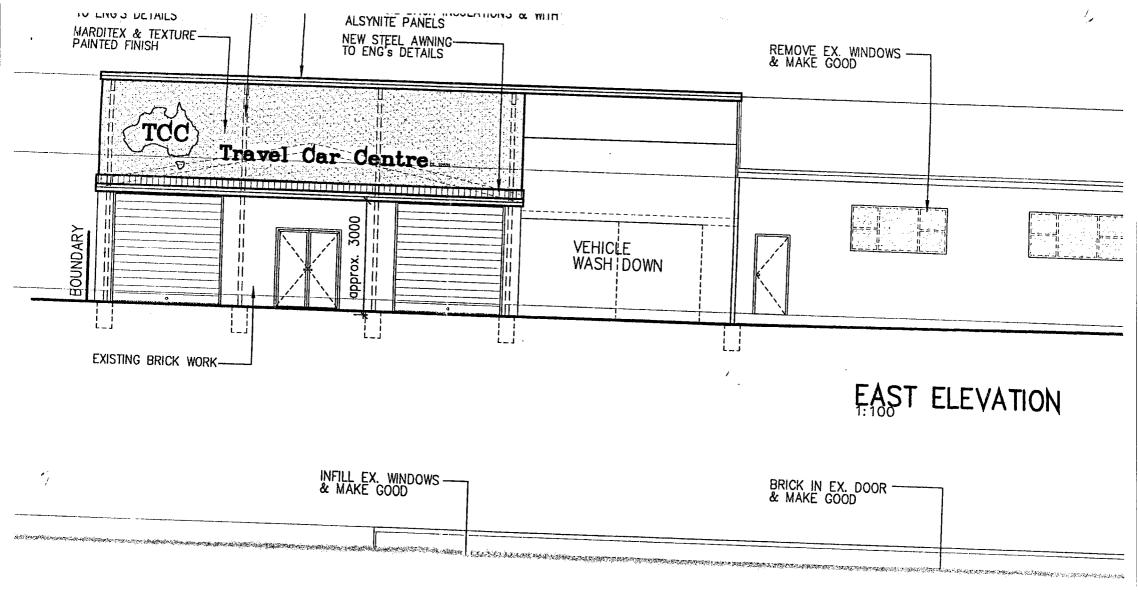
### **BUILDING WASTE**

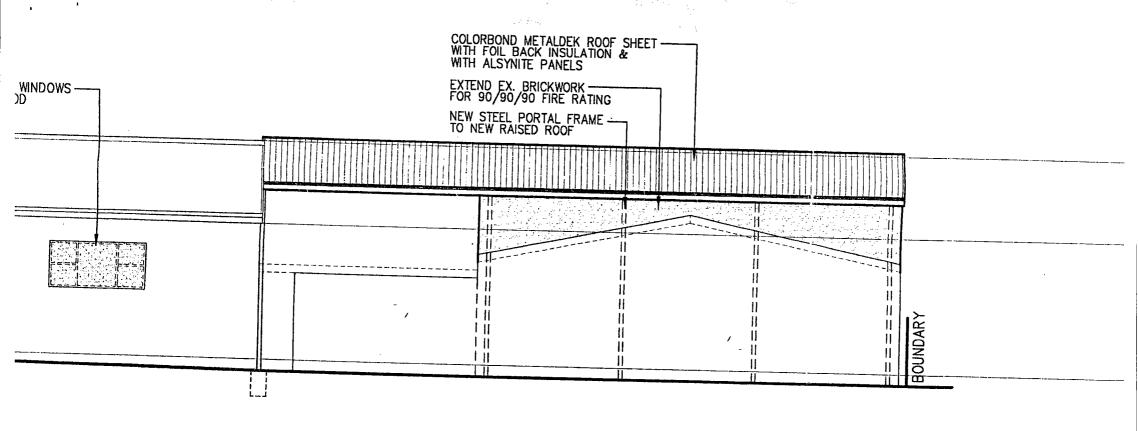
All building waste will be removed from the site and disposed at a property tipping facility viz Kimbriki Recycling Centre at Terry Hills. Any asbestos will be removed by specialists, wrapped and transported to an approved facility for asbestos type materials.

### SOIL EROSION AND SEDIMENT CONTROL

As there will be no excavation works proposed and as the new footings have already been constructed under the supervision of an engineer there is no need for pollution control devices during the construction process. The previous construction of the footings has been addressed in the Building Certificate Application already lodged with Council.

Peter Formosa





COLORBOND METALDEK ROOF SHEET—WITH FOIL BACK INSULATION & WITH ALSYNITE PANELS

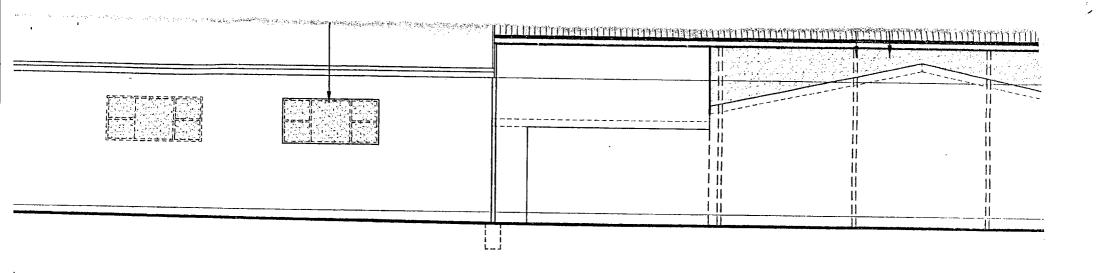
EXTEND EX. BRICKWORK

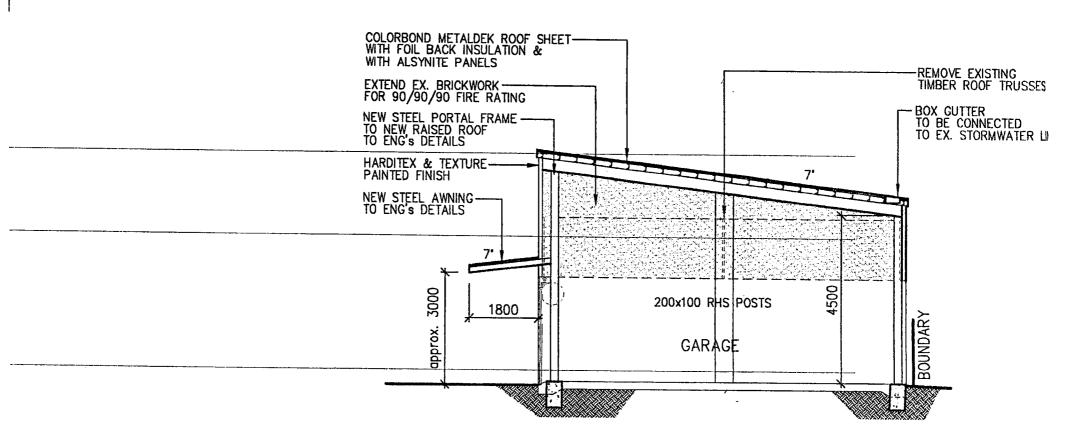
-remove existing Timber roof trusses

30X CITTED

1

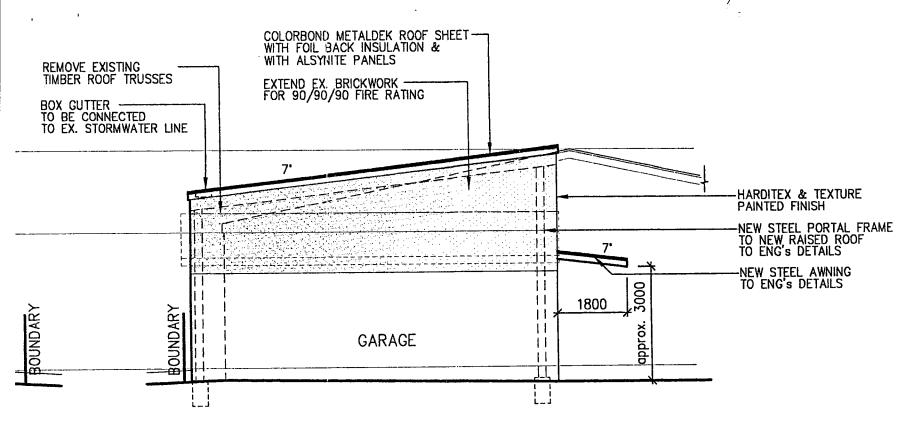
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SECTION B-B

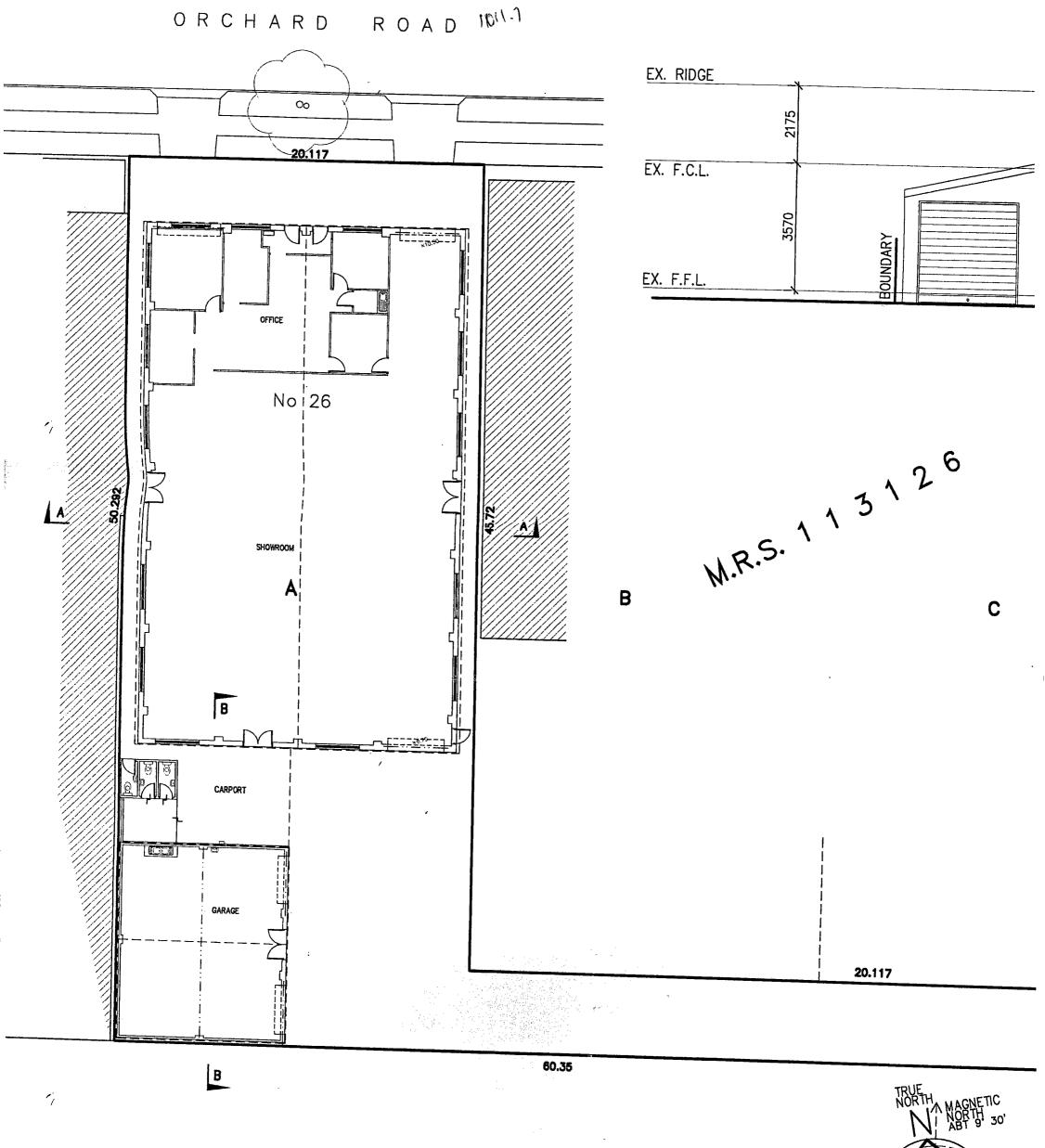
CUT CONC. SLAB FOR NEW POST FOOTINGS TO FNG's DETAILS



SOUTH ELEVATION - GARAGE

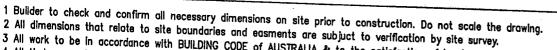
ROAD ORCHARD

## NORTH ELEVATION



# EXISTING SITE & FLOOR PLAN

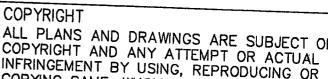
THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.



3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities. 4 All timber construction to be in accordance with the "TIMBER FRAMING" code.

5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structual details or design which is to be supplied by Structual Engineer.

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#### SPECIFICATION FOR 26 ORCHARD ROAD BROOKVALE

#### **External** walls

Extend the height of the existing walls of the workshop in masonry to comply with AS 3700 & Specification A2.3, Clause B1.3 and F5.5 of the Building Code of Australia 2004 and inaccordance with the instructions of the structural engineer.

#### Steel columns & roof frame members

To be designed strictly inaccordance with the structural details prepared by T. J. Taylor Consultants Pty Ltd and AS 4100 and AS 1554.

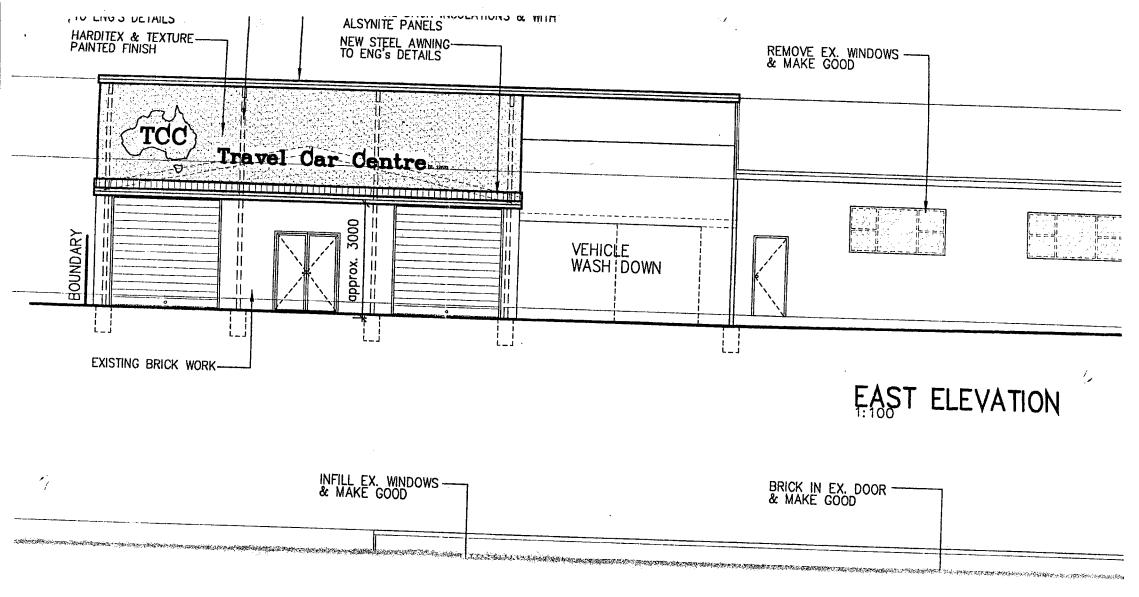
#### **Roof Sheeting**

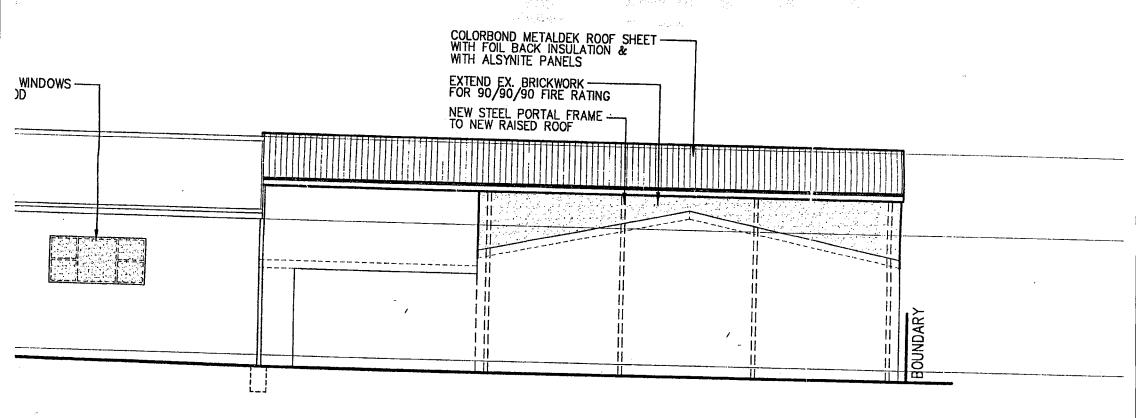
Colorbond metaldek roof sheeting to be installed strictly inaccordance with the manufacturers recommendations and to comply with AS 1562 pART 1, AS/NZS 1562 part 3 and BCA 2004.

#### ESSENTIAL SERVICES

Portable fire extinguishers being installed within the workshop to cover Class B & Class A fires as defined in AS 2444 and shall be selected, located and distributed in accordance with AS 2444.

As the floor area of the workshop is only 115 square metres there are no other essential services required under the provisions of Part E of the Building Code of Australia 2004.





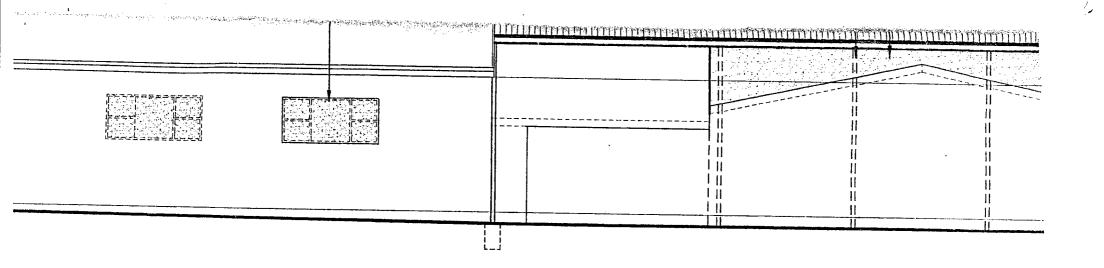
COLORBOND METALDEK ROOF SHEET-WITH FOIL BACK INSULATION & WITH ALSYNITE PANELS

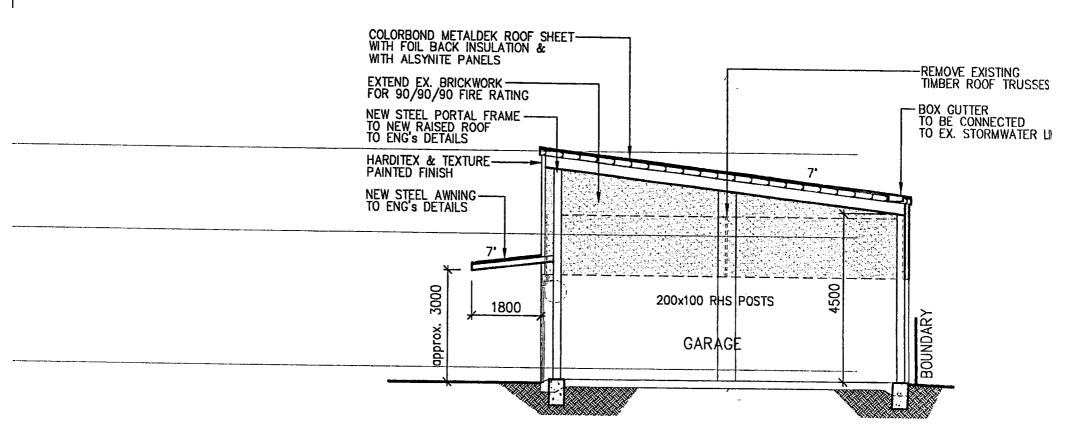
EXTEND EX. BRICKWORK

-REMOVE EXISTING TIMBER ROOF TRUSSES

PRY CUTTER

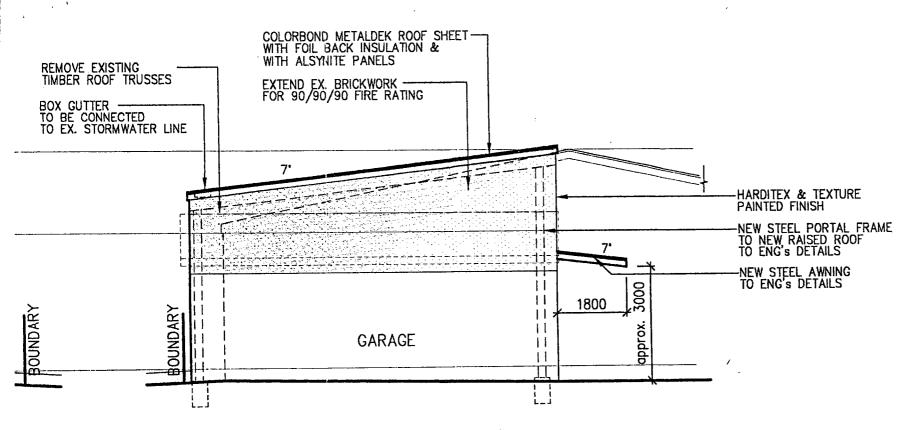
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SECTION B-B

CUT CONC. SLAB FOR NEW POST FOOTINGS TO FNG'S DETAILS



SOUTH ELEVATION - GARAGE

ROAD ORCHARD

,

## NORTH ELEVATION

ORCHARD ROAD 1011.7 EX. RIDGE EX. F.C.L. EX. F.F.L. No 26 W.R.S. 1 1 3 1 2 6 SHOWROOM В CARPORT GARAGE 20.117 60.35

# EXISTING SITE & FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWNG.

2 All dimensions that relate to site boundaries and easments are subject to verification by site survey.

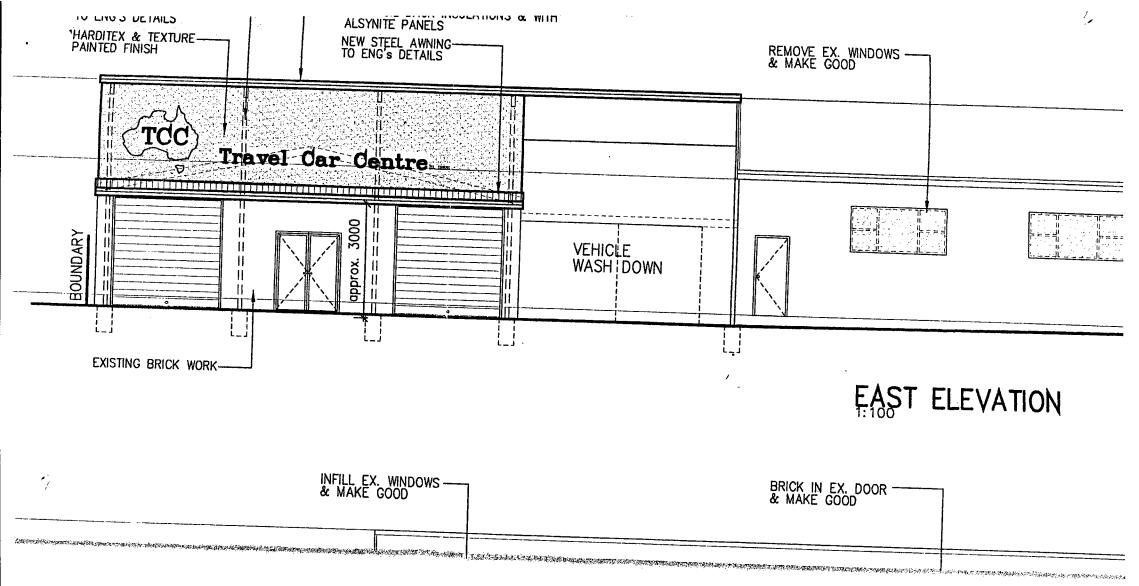
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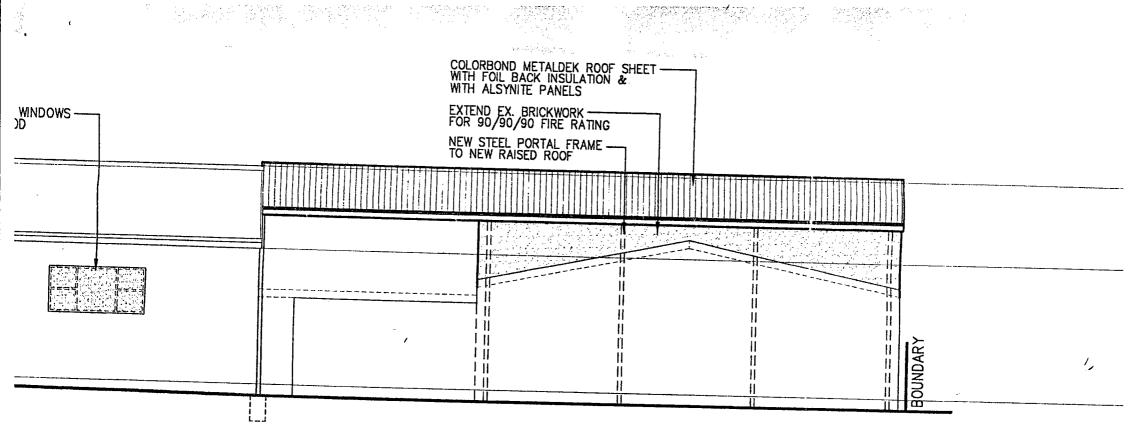
### COPYRIGHT

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<sup>1</sup> Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.

<sup>3</sup> All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.

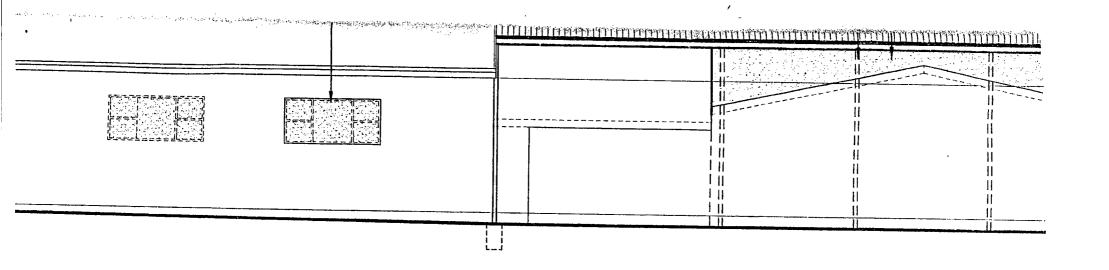


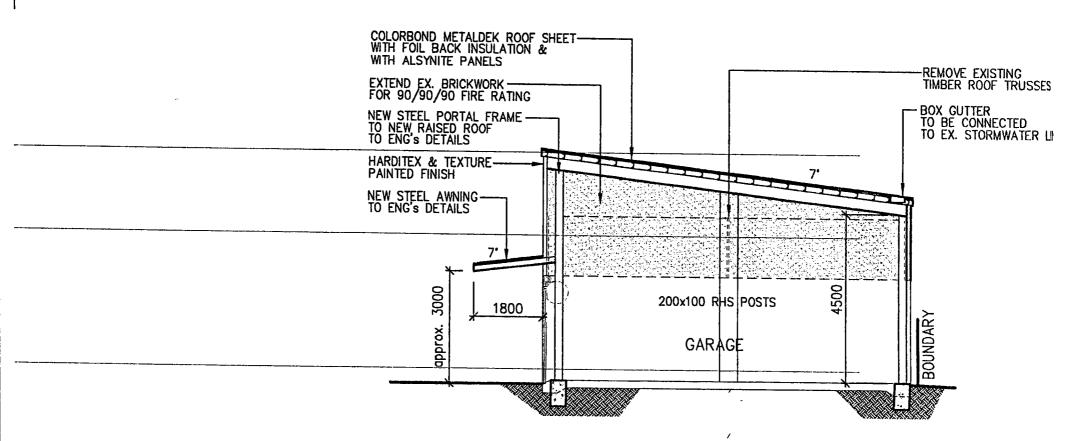


COLORBOND METALDEK ROOF SHEET—
WITH FOIL BACK INSULATION &
WITH ALSYNITE PANELS

EXTEND EX. BRICKWORK—
TIMBER ROOF TRUSSES

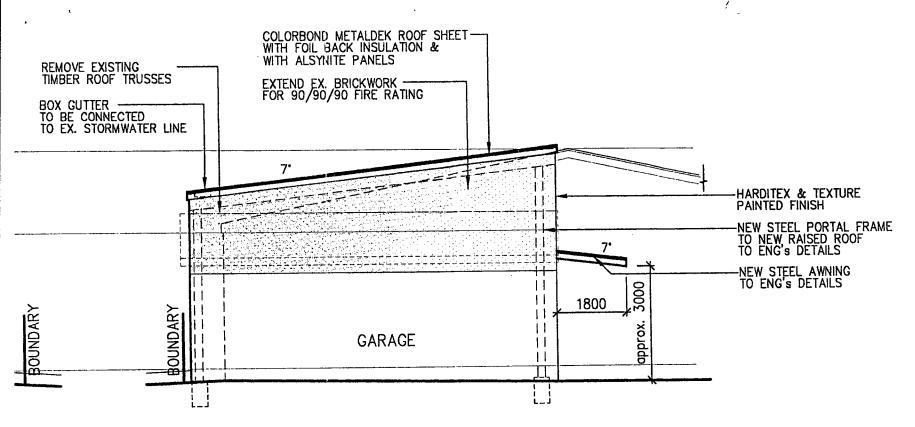
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SECTION B-B

CUT CONC. SLAB FOR NEW POST FOOTINGS TO FNG's DETAILS



SOUTH ELEVATION - GARAGE

ROAD ORCHARD

1,

## NORTH ELEVATION

ROAD 1011-7 ORCHARD EX. RIDGE EX. F.C.L. EX. F.F.L. No 26 W.R.S. 1 1 3 1 2 6 В В CARPORT GARAGE 20.117 60.35

# EXISTING SITE & FLOOR PLAN

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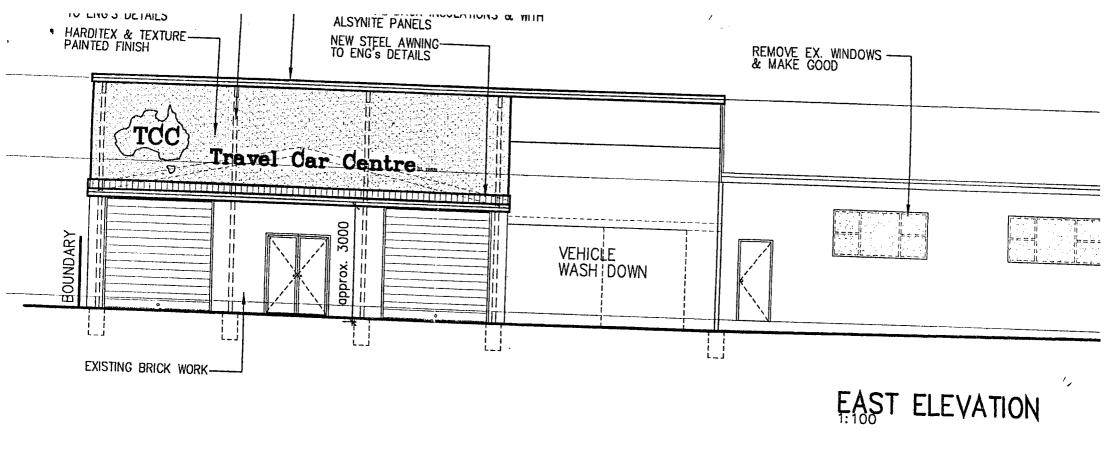
COPYRIGHT

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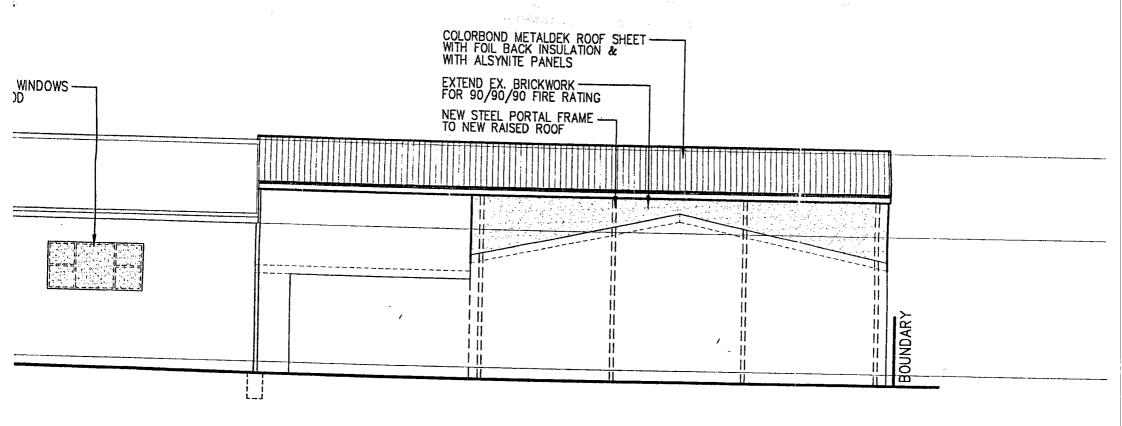
<sup>3</sup> All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4 All timber construction to be in accordance with the "TIMBER FRAMING" code.



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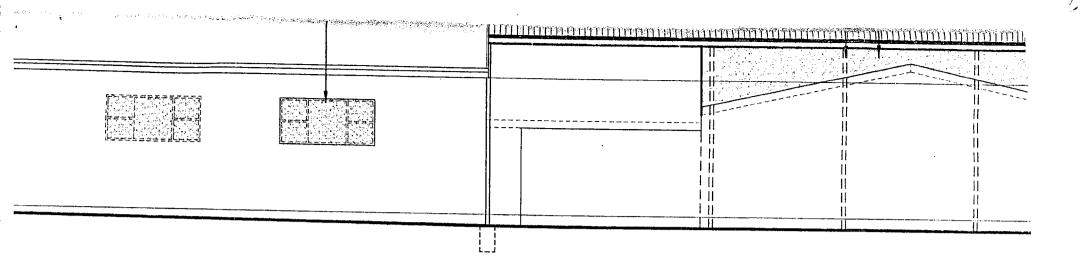
COLORBOND METALDEK ROOF SHEET—WITH FOIL BACK INSULATION & WITH ALSYNITE PANELS

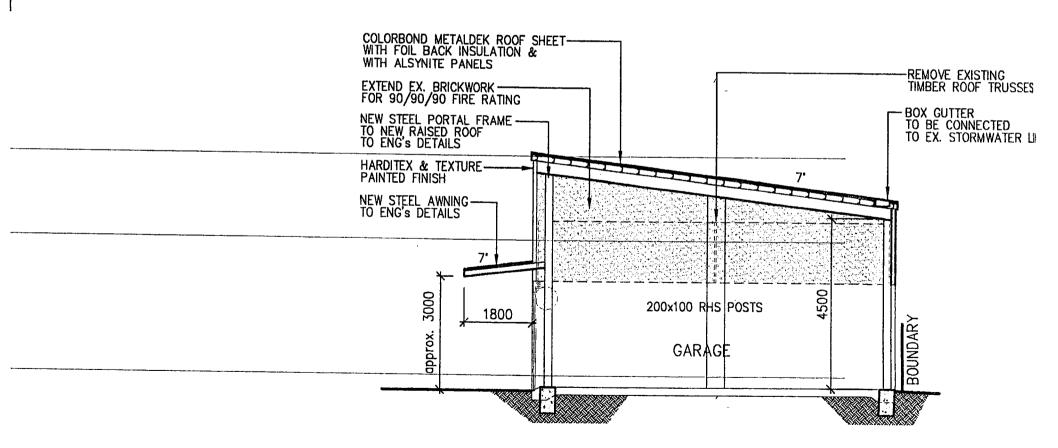
EXTEND EX. BRICKWORK—
END ON TON FIRE SATING

-REMOVE EXISTING TIMBER ROOF TRUSSES

POY GUTTER

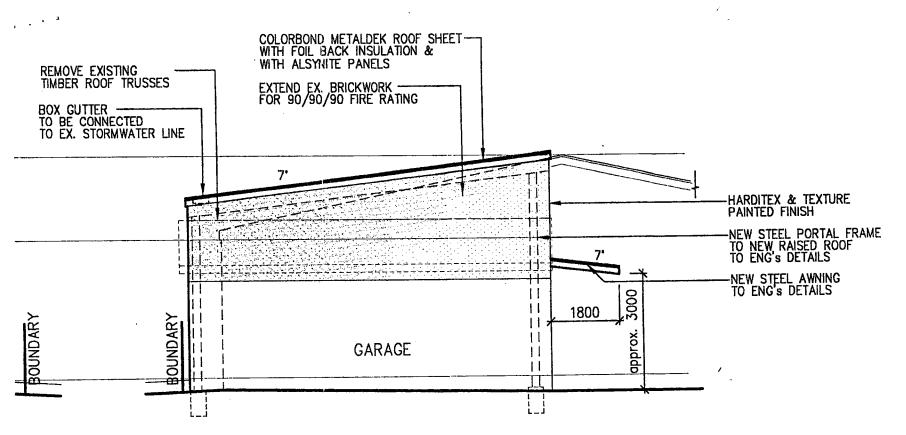
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SECTION B-B

CUT CONC. SLAB FOR NEW POST FOOTINGS TO FNG's DETAILS



SOUTH ELEVATION - GARAGE

ROAD ORCHARD

# NORTH ELEVATION

ORCHARD ROAD 1011-1 EX. RIDGE 20.117 EX. F.C.L. 3570 BOUNDARY EX. F.F.L. No 26 W.R.S. 1 1 3 1 2 6 SHOWROOM В В CARPORT GARAGE 20.117

# EXISTING SITE & FLOOR PLAN

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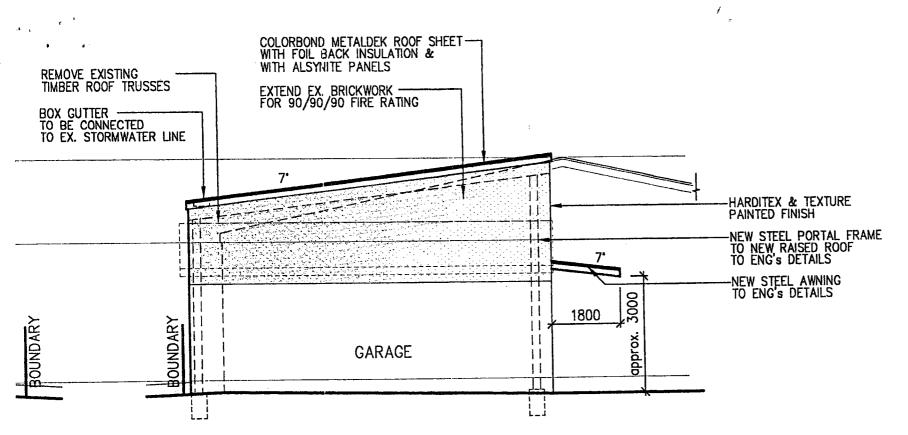
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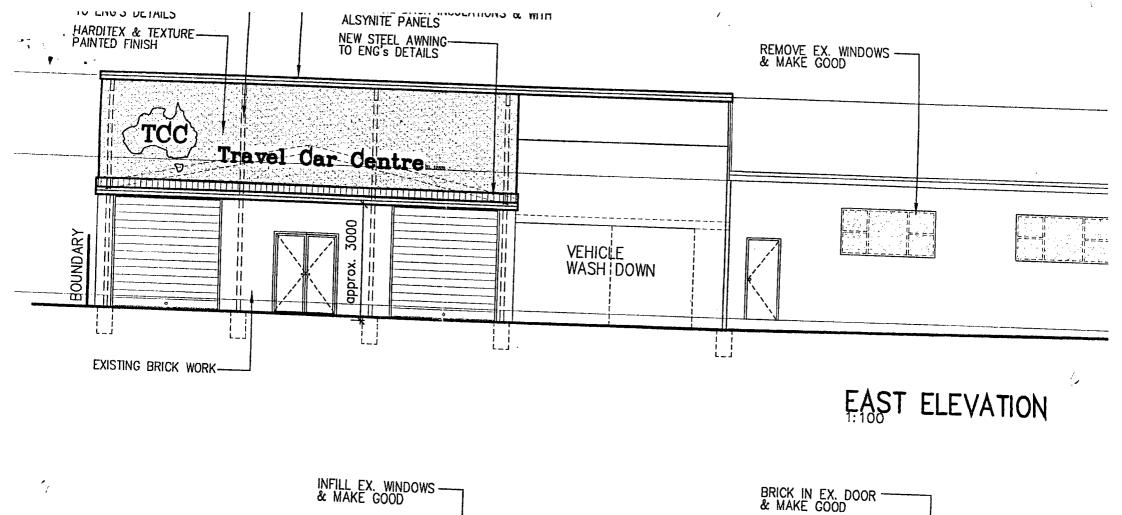
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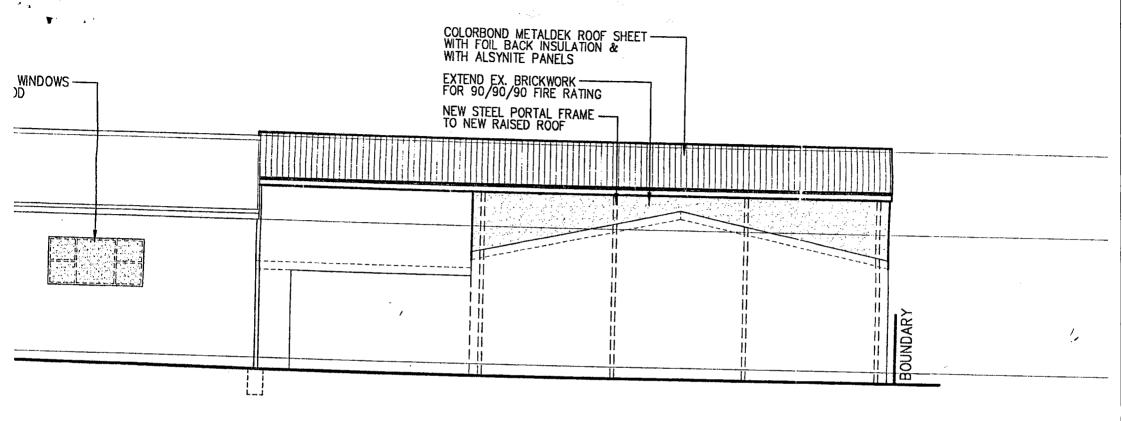
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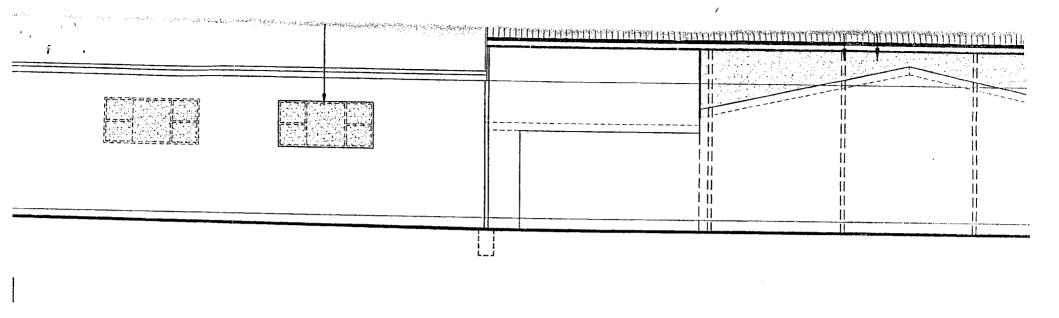
SOUTH ELEVATION - GARAGE

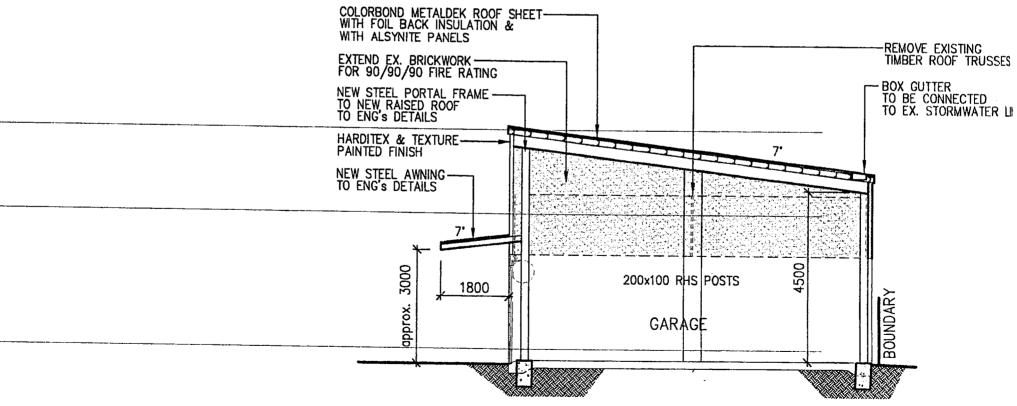
ROAD CRCHARD





COLORBOND METALDEK ROOF SHEET-WITH FOIL BACK INSULATION & WITH ALSYNITE PANELS EXTEND EX. BRICKWORK
FOR 90 790 FIRE PATING





SECTION B-B

CUT CONC. SLAB FOR NEW POST FOOTINGS TO FNG'S DETAILS





PF20049668/10557.doc Phil Lake 99422316

23 September 2004

Peter Formosa 13 Rangers Retreat Road FRENCHS FOREST 2086

## **Construction Certificate**

#### Certificate

I certify that the work if completed in accordance with the attached plans and specifications will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the *Environmental Planning and Assessment Act 1979*.

**Address of Property:** 

Lot A, DP 413126

No. 26 Orchard Road, Brookvale 2100

Construction Certificate No:

2004/0668CC1

**Description of Work:** 

Alterations to Existing Car Repair, Car Dealer & Hire of Motor Vehicles (Reconstruct roof over

existing workshop & vehicle wash bay).

Date of Endorsement of

Construction Certificate:

23 September 2004

Name of

Authorised Officer:

Phil Lane Signature:

NOTE: Prior to commencement of work Sections 81A (2) (b) and (c), and/or 81A (4) (b) and (c) of the *Environmental Planning and Assessment Act 1979* must be satisfied.

This means that a Notice of Commencement of Building or Subdivision work and Appointment of Principal Certifying Authority must be submitted to Council, giving Council at least 2 days' notice of intention to commence erection of the building. (See form 7).

### **Development Consent**

Consent No:

2004/0668DA

Date of Determination:

23 September 2004



PF20040668/10557.doc Phil Lane 99422316

23 September 2004

Bruno Fischknecht 26 Orchard Road BROOKVALE 2100

Dear Sir/Madam

## RE: Advice of Approval of Development Application - 2004/0668DA at 26 Orchard Road, Brookvale 2100

The above **Development Application** has been APPROVED subject to the conditions listed in the attached Consent document.

A. The Construction Certificate has also been approved and will be held for collection at Council pending payment of the fees and charges listed below.

(<u>NOTE</u>: If Council is <u>NOT</u> the nominated <u>Principal Certifying Authority</u> the Compliance Certificate Inspection Fee is <u>NOT</u> required. The applicant shall confirm this in writing prior to the issue of the Construction Certificate.)

Work on the site <u>cannot</u> proceed unless a **Construction Certificate** application has been lodged with and approved by Council or a private accredited certifier. Relevant conditions of the Development Consent must also be complied with prior to work commencing.

The following fees/charges will be payable on collection of the Construction Certificate at Council's Customer Service Centre (please bring or attach a copy of this letter).

Compliance Certificate Inspection Fee
 Builder's Road/Kerb Security Deposit (Refundable)
 Long Service Leave Levy
 \$480.00
 \$550.00
 \$80.00

Please note that commencement of work without a Construction Certificate approval and payment of the above fees and/or charges is a breach of the Environmental Planning and Assessment Act.

Yours faithfully,

Penny Goldin Manager

**Development Applications** 

Planning and Assessment Services

Enclosure





### Notice of Determination of Development Application

**Development Application No:** 

2004/0668DA

**Development Application Details:** 

**Applicant Name:** 

**Applicant Address:** 

Bruno Fischknecht 26 Orchard Road **BROOKVALE 2100** 

Land to be developed (Address):

Lot A, DP 413126

No. 26 Orchard Road Brookvale 2100

Proposed Development:

Alterations to Existing Car Repair, Car Dealer & Hire of Motor Vehicles (Reconstruct roof over existing workshop & vehicle wash bay).

**Determination:** 

Made on (Date):

23 September 2004

See note 1

Determination:

Consent 2004/0668DA granted subject to

conditions described below

Consent to operate from (Date):

23 September 2004

Consent to lapse on (Date):

23 September 2009

**Details of Conditions** 

See note 2

(including Section 94 conditions):

The conditions which have been applied to the consent aim to ensure that the Environmental Impacts of Development are minimised and the Health and Safety of the community is maintained in accordance with the relevant standards and the Building Code of Australia.

#### NOTE:

If the works are to be certified by a private certifying authority, then it is the certifiers responsibility to ensure all outstanding fees and bonds have been paid to Council prior to the issue of the Construction Certificate or as otherwise specified by Consent conditions.

#### **CONDITIONS**

#### 1. **Consent Plans**

Development being generally in accordance with plans numbered 567-2 & 567-3, dated 6-11-2003, submitted 27 May 2004 as modified by any conditions of this consent/approval. (C1)

Reason: To ensure that the form of development undertaken is in accordance with the determination of Council

#### 2. **Commencement of Use**

The use not commencing until such time as the requirements of this consent have been carried out. (C2)

Reason: To ensure that the form of development undertaken is in accordance with the determination of Council

#### 3. Long Service Leave Levy

Payment of the Long Service Leave Levy is required prior to the release of the Construction Certificate. This payment can be made at Council or to the Long Services Payments Corporation. This payment is not required where the value of the works is less than \$25,000. (C3)

Reason: Prescribed/Statutory

#### 4. Compliance with Building Code of Australia

- a. All building work must be carried out in accordance with the provisions of the Building Code of Australia.
- b. This clause does not apply to the extent to which an exemption is in force under Clause 187 or 188, subject to the terms of any condition or requirement referred to in Clause 187(6) or 188(4). (C375)

Reason: Prescribed/Statutory

#### 5. Copy of plans on site

A true copy of the approved plans must be kept on the site at all times and be available to Council's officers on request. Variations will not be permitted from the approved plans and/or details without Council's prior written consent.

The developer/applicant or his contractor shall give Council a minimum of 48 hours notice of his intention to commence work by contacting Council's Development Engineer during office hours.

NOTE: Failure to do so may result in rejection of works already completed. (C126) Reason: To ensure that the form of development undertaken is in accordance with the determination of Council

#### 6. Construction Certificate

A Construction Certificate is required to be approved, by either Council or an Accredited Certifier, prior to the commencement of any works on the site. (C165) Reason: Legislative requirements

#### 7. Approved works

This approval relates to proposed work only, not that already constructed without the prior consent of Council (as nominated on the attached plans). Such unauthorised work is to be the subject of an application for a Building Certificate under Section 149A of the EPA Act. (C310)

Reason: To ensure that the form of development undertaken is in accordance with the determination of Council

#### 8. Work Cover

Your attention is directed to the need to seek advice of your obligations from the Work Cover Authority. (C331)

Reason: Information

#### 9. Progress Inspections- (Class 5,6,7,8 and 9 Buildings)

C3963 The Principal Certifying Authority (PCA) SHALL BE given a minimum of two (2) working days notice for inspection of the following, where applicable:

- (a) At the commencement of the building work.
- (b) Prior to covering any stormwater drainage connections.
- (c) After the building work has been completed and prior any occupation certificate being issued in relation to the building.

The appointed Principal Certifying Authority MUST do the first inspection at the commencement of building work, and at completion of building work. **Notes:** 

- 1. The appointed Principal Certifying Authority has a discretion to determine additional inspections, or nominate other Accredited Certifiers to undertake inspections other than the first and last inspections, which are required to ensure compliance or otherwise with relevant codes and standards. In any event, the Principal Certifying Authority MUST be advised at all of the stages of construction identified above.
- 2. The PCA must advise the person with the benefit of the consent of the mandatory critical stage inspections referred to in the EP & A Regulations.
- 3. Where Warringah Council is acting as the Principal Certifying Authority for the project, notice is to be given by telephone to a Planning and Assessment Services Administration Officer and an appointment made for the relevant inspection. Failure to advise Council at the stages of construction identified above will result in fines being imposed.
- 4. Failure to advise the Principal Certifying Authority of the need for MANDATORY INSPECTIONS at the critical stages of construction detailed above may result in fines being imposed, works being required to be demolished, or delays experienced in obtaining final certification and occupation of the development in order to resolve issues.

(Reason: Prescribed mandatory inspections under legislation)

#### 10. Use of building

Preparation, servicing and repair of vehicles to be carried out on the site and within the building. (C32)

Reason: Compliance with consent (site/property)

#### 11. Environmental

The vehicle wash down area must be connected to an approved trade oil and solids separator.

Reason: Compliance with EPA.

#### PRIOR TO RELEASE OF THE CONSTRUCTION CERTIFICATE

#### 12. Inspection Fees

The fee(s) required for a Council Compliance Certificate is \$480 and it is to be paid prior to Council issuing the Construction Certificate. NOTE: Each Compliance Certificate fee is \$160. Where external accredited certifiers issue construction certificates and compliance certificates the above fee is not required. (C397) Reason: Fees for inspection

#### 13. Road Kerb Deposit

Payment to Warringah Council of a \$550 bond as security against damage to Council's roads caused by the transport and disposal of materials and equipment to and from the site. This amount to be paid prior to the issue of the Construction Certificate and to be verified by the accredited certifier. (C108)

Reason: Deposit for possible damage to council's infrastructure

#### PRIOR TO THE COMMENCEMENT OF WORKS

#### 14. Form 7-Commencement of work notification

At least 2 days prior to work commencing on site Council must be informed, by the

submission of Form 7 of the Environmental Planning and Assessment Regulation 1998 of the name and details of the Principal Certifying Authority and the date construction work is proposed to commence. (C168)

Reason: Prescribed/regulatory

#### 15. Silt/sediment

No excavation or construction work to commence on site until all silt/sediment control measures are in place. (C317)

Reason: To protect environment

#### 16. Signs to be Erected on Building and Demolition Sites. (C382)

- a. A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
  - (i) stating that unauthorised entry to the work site is prohibited, and
  - (ii) showing the name of the person in charge of the work site and a telephone number at which that person may be contacted outside working hours.
- b. Any such sign is to be removed when the work has been completed.
- c. This clause does not apply to:
  - (i) building work carried out inside an existing building, or
  - (ii) building work carried out on premises that are to be occupied continuously (both during and outside working hours) while the work is being carried out.

Reason: Public information

#### 17. Toilet Facilities

- a. Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.
- b. Each toilet provided:
  - (i) must be a standard flushing toilet, and
  - (ii) must be connected:
  - A. to a public sewer, or
    - B. if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the council, or
    - C. if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by Council.
- c. The provision of toilet facilities in accordance with this clause must be completed before any other work is commenced.
- d. In this clause:
  - (i) accredited sewage management facility means a sewage management facility to which Division 4A of Part 3 of the Local Government (Approvals) Regulation 1993 applies, being a sewage management facility that is installed or constructed to a design or plan the subject of a certificate of accreditation referred to in Clause 95B of the Regulation.
  - (ii) approved by the council means the subject of an approval in force under Division 1 of Part 3 of the Local Government (Approvals) Regulation 1993.
  - (iii) public sewer has the same meaning as it has in the Local Government (Approvals) Regulation 1993.
  - (iv) sewage management facility has the same meaning as it has in the Local Government (Approvals) Regulation 1993. (C383)

Reason: To ensure adequate facilities are provided for workers on the site

#### **DURING WORKS**

#### 18. Road Reserve

The public footways and roadways adjacent to the site shall be maintained at all times during the course of the work in a safe condition. (C88)

Reason: Public safety

#### 19. Waste containers or "skips"

Building waste containers or "skips" and the like are not to be placed within the public road reserve unless approval from Warringah Council has been obtained prior to issue of the Construction Certificate and appropriate fees paid. (C105)

Reason: Public safety and amenity

#### 20. Stormwater

Stormwater being piped to Warringah Council's street drainage system. (C300) Reason: Stormwater control

#### 21. Roof colour

The external finish to the roof shall have a medium to dark range in order to minimise solar reflections to neighbouring properties. The metal roof shall not be of light colours such as off white, cream, silver or light grey colours. (C305)

Reason: Protection from glare and amenity

#### 22. Road reserve

Footpath and roadway being kept free of obstruction by building materials and plant. All concrete trucks, pumps and/or agitators being kept wholly within the building site. No concrete or slurry being discharged onto Council's street surfaces, nature strips, drains/gutters, reserves parks etc. (C321)

Reason: Public safety and amenity

#### 23. Demolition

All demolition work shall be carried out in a safe and responsible manner, with minimal harm to the surrounding natural environment under the supervision of a licensed contractor, and within the boundaries of the private property. (C524)

Reason: safety

#### 24. Demolition

All demolitions are to be carried out in accordance with the guidelines contained in the Australian Standard AS2601-1991 - "The Demolition of Structures". (C525) Reason: Safety

#### 25. Hours of demolition

Hours of demolition being limited to Monday to Friday 7.00am - 5.00pm, Saturday 7.00am - 1pm. No demolition work to take place on Sundays or Public Holidays. (C528)

Reason: amenity

#### 26. **Demolition**

Dust control measures shall be undertaken on all demolition sites so as to avoid a nuisance to adjoining properties and harm to the environment. (C529) Reason: Dust control and public health

#### 27. Demolition and asbestos

A person taking down, demolishing or causing to be taken down or demolished any building or part thereof shall, upon identifying or suspecting that asbestos is present in the building, immediately notify the Work Cover Authority. The Authority is the controlling body for the safe removal, handling and disposal of asbestos. The Authority supervises and monitors contractors engaged in asbestos removal. The requirements and standards imposed by the Authority, its consultants or contractors shall be complied with. (C530)

Reason: Safety

#### 28. Hours of construction

Hours of construction being restricted to 7am to 5pm Monday to Friday, Saturday 7am to 1pm if audible at residential premises, excluding public holidays. No audible construction work to take place outside these hours. (C326)

Reason: Public health and amenity

#### PRIOR TO OCCUPATION

#### 29. Occupation Certificate

The building shall not be occupied until an Occupation Certificate has been issued. (C162)

Reason: Safety

#### 30. Fire Safety Certificate

To ensure the safety of occupants of the building a "Fire Safety Certificate" which identifies the schedule of "Fire Safety Measures" that have been completed to satisfactory standard shall be provided to Council prior to the issue of an "Occupation Certificate" as required in Part 7B of the "Environmental Planning and Assessment Amendment Act 1997". (C387)

Reason: Prescribed/regulatory

#### 31. Annual Fire Safety Statement

In accordance with Part 7B of the EPA Act the owner of a building is to provide Council with an Annual Fire Safety Statement for the building (Form 15A). (C394) Reason: Prescribed/regulator

32. Component certificates

The following component certificates are required to be submitted to Council where Council is the nominated principal certifying authority prior to occupation/use of the building, to ensure compliance with the Building Code of Australia and relevant Australia Standards:(C399)

c. Structural Engineer / Accredited Certifiers certificate covering the supervision of all structural work and adequacy of the building.

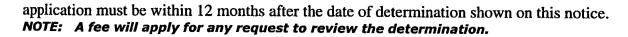
Reason: Required certification certificates to ensure completion of specified works

#### **Building Code of Australia - Classification**

The building is Class 5, 7b & Class 8 for the purposes of the Building Code of Australia.

#### Right to Review by the Council

You may request the Council to review the determination of the application under Section 82A of the Environmental Planning & Assessment Act 1979. Any request to review the



#### Right of Appeal

If you are dissatisfied with this decision Section 97\* of the Environmental Planning & Assessment Act 1979 gives you the right to appeal to the Land and Environment Court within 12 months after the date on which you receive this notice.

\* Section 97 of the Environmental Planning and Assessment Act 1979 does not apply to the determination of a development application for State significant development or local designated development that has been the subject of a Commission of Inquiry.

Signed on behalf of the consent authority

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Signature

Name

Phil Lane

Date 23 September 2004

Note 1 Where the consent is subject to a condition that the consent is not to operate until the applicant satisfies a particular condition the date should not be endorsed until that condition has been satisfied.

Note 2 Clause 69A of the Regulation contains additional particulars to be included in a notice of determination where a condition under Section 94 of the Environmental Planning and Assessment Act 1979 has been imposed.

FILE NO:	PF20040668
FILE NO:	FF2UU4UUU

**Development Application Determination** 

#### DEVELOPMENT APPLICATION DETERMINATION

No:

2004/0668DA

Lodged:

27 May 2004

#### **Development Proposal**

Alterations to Existing Car Repair, Car Dealer & Hire of Motor Vehicles (Reconstruct roof over existing workshop & vehicle wash bay).

#### **Site Description**

Lot A, DP 413126, No. 26 Orchard Road, Brookvale 2100.

#### **Applicant's Name and Address**

Bruno Fischknecht 26 Orchard Road BROOKVALE 2100

#### **Owner's Name and Address**

B Fischknecht, L M Fischknecht and C E Boller 10 Geelong Road CROMER 2099

#### **Locality Details**

The land is situated in the F3 - Brookvale Industrial Locality pursuant to the provisions of Warringah Local Environmental Plan 2000. The proposal is permissible with consent.

#### **Proposal in Detail**

The site is currently used as Travel Car Centre located in the heart of Brookvale Industrial area. The construction of new skillion roof over the existing workshop used for the servicing of 4 wheel drive vehicles, which are rented out to tourists at the rear of existing building. The new roof will be extended to the rear wall of the main building (north) to accommodate from the workshop to the existing building to cover the existing vehicle wash down area.

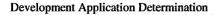
#### WARRINGAH LOCAL ENVIRONMENTAL PLAN 2000

#### **Desired Future Character**

The subject site is located in the F3 - Brookvale Industrial locality under Warringah Local Environmental Plan, 2000. The Desired Future Character Statement for this locality is as follows

The Brookvale Industrial locality will remain an industrial and employment centre incorporating industries, warehouses and ancillary service uses.

ITEM	



New development or significant redevelopment will be designed to incorporate landscaping to soften the visual impact of industrial buildings and their associated parking and other paved areas as viewed from the street.

At the interface of the locality with adjoining and adjacent residential areas, buildings will be sited and designed and the use of land managed to minimise interference with the amenity of such residential areas.

Allotments are to be consolidated where necessary to ensure the development of one allotment will not render an adjoining allotment unsuitable for development.

The proposed development is identified as Category 2 development in this locality.

It is considered that the proposal is consistent with the Desired Future Character Statement for this locality.

#### **Built Form Controls**

The following table outlines compliance with the Built Form Controls of the above locality statement;

Built Form Controls				
Standard	Required	Proposed	Compliance	
<b> </b>	·		Comment	
Building Height	11m	6.4m	Complies	
Metres / Storeys				
Front setback	3.5m	3.5m	Complies	

#### **General Principles of Development Control**

The following General Principles of Development Control as contained in Part 4 of Warringah Local Environmental Plan, 2000 are applicable to the proposed development;

#### **General Principle**

#### **CL38 Glare and reflection**

Comment: Proposal will not create unreasonable glare or diminish local amenity. Colours will be conditioned for the use of medium to dark colours.

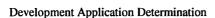
#### **CL42 Construction sites**

Comment: Materials should be stored on the property and the dedicated safe pedestrian access. Construction waste is to minimised, legally handled, transported and disposed.

#### **CL43 Noise**

Comment: The proposal will provide for a reasonable acoustic environment. Construction noise should be kept within the hours, which will be conditioned.

ITEM		



#### **CL44 Pollutants**

Comment: Proposal will not pollute or cause any unreasonable emissions. The vehicle wash down area will have condition incorporated to prevent pollutant to council's waterways.

#### CL45 Hazardous Uses

Comment: The proposed development has measures to minimise the impact on the locality and does not pose a significant risk to human health or property, or the biophysical environment.

#### CL49 Remediation of contaminated land (49a Acid Sulphate Soils)

Comment: The property is affected by Type 4 Acid Sulphate Soils. The works in question will not require excavation lower than 2 metres below natural surface nor will the location of works be within the affected map location (acid sulphate soils-see attached colour SEA map)

#### **CL50 Safety and security**

Comment: The safety on site will be conditioned and work cover shall be notified by the applicant/builder. The building will allow casual surveillance of both Orchard & Mitchell Roads. The buildings and structures will be robust and durable to discourage vandalism.

#### CL53 Signs

Comment: Signage proposed allows reasonable identification of the business/use. The signs are compatible with the current and proposed design, scale and architectural character of the building. The signs will not dominate or obscure other signs or result in visual clutter. The signs will be located on the premise 3.5m from Orchard Road and the other sign facing Mitchell Road will be more than 50 metres from the boundary.

#### **CL54 Provision and location of utility services**

Comment: Existing services are adequate

#### CL61 Views.

Comment: The development will allow reasonable sharing of views.

#### CL66 Building bulk.

Comment: The building is located within a industrial area and will be consistent with the building located within the street and locality.

#### CL67 Roofs.

Comment: The awning and the new skillion roof on the existing workshop will complement the existing streetscape and will located below the existing roofline of the present building.

#### CL70 Site facilities.

Comment: Satisfactory

#### CL72 Traffic access and safety.

Comment: The site consists of two entrances, the main entrance at Orchard Road and a supplementary entrance via Mitchell Road. Both entrances and exits minimize traffic hazards,

1	1	E	V



vehicles queuing on public roads. Sight lines at both entrances/exits are adequate to minimize traffic and pedestrian conflicts.

#### CL73 On-site loading and unloading.

Comment: The site allows for the loading and unloading of service, delivery and emergency vehicles. Vehicles may enter and leave the site in a forward direction.

#### CL74 Provision of carparking.

Comment: There is the allocation of 4-car parking positions onsite (1 disabled space)

#### CL76 Management of stormwater.

Comment: Stormwater to piped to the existing system and will satisfactory to council's requirements.

#### **Notification**

In accordance with Development Control Plan No.1 – "Public Exhibition and Notification" – adopted 27/2/2001 in force 10/3/2001, the application was notified by letter dated 11/06/04 to 26 adjoining property owners.

No submissions

#### **Conclusion**

The site has been inspected and the application assessed having regard to the provisions of Section 79C of the Environmental Planning and Assessment Act, 1979, Warringah Local Environmental Plan, 2000 and the relevant codes and policies of Council. It is considered that the proposed development satisfies these controls and accordingly is recommended for Approval.

#### **Recommendation (Consent)**

That the application for Alterations to Existing Car Repair, Car Dealer & Hire of Motor Vehicles (Reconstruct roof over existing workshop & vehicle wash bay) at Lot A, DP 413126, No. 26 Orchard Road, Brookvale 2100, be approved subject to conditions as contained in the attached draft consent notice.

1	1	C.	[V]



**Development Application Determination** 

#### **Instrument of Exercise of Delegated Authority**

The within application for DEVELOPMENT CONSENT is hereby DETERMINED in accordance with the recommendations set out above, including any conditions, pursuant to the latest delegated authority granted by the General Manager.

ASSESSMENT OFFICER

(Signed) 23/9/04 (Date)

**TEAM LEADER - ASSESSMENTS** 

Appendix F

Curl Curl Lagoon Catchment Locality Statements

#### LOCALITY F3 BROOKVALE INDUSTRIAL

#### **DESIRED FUTURE CHARACTER**

The Brookvale Industrial locality will remain an industrial and employment centre incorporating industries, warehouses and ancillary service uses.

New development or significant redevelopment will be designed to incorporate landscaping to soften the visual impact of industrial buildings and their associated parking and other paved areas as viewed from the street.

At the interface of the locality with adjoining and adjacent residential areas, buildings will be sited and designed and the use of land managed to minimise interference with the amenity of such residential areas.

Allotments are to be consolidated where necessary to ensure the development of one allotment will not render an adjoining allotment unsuitable for development.

#### LAND USE

#### **Category One**

Development for the purpose of the following:

- industries
- warehouses

#### **Category Two**

Development for the purpose of the following:

- brothels
- child care centres
- community facilities
- hire establishments
- housing (where used in conjunction with industries or warehouses)

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**Curl Curl Lagoon Catchment Locality Statements** 

- · motor showrooms
- · offices (when ancillary to industries or warehouses)
- · places of worship
- · recreation facilities
- registered clubs
- · restaurants
- · service stations
- shops (those which sell equipment, machinery or materials used by an industry or trade, such as builders' supply and hardware establishments or which sell goods manufactured on the same land as the industry producing them)
- · vehicle body repair workshops
- · vehicle repair stations
- other buildings, works, places or land uses that are not prohibited or in Category 1 or 3

#### **Category Three**

Development for the purpose of the following:

- · agriculture
- animal boarding or training establishments
- bulky goods shops
- · business premises
- · entertainment facilities
- further education
- health consulting rooms
- · hospitals
- hotels
- · housing, unless this Locality Statement provides otherwise
- medical centres
- · offices, unless this Locality Statement provides otherwise
- · primary schools

#### Warringah Local Environmental Plan 2000

#### Appendix F

Curl Curl Lagoon Catchment Locality Statements

- retail plant nurseries
- shops, unless this Locality Statement provides otherwise
- short term accommodation
- veterinary hospitals

#### PROHIBITED DEVELOPMENT

Development for the purpose of the following is prohibited within this locality:

- extractive industries
- heliports
- housing for older people or people with disabilities
- potentially hazardous industries
- potentially offensive industries

Canal estate development is also prohibited within this locality.

#### **BUILT FORM**

#### **Building height**

Buildings are not to exceed 11 metres.

To measure the height of a building:

 height is the distance measured vertically between any point on the topmost ceiling of the building and natural ground level below.

#### Front building setback

Development is to maintain a minimum front building setback.

The minimum front building setback is 4.5 metres.

The minimum front building setback area is to be landscaped and generally free of any structures, carparking or site facilities other than driveways.

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Appendix F

#### **Subdivision**

The minimum allotment area for any allotment resulting from the subdivision of land is 4,000m<sup>2</sup>.

#### **COMPLYING DEVELOPMENT**

The following table shows the development which is complying development in this locality. Column A describes the development and Column B shows the requirements that the development must comply with to be complying development.

#### Column A

Development for the purpose of:

Industrial uses, being:

- a different use resulting from a change of use from one type of approved industry or warehouse to another type of industry or warehouse.
- alterations to approved industrial and warehouse buildings.

#### Column B

As described in Schedule 12—Part C



Civic Centre, 725 Pittwater Road (enter Civic Drive) DEE WHY NSW 2099 DX 9118 Dee Why

Ph: (02) 9942 2111 Fax: (02) 9942 2612

# **Certificate**

Certificate No: 175/2004

Name of the Council: Warringah Council

Name: Craig Hann

This certificate is issued by a Council to the owner of a building, the owner's agent or someone who is going to purchase the

buil sec	ding, to certify that the Councilition 4 of the certificate.	l will not make c	ertain orders or take	certain action in I	relation to the building as set out in	
1.	Details of the Application Name: B Frischknecht Address: 26 Orchard Road Daytime Telephone: 9905 E-mail:	Brookvale	Fax: 9905 4881		Mobile:	
2.	Details of the Land Flat/Street No: 26 Suburb or Town: Brookval Lot No: A If the land is Crown land		treet Name: Orchard ostcode: 2100 DP/MPS Type of	No: 413126	Volume/folio:	-
3.	Owner of the building Address of the land  The nearest cross street: Class of the building under Description of part of the b installation of new window Date the building was inspe	First Name: Flat/Street No Suburb or Too the Building Coulding: Internal	o: 26 wn: Brookvale Code of Australia: C al offices, amenities	Street N Postcool		
,	Assessment Act, 1979.  As a result of this certificate beint  where a matter(s) exists or or order the building to be reask a court for an order or except to ensure or promote  where a matter(s) arises only order the building to be reask a court for an order or eask a court for an order or eask a court for an order or for seven years from the date information used by the Co  256.3.2004 Ref. 14552; structure.	ng issued: accurs before the corepaired, demolish or injunction that the in relation to any period adequate fire safety from the deterior repaired, demolish or injunction that the in relation to any period of this certificate ouncil in decidir ctural engineer	date of this certificate, the ded, altered, added to or he building be repaired, part of the building that elety or fire safety awarened, altered, added to or he building be repaired, part of the building that ele, except to ensure or prong to issue this certifing certificates by T	e Council will not: rebuilt, or demolished, alteredextends onto land the ess; and a result of fair wear rebuilt, or demolished, alteredextends onto land the omote adequate fire ificate: Survey I J Taylor Consu	and tear, the Council will not:  d, added to or rebuilt, or lat is owned or controlled by the Council. e safety or fire safety awareness.  by Bee & Lethbridge dated	

report by Peter Formosa Building Surveyor - Design Consultant dated 27.4.2004

Position of the person who signed this certificate: Development Inspection Officer

Date of this certificate: 14 September 2004

5.

Signature

Signature



#### ACID SULFATE SOIL TYPE 4

Works beyond 2 metres below the natural ground surface.

or

Works by which the watertable is likely to be lowered beyond 2 metres below natural surface.



## Development Application Referral & Notification Worksheet LOCAL APPROVALS SERVICE UNIT

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DA2004-0668 Stephen Arthur, Planning and Assessment Services Ph: (02) 9942 2594 Mob: 0400 301 570

11 June 2004

«OwnerS» «Postal\_Address\_1» «Postal\_Address\_2» «Postal\_Address\_3»

Dear Sir/Madam

### Re: Development Application No. 2004-0668DA For Alterations and Additions At No. 26 Orchard Road, Brookvale

Council has received a development application in respect of the above land. It is Council's policy to seek the view of nearby residents and we will consider your response prior to making a determination on the application. The progress of this application can be tracked on-line at http://www.warringah.nsw.gov.au/cs-local.htm.

Please find attached a reduced copy of the relevant plans for your information. If the plans are unclear or if you require additional information, you are invited to inspect the original plans at the Customer Service Centre, Civic Centre, Dee Why, during the hours of 8.30am to 5.00pm, Monday to Friday, excluding public holidays.

If you wish to use this opportunity to express your opinion, please write to us, clearly identifying the subject property and its application number, and include your name, address and telephone number. Your submission should be returned to this office by 29 June 2004. It should be noted that written submissions cannot remain confidential. Under Council policy, both the substance of the submission and the identity of the authors will generally be disclosed to any person requesting information.

In addition to lodging a submission you may also wish to consider mediation. Council's Mediation Service operates independently from the Planning and Assessment Services process and provides the opportunity for applicants and objectors to meet to discuss issues of concern directly. Meetings are overseen by an independent and impartial mediator and are particularly effective at addressing specific issues such as overshadowing, privacy and aspects of design.

Requests for mediation must be made in the appropriate form and manner and submitted separately to the Mediation Co-ordinator.

Mediation forms are available from Council's Customer Service Centre, our website at <a href="www.warringah.nsw.gov.au">www.warringah.nsw.gov.au</a>, or from the Mediation Co-ordinator. Requests must be received by 5.00pm on the closing date for submissions.

Yours faithfully,

Stephen Arthur

Development Assessment Liaison Officer

Per

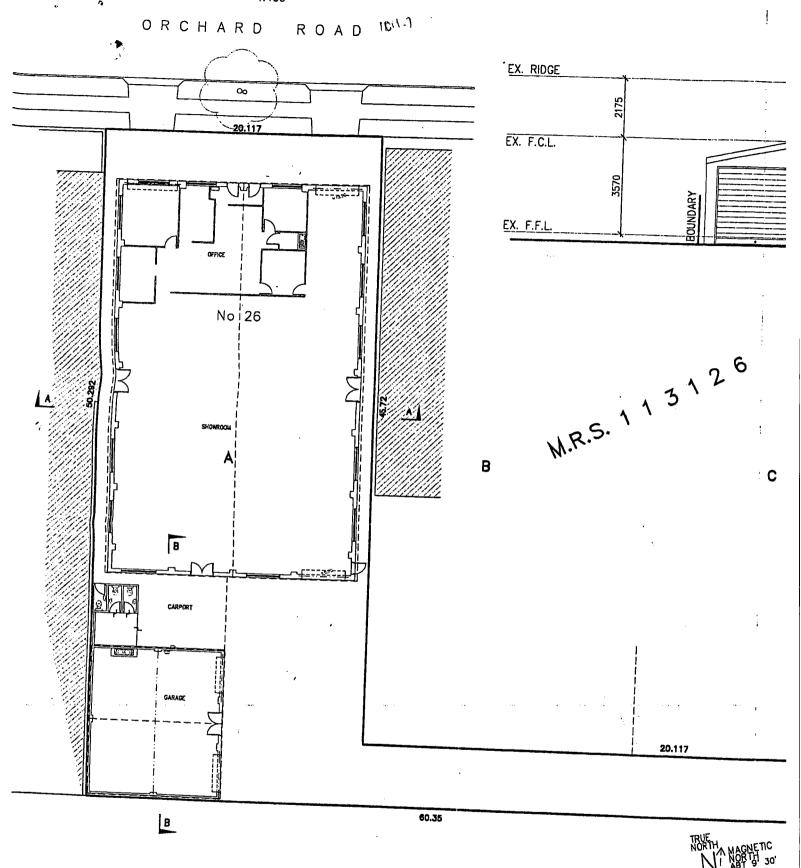
enc1

				Nicholas Property	ROSEBERY 2018	
17.	24291	43 Mitchell Road	Brookvale	43 Mitchell Road	BROOKVALE 2100	The Occupier
18.	24291	43 Mitchell Road	Brookvale	42 Reynolds Street	CREMORNE 2090	A J Chilvers
19.	24292	45 Mitchell Road	Brookvale	45 Mitchell Road	BROOKVALE 2100	The Occupier
20.	24292	45 Mitchell Road	Brookvale	12 Elleroy Avenue	KILLARA 2071	R C Pitt & J M A Pitt
21.	24293	47 Mitchell Road	Brookvale	47 Mitchell Road	BROOKVALE 2100	The Occupier
22.	24293	47 Mitchell Road	Brookvale	4 Kiandra Close	TERREY HILLS 2084	A Grigor & A R Arbabi
23.	27200	28-30 Orchard Road	Brookvale	28-30 Orchard Road	BROOKVALE 2100	The Occupier
24.	27200	28-30 Orchard Road	Brookvale	33 Riverview Road	AVALON 2107	G & A Bland Holdings Pty Limited
25.	27201	28-30 Orchard Road	Brookvale	28-30 Orchard Road	BROOKVALE 2100	The Occupier
26.	27201	28-30 Orchard Road	Brookvale	33 Riverview Road	AVALON 2107	G & A Bland Holdings Pty Limited

DA2004-0668A - No. 26 Orchard Road, Brookvale

0.	Parcel ID	Property Address	<b>Property Suburb</b>	Postal Address 1	Postal Address 2	Owner/S
1.	27198	24 Orchard Road	Brookvale	24 Orchard Road	BROOKVALE 2100	The Occupier
2.	27198	24 Orchard Road	Brookvale	Po Box 478	DEE WHY 2099	Security Acceptance Loan & Trading Co Pty Ltd
3.	27178	23 Orchard Road	Brookvale	23 Orchard Road	BROOKVALE 2100	The Occupier
4.	27178	23 Orchard Road	Brookvale	6 Kirra Road	ALLAMBIE HEIGHTS 2100	U Simonetta & M Simonetta
5.	27179	21 Orchard Road	Brookvale	21 Orchard Road	BROOKVALE 2100	The Occupier
6.	27179	21 Orchard Road	Brookvale	33 Pine Avenue	BROOKVALE 2100	G Mesiti & E R Mesiti & F A Mesiti & F M Mesiti
7.	27180	19 Orchard Road	Brookvale	19 Orchard Road	BROOKVALE 2100	The Occupier
8.	27180	19 Orchard Road	Brookvale	87 Campbell Parade	MANLY VALE 2093	Surfside Offices Pty Limited
9.	31065	2 Powells Road	Brookvale	2 Powells Road	BROOKVALE 2100	The Occupier
10.	31065	2 Powells Road	Brookvale	63 The Bulwark	CASTLECRAG 2068	Kartendi Holdings Pty Limited
11.	31066	4 Powells Road	Brookvale	4 Powells Road	BROOKVALE 2100	The Occupier
12.	31066	4 Powells Road	Brookvale	P O Box 121	BROOKVALE 2100	Cafland Pty Limited
13.	31067	6 Powells Road	Brookvale	6 Powells Road	BROOKVALE 2100	The Occupier
14.	31067	6 Powells Road	Brookvale	Bridge Real Estate	PO BOX 342 BROOKVALE 2100	J H Hutchinson
15.	31068	8 Powells Road	Brookvale	8 Powells Road	BROOKVALE 2100	The Occupier
16.	31068	8 Powells Road	Brookvale	C/-Taylor	PO BOX 344	Micro Sigtronics Pty Ltd

#### NORTH ELEVATION

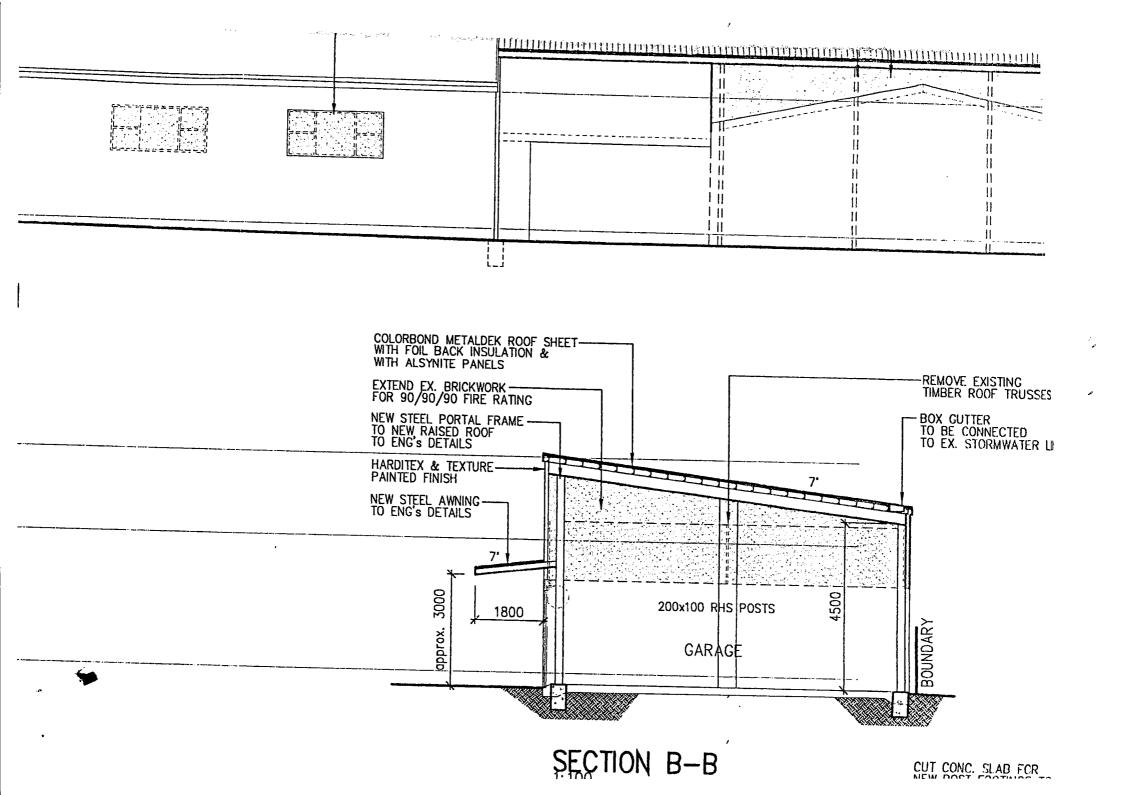


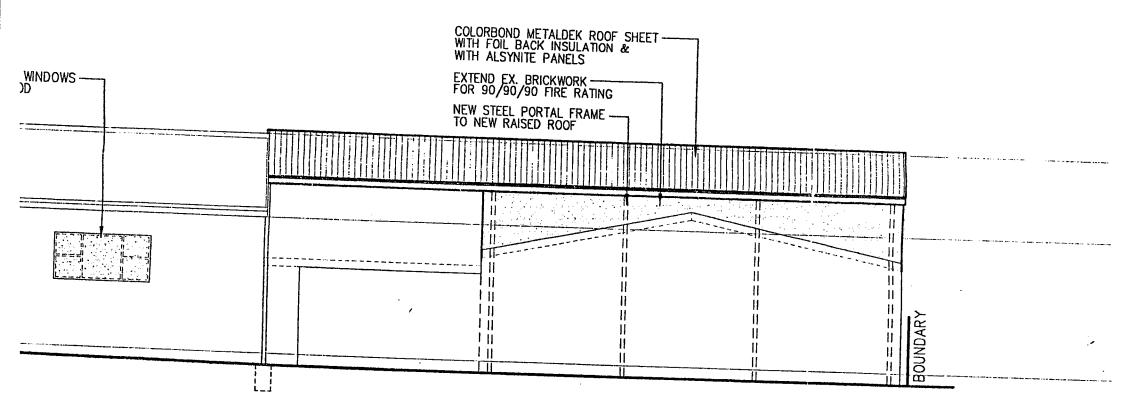
## EXISTING SITE & FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.

ilder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing, dimensions that relate to site boundaries and easments are subject to verification by site survey, work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities, y detailing in addition to be in accordance with the "TIMBER FRAMING" and

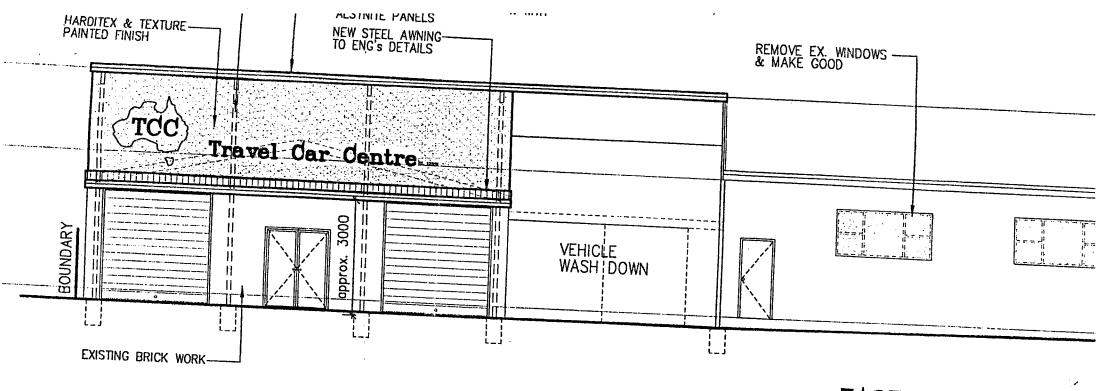
COPYRIGHT
ALL PLANS AND DRAWINGS ARE SUBJECT OF



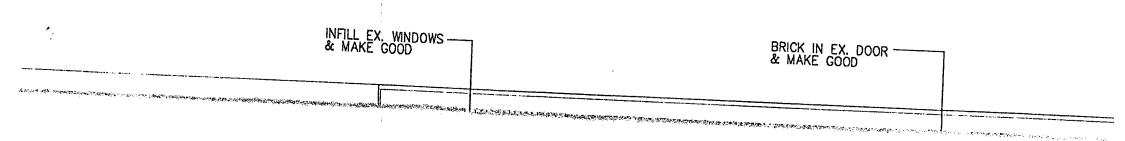


COLORBOND METALDEK ROOF SHEET-WITH FOIL BACK INSULATION & WITH ALSYNITE PANELS

EXTEND EX. BRICKWORK -REMOVE EXISTING TIMBER ROOF TRUSSES A STATE OF THE PROPERTY OF THE



## EAST ELEVATION



Status:

\*\*\* Active \*\*\*

Parcel:

27199

Assessment: 49494

VG No:

0/30487/87

Address:

26 ORCHARD ROAD

**BROOKVALE** NSW 2100

Description: LOT A DP 413126

A Deposited Plan 413126

AREA: 1195 S

GIS APPROX. AREA: 1188.66 m2

Owner(s): BRUNO FRISCHKNECHT LINETTE MARY FRISCHKNECHT **CHRISTIAN EUGEN BOLLER** 

Postal

10 GEELOMG RD

Address: CROMER 2099

Valuation Land Value: \$782000

Info:

Date: 04/09/2003

Transfer History:

Date	Purchase Price	Private Lease
11/08/2003	\$ \$1419000	N
14/06/1985	\$150000	N

#### Control Codes:

Type Code Type Description	Code Description
0100 1650 WLEP 1985 Zoning	4(a)(GENERAL INDUSTRIAL
0200 F3 WLEP 2000 Locality	F3 Brookvale Industrial
0280 0105 House Restriction	Dwelling House Not Prohibited
0290 0004 Acid Sulfate Soils	Acid Sulfate Soils-Type 4
0300 11 Development Control Plan	DCP11,
0300 15 Development Control Plan	DCP15,
0300 16 Development Control Plan	DCP16,
0300 2 Development Control Plan	DCP2,
0300 22 Development Control Plan	DCP22,
0300 9 Development Control Plan	DCP9,
0400 10 State Environmental Plannii	ng Policies SEPP 10 Retention of low cost rental accomodation,
1001 0450 County	County of Cumberland
1600 0390 Other Risks	Acid Sulfate Soils,

#### Planning Development data:

Year Number Seq	Status	Type Proposal	Applicant	Case Officer	Appli date
Decis date File	Last With				

2003 1578 0 Delegated Refused 0004 ALTERATION & ADDITION TO EXISTING FACTO BRUNO FRISCHKNECHT David Bowen 0 25/02/2004 2003/1578 DA/CC David Bowen

2003 1578 0/0 Pending

CC ALTERATION & ADDITION TO EXISTING FACTO BRUNO FRISCHKNECHT

2003/1578 DA/CC David Bowen Allocation 0

2004 668 0 Waiting Decision

**David Bowen** 

Allocation





## LOCAL APPROVALS SERVICE UNIT

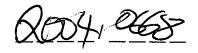
#### LEP 2000 Clause 20(3) Variation to Development Standard

•	DA Number:	Date DA Lodged	Date DA Determined
•	Site Address:		
-	Proposal:		
•	File Number:	Locality:	Officer:
۵	Built Form Standard (s):		
	Reasons for Variance to Built Form	m Standard (s):	
	General Principle Standard (s):		
	Reasons for Variance to General	Principle Standard (s):	



ABN 31 565 068 406

tre 725 Pittwater Road (enter Civic Drive)
DEE WHY NSW 2099



## Annlication

DX 9118 Dee Wh Ph: (02) 9942 21 Fax: (02) 9942 26		nvironmental Planning and Assess	Form 1 ment Amendment Regulation 1998
	the second control with the second	nervening the first contribution from a great train. When he was to consider a second contribution and a second	
* To be completed	Issued under the Environmental Planni	OF Development ng and Assessment Ad, 1979, Sec	ction 78A
* Applicant Name	Beuno Fischknecht		3371
Address	26 ORCHALD ROX	Lie 1	
Postcode	· · ·	Phone/Fax) 0417686 1	22
* Land to be Dev	*		
Address		POAO	
	26 ORCHARD Brookvale	·	2100
Let No. DP eta	Suburb/Locality	·	Postcode
Lot No, DP etc.		ction/Parish	DP/FP
	NOTE: Application will not be accepted with	nout 🔲 Lot & DP No. or 🛄 N	lap(s) attached (see Note 1)
* <u>Proposed Dev</u>	<u>elopment</u>		
Type of Work	<i>*</i>	ying out of work nolition er	
Description of proposed work	Reconstruct Roof at al	highen level over the	escustingworkshop
Q	I the rear of the property	to accommodate	hoists =
Proposed use	Construct I en Eustain	STEP WE TOLK CO	
Estimated Cost (	see Note 2) <del>( 40,000 =</del>	. 00	
* <u>Approvals und</u>	der Section 68 Local Government Act 1993		
Does this applica note to Section 7	ation seek approval for one or more of the appr 78A(3)?	ovals listed in the	™No
List approval(s) s Information to be (See note 3)	submitted.		



* <u>Integrated Development</u>	
Is this application for integrated development?	☐ Yes ☐ No
List other approvals required to be obtained. (See note 4)	Fisheries Management Act 1994  S 144  S 201  S 205  Heritage Act 1977  S 58  Mine Subsidence Compensation Act 1961  S 15  National Parks and Wildlife Act 1974  S 90  Pollution Control Act 1970  S 17A  S 17C  S 17D  S 17I  Rivers and Foreshores Improvement Act 1948  Part 3A  Roads Act 1993  S 138  Waste Minimisation and Management Act 1995  S 44  Water Act 1912  S 10  S 13A  S 18F  S 20B  S 20CA  S 20L  S 116  Part 8
* Construction Certificate	
Is a Construction Certificate application to be lodged at the same time as the application for development consent?	No No No
Information to be submitted.	Where YES, Form 11 (Construction Certificate application) must be complete and lodged with the application.
* <u>Type of Consent</u>	
(If applicable)	☐ Deferred commencement ☐ Staged development
* <u>Required Attachments</u>	4 copies of plan of land (see note 5) 4 copies of plans/drawings of proposed development (see note 6) 6 copies of plan for purposes of Clause 48B of the Environmental Planning and Assessment Regulation 1994 (see note 7) other information (see note 8) application fee
* <u>Environmental Impact</u>	
For Designated Development or for other development	☐ an environmental impact statement (EIS) is attached ☐ a statement on environmental effects is attached (see note 9) ☐ the proposed development is considered to have negligible effect
* <u>Other Attachments</u>	
	<ul> <li>additional material requested by consent authority (see note 10)</li> <li>additional material submitted by applicant (see note 11)</li> <li>details of any prior stage consent granted</li> </ul>
Long Service Levy	
See Note 12	



* Concent of All Cumero		•						
* Consent of All Owners	-	equired if the a	• •			land		
As the owner of the above	propert	y, I/we conser	nt to this	application				- 00
Signature(s)	94	term		- M	med	w	***************************************	U. Jalle
Name(s)	Bri	mosti	nette	Frisch	iknech	~T~	Christ	ian Boller
		. <del></del>		***************************************			Date	
* Signed by Applicant	./	$\sim$				_		- 01
Signature(s)	//4	tue			Vm	Say	7	U. Folle
Name, if not applicant	~····	***************************************	·····	······	***************************************	************************		
Capacity, if not applicant			······································	······		***************************************	Date	
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						\$d	fee	\$390
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Checklist Details Section	<u>n</u>			_			40TAL	\$ 927-00
Lecality Land description		7		ers consent		•	Plans	
Development description	on	ļ	_	er(s) of land icants signa			Fees Final	
Zone/Locality:		Date received:			Allocation	n Section	n	
Assessed Fees			Fee Type	Cashier Type	Application			Case Officer:
☐ Development Application F	ee \$	290	0010/ 0011	6000	Application .	Assessme	nt Comment	s:
☐ Construction Certificate Fe	e \$ (	292	. 0013					
☐ Kerb & Gutter Inspection F	ee \$	100	0023			***************************************	***********************	
☐ Long Service Levy	\$	***************************************	0004		D-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1			
☐ Advertising	\$		. 0008					
□ Other <u>1</u> 85	\$	»·····					***********************	
□ Other <u>60</u>	\$							
							<del></del> .	
Fee Receipt:	***************************************	Account N	lo:		Targe	et Date:	***************************************	Category:





#### **Notes for Completing Development Application**

- Note 1. A description of the land to be developed can be given in the form of a map which contains details of the lot number, DP/MPS, vol/fol etc.
- Note 2. In the case of a building or work, the fee is based on the estimated cost.
- Note 3. The application must be accompanied by such matters as would be required under Section 81 of the Local Government Act 1993 if approval was to be sought under that Act.
- Note 4. An application for integrated development must include:
  - a) sufficient information for the approval body to make an assessment of the application
  - b) an additional fee for each approval body as determined by Clause 100 of the Regulation
  - c) additional copies of plans as determined by the consent authority.
- Note 5. A plan of the land must indicate:
  - a) location, boundary dimensions, site area and north point of the land
  - b) existing vegetation and trees on the land
  - c) location and uses of existing buildings on the land
  - d) existing levels of the land in relation to buildings and roads
  - e) location and uses of buildings on sites adjoining the land.
- Note 6. Plans or drawings describing the proposed development must indicate (where relevant):
  - a) the location of proposed new buildings or works (including extensions or additions to existing buildings or works) in relation to the land's boundaries and adjoining development
  - b) floor plans of proposed buildings showing layout, partitioning, room sizes and intended uses of each part of the building
  - c) elevations and sections showing proposed external finishes and heights
  - d) proposed finished levels of the land in relation to buildings and roads
  - e) building perspectives, where necessary to illustrate the proposed building
  - f) proposed parking arrangements, entry and exit points for vehicles, and provision for movement of vehicles within the site (including dimensions where appropriate)
  - g) proposed landscaping and treatment of the land (indicating plant types and their height and maturity)
  - h) proposed methods of draining the land.
- Note 7. Where relevant six (6) A4 plans of the building that indicates its height and external configuration, as erected, in relation to the site on which it is to be erected.
- Note 8. Other information must indicate (where relevant):
  - a) in the case of shops, offices, commercial or industrial development:
    - · details of hours of operation
    - · plant and machinery to be installed
    - · type, size and quantity of goods to be made, stored or transported
    - loading and unloading facilities
  - b) in the case of a change of building use (except where the proposed change is to a Class 1a or Class 10 building) where no alterations or additions to the existing building are proposed:
    - a list of any fire safety measures in the building or on the land on which the building issituated in connection with the proposed change of building use, and
  - a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.
- Note 9. The list must describe the extent, capability and basis of design of each of the measures concerned.
  - a) in the case of subdivision:
    - details of the existing and proposed subdivision pattern (including the number of lotsand location of roads)
    - details of consultation with public authorities responsible for provision or amplification of utility services required by the proposed subdivision
    - preliminary engineering drawings indicating proposed infrastructure including roads, water, sewerage, and earthworks
    - · existing and finished ground levels
  - ) in the case of demolition:
    - · details of age and condition of buildings or works to be demolished
  - c) in the case of advertisements:
    - details of the size, type, colour, materials and position of the sign board or structure on which the proposed advertisement is to be displayed
  - d) in the case of development relating to an existing use:
    - · details of the existing use
  - e) in the case of development that requires consent under the Wilderness Act 1987:
    - a copy of the consent under the Wilderness Act 1987
  - in the case of development involving the erection of a building, work or demolition:
    - details of the methods of securing the site during the course of construction.
- Note 10. Where a proposed development is not designated development, the application must be accompanied by a statement of environmental effects unless the proposed development is considered to have negligible effect (eg minor interior alterations) which must:
  - a) demonstrate that the environmental impact of the development has been considered
  - b) set out steps to be taken to protect the environment or to mitigate the harm.
- Note 11. The consent authority may, within 21 days of receiving the development application, ask for additional information on the development if that information is necessary for the determination of the application or if that information is required by a concurrence authority.

  The consent authority may, within 25 days after the lodgment of a development application for integrated development, ask for additional information concerning the development if the information is necessary for the determination of the application or if the information is required
- Note 12. The application may be supported with additional material (eg photographs, slides, models, etc) illustrating the proposed development and its
- Note 13. Under Section 80 (10A) of the Environmental Planning and Assessment Act 1979 development consent cannot be granted until any long service levy payable under Section 34 of the Building and Construction Industry Long Service Payments Act 1986 (or where such a levy is payable by instalments, the first instalment of the levy) has been paid. The local council may be authorised to accept payment.
- Note 14. In the case of Crown land within the meaning of the Crown Lands Act 1989, the owner's consent must be signed by an officer of the Department of Land and Water Conservation, authorised for these purposes by the Governor-in-Council, from time to time.

Warringah				Application No.	XODY_1	CEES
	Development Applica	ation Lo			· ·	
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Subject Property Address	26 ORCHAND	RO	_	obvoie	Jale	······
Development Application I	Form correctly completed? (includ	ing Lot & DF		Se Estimated We	orks Value Form	to determine
Owners Consent/Compan	y Seal provided? (All owners)		form		_	gov.au/cs-local.htm ant builders quote.
Assessed Fees	200 Fee Type	Cashier Type	Assessed F	ees	Fee	Cashier
☐ Development Application Fee	\$ 390 0010/0011	6000	☐ Advertisin	g ¢	<b>Type</b> 0008	<b>Type</b> 6000
☐ Construction Certificate Fee	\$ 292+60+18673 Q16	) 5,000	☐ Other	- <del> </del>	85	0000
☐ Kerb & Gutter Inspection Fee	\$ 100 0009		□ Other <i>⊆</i>	<i></i>		
☐ Long Service Levy	\$ 0004		TOTAL	\$ 0		
Any decument cub					tion Idio accom	
Any document sub accompanied by a	mitted to council with more to electronic copy.	nan ten p	ages conta	ining informa	ition/diagram	is must be
A site plan of the land, wh	nich must include:					
	dimensions, site area and north	n point of th	ne land			
existing vegetation	and trees on the land	•	•	☐ Locality LEP	2000	
	of existing buildings on the land			☐ Category LEF	2000 DIVF	-F3
The state of the s	e land in relation to buildings at					· •
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Commercial Developments - The minimum details above plus
☐ Landscape plans as per above, prepared by a Landscape Architect.
☐ Shadow diagrams for December 22 and June 22 at 9.00 am, 12 noon and 3.00 pm.
Proposed materials, finishes and colours including driveways.
□ Streetscape elevations / perspectives □ Assessment of relevant general principles in LEP 2000 □ Preliminary BCA Assessment and a full site analysis under Schedule 8 of LEP 2000. □ 3 copies of Traffic Report
Assessment of relevant general principles in LEP 2000  Proliminary BCA Assessment and a full site anglysis under Schodule 8 of LEP 2000
☐ Preliminary BCA Assessment and a full site analysis under Schedule 8 of LEP 2000. ☐ 3 copies of Traffic Report
☐ 2 copies of Arborists Reports
☐ 3 copies of Drainage Details, Flood/hydrological analysis
☐ 1 copies of Disability Access Report
☐ Model if more than 4 units and two or more storeys
□ proposed number of units
Commercial or Industrial Development The minimum details above plus
Details of hours of operation
Plant and machinery to be installed
西 Type, size and quantity of goods to be made, stored or transported
□ Loading and unloading facilities
Change of Building Use The minimum details above
A list of any fire safety measures in the building or on the land on which the building is situated in connection with the
proposed change of building use
A separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. The list must describe the extent, capability and basis of each of the measures concerned.
<u>Advertisements</u>
Details of the size, type, colour, materials and position of the sign board or structure on which the proposed advertisement is to be displayed.
Depending on the nature and scale of the development, the following detail will also be required.
☐ Geotechnical Report where located in a slip zone.
□ Bush Fire Control Report where the site is identified as being in a bushfire prone locality.
☐ Arborists Report, where significant bushland and trees are to be removed
Archaeological Report, where site may be impacted by items of archaeological
Heritage/conservation report, where development may impacted items on heritage
Flora/Fauna Impact under Section 5A of E.P.&A. Act 1979 as amended, where development is located in a protected plant community location.
Application for the removal of any trees protected by Council's Tree Preservation Order.
Integrated Development (i.e. within 40m of a water-away). The water at 1,111,111,111,111,111,111,111,111,111,
Integrated Development. (i.e. within 40m of a watercourse) - The minimum details above plus
Sufficient information for the approval body to make and assessment of the application
☐ Two (2) Additional copies of plans as determined by consent authority ☐ Fee of \$250 made out to DIPNA
Please consult with Council staff to determine the level of detail required to enable assessment of your application.
Additional information may be required for specific sites and applications. Council undertakes to
advise you of the requirements for the submission of such information as soon as possible.

25 February 2004



#### ON-SITE STORMWATER DETENTION (OSD) CHECKLIST\*

This Form is to be used to determine if OSD will be required for residential developments and <u>must</u> be completed before the submission of any Application. Please read the reverse side of this Form carefully for its applications and definitions.

Lot. DP 413126 No. 2 Street. Street.
Type of development (tick relevant boxes):  commercial/industrial*  dual occupancy residential*  multiple occupancy residential (flat building)*  single residential building  extensions  garage  other (specify)
Part B. Exemption for discharge direct to ocean
Does the site of the development drain directly to the ocean without the need to pass through a drainage control structure such as a pipe, culvert, bridge, kerb, gutter, or natural drainage system (tick one only):  yes no If yes, OSD is not required. If no, go to Part C.
Part C. Exemption for flood affected areas
Is the site of the development located within an established 100 year floodplain and the site also floods in lessor storm events (tick one only):  yes no If yes, OSD is not required. If no, go to Part D.
Part D. Exemption for minimum allowable size of site impervious area
Refer to the back of this page for definitions and explanations.  (a) Site area =
(b1) Total existing impervious area =
(c) Proposed impervious area:  (c1) roofed areas =
(d) Total post-development impervious area (b2) + (c1) + (c2) =
OSD will not be required if one or more of the following are satisfied:  (f) is greater than 35% and (e) is less than or equal to 50 m²  (g) is less than 35%  (i) is less than or equal to 50 m²  No Increase in hard sufficient force of the following are satisfied:  No Increase in hard sufficient force of the following are satisfied:  (g) is greater than 35%  No Increase in hard sufficient force of the following are satisfied:  (ii) is less than or equal to 50 m²  Existing hard sufficient force of the following are satisfied:  (iii) is less than or equal to 50 m²  Existing hard sufficient force of the following are satisfied:  (iii) is less than or equal to 50 m²  Existing hard sufficient force of the following are satisfied:  (iii) is less than or equal to 50 m²  Existing hard sufficient force of the following are satisfied:

Where the Applicant believes that special consideration should be given for exemption from OSD, even though Parts B, C, or D are not satisfied, they may request exemption from OSD, under <u>Special Consideration</u>. Consideration may only be given on reasonable grounds, that is, the site will not increase or overload the existing drainage system in accordance with Council's Drainage Policy and Guidelines. Please attach comments to this Form, and where possible, any relevant calculations to support argument.

#### Notes:

\* Developments which are generally covered by this Form are for single dwelling residential buildings and works which involve extensions, driveways and hardstand areas, or the construction of garages or outbuildings. Dual occupancy, commercial and multiple occupancy developments generally are not exempt from OSD. However concessions may be given for exemption where it can be proven that the receiving drainage system is not adversely affected and that the total post-development impervious areas of the site does not exceed 35%.



#### **Definitions**

**Site area**: This is the total area of the site for which the development is proposed. For residential developments, the total site area is taken to be the area as shown on the Deposited Plan (DP). Where the site for which the development is proposed is significantly large, that is, where the site area exceeds 1200m<sup>2</sup>, and where the proposed development on that site is only a fraction of the overall site area (less than 35%), the site area, in consideration, shall be calculated as the footprint of the proposed development.

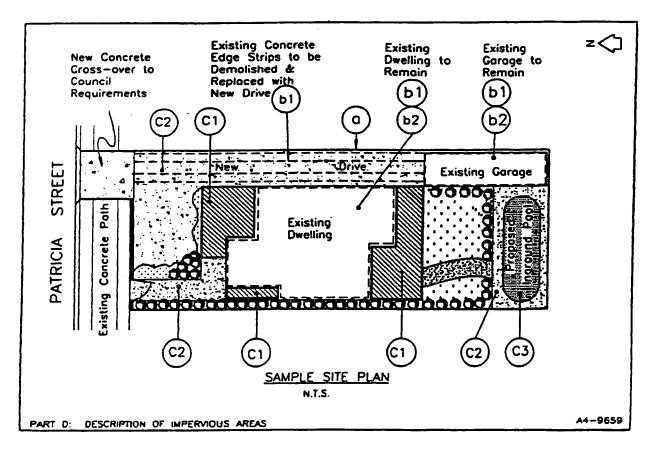
**Existing Impervious area**: This refers to all of the impervious areas, within the site of the development, prior to any proposed works. This includes, calculated in plan view, all of the existing roofed areas, paved surfaces, hardstand areas, garages, outbuildings, etc.

**Remaining existing impervious area**: This refers to the existing impervious areas of the site which will not be removed or demolished as part of the proposed works but will remain after the proposed works have been carried out.

If a building is to be altered internally, that is, works involving only the removal/demolition of internal nonstructural members/walls within the footprint of the building, then the remaining impervious areas shall be calculated as the total area of the building.

**Proposed impervious area**: This includes all new impervious areas created as part of the proposed development and includes, calculated in plan view, all proposed roofed, paved, supplementary (e.g. in-ground swimming pools), garages, outbuildings and hardstand areas, etc. This does not include internal alterations, as referred in 'Remaining existing impervious area' paragraph 2. Internal alterations, as defined above, will not be considered as *proposed impervious area*.

**Post-development impervious area**: This includes all of the impervious areas within the site which are to remain after the development is completed, that is, the finished works, and includes all of the *remaining existing* and *proposed impervious areas*.





### **TAX INVOICE RECEIPT**

#### **B FISCHKNECHT**

#### 26 ORCHARD ROAD BROOKVALE 2100

Receipt No: 00034760

Date	Cash	Cheque	Card	Adjust	Total Paid
27/05/2004	0.00	927.00	0.00	.00	927.00
				•	*
				T	T -4 40.05

Total Paid includes GST of 43.35

For	Description	A CONTRACTOR OF THE PARTY OF TH	Amount G	iST Amount 🌯	■ Total :
6000 - 0009/Inspect Road Kerb	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	100.00	0.00	100.00
6000 - 0011/Development Application Fe	e 2004/0668	26 ORCHARD ROAD BROOKVALE NSW	290.00	0.00	290.00
6000 - 0013/Construction Certificate	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	265.46	26.54	292.00
6000 - 0037/Nomination of PCA fee	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	168.19	16.81	185.00
6000 - 0038/Environmental Response Lev	v 2004/0668	26 ORCHARD ROAD BROOKVALE NSW	60.00	0.00	60.00

With regards

gh For General Manager

Cheques Accepted Subject to Clearance



#### **Estimated Value of Works**

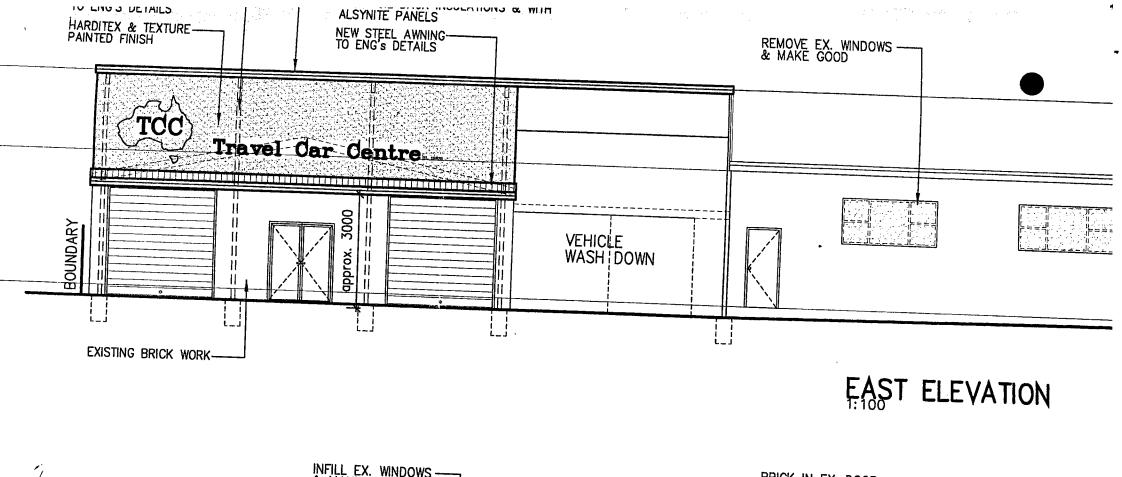
#### MULTI UNIT HOUSING / SEPP5 & SHOP TOP HOUSING

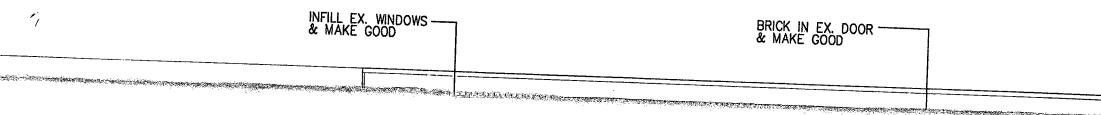
	$m^2$	<b>/</b> @ _	Est Cost
Demolition (m <sup>2</sup> )		$] $100 \mathrm{m}^2$	
Single bedroom units (each)		\$120000	
Two bedroom units (each)		\$180000	
Three or more bedroom units (each)		\$240000	
Landscaping and site works (m2)		] \$25 m <sup>2</sup>	
Covered car spaces above ground (each)		] \$5000 ea	
Car spaces below ground (each)		] \$10000 ea	
Uncovered car space /hard driveway etc (m2)		] \$50 m <sup>2</sup>	
Office / shop floor space (m2)	* sa. , -	\$1000 m <sup>2</sup>	
Swimming Pool (Small)		\$20000	
Swimming Pool (Large)		\$25000	
TOTAL EST. COST OF WORKS	>		
INDUSTRIAL AND COMMERCIAL NEW	AND ADDIT	IONS	E (C)
Warehouse (m²) Inwillial	55m2	$\frac{\omega}{500 \text{ m}^2}$	Est Cost 540,000 - 00
Office/retail area (m <sup>2</sup> )		\$800 m <sup>2</sup>	
Covered car spaces above ground (each)		\$5000 m <sup>2</sup>	
Car spaces under ground (each)		\$10000 m <sup>2</sup>	
Hardstand driveway, uncovered car space (m <sup>2</sup> )		\$50 m <sup>2</sup>	
Landscaping/site works (m <sup>2</sup> )		\$25 m <sup>2</sup>	
TOTAL EST. COST OF WORKS	>	\$4	0,090 -00



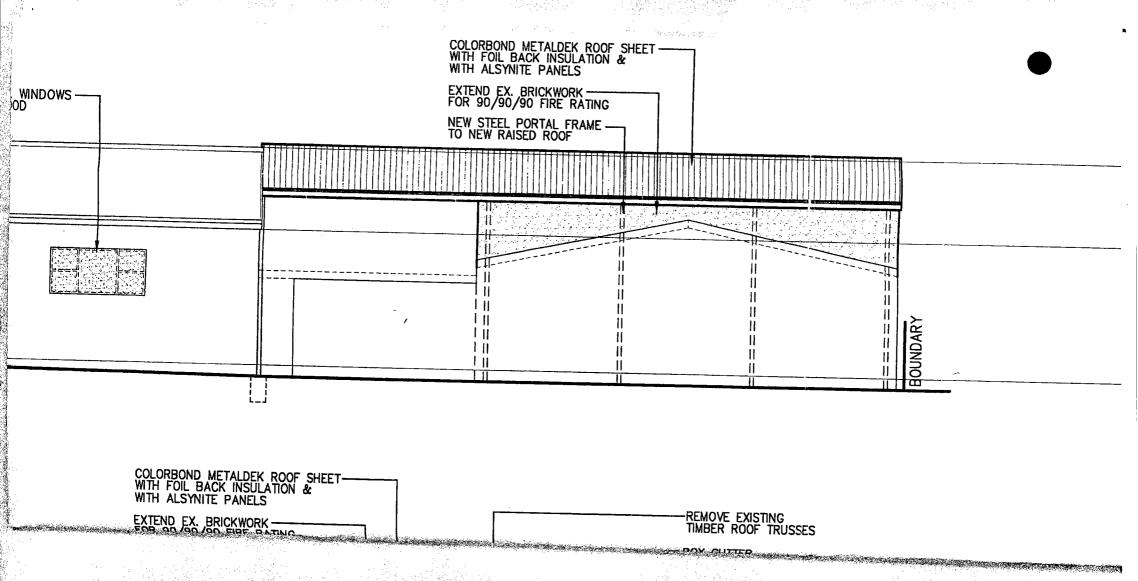
#### **Estimated Value of Works**

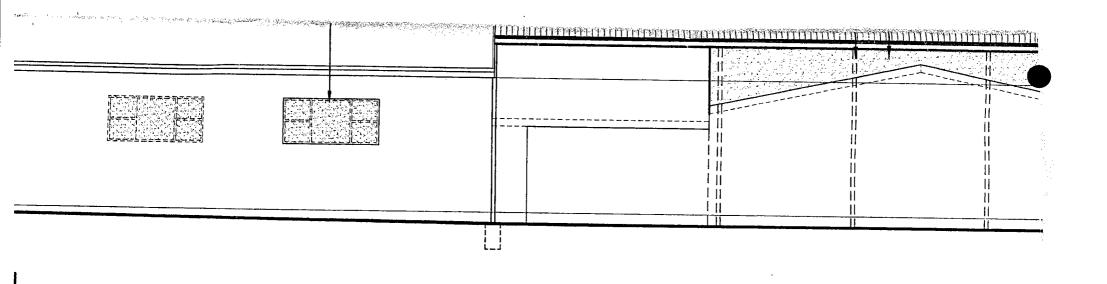
WHERE SITE SLOPE IS LESS THAN 10%		LLLING	
41777	m <sup>2</sup>	@ 2	Est Cost
Additional ground/foundation floor level (m <sup>2</sup> )		\$800 m <sup>2</sup>	
Additions at other floor levels (m²)		] \$1000 m <sup>2</sup>	
Internal modifications (no extra floor area) (m <sup>2</sup> )		] \$500 m <sup>2</sup>	
Deck / open car space (m <sup>2</sup> )	<i>y</i> 4:	\$400 m <sup>2</sup>	
Hardstand area driveway,uncovered car space (m <sup>2</sup> )		\$50 m <sup>2</sup>	
Landscaping and site works (m <sup>2</sup> )		\$25 m <sup>2</sup>	
Swimming Pool (Small)	~	\$20000	
Swimming Pool (Large)		\$25000	
TOTAL EST. COST OF WORKS	>		
WHERE SITE SLOPE IS MORE THAN 10%	$m^2$	@	Est Cost
WHERE SITE SLOPE IS MORE THAN 10% Additional ground/foundation floor level (m²)	m <sup>2</sup>	@   \$880 m²	Est Cost
	m <sup>2</sup>	@   \$880 m <sup>2</sup>   \$1100 m <sup>2</sup>	Est Cost
Additional ground/foundation floor level (m <sup>2</sup> )	m <sup>2</sup>		Est Cost
Additional ground/foundation floor level (m <sup>2</sup> ) Additions at other floor levels (m <sup>2</sup> )	m <sup>2</sup>	\$1100 m <sup>2</sup>	Est Cost
Additional ground/foundation floor level (m <sup>2</sup> )  Additions at other floor levels (m <sup>2</sup> )  Internal modifications (no extra floor area) (m <sup>2</sup> )	m <sup>2</sup>	\$1100 m <sup>2</sup> \$550 m <sup>2</sup>	Est Cost
Additional ground/foundation floor level (m <sup>2</sup> )  Additions at other floor levels (m <sup>2</sup> )  Internal modifications (no extra floor area) (m <sup>2</sup> )  Deck/open space (m <sup>2</sup> )  Hardstand area driveway, uncovered car	m <sup>2</sup>	\$1100 m <sup>2</sup> \$550 m <sup>2</sup> \$440 m <sup>2</sup>	Est Cost
Additional ground/foundation floor level (m <sup>2</sup> )  Additions at other floor levels (m <sup>2</sup> )  Internal modifications (no extra floor area) (m <sup>2</sup> )  Deck/open space (m <sup>2</sup> )  Hardstand area driveway, uncovered car space (m <sup>2</sup> )		\$1100 m <sup>2</sup> \$550 m <sup>2</sup> \$440 m <sup>2</sup> \$55 m <sup>2</sup>	Est Cost
Additional ground/foundation floor level (m²)  Additions at other floor levels (m²)  Internal modifications (no extra floor area) (m²)  Deck/open space (m²)  Hardstand area driveway, uncovered car space (m²)  Landscaping and site works (m²)	m <sup>2</sup>	\$1100 m <sup>2</sup> \$550 m <sup>2</sup> \$440 m <sup>2</sup> \$55 m <sup>2</sup> \$30 m <sup>2</sup>	Est Cost

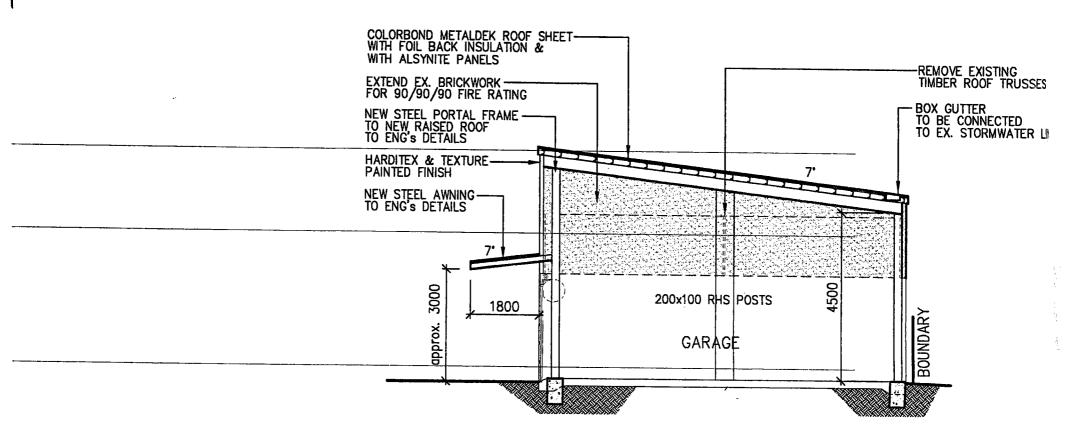






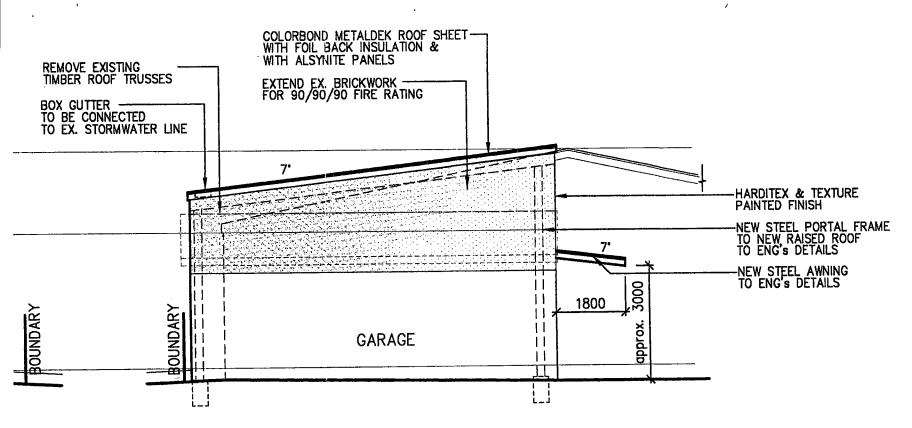






SECTION B-B

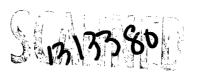
CUT CONC. SLAB FOR NEW POST FOOTINGS TO ENG'S DETAILS



SOUTH ELEVATION - GARAGE

ROAD ORCHARD

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Peter Formosa 0419205707 13 Rangers Retreat Road Frenchs Forest 2086 Phone

Fax 94532983 21/05/2004

#### STATEMENT OF ENVIRONMENTAL EFFECTS FOR PREMISES No 26 ORCHARD ROAD BROOKVALE

#### SITE DESCRIPTION:

The site is identified as Lot A in DP 413126 No 26 Orchard Road BROOKVALE. It has an area of 1104 square metres in the shape of a battle-axe allotment. The property is within Division F, Curl Curl Lagoon Catchment F3 Brookvale Industrial.

#### **HISTORY**

The owner Mr Bruno Frischknecht had lodged a Development Application 2003/1578 DA for alterations and additions to the premises including internal works to the existing main factory building fronting Orchard Road however as the internal works were carried out prior to Consent, Councils Officer Mr David Bowen refused the application. Council's letter dated 24<sup>th</sup> February 2004 provides details of the refusal.

As a result an application for a Building Certificate was lodged with Council approximately three weeks ago including a detailed submission with structural engineers certificates and appropriate reports in order to assist Councils determination of the application.

The applicant now wishes to lodge a Development Application for approval to construct a new roof over the rear workshop and an awning over the adjoining wash bay.

#### PROPOSED WORKS

The application before Council is for the construction of a new skillion roof over the existing workshop on site whereby it is proposed to be used for the servicing of 4 x wheel drive vehicles, which will be rented out to tourists. In addition the new roof will be extended towards to rear wall of the main building on site (north) to accommodate a vehicle wash down area with an approved trade waste oil and solids separator.

The ceiling height of the existing workshop is not adequate to accommodate hoists, which are necessary for the maintenance of the vehicles. The owner has had to relocate from 54 Orchard Road and is satisfied that the subject site will be adequate for the future needs of the business providing approval is granted for the minor alterations proposed.

#### IMPACT OF THE PROPOSAL

As the site is located in an industrial area and the business operations would not generate excessive noise, traffic, odours and waste then the use of the premises for the hire of vehicles is most suited for the site.

The proposed new roof over the existing workshop will result in a minor increase in height to match the overall height of the main building on site. As the premises adjoin other industrial buildings, which are generally constructed up to, the side boundaries of the site then there would be minimal impact caused to the surrounding properties.

The new roof and awning will be located in the southwestern corner of the site with vehicle access provided either through the main building from Orchard Road or from the rear battle-axe driveway from Mitchell Road.

#### **STREETSCAPE**

The proposed works will not be visible from Orchard Road or the western property however it will be partially visible from Mitchell Road and as a result of the modifications it will improve the aesthetics of the premises and improve the streetscape.

#### **DEVELOPMENT CONTROL PLAN**

The proposal has been designed to comply with Councils Local Environmental Plan 2000 for Division F, Curl Curl Lagoon Catchment. The controls regarding height, boundary setbacks, floor space ratios and car parking have been complied with insofar that the building currently exist on site and the proposed awning will be constructed over existing concrete paving and will not generate the need for additional parking as it is required to cover a wash bay only.

The development application addresses all aspects of Councils LEP and is in keeping with the existing form of development within the general locality.

#### STORMWATER DISPOSAL

The stormwater disposal will not be altered from the current system, which is piped to Councils street gutter and there will be no increase in volume, as the catchment remains unaltered

#### **DESIGN AND EXTERNAL APPEARANCE**

All new and existing brickwork will be cement rendered and painted a suitable colour and the form of architecture is in keeping with industrial style of development.

#### **BUILDING WASTE**

All building waste will be removed from the site and disposed at a property tipping facility viz Kimbriki Recycling Centre at Terry Hills. Any asbestos will be removed by specialists, wrapped and transported to an approved facility for asbestos type materials.

#### SOIL EROSION AND SEDIMENT CONTROL

As there will be no excavation works proposed and as the new footings have already been constructed under the supervision of an engineer there is no need for pollution control devices during the construction process. The previous construction of the footings has been addressed in the Building Certificate Application already lodged with Council.

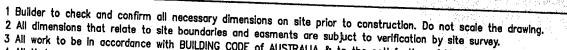
Peter Formosa

## NORTH ELEVATION ORCHARD ROAD 1011-1 EX. RIDGE EX. F.C.L. EX. F.F.L. No 26 B. N.R.S. 1 1 3 1 2 В

EXISTING SITE & FLOOR PLAN

60.35

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWNG.



CARPORT

GARAGE

3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities. 4 All timber construction to be in accordance with the "TIMBER FRAMING" code.

5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for

any structual details or design which is to be supplied by Structual Engineer. 5 Roof water & sub-pall destance & a

COPYRIGHT ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME WHOLLY OR DARK WITTEN

20.117



Civic Centre 725 Pittwater Road (enter Civic Drive) DEE WHY NSW 2099

(if known)

Nominated on

**Development Consent** 

**Building Code of Australia Building Classification** 

Class 8 2 das 5.

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DX 9118 Dee Why	$\omega_1$	voi tiiivate
Ph: (02) 9942 2111 Fax: (02) 9942 2612	Environmental Planning a	Form 11 nd Assessment Amendment Regulation 1998
	STRUCTION CERTIFICATE Applic Planning and Assessment Act, 1979, Section	
* To be completed by Applicant		
* Applicant Name Perer For	emes 18	CONTROL CONTRO
and the second s	S RETRUM RO FLEX	1045 FOREST.
Postcode 2086		
Signature		
* Owner  Name Brans + Line  Address	He Frisonknecht C	Middlen B. Hen
Postcode	Contact No (Phone/Fax)	
* Consent of All Owners  I/we consider the signature (s)	nsent to this application	- U. Ella
	RCHARD ROB	-O
_ Room	Cyple	
Suburb/Locality  Lot No, DP etc.		Postcode Z(00.
Area of site (m²)	Section/Parish	DP###
•		
* <u>Description of Development</u> Type of Work Development		
_ ballang	work Subdivision work	11 10 15
Description of Work  New York  New Y	withingen yord and	all they had to escaling
Proposed the Su	con wash one - For	Lucy cheered boilt in
* <u>Development Consent</u>	0 0	
Development Consent No.	Date of Determin	nation



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+ pariner/aminer parial	[ (If known) To be completed in the case of proposed residential building work
Name	To be nominated
Contractor Licence or Permit No.	
In case of Owner Builder	
* <u>Value of Work</u> Building/Subdivision	\$40,000-00
Required Attachments	
See Notes 1 and 2	<ul> <li>Note 1 details the information that must be submitted with an application for a construction certificate for proposed subdivision or building works.</li> </ul>
	<ul> <li>Note 2 details the information that may be submitted with an application for a construction certificate for proposed residential building works.</li> </ul>
Schedule	
See Notes 1 and 2	<ul> <li>The attached schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics.</li> </ul>
<u>Date of Receipt</u>	To be completed by certifying authority
Date received	
•	

Office Use Only (Cashiering T	ype <b>6040</b> )		, , , , , , , , , , , , , , , , , , , ,
Zone/Planning Control:	Application No:	Case Officer	
Date received:	Application Assessment	Comments:	
Assessed Fee:			
Fee Receipt:	Account No:	Target Date:	Category:



#### Note 1

The following information must accompany applications for a construction certificate for building and subdivision work.

#### **Building Work**

In the case of an application for a construction certificate for building work:

- a) copies of compliance certificates relied upon
- b) two (2) copies of detailed plans and specifications

The plan for the building must be drawn to a suitable scale and consist of a general plan and a block plan.

The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, construction and provision for fire safety and fire resistance (if any)

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building the general plan is to be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the proposed alteration, addition or rebuilding.

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the modification.

The specification is:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particulars of any second hand and give particulars of any second-hand materials used
- where the application involves an alternative solution to meet the performance requirements of the Building Code of Australia, the
  application must also be accompanied by:
  - details of the performance requirements that the alternative solution is intended to meet, and
  - details of the assessment methods used to establish compliance with those performance requirements
- d) evidence of any accredited component, process or design sought to be relied upon
- e) except in the case of an application for, or in respect of, a Class 1a or Class 10 building:
  - a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
  - if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.

The list must describe the extent, capability and basis of design of each of the measures concerned.

#### **Subdivision Work**

In the case of an application for a construction certificate for subdivision work:

- a) copies of compliance certificates relied upon
- b) four (4) copies of detailed engineering plans. The detailed plans may include but are not limited to the following:
  - earthworks

water supply works

roadworks

sewerage works

road pavement

landscaping works

road furnishings

- erosion control works
- stormwater drainage

Where the proposed subdivision work involves a modification to previously approved plans the plans must be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the modification.

#### Note 2 Home Building Act Requirements

In the case of an application for a construction certificate for residential building work (within the meaning of the *Home Building Act 1989*) attach the following:

- (a) in the case of work by a licensee under that Act:
  - (i) a statement detailing the licensee's name and contractor licence number, and
  - (ii) documentary evidence that the licensee has complied with the applicable requirements of that Act\*, or
- (b) in the case of work done by any other person:
  - (i) a statement detailing the person's name and owner-builder permit number, or
- (ii) a declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of **owner-builder work** in Section 29 of that Act.
- \*A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.



#### **Schedule to Construction Certificate Application**

Particulars of the Propos What is the area of the la	_				
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what is the area of the lai	na (m- )? <b>.</b>		· · · · · · · · · · · · · · · · · · ·		
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What are the current uses					
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Location		Haa			
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low many dwellings are p	•	How many s		_	<b>h</b> -
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Place a tick ( 🗸 ) in the bo	x which best describe	es the materials the new	v work will be co	nstructed of:	<b>Co</b> t
lace a tick ( ✓ ) in the bo  Walls  brick veneer full brick single brick	x which best describe  Code  12  11	es the materials the new  Roof  aluminium	v work will be co <b>Code</b> 70	nstructed of: Floor Frame concrete	Cod
Valis  brick veneer full brick single brick concrete block	x which best describe Code 12 11 11	Roof  aluminium concrete concrete tile fibrous cement	v work will be co <b>Code</b> 70 20	nstructed of:  Floor Frame  concrete timber	<b>Cot</b> 20 10
Walls  brick veneer full brick single brick concrete block concrete/masonry	x which best describe  Code  12 11 11 11 20	Roof  aluminium concrete concrete tile fibrous cement fibreglass	v work will be co <b>Code</b> 70 20 10	right restricted of:  Floor Frame  concrete timber other	<b>Cot</b> 20 10 80
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Walls  brick veneer full brick single brick concrete block concrete/masonry concrete steel fibrous cement	x which best describe  Code  12 11 11 20 20 60 30	Roof  aluminium concrete concrete tile fibrous cement fibreglass masonry/terracotta shingle tiles	v work will be co <b>Code</b> 70  20  10  30  80  10  20	ristructed of:  Floor Frame  concrete timber other unknown timber steel	20 10 80 90 40
Walls  brick veneer full brick single brick concrete block concrete/masonry concrete steel fibrous cement hardiplank	x which best describe  Code  12 11 11 20 20 60 30 30	Roof  aluminium concrete concrete tile fibrous cement fibreglass masonry/terracotta shingle tiles state steel	v work will be co <b>Code</b> 70  20  10  30  80  10  20  60	ristructed of:  Floor Frame  concrete timber other unknown timber steel other	20 10 80 90 40 60
Walls  brick veneer full brick single brick concrete block concrete/masonry concrete steel fibrous cement hardiplank timber/weatherboard	x which best describe  Code  12 11 11 20 20 60 30 30 40	Roof  aluminium concrete concrete tile fibrous cement fibreglass masonry/terracotta shingle tiles state steel terracotta tile	v work will be co <b>Code</b> 70  20  10  30  80  10  20  60  10	ristructed of:  Floor Frame  concrete timber other unknown timber steel other	<b>Coti</b> 20 10 80 90 40 60 80
Walls  brick veneer full brick single brick concrete block concrete/masonry concrete steel fibrous cement hardiplank timber/weatherboard cladding-aluminium	x which best describe  Code  12 11 11 20 20 60 30 30 40 70	Roof  aluminium concrete concrete tile fibrous cement fibreglass masonry/terracotta shingle tiles state steel terracotta tile other	v work will be co <b>Code</b> 70  20  10  30  80  10  20  60  10  80	ristructed of:  Floor Frame  concrete timber other unknown timber steel other	<b>Coti</b> 20 10 80 90 40 60 80
Walls  brick veneer full brick single brick concrete block concrete/masonry concrete steel fibrous cement hardiplank timber/weatherboard	x which best describe  Code  12 11 11 20 20 60 30 30 40	Roof  aluminium concrete concrete tile fibrous cement fibreglass masonry/terracotta shingle tiles state steel terracotta tile	v work will be co <b>Code</b> 70 20 10 30 80 10 20 60 10	ristructed of:  Floor Frame  concrete timber other unknown timber steel other	<b>Coti</b> 20 10 80 90 40 60 80



#### **Construction Certificate Lodgement Checklist**

Address 26 ORCHARD ROL	Lot A	DP413126
Project Description New Roof Over Exit	sting workshops new	o awoning over
	1 6424 134	y. U
Development Consent issued / lodged? V	Yes) No	
If No, you are advised Development consent is req Construction Certificate being issued.	uired for all proposed buildi	ing works, prior to
Consent No	Date Issued / Lodged	
<b>Construction Certificate Application Form</b>	Office Us	o Only
Owners Consent/Company seal provided?	(Yes)/ No	Guny
Check estimated construction cost, O/K?	Yes / No Fee \$_	
Checked Fees	Yes No (Cashier	ring Type 6040)
Floor area of existing and proposed works:		<del></del>
Existingm <sup>2</sup> Proposed	m² Total	55m²
<u>Is a Change of Use or Classification part of this App</u>	lication? (Yeş/No	
If so, previous legal use		
Proposed Use 4 Wheel drive R	e stal Take	
Proposed Use	cover of mandestand	<del>X</del>
Minimum information:		**,
General - All Applications		1.
AO		
2 Sets of full Architectural plans.		ē
2 Specifications.		
☐ ☑ Site plan including:- ☐ ☑ Setback of all buildings to all bound	aries and distances betwee	en buildings.
☐ ☑ Existing and proposed height of the	building relative to a nomir	-
or preferably AHD (Australian Heigh		oced finished levels
and including method of retaining so		OSEG IIIISIICG ICVCIS
☐ Structural Details including retaining walls a	and bracing/tie down metho	ods.
☐ ☐ Stormwater or On-site Stormwater detention Council's policy).		(refer to Existing
$\square$ $\square$ Geotechnical Report, where applicable ${\cal N}$		
☐ Proposed Fire Separation method between ceiling & roof, where applicable. ▶		
☐ ☐ Alternate Solution, where applicable (detail		_
Compliance Certificate, where applicable (operson).	tetails prepared by a suitab	yly qualified In I
☐ ☐ Additional information/details and/or revision	ons required by the Develor	oment Consent
A - To be completed by Applicant O - Office Use Only	· · · · · ·	

	uwe	ellings and Dual Occupancies	
		☐ Termite Control measures (new buildings only	·).
		☐ Proposed Smoke Alarm type and locations.	
		☐ Wet Area treatment methods.	
		☐ Mechanical Ventilation details for enclosed roo	oms.
		☐ Sound Transmission details between separate	
		Fire Resistance details including fire hazard part Refer to Part C of the BCA (Building Code of A	•
	<u>Gara</u>	rages and Carports	
		☐ Location of existing and proposed car parking	accommodation including dimensions.
		Existing/proposed driveway and/or crossing,. i stand area.	indicating levels from the roadway to car
	<u>Swi</u>	imming Pools	
		☐ Plan to include cross-sectional elevation of ex	isting and finished ground level.
		☐ Proposed pool concourse/coping level relative	e to a fixed datum (not ground level).
		☐ Safety fence-position, type and height to be no	ominated on plans.
		☐ Structural details prepared by a suitably qualif	ied structural engineer.
••	Res	sidential Flats, Commercial, Shops, Factories, Scho	ols, etc.
		Fire Resistance details including fire hazard p (refer to Part C of the BCA).	roperties for wall, floor, ceiling & roof.
		Location and type of all Required Exits includi (refer Part D of the BCA).	ng access for people with disabilities
		All existing and proposed services and equipm E of the BCA).	nent and fire safety measures (refer Part
NA		☐ Damp and Wet Area treatment methods (refer	r to Part F1 of the BCA).
W		☐ Sanitary and other facilities (refer Part F2 of the	•
N		Mechanical Ventilation details (refer Part F4 o	•
NA	4	☐ Sound Transmission details between separate	e occupancies (refer to Part F5 of BCA).
	<u>The</u>	eatres, Stages and Public Halls	
		☐ Details of the proposed method of complying	with Part H of the BCA.
	<u>Cou</u>	uncil Use Only: The following information is requ	ired before lodgement:
			•••••••••••••••••••••••••••••••••••••••
	<u>Che</u>	ecked by:	
	App	plicantC	Council Officer
	Date	nto.	late



#### **Construction Certificate Lodgement Checklist**

Address	Lot DP
Project Description	
<b>Development Consent issued / lodged?</b>	Yes / No
If No, you are advised Development consent is req Construction Certificate being issued.	uired for all proposed building works, prior to
Consent No	Date Issued / Lodged
Construction Certificate Application Form	Office Use Only
Owners Consent/Company seal provided?	Yes No
Check estimated construction cost, O/K?	Yes PNo Fee \$
Checked Fees	Yes+No (Cashiering Type 6040)
Floor area of existing and proposed works:	
Existingm <sup>2</sup> Proposed	m² Totalm²
<u>Is a Change of Use or Classification part of this App</u>	lication? Yes/No
If so, previous legal use	
Proposed Use	
Minimum information:	
General - All Applications	
A O	
☐ ☐ 2 Sets of full Architectural plans.	
☐ ☐ 2 Specifications. ☐ ☐ Site plan including:-	
☐ ☐ Setback of all buildings to all bounds	aries and distances between buildings.
□ □ Existing and proposed height of the	building relative to a nominated fixed datum
or preferably AHD (Australian Heigh ☐ ☐ Proposed cut and fill levels indicatin	t Datum). g existing ground and proposed finished levels
and including method of retaining so	
☐ ☐ Structural Details including retaining walls a	nd bracing/tie down methods.
☐ ☐ Stormwater or On-site Stormwater detentio Council's policy).	n details, where applicable (refer to
☐ ☐ Geotechnical Report, where applicable.	
☐ Proposed Fire Separation method between ceiling & roof, where applicable.	buildings including materials for wall, floor,
☐ ☐ Alternate Solution, where applicable (detail	
☐ ☐ Compliance Certificate, where applicable (operson).	letails prepared by a suitably qualified
☐ ☐ Additional information/details and/or revision	ns required by the Development Consent.
A - To be completed by Applicant O - Office Use Only	

<u>Dwellings and Dual Occupancies</u>
<ul> <li>☐ Termite Control measures (new buildings only).</li> <li>☐ Proposed Smoke Alarm type and locations.</li> <li>☐ Wet Area treatment methods.</li> <li>☐ Mechanical Ventilation details for enclosed rooms.</li> <li>☐ Sound Transmission details between separate occupancies (Dual Occupancy only).</li> <li>☐ Fire Resistance details including fire hazard properties for wall, floor, ceiling &amp; roof. Refer to Part C of the BCA (Building Code of Australia). (Dual Occupancy only).</li> </ul>
Garages and Carports
<ul> <li>☐ Location of existing and proposed car parking accommodation including dimensions.</li> <li>☐ Existing/proposed driveway and/or crossing, indicating levels from the roadway to car stand area.</li> </ul>
Swimming Pools
<ul> <li>☐ Plan to include cross-sectional elevation of existing and finished ground level.</li> <li>☐ Proposed pool concourse/coping level relative to a fixed datum (not ground level).</li> <li>☐ Safety fence-position, type and height to be nominated on plans.</li> <li>☐ Structural details prepared by a suitably qualified structural engineer.</li> </ul>
Residential Flats, Commercial, Shops, Factories, Schools, etc.
☐ ☐ Fire Resistance details including fire hazard properties for wall, floor, ceiling & roof. (refer to Part C of the BCA).
☐ ☐ Location and type of all Required Exits including access for people with disabilities (refer Part D of the BCA).
☐ All existing and proposed services and equipment and fire safety measures (refer Part E of the BCA).
☐ ☐ Damp and Wet Area treatment methods (refer to Part F1 of the BCA).
☐ ☐ Sanitary and other facilities (refer Part F2 of the BCA).
☐ ☐ Mechanical Ventilation details (refer Part F4 of BCA & AS 1668 Part 1 & 2).
☐ ☐ Sound Transmission details between separate occupancies (refer to Part F5 of BCA).
<u>Theatres, Stages and Public Halls</u>
☐ Details of the proposed method of complying with Part H of the BCA.
Council Use Only: The following information is required before lodgement:
Checked by:
Applicant Council Officer
Date Date



#### **TAX INVOICE RECEIPT**

#### **B FISCHKNECHT**

**26 ORCHARD ROAD BROOKVALE 2100** 

Receipt No: 00034760

		i	<u> </u>		
Date	Cash	Cheque	Card	Adjust	Total Paid
27/05/2004	0.00	927.00	0.00	.00	927.00

Total Paid includes GST of

43.35

For	Description		Amount GST	\mount	Total
6000 - 0009/Inspect Road Kerb	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	100.00	0.00	100.00
6000 - 0011/Development Application Fe	e 2004/0668	26 ORCHARD ROAD BROOKVALE NSW	290.00	0.00	290.00
6000 - 0013/Construction Certificate	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	265.46	26.54	292.00
6000 - 0037/Nomination of PCA fee	2004/0668	26 ORCHARD ROAD BROOKVALE NSW	168.19	16.81	185.00
6000 - 0038/Environmental Response Lev	v 2004/0668	26 ORCHARD ROAD BROOKVALE NSW	60.00	0.00	60.00

With regards

gh For General Manager

Cheques Accepted Subject to Clearance

#### SPECIFICATION FOR 26 ORCHARD ROAD BROOKVALE

3383

**External** walls

Extend the height of the existing walls of the workshop in masonry to comply with AS 3700 & Specification A2.3, Clause B1.3 and F5.5 of the Building Code of Australia 2004 and inaccordance with the instructions of the structural engineer.

Steel columns & roof frame members

To be designed strictly inaccordance with the structural details prepared by T. J. Taylor Consultants Pty Ltd and AS 4100 and AS 1554.

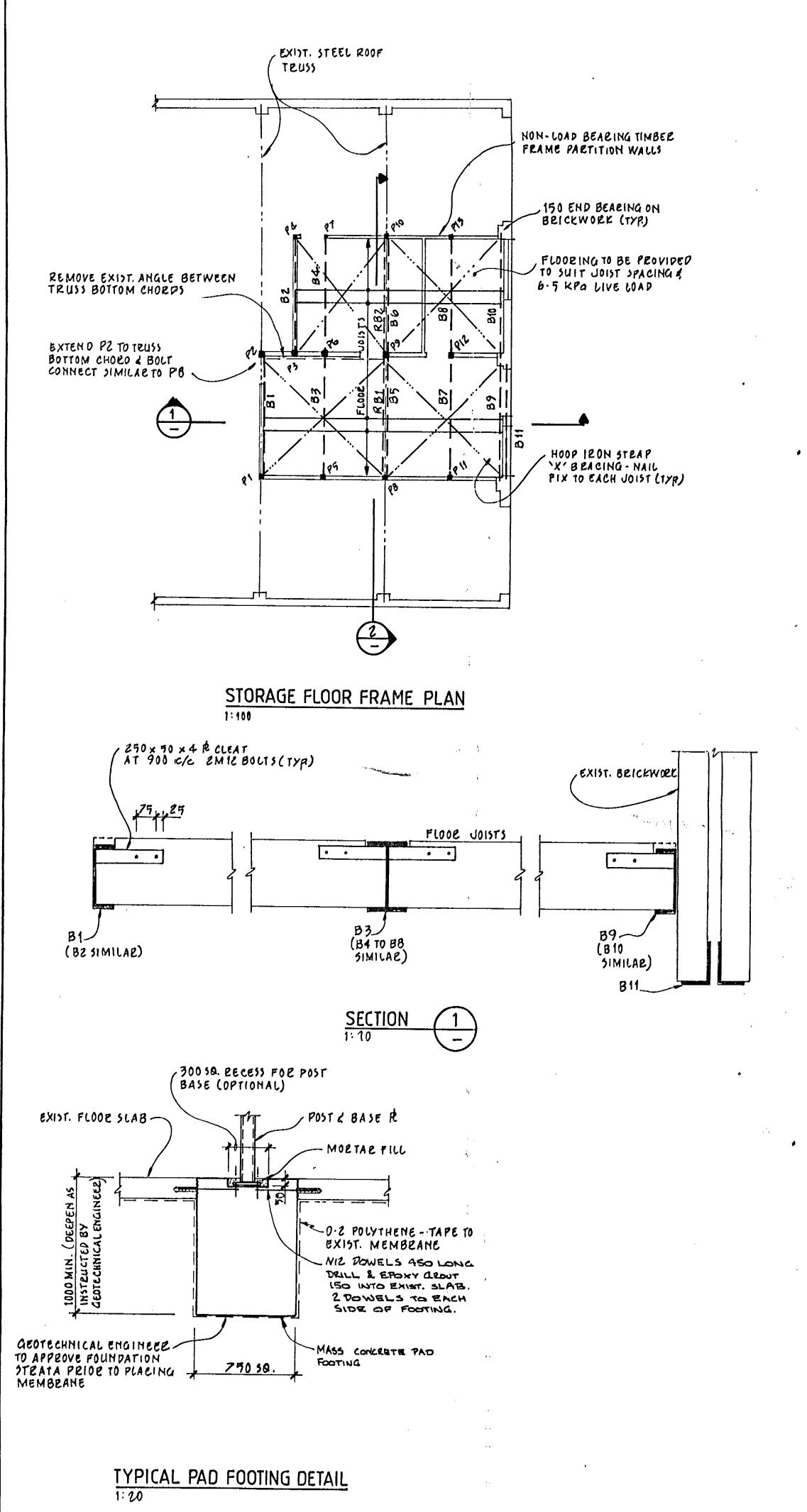
#### **Roof Sheeting**

Colorbond metaldek roof sheeting to be installed strictly inaccordance with the manufacturers recommendations and to comply with AS 1562 pART 1, AS/NZS 1562 part 3 and BCA 2004.

#### **ESSENTIAL SERVICES**

Portable fire extinguishers being installed within the workshop to cover Class B & Class A fires as defined in AS 2444 and shall be selected, located and distributed in accordance with AS 2444.

As the floor area of the workshop is only 115 square metres there are no other essential services required under the provisions of Part E of the Building Code of Australia 2004.



#### Member Schedule

#### Roof Beams

RB1, RB2...... 150 PFC bolted to top chord of existing truss with 1N12 bolt under each purlin.

Floor Joists...... 240 x 45 F7 seasoned @ 450 c/c. 3.0m max span.

Note: Flooring material and thickness to be selected to suit 6.5 kPa live load. Joist spacing may be reduced to suit flooring material if necessary.

Floor Beams

B1, B2, B9, B10.. 200 PFC 4.6m max span.

B3 to B8...... 250 UB31 4.6m max span.

Note: Location of beams and support posts and footings may be adjusted to suit door opening locations and maximum floor joist span. Location of beam 5 and beam 6 is fixed by existing roof

150 x 100 Galintel in one length to each skin of brickwork. 2.2m max span.

P1 to P7...... 89 x 89 x 3.5 sHs

P8 to P10............ 89 x 89 x 5.0 SHS in one length to roof truss connection.

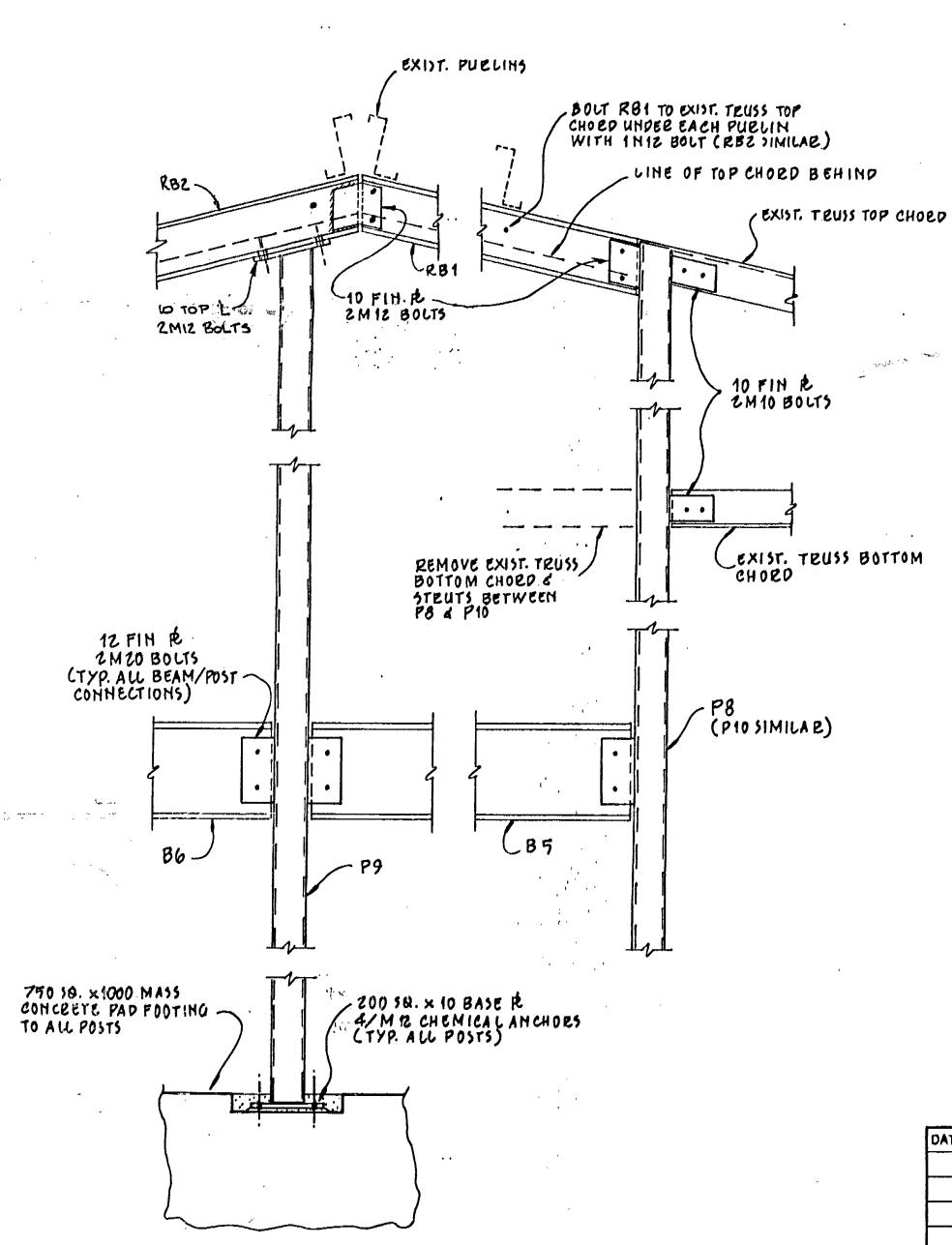
P11 to P13...... 89 x 89 x 3.5 sHs.

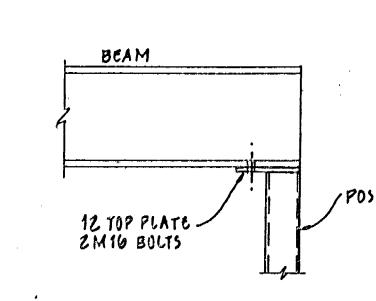
#### Notes:

Any site welds to be treated with 'cold gal' paint.

B9 and B10 to be separated from brickwork with Alcore. Storage floor to be sign posted stating "Maximum Allowable Load = 600kg/m²".

Floor beams and posts to be fire rated to BCA requirements as necessary.





STATE AND A

ALTERNATIVE BEAM/POST CONNECTION DETAIL 1:10

NOTE: NOT TO BE USED FOR P8, P9 d P10

#### CONSTRUCTION NOTES

- These drawings shall be read in conjunction with all architectural and other consultantal drawings and specifications and with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to the Supervising Officer for decision before proceeding with the work.
  - 2. Otherwises shall not be obtained by scaling the structural drawings.
  - 3. All dimensions shall be verified on site by the Contractor who shall be responsible for their
- 4. The Contractor shall be responsible for maintaining the structure and neighbouring structures in a sale and stable condition during construction. No part shall be over-
- All workmanship and mutantists shall be in accordance with the requirements of the current SAA Codes and the By-Laws and Ordinances of the relevant Government Authority.
- 1. Expedien shall be taken into PIEM HATURAL GROUND POUNDATIONS
- 2. Foundation material shall be approved immediately before placing of concrete.
- 1. All workmenship and restarbits shall be in accordance with AS 3600, current edition with
- 2. Concrete quality: All coment shall be Type A Normal Portland Coment.

Element	Skurre men	Ske Ske min	<b>35</b> ∵	Special Requirements
POOTINGS	80	20	20	•
		:		

Strength shall be verified by plant control teating.

3. Clear concrete cover to reinforcement including that and stimups shall be as follows unless shown otherwise.

	Exposure Classification				
Element	A1 Shaherad lacations	B1 External locations over 1 lies front sollwater sharefine			
ip footings	-	50	50		
lumns & piers	20	40	50		
	20	40	45		
è & Walls	20	40	45		

Note that slake placed over a membrane on ground are included as A1.

- Reinforcement symbols:
  S denotes Grade 230 S het refied defermed her to AS 1302.
  Y denotes Grade 410 Y defermed her to AS 1302.
  R denotes Grade 230 R hot rolled plain her to AS 1302.
  F denotes hard-drawn wire lesienc to AS 1304.
- denotes direction of main bass of rectangular tabric (main bass down for bottom reinforcement), (main bass up for top reinforcement).
- denotes square tabric.
- framecrotries to treite setures -
- All unsupported bars shall be field in transverse direction to
  MESH at unless shown otherwise. L. Reinforcement is represented degrammatically and is not necessarily shown in true pro-
- 7. Splices in reinforcement shall be made only in the positions shown. The written approval
- of the Supervising Officer shall be obtained for any other splices. Where the lap length is not shown it shall be sufficient to develop the full strength of the reinforcement. 8. Welding of reinforcement will not the permitted unless shown on the structural drawings.
- 10. Sab reinforcement shall extend rat least 65 onto messarry support walls unless shown
- 11. Concrete sizes shown are minimum and no reductions by ducts, pipes, etc., shall be made
- without the approval of the Supermising Officer. Sizes do not include thickness of applied
- 12. Beam dopine are written first and linclude stab trickness. 13. Place of condule shall not be placed within the concrete cover to reinforcement without
- the approval of the Supervising Officer, 14. No holes or chases other than those shown up the structural drawings shall be made in
- concrete mamba a without the prior expressed of the Supervising Officer. 15. Construction joints where not shown shall be located to the authorisis of  $g_{\rm eff}$
- 16. The Contractor shall notify the Engineer 24 hours before pouring of concrete,
- Columna, plans and pedesials shall be placed 24 hours (min.) before concrete in slabs or
- 19. Curing of all concrete surfaces alread commence immediately after surfaces are finished as
- BRICK AND CONCRETE BLOCK WASONRY All workmanship and materials shall be in accordance with AS 3700.
- Two layers of approved motal based site joint material shall be bild under all stabs where they bear on brickwork.
- Walls shown on structural drawings are load boaring walls. Non load bearing walls under state shall be separated from the concrete by a minimum of 10mm trick compressible
- 4. No brickwork which is susported by the sigh shall be erected until immwork has been

- PRESIPORCED CONCRETE BLOCK MASCASTY 1. All conscrete memory units shall contains to the measurements of AS 2733.

2. The design strength of concrete reasony shall be:

	(Install	Water Ma		
Elevert	Crista of Units	Cornert Line Send		
		· · · · · · · · · · · · · · · · · · ·		

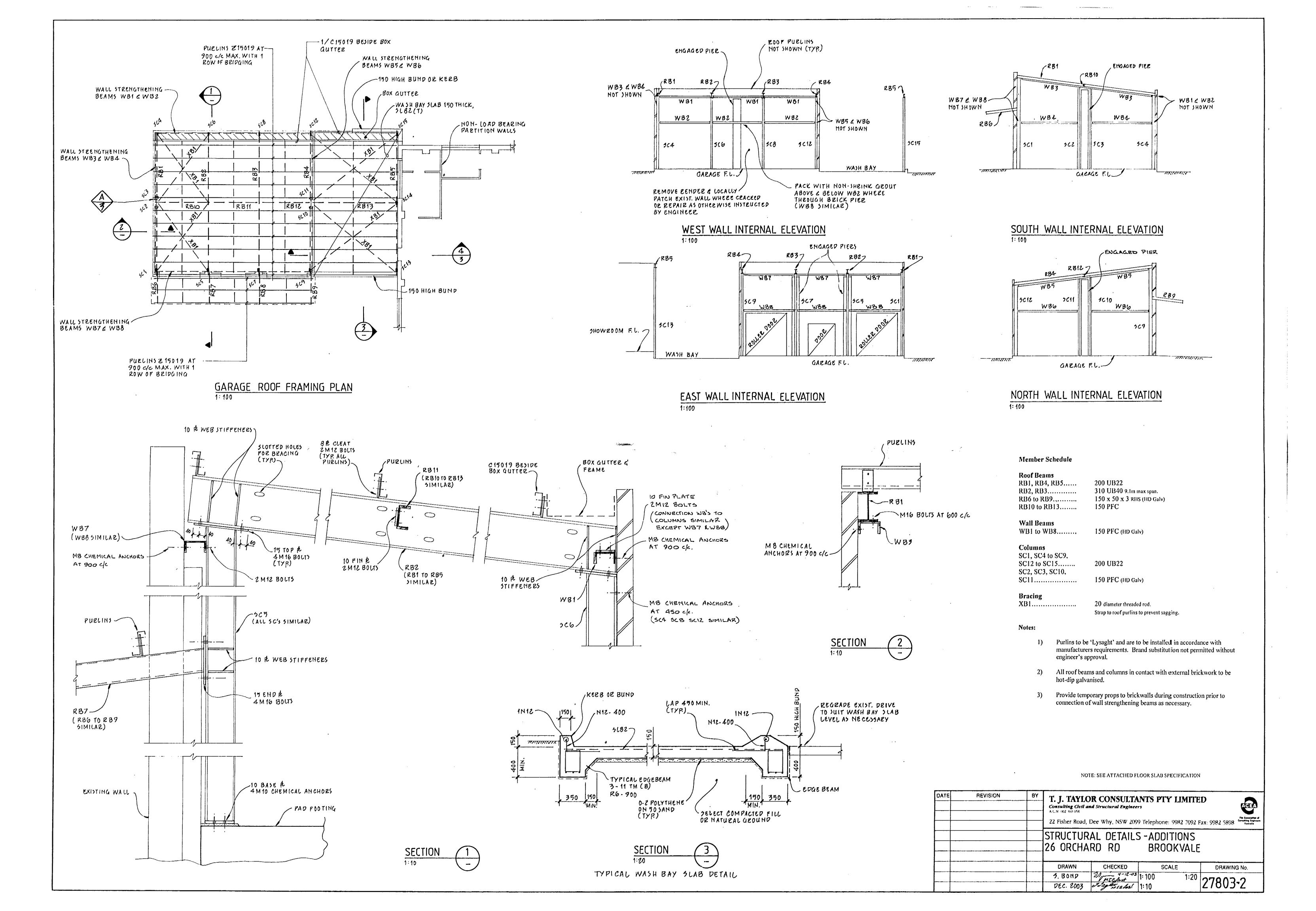
- Wurkmanstie kwoked in placing concrete masonry units shell comply with AS 3700 and all units shell have fully bedded face shells and creativelia.
- Clean out holas shall be provided at the beas of all neinbroad cores. 5. Unless rected offender fire corner of all concrete messary units shall be filled with con-
- create having a characteristic strongsh at 28 days # 'cj of ...... and a stamp of 100 mm to 2001 has when looking placed. The comprote Sting shall be
- Proroughly compacted.
- 6. Maximum size of course appropriate in concrete used to 12 cores shall be 10 mm a heat
- STRUCTURAL STEELWORK
- 1. All weakmenthip and metahalis steal like in acceptance with AS 4100 and AS 1554 accept where varied by the Contract Documents.
- 2. Three (3) copies of all shop details to be substited to the copies in topoloul of sincebud address before by
- 3. All veide shall be 6 continuous little, de limits 20 diameter, all guesses places 10 thick, unless moted otherwise on the drawing.
- Concrete processed also swell has a supposed with 3 men sales at 100 centres and shock hele a minimum 50 cover of concrete.
- Short became and makes with space growth from 3 or child to thinkness with an expression procuration of 1/500 span in each span unless noted differently on the drawings.
- 8. Structural stead work is to be retrobustred to remove had and boose intil scale and cossed with one coal of approved primar unless observate specified.
- 7. All standwork cost into brickwork shall be galve-lased.
- Timber construction to be in accordance with AS 1720 and Timber Framing Code AS
- Timber stress grade to be F7 unless noted officioles.

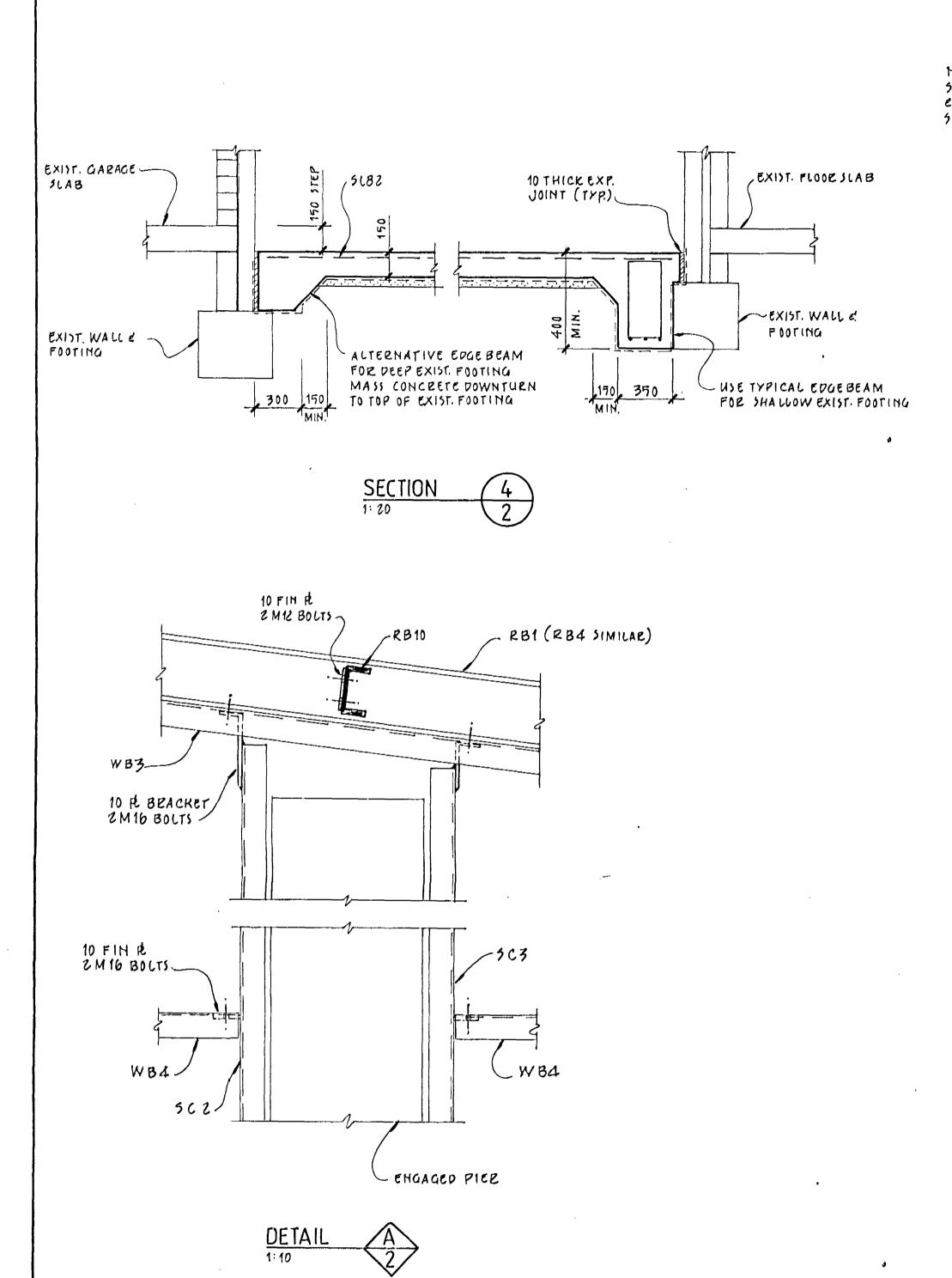
TE	REVISION	BY	T. J. TAYLOR CONSULTANTS PTY LIMITED
			Consuling Civil and Structural Engineers A.C.N. 002 360 054
	7.	<u> </u>	22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898
	,	<del> </del>	STRUCTURAL DETAILS - ADDITIONS

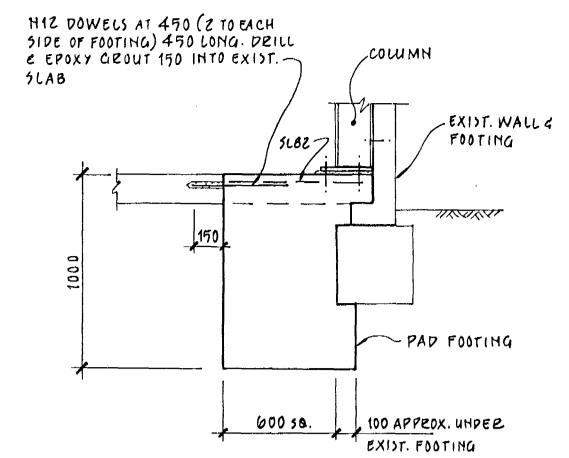
I SENT OUT

ISIKOCIOKAL DEIAILS - AUDITIONS 26 ORCHARD RD BROOKVALE

SCALE CHECKED DRAWING No. 3. BOND PRIE AVOT 1:100 NOV. 2003 0 23 1:10 27803-1



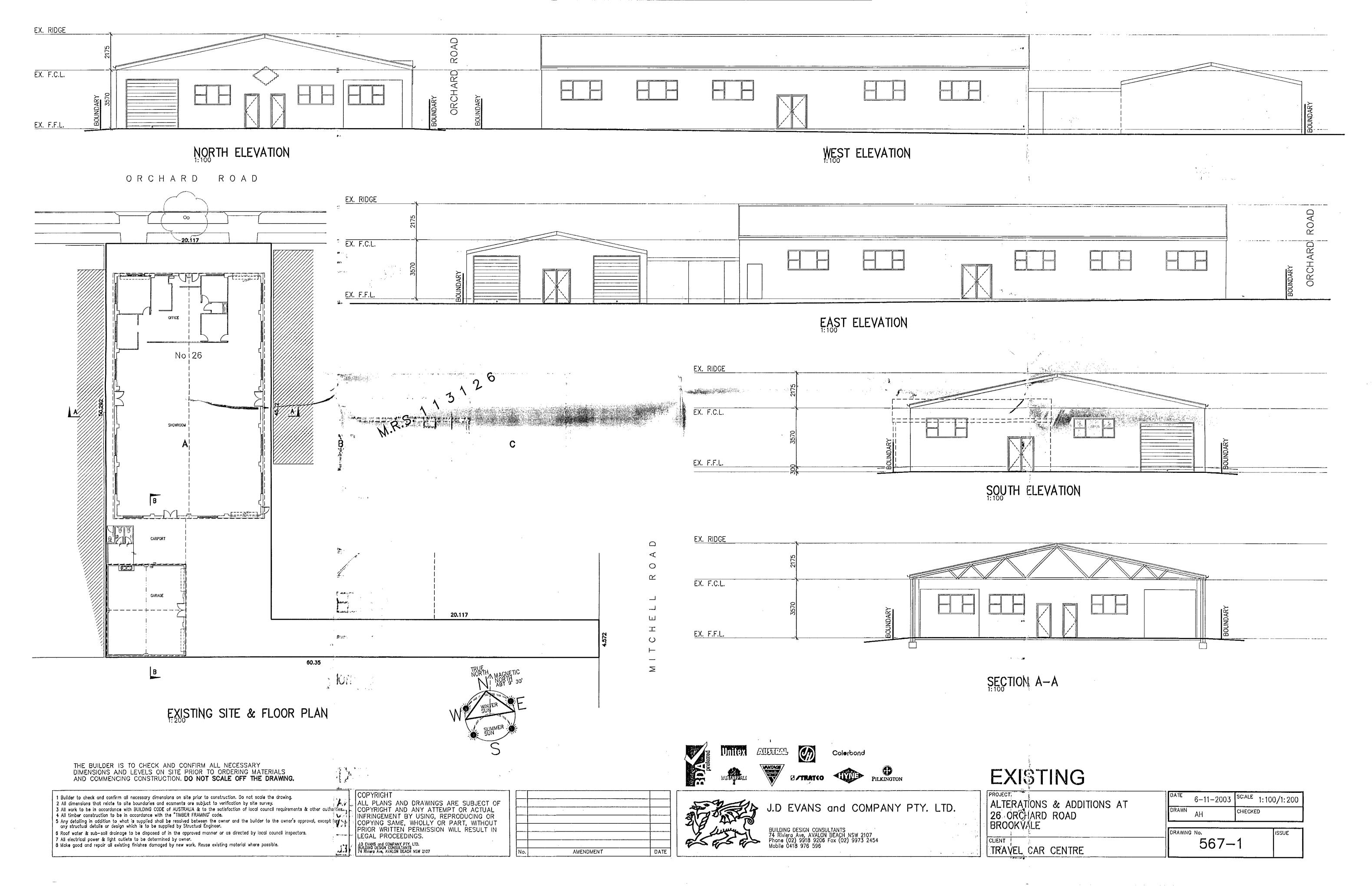


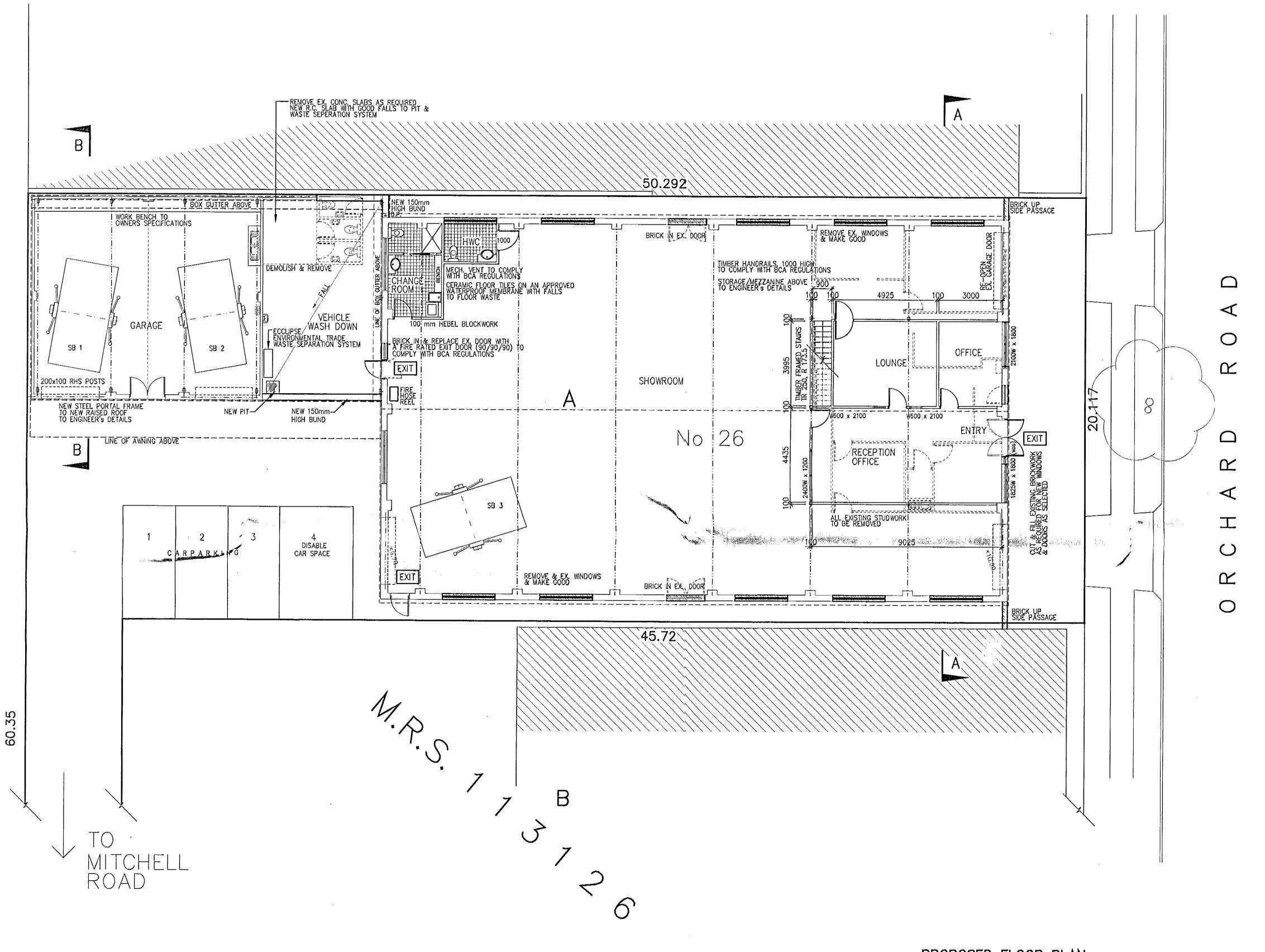


TYPICAL COLUMN PAD FOOTING DETAIL
1: 20

DATE	REVISION	BY		OR CONSULTA	NTS PTY LIMI	TED
			A.C.N. 002 360 054		9 Telephone: 998 <b>2</b> 70	De Association of
					S - ADDITION: BROOKVA	
			DRAWN	CHECKED	SCALE	DRAWING No.
			3. BOND NOV. 2003	MECHIST Chapter	1: 20	27803-3

# EXISTING FLOOR PLAN & ELEVATIONS





PROPOSED FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWNG.

1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing, 2 All dimensions that relate to site boundaries and easments are subject to verification by site survey.
3 All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4 All timber construction to be in accordance with the "TIMBER FRAMING" code.
5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structual details or design which is to be supplied by Structual Engineer.
6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7 All electrical power & light outlets to be determined by owner.

7 All electrical power & light outlets to be determined by owner. 8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

COPYRIGHT ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME, WHOLLY OR PART, WITHOUT PRIOR WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS. J.D EVANS and COMPANY PTY. LTD. BUILDING DESIGN CONSULTANTS 74 Riviers Ave, AVALON BEACH NSW 2107

AMENDMENT DATE

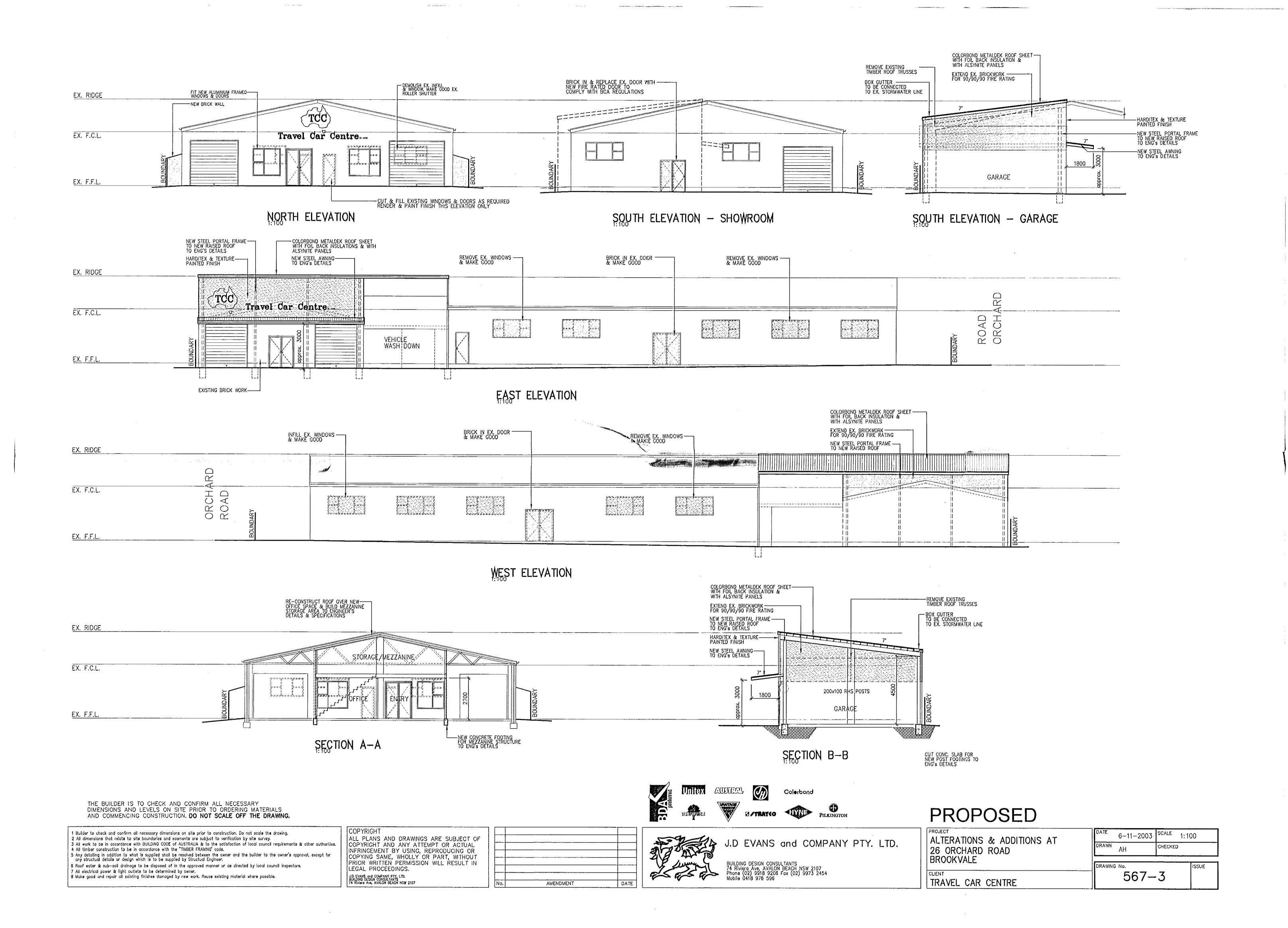


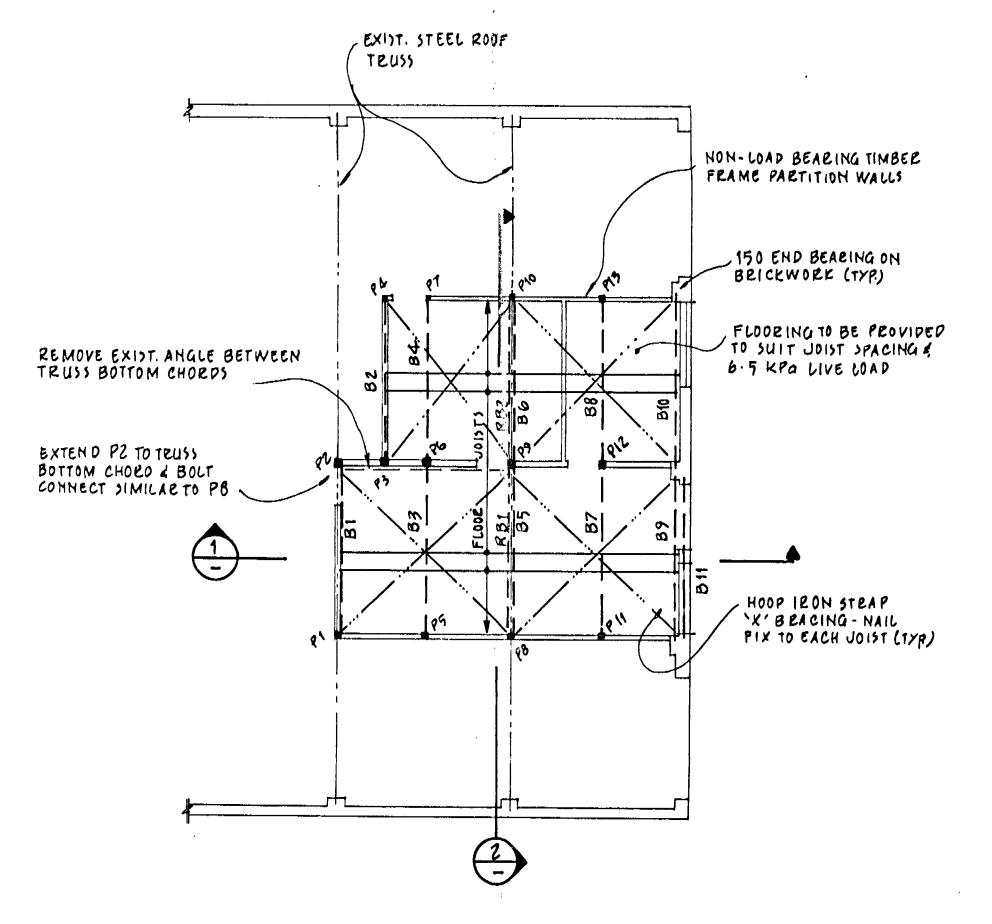
# PROPOSED



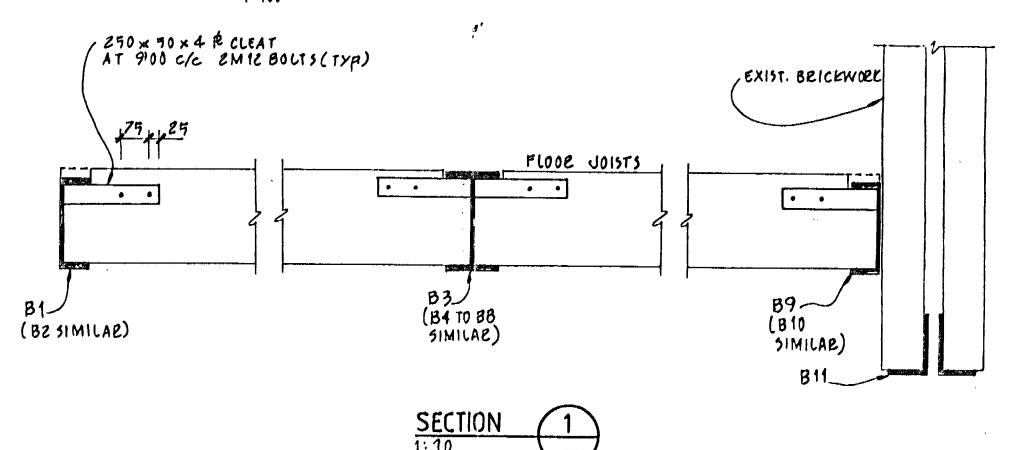
PROJECT	
<b>ALTERATIONS</b>	& ADDITIONS AT
26 ORCHARD BROOKVALE	

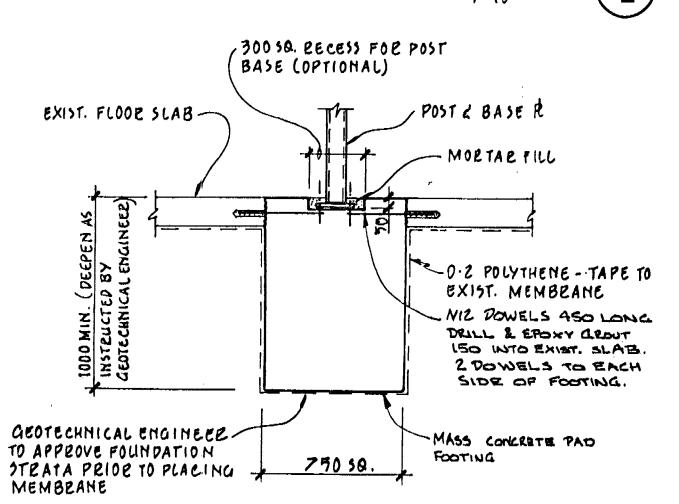
6-11-2003 SCALE 1:100 CHIECKED DRAWING No. 567-2 TRAVEL CAR CENTRE





### STORAGE FLOOR FRAME PLAN





TYPICAL PAD FOOTING DETAIL

#### Member Schedule

Roof Beams

RB1, RB2...... 150 PFC bolted to top chord of existing truss with 1N12 bolt under each purlin.

240 x 45 F7 seasoned @ 450 c/c. 3.0m max span.

Note: Flooring material and thickness to be selected to suit 6.5 kPa live load. Joist spacing may be

reduced to suit flooring material if necessary.

Floor Beams

B1, B2, B9, B10.. 200 PFC 4.6m max span.

250 UB31 4.6m max span.

Note: Location of beams and support poists and footings may be adjusted to suit door opening locations and maximum floor joist span. Location of beam 5 and beam 6 is fixed by existing roof

150 x 100 Galintel in one length to each skin of brickwork. 2.2m max span.

P1 to P7...... 89 x 89 x 3.5 sHs

P11 to P13...... 89 x 89 x 3.5 shs.

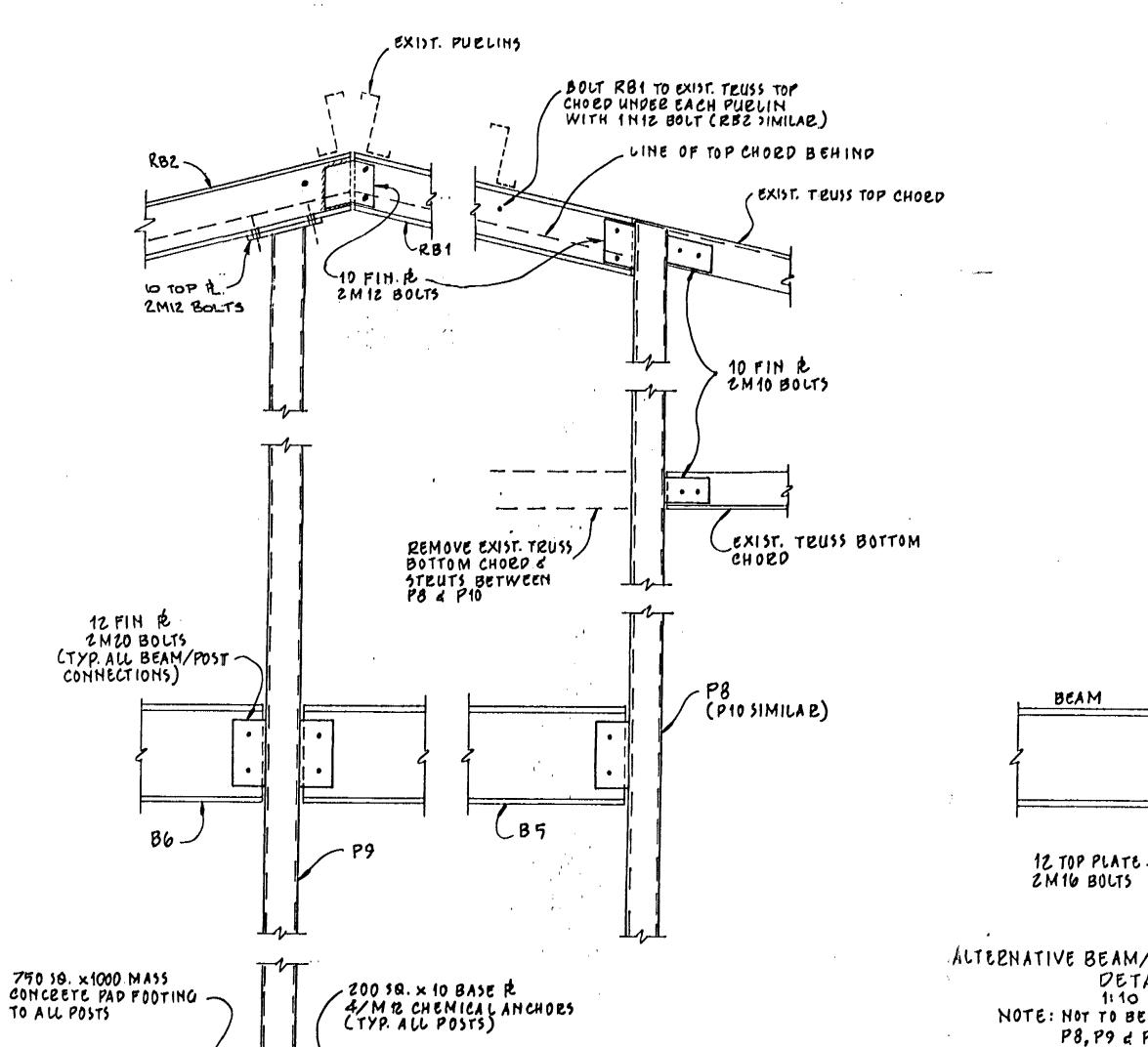
#### Notes:

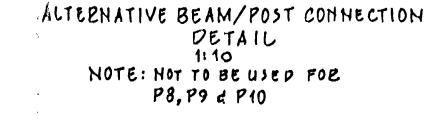
Any site welds to be treated with 'cold gail' paint.

B9 and B10 to be separated from brickwork with Alcore.

Storage floor to be sign posted stating "Maximum Allowable Load = 600kg/m2".

Floor beams and posts to be fire rated to BCA requirements as necessary.





REVISION

BEAM

**CONSTRUCTION NOTES** 

These drawings shall be read in conjunction with all architectural and other consultants' drawings and specifications and with such other witten instructions as may be issued during the course of the centract. All decrepancies shall be referred to the Supervising Officer for decision before proceeding with the work.

Dimensions shall not be obtained by scaling the structural drawings. 3. All dimensions shall be verified on site by the Contractor who shall be responsible for their

4. The Contractor shall be responsible for maintaining the structure and neighbouring

structures in a safe and stable condition during construction. He part shall be over-All verimentally and mutantile shall be in accordance with the requirements of the current SAA Codes and the By-Laws and Ordinances of the relevant Government Authority.

1. Exception shall be taken High PIEM HATURAL GROUND 

Foundation material shall be approved immediately before placing of concrete. CONCRETE

1. All workmanahip and materials shall be in accordance with AS 3600, current edition with Concrete quality:
 All connect shall be Type A Hormal Portland Cornect.

Element	Stump		1'c	Special Requirements
DOTING5	80	20	20	•

Strangth shall be verified by plant control teating.

Clear concrete cover to reinforcement including that and attracts shall be as follows unless:

	Exposure Classification					
Element	A1 Shellered localions	B1 External locations over 1 left from subvator sharoline				
Strip footings	-	50	50			
Columns & plens	20	40	50			
Bourns	20	40	45			
State & Walts	20	40	45			

. Note that state placed over a membrane on ground are included as A1,

- Reinforcement symbols: S denotes Grade 230 S hat rested determent her to AS 1302.
- Y denotes Grade 410 Y defended her to AS 1302. R denotes Grade 230 R hat rolled plain her to AS 1302. denotes hard-drawn who fabric to AS 1304.
- denotes direction of main bars of rectangular fabric (main bars down for
- bottom reinforcement), (mein bare up for top reinforcement). denotes square taixic.

- + denotes extent of reinforcement

6. Reinforcement is represented diagrammatically and is not necessarily shown in true pro-

7. Splices in reinforcement shall be made only in the positions shown. The written approval of the Supervising Officer shall be obtained for any other splices. Where the iap length is not shown it shall be sufficient to develop the full strength of the reinforcement.

8. Welding of reinforcement will not be permitted unless shown on the structural drawings. —4 k— 25 min

10. Sub reinforcement shall extend at least 65 onto mesonry support walls unless shown

11. Concrete sizes shown sere minimum and no reductions by ducts, pipes, etc., shall be made without the approval at life Supervising Officer. Sizes do not include thickness of applied

12. Base depths are written that and include slab trickness.

Pleas or condules shall incl be placed within the concrete cover to reinforcement without the approval of the Supervising Officer.

14. He holds or chases other than those shows on the structural drawings shall be made in

concrete mambers without the prior approval of the Supervising Officer. 15. Construction joints whare not shown shall be located to the approval of the Supervising

16. The Contractor shall notify the Engineer 24 hours before pauling of concrete.

 I'm concrete shall be coompacted using high frequency vitingles. 18. Columna, plans and peddestate shall be placed 24 hours (min.) before concrete in state or

Curing of all concrete sturfaces shall commence immediately after surfaces are finished as specified.

BESCK AND CONCENTE BLOCK MASONITY

1. All workmanship and mestadals shall be in accordance with AS 3700.

2. Two layers of approved motal based slep joint metantal shall be laid under all slabs where they bear on brickwork

Walk shown on structural drawings are load bearing walls. Non load bearing walls under slabe shall be separated from the concrete by a minimum of 10mm thick compressable.

4. No brickwork which is supported by the sleb shall be elected until formwork has been

REPARCED CONCRETE BLOCK MASONARY

1. If concrete messery with shall contains to the naparaments of AS 2733.

	<u> </u>	Morter Ma
Element	Greate of Urita	Correct Lane Send

Workmanship involved in placing concrete mesonry units shall comply with AS 3700 and all units shall have kelly batched face shalls and create wells.

Clean out holes shall be provided at the base of all rainforced cores.

5. United noted offensive the cores of all concrete messany units shall be filled with concrete having a characterizate strength at 28 days # 'c) of ..... and a slame of 180 mm to 230 mm when being placed. The concrete itting shall be horsely concealed

6. Missimum size of coarse (aggregate in concrete used to fill cores shall be 10 mm unless shown offerwise.

STRUCTURAL STEELWORK

1. All workmanethip and metionists shall be in accordance with AS 4100 and AS 1554 except where varied by the Contract Documents. 2. Three (3) copies of all shop distable to be authoritized to the engineer for approval of struc-

tural sufficiency before latinication. 3. All webbs shall be 6 continuous shot, all bolls 20 diameter, all guesset pieces 10 trick,

unless noted otherwise on the drawing. 4. Concrote encased standards shall be wrapped with 3 mm wire at 100 centres and shall

have a minimum 50 cover of concrete.

5. Stad beams and trusces with span greater than 6 m shell be labricated with an upwards

precember of 1/500 spam in each seen unless ruled differently on the drawings. Shuckural stood work is to the windowshad to remove nucl and loose mill scale and costed with one cost of approved primer unless oftennies specified.

7. All steelwork cast into bricelswork shall be generated.

1. Timber construction to bee in acconsiston with AS 1720 and Timber Francing Code AS

Timber stress grade to be F7 unless noted otherwise.

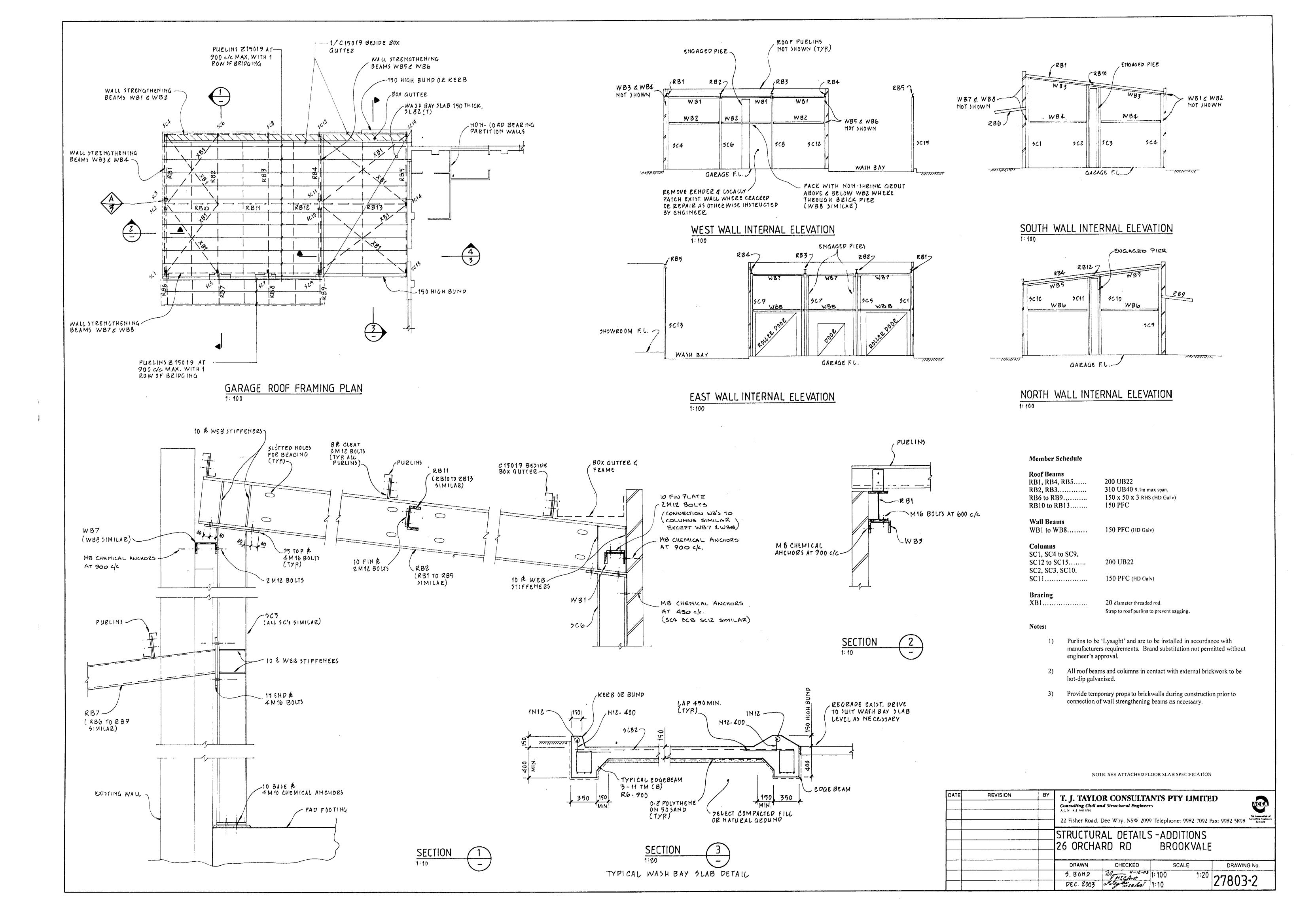
T. J. TAYLOR CONSULTANTS PTY LIMITED Consulting Civil and Structural Engineers A.C.N. (802-360-054 22 Fisher Road, Dee Why, NSW 2099 Telephone: 9982 7092 Fax: 9982 5898 BROOKVALE

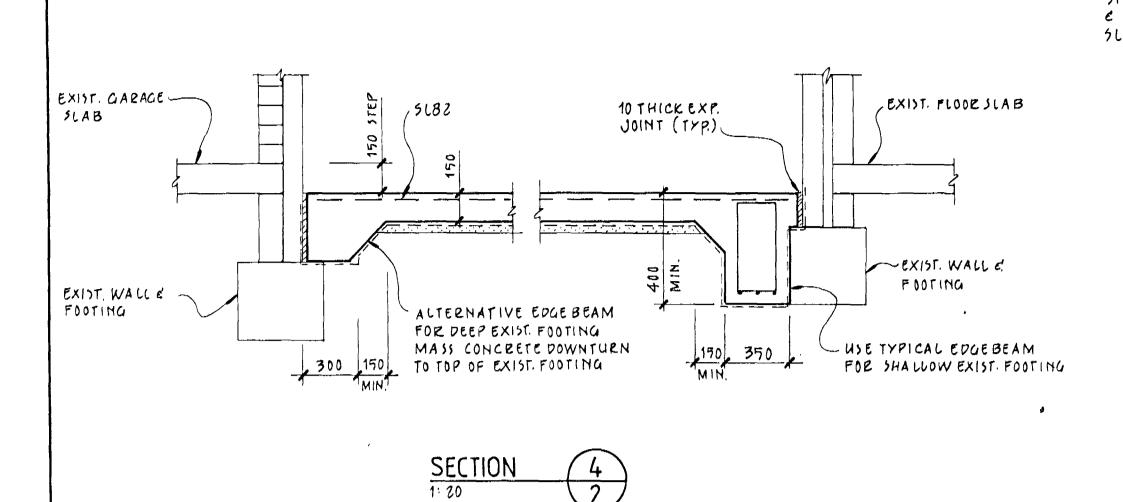
STRUCTURAL DETAILS - ADDITIONS 26 ORCHARD RD

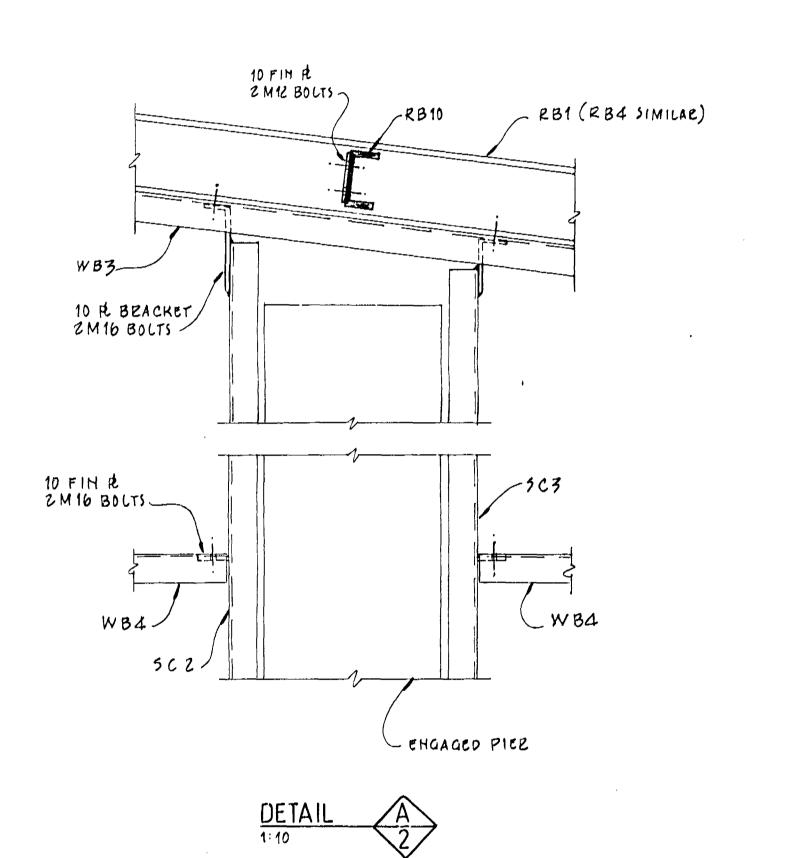
SCALE

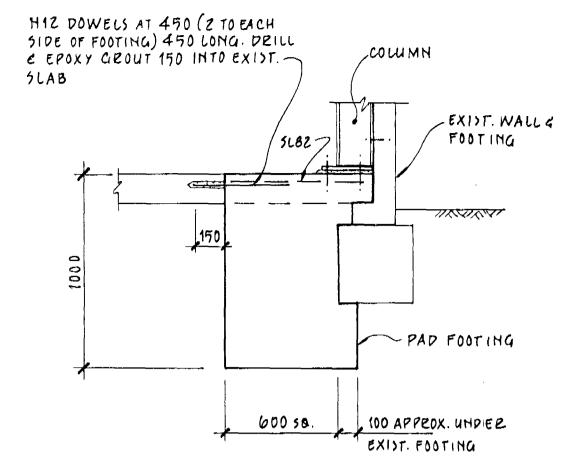
CHECKED DRAWING No. 3. BOND PALE AUST 1:100

NOV. 2003 - 19 PALE AUST 1:10 1:20 27803-1



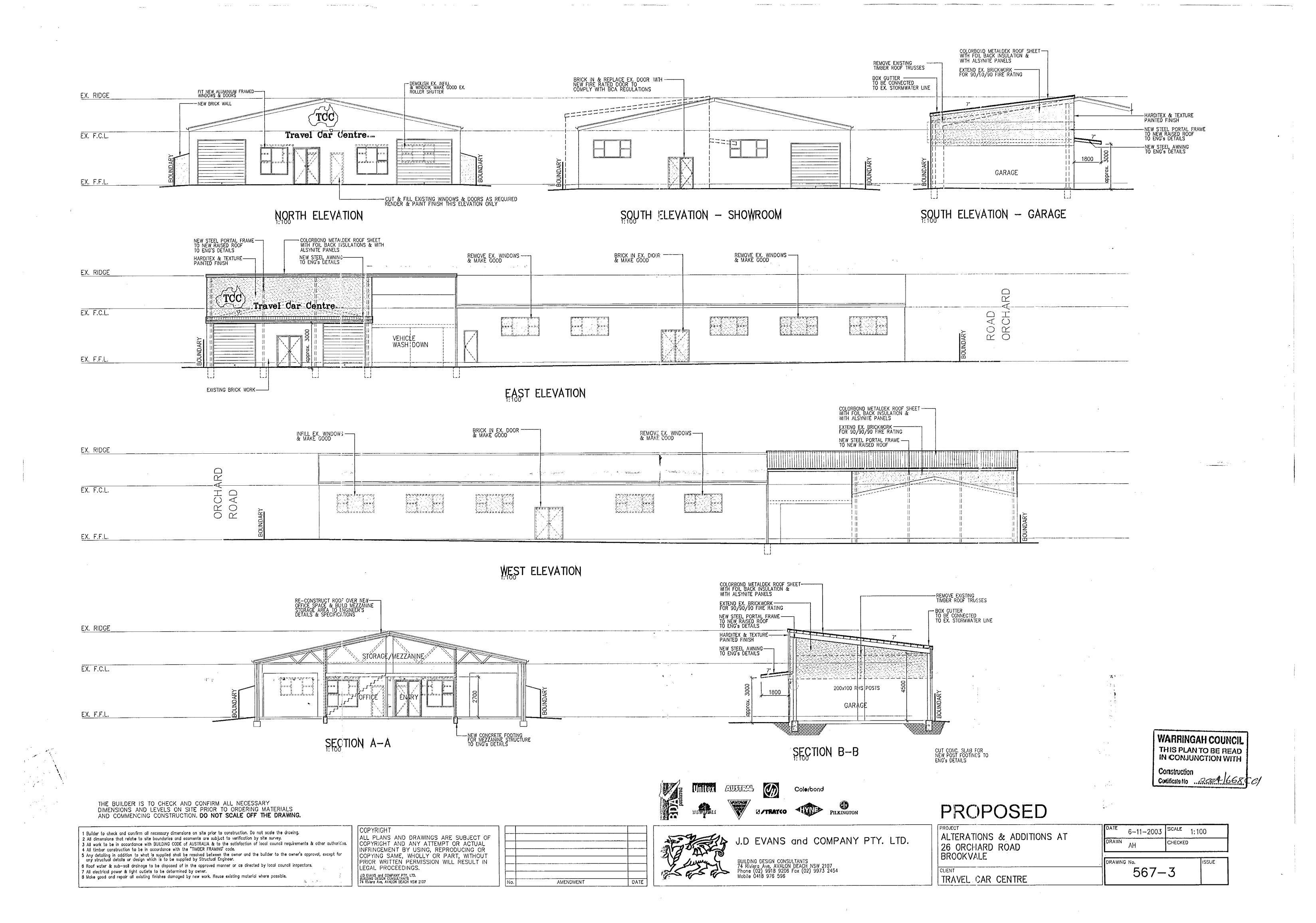


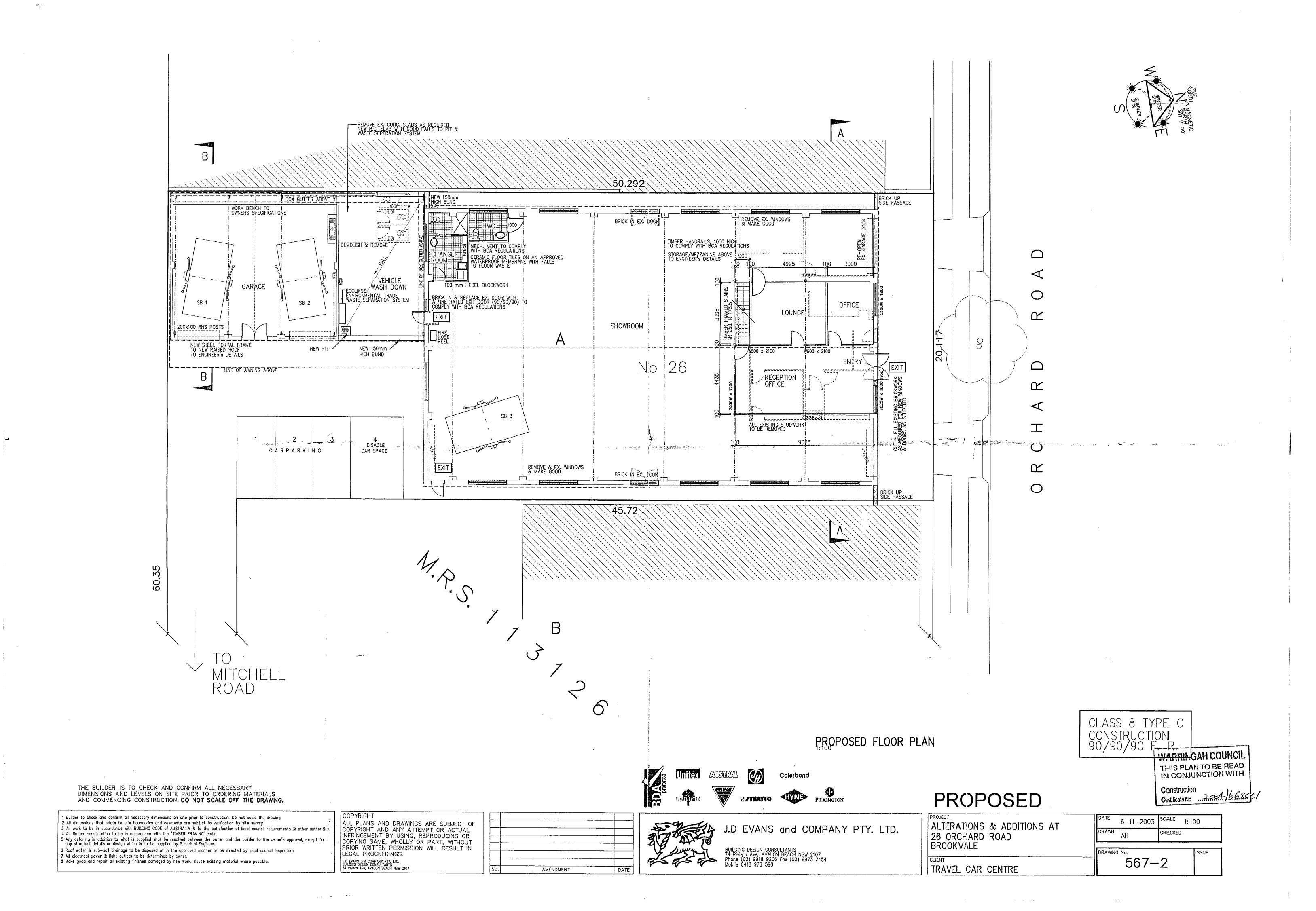




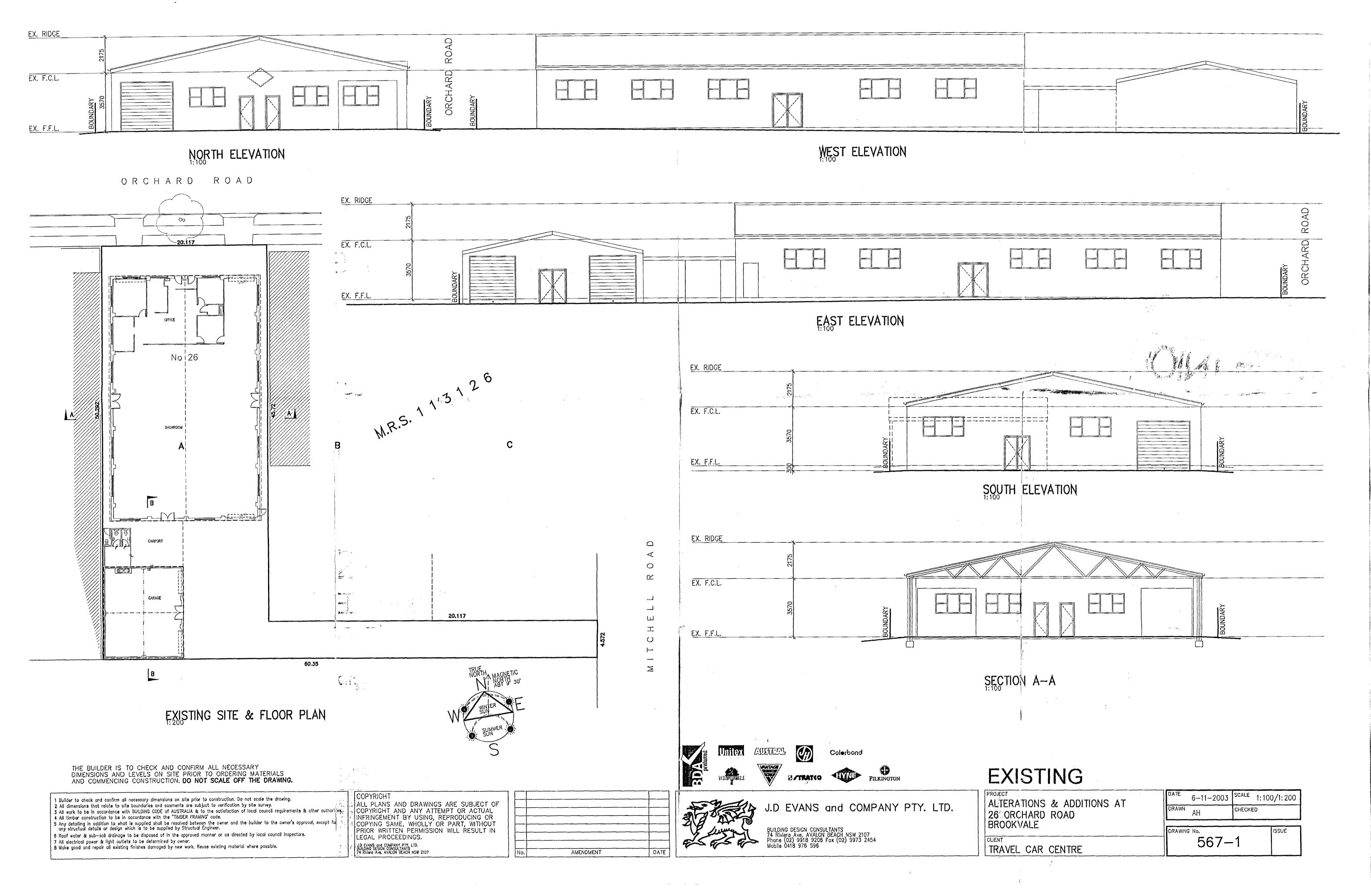
TYPICAL COLUMN PAD FOOTING DETAIL

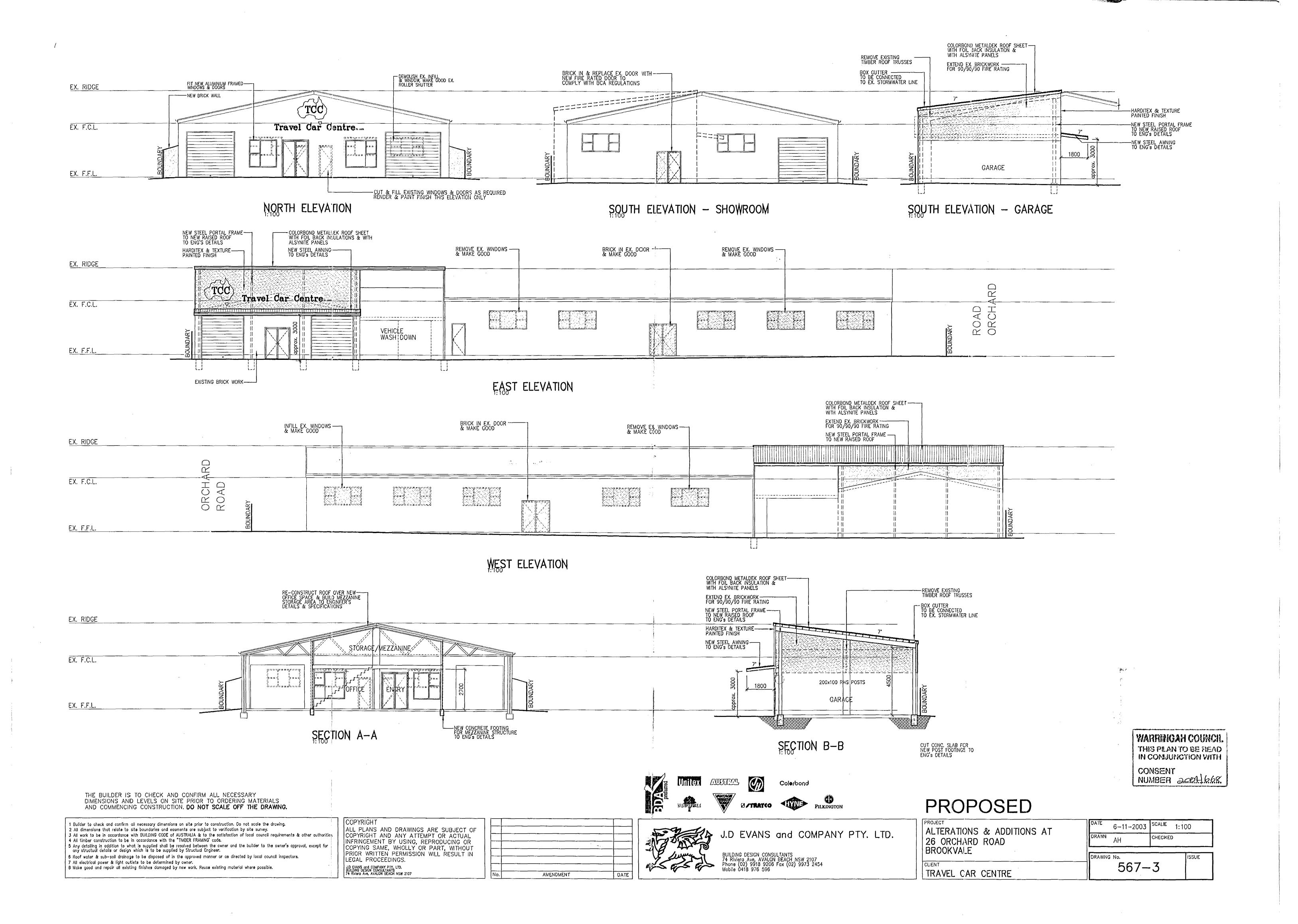
DATE	REVISION	ВҮ	T. J. TAYLOR CONSULTANTS PTY LIMITED  Consulting Civil and Structural Engineers A U. N. 002-460-054					
			22 Fisher Road,	Dee Why, NSW 2099	Telephone: 9982-70	192 Fax: 9982 5898 The Association of Consulting Engineer		
			ĭ	RAL DETAILS ARD RD				
			DRAWN	CHECKED	SCALE	DRAWING No.		
			3. BOND	UNITEAST 1:	20	27002 2		
			NOV. 2003	Naghar Soul 1	10	27803-3		

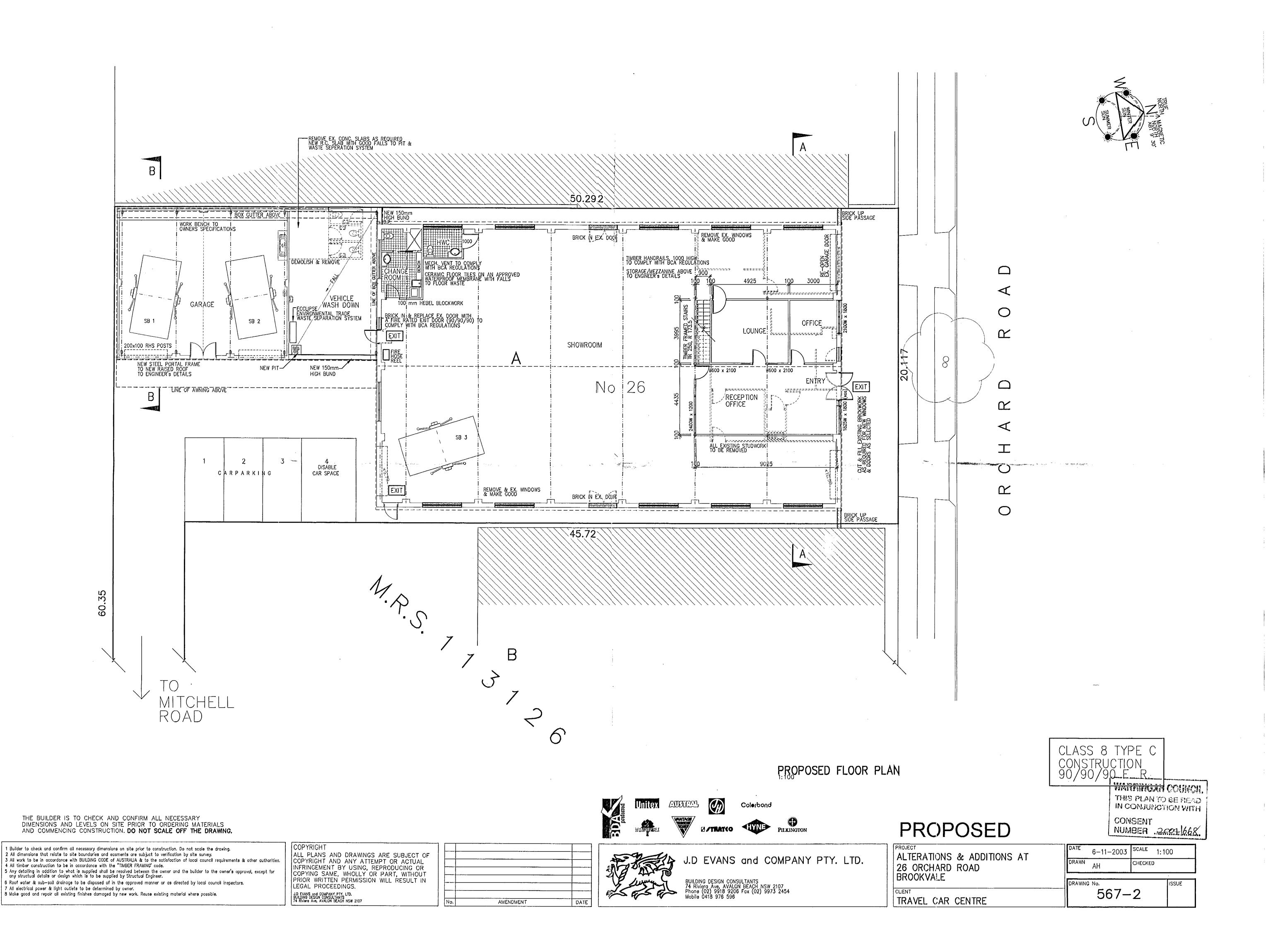




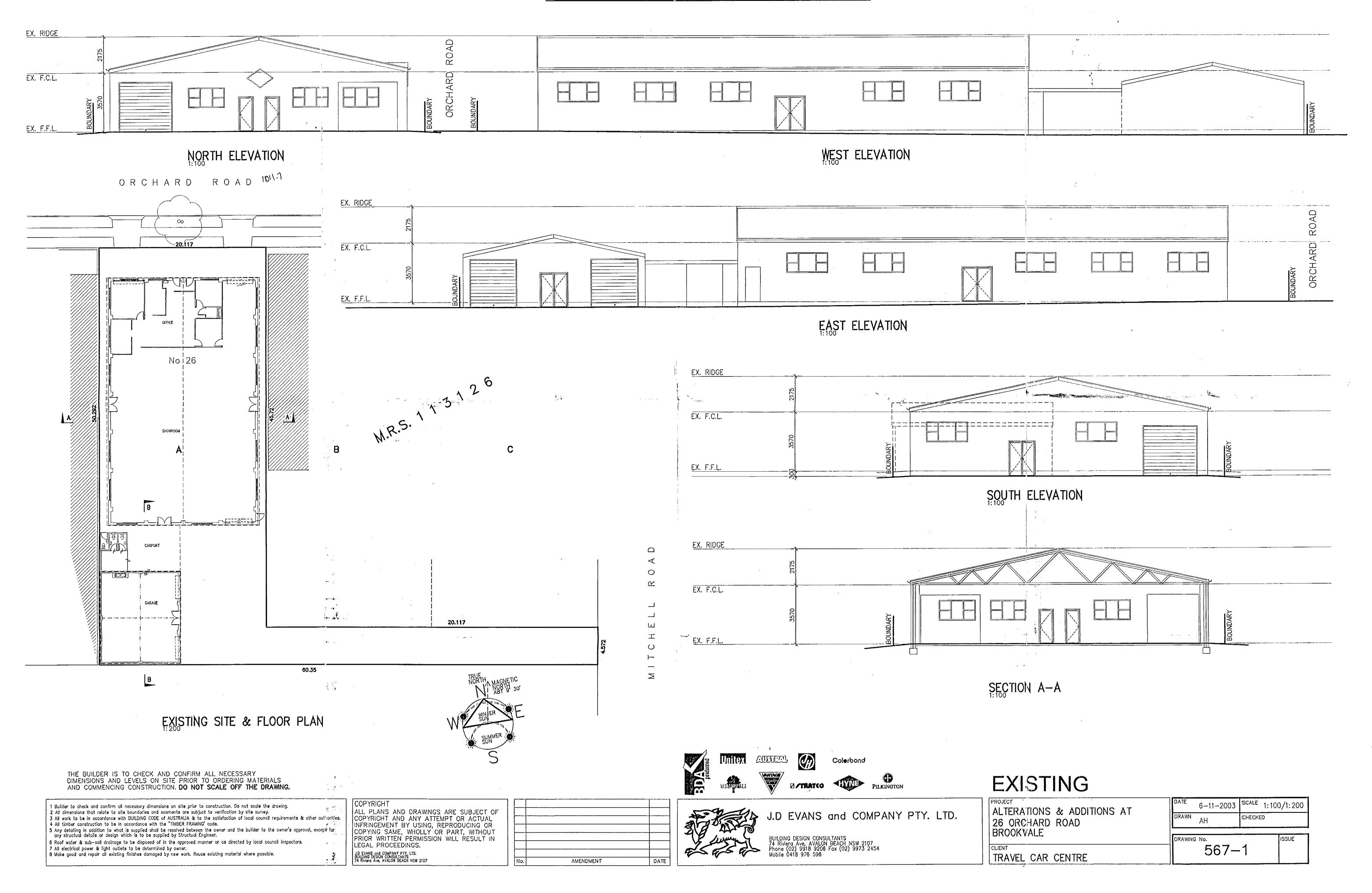
# EXISTING FLOOR PLAN & ELEVATIONS







# EXISTING FLOOR PLAN & ELEVATIONS



Appendix F SafeWork NSW Chemical Storage Information



Locked Bag 2906, Lisarow NSW 2252

Customer Experience 13 10 50

ABN 81 913 830 179 | www.safework.nsw.gov.au

Our Ref: D20/144792

3 July 2020

Ms Michelle Battam
Metech Consulting Pty Ltd
Lev 1, 29 Kiora Rd
MIRANDA NSW 2227

Dear Ms Battam

#### RE SITE: 26 Orchard Rd, Brookvale NSW 2100

I refer to your site search request received by SafeWork NSW on 24 June 2020 requesting information on Storage of Hazardous Chemicals for the above site.

A search of the records held by SafeWork NSW has not located any records pertaining to the above-mentioned premises.

For further information or if you have any questions, please call us on 13 10 50 or email <a href="mailto:licensing@safework.nsw.gov.auw">licensing@safework.nsw.gov.auw</a>

Yours sincerely

**Customer Service Officer** 

**Customer Experience - Operations** 

SafeWork NSW

EFTPOS FROM WESTPAC SAFEWORK NSW 92 TO 100 DONNISON STRE GOSFORD 2250 Australia

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RRN 200824054873
Mastercard(M) CR
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AUTH 001671

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Appendix G Laboratory Reports



A.B.N. 44 000 964 278 10 / 585 Blackburn Road Notting Hill, Vic, 3168 Telephone: (03) 9574 3200

A.B.N. 44 000 964 278

#### Sample Receipt Acknowledgement

То:	Melissa C. Moyce	From:	Sample Reception
Fax:		Pages:	(1) including this page
Co:	Metech Consulting	Date:	22/07/2020
Email	mmoyce@metech.consulting	Ref:	M202256

SGS has received your samples from the project listed below. If you have any enquiries please contact us quoting our reference number.

Project/Reference No.: EP143

Our Reference Number: M202256

Date Received: 21-Jul-2020

Estimated date of report: 29-Jul-2020

#### **Additional Information:**

Samples received after 4 pm are considered as received on the next working day for turnaround purposes. Samples with a 24hr or 48hr TAT are considered as received on the next working day if received after 2:30pm. Surcharges for urgent turnaround requests may apply.

All analytical work is conducted at our Melbourne office.

Sample Storage - All aqu

- All aqueous samples are stored for **two weeks** after reporting.
- All soils and other samples are stored for **one month** after reporting.

Please direct any technical or turnaround queries to Adam Atkinson at our Melbourne office.



#### **SGS**

#### **Specialist Laboratory Services**

To the extent not inconsistent with the other provisions of this document and unless specifically agreed otherwise in writing by SGS, all SGS services are rendered in accordance with the applicable SGS General Conditions of Service accessible at http://www.sgs.com/en/Terms-and-Conditions/G eneral-Conditions-of-Services-English.asox as at the date of this document.

Attention is drawn to the limitations of liability and to the clauses of indemnification

Website: www.sgs.com.au

 $\textbf{Email:} \ AU. Sample Receipt. Melbourne@sgs.com$ 



A.B.N. 44 000 964 278 10 / 585 Blackburn Road Notting Hill, Vic, 3168 Telephone: (03) 9574 3200

Chartered Chemists REPORT NUMBER: M202256

29-Jul-2020 Site/Client Ref: EP143

Order No: EP143

**Metech Consulting** 

PO Box 1184 Sutherland NSW 1499

Attention: Melissa C. Moyce

#### **CERTIFICATE OF ANALYSIS**

**SAMPLES:** Five samples were received for analysis

DATE RECEIVED: 21-Jul-2020

DATE COMMENCED: 21-Jul-2020

**METHODS:** See Attached Results

**RESULTS:** Please refer to attached pages for results.

Note: Results are based on samples as received at SGS laboratories

**REPORTED BY:** 

**Adam Atkinson** 

Australian Chemistry Manager



NATA Accredited Laboratory Number: 2562 Corporate Site Number: 14420 Accredited for compliance with ISO/IEC 17025 - Testing.



Report N°: M202256

#### **ANALYTICAL RESULTS**

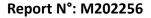
Test Started: 23/07/2020

Matrix: Canister

Method: TO-15.04 Receipt Vacuum / Pressure

Units as Listed - ^^ Vacuum reported as inches of Mercury below standard atmospheric pressure

	Leeder ID Client ID	2020033426 SV1 SC1036	2020033427 SV2 SC1024	2020033428 SV3 SC1067	2020033429 QA1 SC1121	2020033430 SV4 SC1065
Analyte Name	Sampled Date PQL	17/07/2020	17/07/2020	17/07/2020	17/07/2020	17/07/2020
Receipt Pressure (PSIA)		14.6	12.6	11.7	12.0	13.2
Receipt Vacuum (inch Hg) ^^		NV	4.08	5.92	5.30	2.86



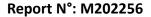


Test Started: 23/07/2020

Matrix: Canister

Method: TO-15.02 Volatile Organics (w/v)

	Leeder ID	2020033426	2020033427	2020033428	2020033429	2020033430
	Client ID	SV1	SV2	SV3	QA1	SV4
		SC1036	SC1024	SC1067	SC1121	SC1065
Analyte Name	Sampled Date	17/07/2020	17/07/2020	17/07/2020	17/07/2020	17/07/2020
	PQL					
Acrolein		<3.3	<3.4	<3.6	<3.5	<3.2
Acrylonitrile		<8.4	<8.9	<9.3	<9.1	<8.3
tert-Amyl Methyl Ether		<2.8	<3	<3.1	<3	<2.8
Benzene		<2.3	6.1	<2.6	<2.5	6.8
Bromodichloromethane		<4.7	<4.9	<5.2	<5	<4.6
Bromoform		<5.6	<5.9	<6.2	<6	<5.5
Bromomethane		<4.2	<4.4	<4.6	<4.5	<4.2
1,3-Butadiene		<1.4	<1.5	<1.5	<1.5	<1.4
2-Butanone (Methyl Ethyl Ketone)		10	7.2	3.8	3.4	20
tert-Butyl Alcohol		<2.3	<2.5	<2.6	<2.5	<2.3
n-Butylbenzene		<3.7	<3.9	<4.1	<4	<3.7
sec-Butylbenzene		<3.7	<3.9	<4.1	<4	<3.7
tert-Butylbenzene		<3.7	<3.9	<4.1	<4	<3.7
Carbon Tetrachloride		<4.7	<4.9	<5.2	<5	<4.6
Chlorobenzene		<2.8	<3	<3.1	<3	<2.8
Chloroethane		<2.8	<3	<3.1	<3	<2.8
Chloroform		<4.2	<4.4	<4.6	<4.5	<4.2
Chloromethane		<3.3	<3.4	<3.6	<3.5	<3.2
2-Chloroprene		<5.1	<5.4	<5.7	<5.5	<5.1
3-Chloropropene		<3.3	<3.4	<3.6	<3.5	<3.2
2-Chlorotoluene		<4.2	<4.4	<4.6	<4.5	<4.2
alpha-Chlorotoluene		<3.3	<3.4	<3.6	<3.5	<3.2
Cumene		<3.7	5.4	<4.1	<4	<3.7
Cyclohexane		17	58	24	15	60
o-Cymene		<3.7	<3.9	<4.1	<4	<3.7
Dibromochloromethane		<5.6	<5.9	<6.2	<6	<5.5
1,2-Dibromoethane (EDB)		<5.6	<5.9	<6.2	<6	<5.5
1,2-Dichlorobenzene		<6.1	<6.4	<6.7	<6.5	<6
1,3-Dichlorobenzene		<6.1	<6.4	<6.7	<6.5	<6
1,4-Dichlorobenzene		<6.1	<6.4	<6.7	<6.5	<6
1,1-Dichloroethane		<3.3	<3.4	<3.6	<3.5	<3.2
1,2-Dichloroethane		<4.7	<4.9	<5.2	<5	<4.6
1,1-Dichloroethene		<2.8	<3	<3.1	<3	<2.8
cis-1,2-Dichloroethene		<3.7	<3.9	<4.1	<4	<3.7
trans-1,2-Dichloroethene		<2.8	<3	<3.1	<3	<2.8
1,2-Dichloropropane		<8.4	<8.9	<9.3	<9.1	<8.3
cis-1,3-Dichloropropene		<2.8	<3	<3.1	<3	<2.8
trans-1,3-Dichloropropene		<3.3	<3.4	<3.6	<3.5	<3.2
Diisopropyl Ether		<3.3	<3.4	<3.6	<3.5	<3.2
1,4-Dioxane		22	94	<3.1	<3	<2.8





Test Started: 23/07/2020

**Matrix: Canister** 

Method: TO-15.02 Volatile Organics (w/v)

Leeder ID		2020033426	2020033427	2020033428	2020033429	2020033430
	Client ID	SV1 SC1036	SV2 SC1024	SV3 SC1067	QA1 SC1121	SV4 SC1065
Analyte Name	Sampled Date	17/07/2020	17/07/2020	17/07/2020	17/07/2020	17/07/2020
	PQL					
Ethyl Acetate		<3.7	<3.9	<4.1	<4	<3.7
Ethyl Benzene		13	24	24	16	23
Ethyl tert-Butyl Ether		<2.3	<2.5	<2.6	<2.5	<2.3
4-Ethyltoluene		4.4	7.0	5.8	4.2	4.2
Freon 11		<1.4	<1.5	4.2	3.9	<1.4
Freon 113		<4.7	<4.9	<5.2	<5	<4.6
Freon 114		<1.4	<1.5	<1.5	<1.5	<1.4
Freon 12		2.7	2.6	8.3	8.0	2.7
Heptane		9.4	130	27	20	39
Hexachlorobutadiene		<9.3	<9.8	<10	<10	<9.2
Hexane		6.1	86	21	13	52
2-Hexanone		<2.8	<3	<3.1	<3	<2.8
m,p-Xylene		29	57	53	35	47
Methyl Methacrylate		<3.3	<3.4	<3.6	<3.5	<3.2
Methyl tert-butyl ether		<2.8	<3	<3.1	<3	<2.8
4-Methyl-2-pentanone		5.4	4.7	<3.1	<3	<2.8
Naphthalene		<9.8	<10	<11	<11	<9.7
2-Propanol		110	65	110	330	120
Propene		<4.7	<4.9	<5.2	<5	<4.6
Propylbenzene		4.4	7.9	5.1	3.9	3.7
Styrene		<2.8	<3	<3.1	<3	<2.8
1,1,1,2-Tetrachloroethane		<4.7	<4.9	<5.2	<5	<4.6
1,1,2,2-Tetrachloroethane		<3.3	<3.4	<3.6	<3.5	<3.2
Tetrachloroethene		<5.1	<5.4	<5.7	<5.5	<5.1
Tetrahydrofuran		<1.9	<2	<2.1	<2	<1.8
Toluene		18	26	24	16	38
1,2,4-Trichlorobenzene		<17	<18	<19	<18	<17
1,1,1-Trichloroethane		4.0	16	<4.1	<4	<3.7
1,1,2-Trichloroethane		<3.7	<3.9	<4.1	<4	<3.7
Trichloroethene		<4.2	<4.4	<4.6	<4.5	<4.2
1,2,4-Trimethylbenzene		45	57	40	29	45
1,3,5-Trimethylbenzene		12	17	9.8	6.8	10
2,2,4-Trimethylpentane		<4.2	<4.4	<4.6	<4.5	<4.2
Vinyl Acetate		<3.3	<3.4	<3.6	<3.5	<3.2
Vinyl Bromide		<3.7	<3.9	<4.1	<4	<3.7
Vinyl Chloride		<1.9	<2	<2.1	<2	<1.8
o-Xylene		13	25	22	15	21



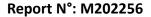


Test Started: 23/07/2020

Matrix: Canister

Method: TO-15.02 Volatile Organics (w/v)

	Leeder ID	2020033431	2020033432
	Client ID	SV1 SC1036	Method
Analyte Name	Sampled Date		
	PQL	Duplicate	Blank
Acrolein		<3.3	<1.4
Acrylonitrile		<8.4	<3.6
tert-Amyl Methyl Ether		<2.8	<1.2
Benzene		<2.3	<1
Bromodichloromethane		<4.7	<2
Bromoform		<5.6	<2.4
Bromomethane		<4.2	<1.8
1,3-Butadiene		<1.4	<0.6
2-Butanone (Methyl Ethyl Ketone)		11	<0.6
tert-Butyl Alcohol		<2.3	<1
n-Butylbenzene		<3.7	<1.6
sec-Butylbenzene		<3.7	<1.6
tert-Butylbenzene		<3.7	<1.6
Carbon Tetrachloride		<4.7	<2
Chlorobenzene		<2.8	<1.2
Chloroethane		<2.8	<1.2
Chloroform		<4.2	<1.8
Chloromethane		<3.3	<1.4
2-Chloroprene		<5.1	<2.2
3-Chloropropene		<3.3	<1.4
2-Chlorotoluene		<4.2	<1.8
alpha-Chlorotoluene		<3.3	<1.4
Cumene		<3.7	<1.6
Cyclohexane		16	<0.8
o-Cymene		<3.7	<1.6
Dibromochloromethane		<5.6	<2.4
1,2-Dibromoethane (EDB)		<5.6	<2.4
1,2-Dichlorobenzene		<6.1	<2.6
1,3-Dichlorobenzene		<6.1	<2.6
1,4-Dichlorobenzene		<6.1	<2.6
1,1-Dichloroethane		<3.3	<1.4
1,2-Dichloroethane		<4.7	<2
1,1-Dichloroethene		<2.8	<1.2
cis-1,2-Dichloroethene		<3.7	<1.6
trans-1,2-Dichloroethene		<2.8	<1.2
1,2-Dichloropropane		<8.4	<3.6
cis-1,3-Dichloropropene		<2.8	<1.2
trans-1,3-Dichloropropene		<3.3	<1.4
Diisopropyl Ether		<3.3	<1.4
1,4-Dioxane		21	<1.2





Test Started: 23/07/2020

Matrix: Canister

Method: TO-15.02 Volatile Organics (w/v)

	Leeder ID	2020033431	2020033432
	Client ID	SV1	Method
		SC1036	
Analyte Name	Sampled Date		
	PQL	Duplicate	Blank
Ethyl Acetate		<3.7	<1.6
Ethyl Benzene		13	<1.2
Ethyl tert-Butyl Ether		<2.3	<1
4-Ethyltoluene		5.1	<0.8
Freon 11		1.4	<0.6
Freon 113		<4.7	<2
Freon 114		<1.4	<0.6
Freon 12		2.6	<0.8
Heptane		9.7	<1.4
Hexachlorobutadiene		<9.3	<4
Hexane		5.9	<1.2
2-Hexanone		<2.8	<1.2
m,p-Xylene		29	<2.6
Methyl Methacrylate		<3.3	<1.4
Methyl tert-butyl ether		<2.8	<1.2
4-Methyl-2-pentanone		5.5	<1.2
Naphthalene		<9.8	<4.2
2-Propanol		110	<20
Propene		<4.7	<2
Propylbenzene		4.3	<0.6
Styrene		<2.8	<1.2
1,1,1,2-Tetrachloroethane		<4.7	<2
1,1,2,2-Tetrachloroethane		<3.3	<1.4
Tetrachloroethene		<5.1	<2.2
Tetrahydrofuran		<1.9	<0.8
Toluene		18	<1.2
1,2,4-Trichlorobenzene		<17	<7.2
1,1,1-Trichloroethane		3.8	<1.6
1,1,2-Trichloroethane		<3.7	<1.6
Trichloroethene		<4.2	<1.8
1,2,4-Trimethylbenzene		44	<1.6
1,3,5-Trimethylbenzene		12	<1.2
2,2,4-Trimethylpentane		<4.2	<1.8
Vinyl Acetate		<3.3	<1.4
Vinyl Bromide		<3.7	<1.6
Vinyl Chloride		<1.9	<0.8
o-Xylene		13	<1.2



Report N°: M202256

#### **ANALYTICAL RESULTS**

Test Started: 23/07/2020

Test Started: 23/07/2020

Matrix: Canister Method: TO-15 TPH.03

Sample units are expressed in mg/m³

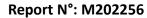
	Leeder ID Client ID	2020033426 SV1 SC1036	2020033427 SV2 SC1024	2020033428 SV3 SC1067	2020033429 QA1 SC1121	2020033430 SV4 SC1065
Analyte Name	Sampled Date PQL	17/07/2020	17/07/2020	17/07/2020	17/07/2020	17/07/2020
C6-C10		0.51	2.3	0.82	0.66	0.84
C6-C10 (less BTEX)		0.43	2.2	0.69	0.58	0.71
>C10-C12		0.19	0.18	<0.1	<0.11	0.15
>C10-C12 (less Naphthalene)		0.19	0.18	<0.1	<0.1	0.14

**Matrix: Canister** 

Method: TO-15 TPH.03

Sample units are expressed in mg/m<sup>3</sup>

	Leeder ID	2020033431	2020033432
	Client ID	SV1 SC1036	Method
Analyte Name	Sampled Date		
	PQL	Duplicate	Blank
C6-C10		0.57	<0.04
C6-C10 (less BTEX)		0.50	<0.04
>C10-C12		0.19	<0.04
>C10-C12 (less Naphthalene)		0.19	<0.04





#### **QA/QC RESULTS**

Test Started: 23/07/2020

**Matrix: Canister** 

Method: TO-15.02 Volatile Organics (w/v)

Quality Control Results are expressed in Percent Recovery of expected result

	Leeder ID Client ID	2020033433 Method
Analyte Name	Sampled Date	
	PQL	Spike
Benzene		94
1,3-Butadiene		94
Chloroform		94
1,2-Dichloroethane		94

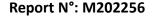
**Matrix: Canister** 

Method: TO-15.02 Volatile Organics (w/v)

Quality Control Results are expressed in Percent Recovery of expected result

Test Started: 23/07/2020

	Leeder ID	2020033433
	Client ID	Method
Analyte Name	Sampled Date	
	PQL	Spike
Tetrachloroethene		94
Trichloroethene		93
Vinyl Chloride		97





#### QUALIFIERS / NOTES FOR REPORTED RESULTS

PQL	Practical Quantitation Limit
nd	Not Detected – The analyte was not detected above the reported PQL.
is	Insufficient Sample to perform this analysis.
Т	Tentative identification based on computer library search of mass spectra.
NC	Not calculated and/or Results below PQL
NV	No Vacuum, Canister received above standard atmospheric pressure
nr	Not Requested for analysis.
R	Rejected Result – results for this analysis failed QC checks.
SQ	Semi-Quantitative result – quantitation based on a generic response factor for this class of analyte.
IM	Inappropriate method of analysis for this compound
U	Unable to provide Quality Control data – high levels of compounds in sample interfered with analysis of QC results.
UF	Unable to provide Quality Control data- Surrogates failed QC checks due to sample matrix effects
L	Analyte detected at a level above the linear response of calibration curve.
E	Estimated result. NATA accreditation does not cover estimated results.
C1	These compounds co-elute.
	Parameter Not Determined
СТ	Elevated concentration. Results reported from carbon tube analysis
**	Sample shows non-petroleum hydrocarbon profile

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#### **APPENDIX ONE.**

CHAIN OF CUSTODY DOCUMENT



# TO-15 Canister Chain of Custody Record Dispatch samples to: Unit 10/585 Blackburn Road, Notting Hill, Victoria 3168, Australia

Attn: Sample Reception - Contact Ph: +613 9574 3311 Email: au.samplereceipt.melbourne@sgs.com

Analysis Requested Q. NEPH WHOCHBON PAGE 81-01 Canister Pressure/Vacuum 2 15 Inital 30 18 30 5 17:53 10:30 50.6 36 Time Off Collection Time 5 0220070901. Rev 1.MD Notes: 12:39 Time on 17:43 36 10:18 11:23 EMAIL ADDRESS: mbotton @ onetect. consulting mmayce @ metech.consulting 17/7/20 7/7/20 717120 01/1/1 Collection Date of PURCHASE ORDER NUMBER: EP143 D. Sander N.S.d. 22/7/20 8:50an-restanived de NSU/21/1/20 9:10em - Only Sci065 Carbon Tube Sample Volume RESULTS REQUIRED BY: \$48 Vacuum LAB QUOTE NUMBER: CONTACT PHONE No: CONTACT FAX No: PID Leak Test Passed res Yes. 100 Yes 765 MAY 17/7/20 4:00pm Purge Volume 50,0100 500036 Train/ Mass Controller# SG000 SG10045 ALCO S SG0005 (Date / Time) 29 KIOZA RO CONSULTING Back up Carbon Tube# MIRANDA NEW 50,005 S C1024 Canister# 501036 SCIO67 SCIIZI (Name)
Meh Moyee Level 1, Meteon (Name) (Field Location) CLIENT ADDRESS: 275 Sample ID 5 13 SA PVS 5 CLIENT NAME: PROJECT REF: SAMPLED BY: RELEASED BY: RECEIVED BY: CONTACT: ABN: