




Reference number 2514

Member of the Fire Protection Association of Australia

Lot 4, DP 550893, 45 Marine Parade, Avalon.

Friday, 17 May 2019

Prepared and certified by:	Matthew Willis <i>BPAD – Level3 Certified Practitioner</i> Certification No: BPD-PA 09337		17/05/2019
<i>Can this proposal comply with AS3959-2009 (inc PBP addendum 3)?</i>	Yes		
<i>What is the recommended AS 3959-2009 level of compliance?</i>	Bal 40, 19 and 12.5		
<i>Is referral to the RFS required?</i>	Yes		
<i>Can this development comply with the requirements of PBP?</i>	Yes		
<i>Plans by "Gartner Trovato Architects" (Appendix 1) dated.</i>	17/4/2019		

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Bushfire Planning Services

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Bushfire Risk Assessment

Friday, 17 May 2019

Contact

Sean Gartner

Gartner Trovato Architects

PO Box 1122 Mona Vale NSW 2103

99794411

Subject Property

Lot 4, DP 550893

45 Marine Parade

Avalon

BUSHFIRE RISK ASSESSMENT CERTIFICATE

THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 79BA 1(b) OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 NO 203

Property Address	Lot 4, DP 550893, number 45 Marine Parade Avalon
Description of the Proposal	Alterations and additions to an existing dwelling, alterations to an existing studio and the construction of a secondary dwelling.
Plan Reference	17/4/2019
BAL Rating	BAL-40, 19 and 12.5
Does the Proposal Rely on Alternate Solutions?	No

I, Matthew Willis of Bushfire Planning Services Pty Ltd have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Appendix 4 of Planning for Bushfire Protection 2006 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby certify, in accordance with Section 79BA of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements*

*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 79 BA(1)(a) of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2006.

REPORT REFERENCE	Friday, 17 May 2019
REPORT DATE	Friday, 17 May 2019
CERTIFICATION NO/ACCREDITED SCHEME	FPAA BPAD A BPD-PA 09337

Attachments:

- Bushfire Risk Assessment Report
- Recommendations

SIGNATURE: ---  ----- **DATE:** -----Friday, 17 May 2019

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1 Executive Summary

Bushfire Planning Services has been requested by Mr Sean Gartner of Gartner Trovato Architects to supply a bushfire compliance report on lot 4, DP 550893, 45 Marine Parade, Avalon.

The works proposed for the subject lot are for alterations and additions to an existing dwelling, the construction of a new secondary dwelling and alterations and additions to an existing studio, see attached plans for details.

The works proposed within the subject allotment are to occur at 3 separate areas within the allotment. To treat all the works as one individual building would not correctly reflect the Bushfire Attack Level (BAL) for each building and as such each building will be treated as being a separate structure.

Firstly, the new secondary dwelling/garage will be situated in the Northern corner of the subject lot and is the building that is furthest away from the identified hazard to the south-east, rear of lot 4. The next closest building to the hazard is the existing main dwelling with the existing studio further to the south, the studio is the closest building to the hazard.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes up slope away from the property at an angle ranging from flat to the south through to 10° upslope to the south-east.

For the purposes of this assessment this vegetation is considered to be Coastal Headland Clay Heath which, for the purposes of compliance with AS3959 equates to Heath (Scrub).

The remaining vegetation within the study area is contained within the boundaries of established residential allotments and is managed land and of low threat to this proposal.

As this proposal includes the creation of a secondary dwelling within an existing allotment and therefore increases the occupancy level of the lot the RFS will consider this aspect of the proposal as if it were a subdivision.

This proposal should be assessed under section 4.14 of the EP&A act and is considered to be 'infill' development as described in Planning for Bushfire Protection however the RFS will assess certain parts of this proposal as if it were submitted under section 100b of the Rural Fires Act, in particular the proposals ability to achieve a Bushfire Attack Level (BAL) of BAL 29 or less.

The calculations and assumptions outlined in this report show that the secondary dwelling section of the development will be required to comply with the construction requirements of AS 3959-2009 BAL12.5 and the Rural Fire Services requirements contained within the addendum to appendix 3 of Planning for Bushfire Protection on any new external works.

This construction level is within the BAL threshold required by the RFS and as such should gain their support for the proposals approval. All other aspects relating to the secondary dwelling aspect of the proposal can or do already comply with the normal bushfire requirements for the approval of a building in a bushfire prone area.

The following table is a summary of the variables used in the assessment for each building.

<i>Building</i>	<i>Hazard direction</i>	<i>Slope beneath hazard</i>	<i>Hazard type</i>	<i>Separation distance</i>	<i>Bal level</i>
<i>Granny flat</i>	South	All up slopes and flat land	Heath	27.5 m	Bal 12.5
<i>Existing dwelling</i>	South	All up slopes and flat land	Heath	20.7 m	Bal 19
<i>Existing studio</i>	South	All up slopes and flat land	Heath	10 m	Bal 40

2 General

This proposal relates to the alterations and additions to an existing dwelling on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2006 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in blue italics is quotes from Planning for Bushfire Protection 2006. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

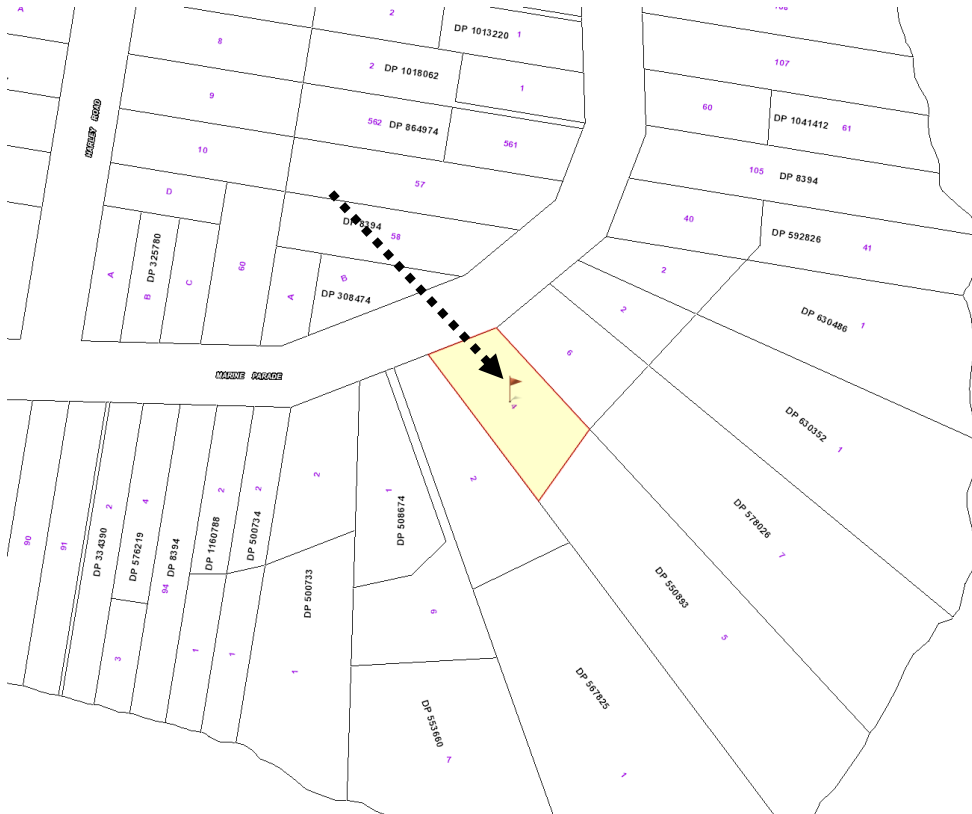
3 Block Description

The subject block is situated on the southern side of Marine Parade in an established area of Avalon.

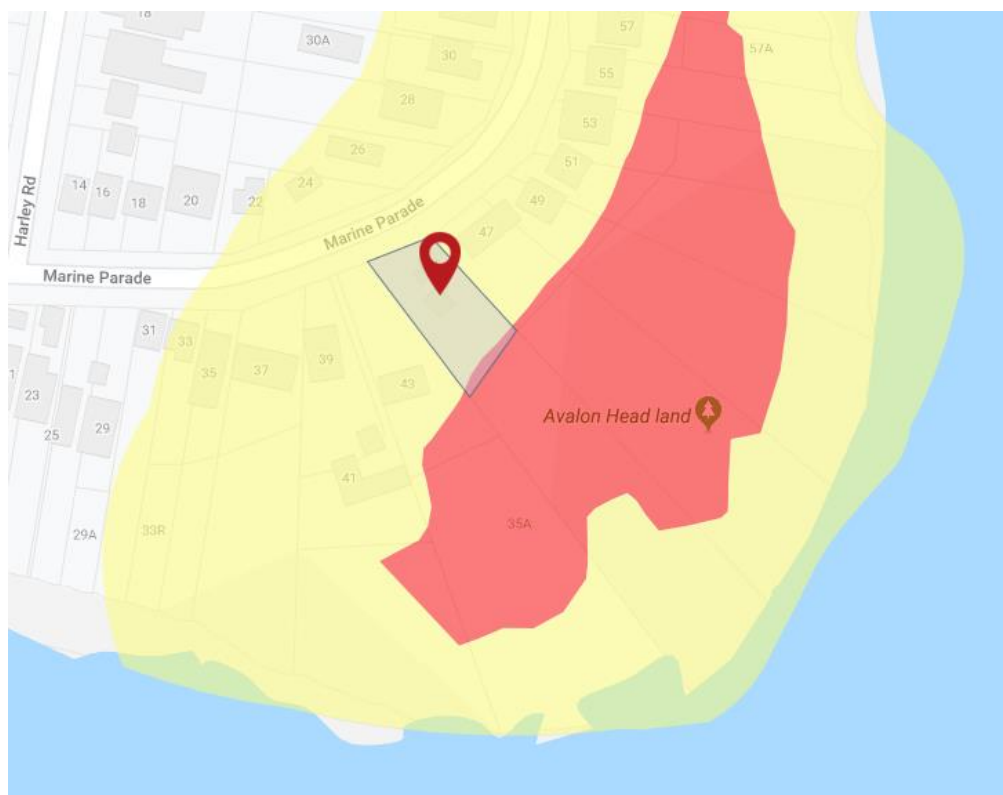
The lot currently contains a multi-level class 1a dwelling.

There is existing residential development to the north, west and east.

- Lot; 4
- DP; 550893.
- LGA; Northern Beaches. This
- Area; 1372m2.
- Address; 45 Marine Parade, Avalon.



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 4 to be within the buffer zone of category 1 bushfire vegetation. The above map is a fair representation of the extent of the hazardous vegetation.

4 Vegetation

The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land. The major potential hazard to this development is the vegetation within an area of undeveloped land to the south-east.

For the purpose of this assessment and compliance with AS3959 this area of undeveloped land is considered to be Heath (Scrub) and is the hazard to this proposal.

It should be noted that the management of the entire lot as an Asset Protection Zone is a recommendation of this assessment, once these works are undertaken the only remaining hazard will be within the rear of the lot to the West and the Parkland to the south/south-east.

At the time of inspection, the narrow strip of vegetation running along the Western boundary of the subject lot, contained an understory of garden plantings and does not pose a significant hazard to this proposal.

The rear of the neighbouring property to the West, starting from approximately parallel to the southern, rear wall of the dwelling and extending to the rear of the lot contains badly managed Heath and does pose a potential hazard to this proposal. The delineation between the managed vegetation and the potential hazard provides a setback between the studio of approximately 10m, the hazard extent is well represented in the councils bushfire prone land map on page 7 of this assessment.

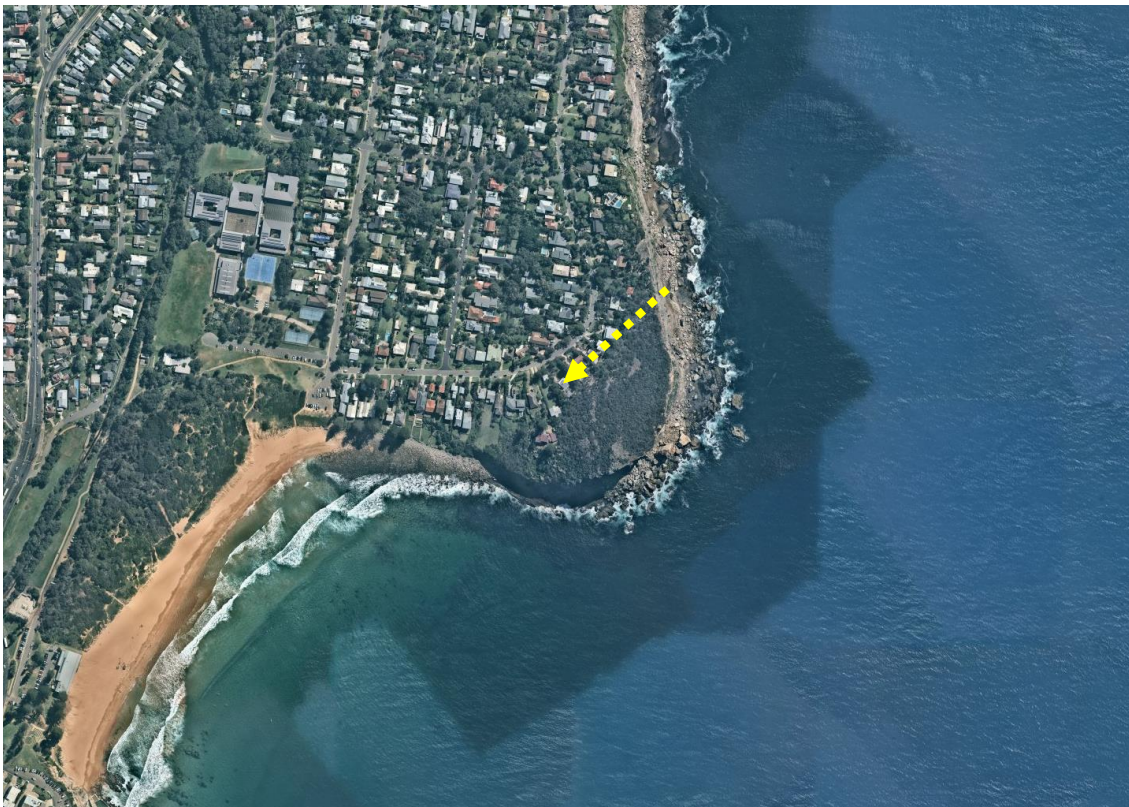


Photo 1 - An overview of the vegetation within the general area.



Photo 2 is a closer view of the vegetation in the area. The yellow dashed line on the above aerial photograph shows the approximate location of the managed land/hazard interface.

Table 1 outlines the hazard in relation to the development items.

<i>Building</i>	<i>North</i>	<i>East</i>	<i>South</i>	<i>West</i>
<i>Granny flat</i>	N/A	Heath	N/A	N/A
<i>Existing dwelling</i>	N/A	Heath	N/A	N/A
<i>Existing studio</i>	N/A	Heath	N/A	N/A

Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.

This area has been left intentionally blank.

5 Known constraints on subject block

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block.

Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

6 Slope

The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot.

An extract of the topographical map for the area is shown below and the relevant slope analysis is shown in Table 2.



Table 2 shows the slope beneath the hazard.

Aspect	North	East	South (east)	West
Slope	N/A	N/A	All up-slopes and flat land	N/A

Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.

7 Utilities

7.1 Water

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line. As can be seen there is at least one hydrant point indicated within close proximity of the property.



7.2 Electricity

Mains electricity is available to the block.

7.3 Gas

It is unknown if either bottled or mains gas is to be altered or installed in this proposal.

8 Access/Egress

Access to the development site will be via a short private driveway from Marine Parade.

All roads in the vicinity are considered to be capable of carrying emergency services vehicles and pedestrian access onto the lot is also considered to be adequate.

Analysis of development and recommendation.

9 Compliance with AS 3959-2009

Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2009 BAL-40, 19, 12.5 and the RFS requirements on all fire prone aspects.

The following table is an extract from table 2.4.2 of AS3959-2009. This table is used to calculate the BAL for a proposal in an area with an FDI of 100.

The variables that have already been outlined in this assessment are highlighted in red with the highest BAL highlighted in yellow.

TABLE 2.4.2

DETERMINATION OF BUSHFIRE ATTACK LEVEL (BAL)—FDI 100 (1090 K)

Vegetation classification	Bushfire Attack Levels (BALs)				
	BAL—FZ	BAL—40	BAL—29	BAL—19	BAL—12.5
	Distance (m) of the site from the predominant vegetation class				
	All upslopes and flat land (0 degrees)				
A. Forest	<19	19–<25	25–<35	35–<48	48–<100
B. Woodland	<12	12–<16	16–<24	24–<33	33–<100
C. Shrubland	<7	7–<9	9–<13	13–<19	19–<100
D. Scrub	<10	10–<13	13–<19	19–<27	27–<100
E. Mallee/Mulga	<6	6–<8	8–<12	12–<17	17–<100
F. Rainforest	<8	8–<11	11–<16	16–<23	23–<100
G. Grassland	<6	6–<9	9–<13	13–<19	19–50

The above table shows the BAL for all 3 buildings;

- Studio BAL-40.
- House BAL-19.
- Secondary dwelling BAL-12.5.

10 Siting

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

Recommendation;

Nil

11 Construction and design.

All new work is to be undertaken in accordance with the relevant requirements of the BCA and AS3959 2009. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

Studio.

Recommendation; all new work.

1. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and,
2. New construction shall also comply with the requirements of BAL-40 Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and section A3.7 Addendum Appendix 3 of "Planning for Bush fire Protection".
3. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.
4. The existing studio is required to be upgraded to improve ember protection. This is to be achieved by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weep holes and eaves. External doors are to be fitted with draft excluders.

Existing House.

Recommendation; all new work.

5. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and,
6. New construction shall also comply with the requirements of BAL-19 Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and section A3.7 Addendum Appendix 3 of "Planning for Bush fire Protection".
7. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

Secondary dwelling.

Recommendation; all new work.

8. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and,
9. New construction shall also comply with the requirements of BAL-12.5 Australian Standard AS3959-2009 "Construction of buildings in bush fire-prone areas" and section A3.7 Addendum Appendix 3 of "Planning for Bush fire Protection".
10. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

12 Utilities

12.1 Water

The proposed development will have access to a reticulated water supply. There is at least one hydrant indicated within the required distance from the dwelling.

Recommendation;

Nil

12.2 Electricity and Gas

Recommendation;

11. Any new electricity or gas connections are to comply with the requirements of section 4.1.3 of Planning for Bushfire Protection.

13 Asset Protection Zone (APZ)

The Asset Protection Zone is “An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”.

Recommendation;

12. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

14 Landscaping

No specific landscaping plan has been provided as part of this assessment.

Recommendation;

13. Any new landscaping to the site is to comply with the principles of Appendix 5 of Planning for Bush Fire Protection 2006. In this regard the following landscaping principles are, where applicable, to be incorporated into the development:
 - Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
 - Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
 - Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;

- Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
- Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
- When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.
- Any new fencing to be property should be in accordance with Rural Fire Service "Fast Fact 2/06".

15 Constraints on the subject block

None known.

Recommendation;

Nil

16 Access/Egress

All roads in the area are considered to be capable of handling emergency service vehicles. Access from the roadway onto the property is also considered to be adequate for firefighting purposes.

Recommendation

Nil

17 Compliance or non compliance with the specifications and requirements for bushfire protection measures

<p>APZ</p> <p>A defensible space is provided onsite.</p> <p>An APZ is provided and maintained for the life of the development.</p>	<p>Achievable with the implementation of the recommendations in section 13</p>
<p>SITING AND DESIGN:</p> <p>Buildings are sited and designed to minimise the risk of bush fire attack.</p>	<p>Achievable with the implementation of the recommendations in section 10</p>
<p>CONSTRUCTION STANDARDS:</p> <p>It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.</p>	<p>Achievable with the implementation of the recommendations in section 11</p>
<p>ACCESS</p> <p>Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>	<p>Achievable with the implementation of the recommendations in section 16</p>
<p>WATER AND UTILITY SERVICES:</p> <ul style="list-style-type: none"> adequate water and electricity services are provided for firefighting operations Gas and electricity services are located so as not to contribute to the risk of fire to a building. 	<p>Achievable with the implementation of the recommendations in section 12</p>
<p>LANDSCAPING:</p> <ul style="list-style-type: none"> it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions. 	<p>Achievable with the implementation of the recommendations in section 14</p>

18 Conclusions

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2009 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



Matthew Willis

Grad Dip Planning for Bushfire Prone Areas

Bushfire Planning Services Pty Limited

19 References

Australian Building Codes Board

National Construction Code

Volumes 1&2

Canprint

NSW Government Environmental Planning and Assessment Act [1979]

Part 79BA – Consultation and development Consent – Certain Bushfire Prone Land

NSW Government Printer

Planning NSW [2006]

Planning for Bushfire Protection

A Guide for Councils, Planners, Fire Authorities, Developers and Home Owners

Ramsay C & Rudolph L [2003]

Landscape and Building Design for Bushfire Prone Areas

CSIRO Publishing

Standards Australia [2009]

Australian Standards 3959 (amendments 1, 2 and 3)

Standards Australia

20 Appendix 1 - Plans

DEVELOPMENT APPLICATION - ALTERATION & ADDITIONS + NEW GRANNY FLAT 45 MARINE PARADE, AVALON

DWG No.	DESCRIPTION
CDC.00	COVER SHEET
CDC.01	SITE PLAN / SITE ANALYSIS
CDC.02	GARAGE
CDC.03	GRANNY FLAT + HOUSE GROUND FLOOR
CDC.04	HOUSE FIRST + STUDIO
CDC.05	NORTH + SOUTH ELEVATION
CDC.06	EAST + WEST ELEVATION
CDC.07	SECTIONS



VIEW OF FRONT



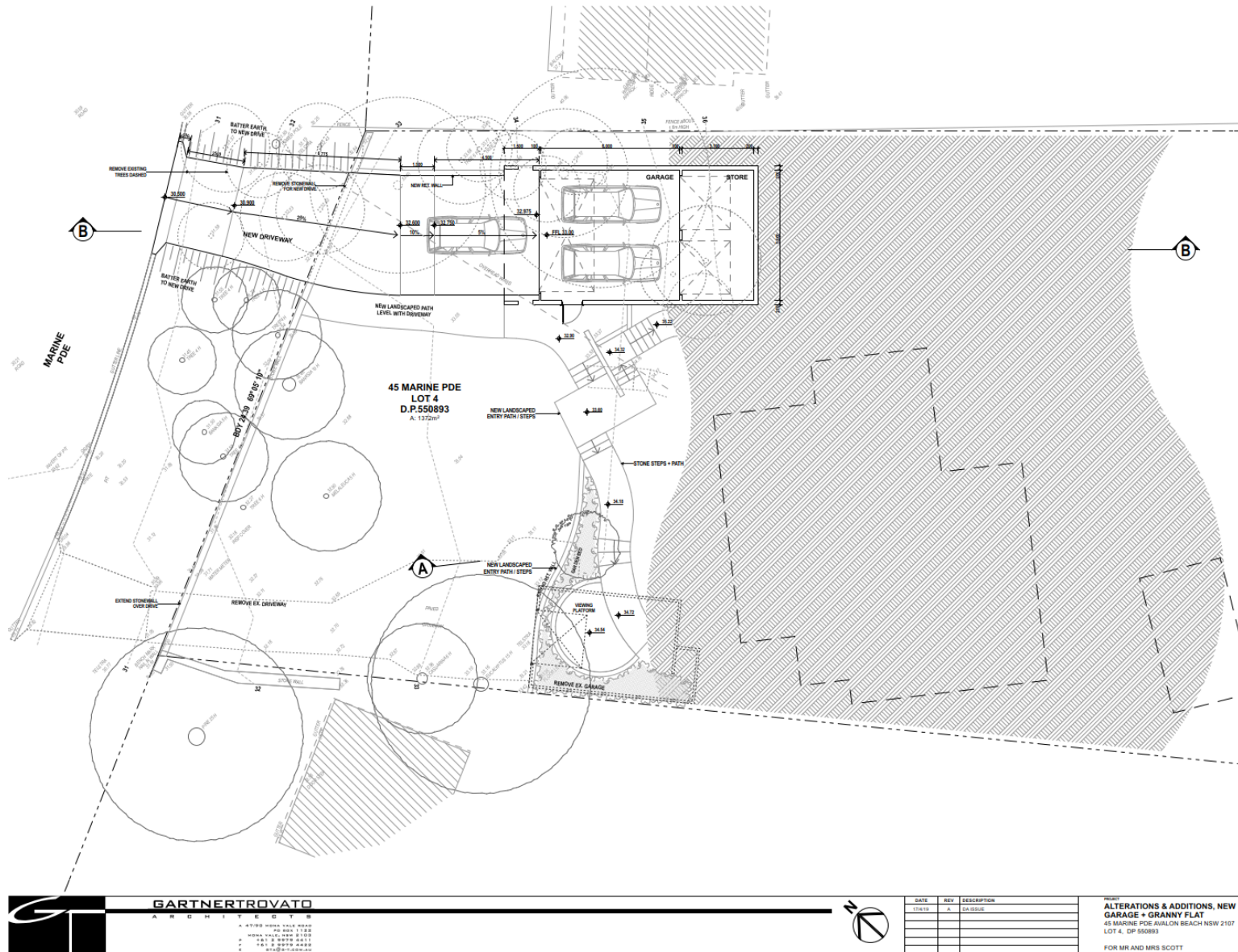
VIEW OF REAR

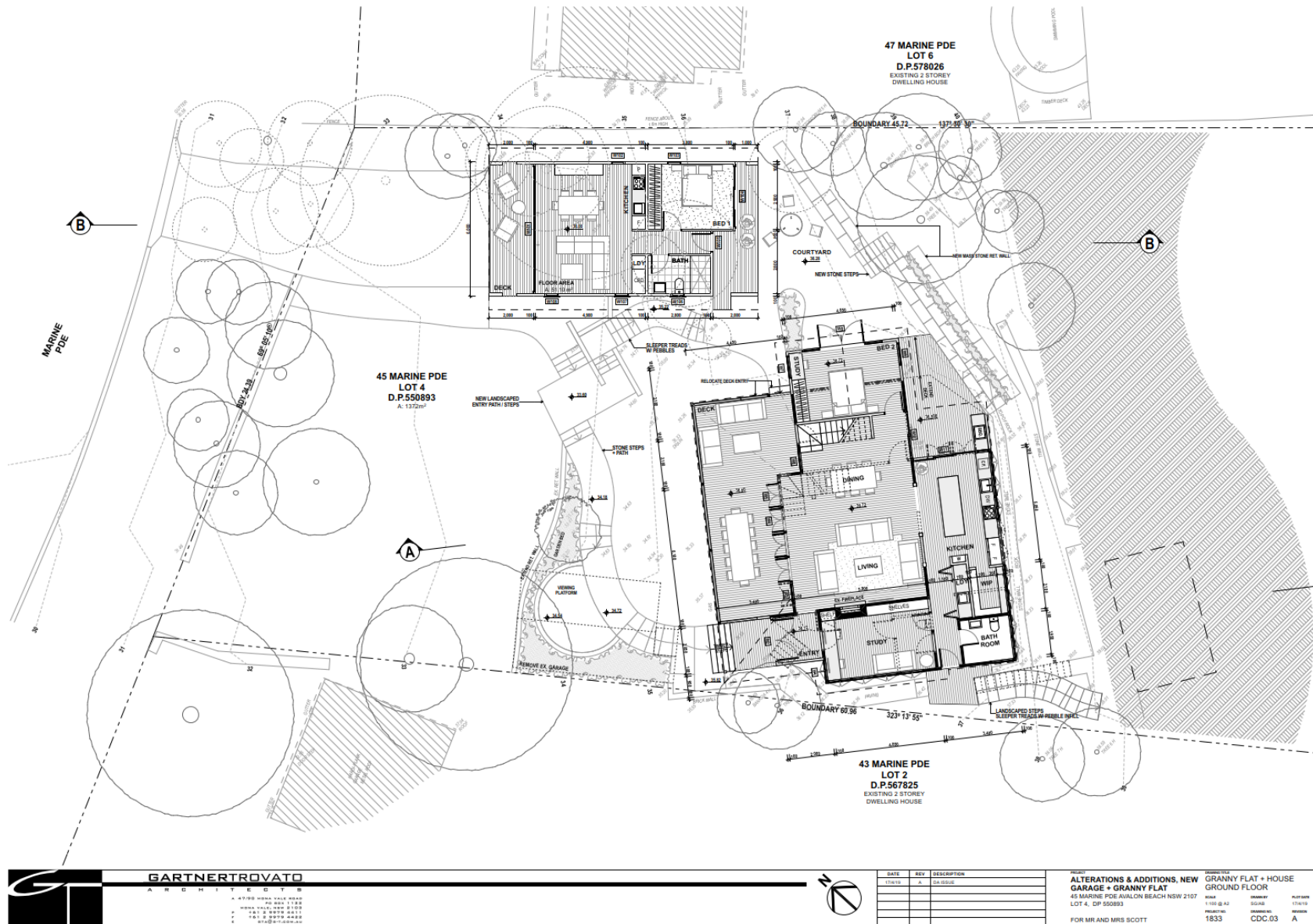


DATE	REV	DESCRIPTION
2024	1	ISSUE

PROJECT			
ALTERATIONS & ADDITIONS, NEW GRANNY FLAT			
45 MARINE PDE AVALON BEACH NSW 2107			
LOT 4, DP 590883	DATE	BY	DATE
FOR MR AND MRS SCOTT	1833	CDC.00	A



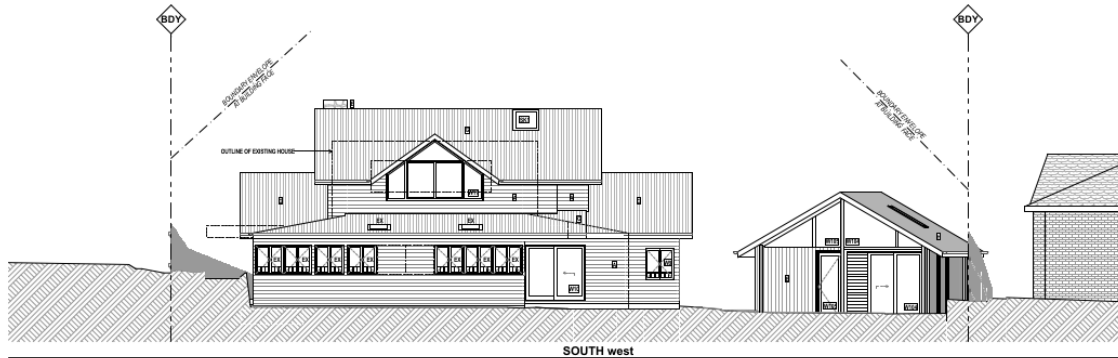




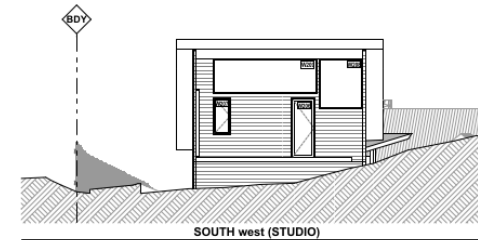


EXTERIOR FINISHES LEGEND

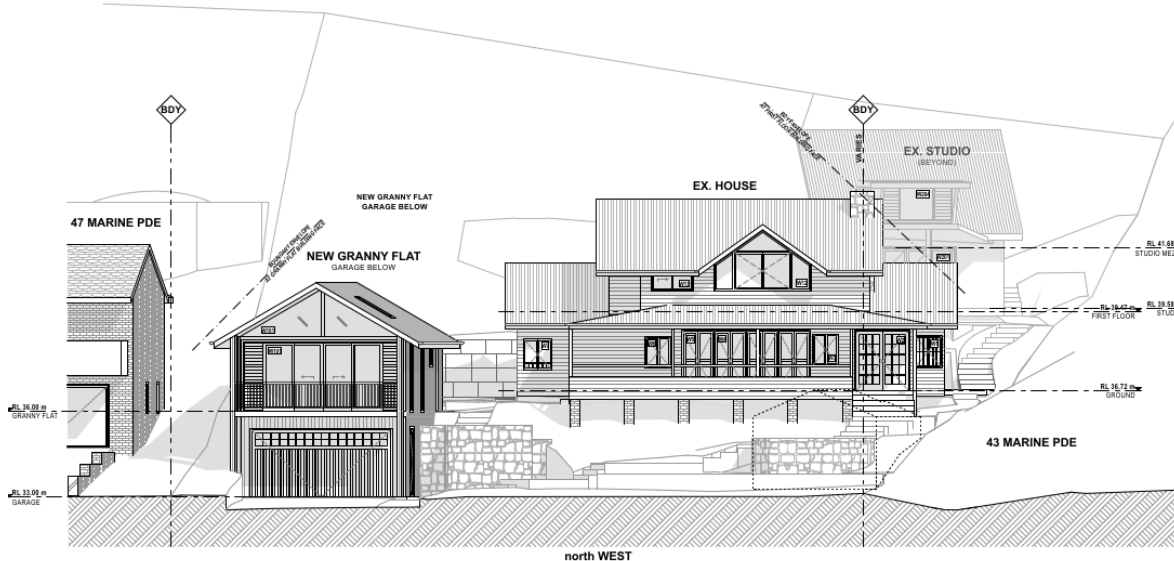
- WEATHERBOARD, PAINT FINISH RESINE "TRIPLE SEA FOOT"
- 1/2 JOINT VERTICAL PC CLADDING, PAINT FINISH RESINE "TRIPLE SEA FOOT"
- CPC PANELS, BRICKWORK, PAINT FINISH "BLUES", "GRANITE"
- TIMBER, WHITE PAINT FINISH
- SANDSTONE CLADDING, RANDOM FIELD STONE PATTERN
- TIMBER SCREEN, CLEAR SEAL FINISH
- COLORBOND METAL ROOF, TO MATCH EXISTING GREY ROOF COLOUR
- COLORBOND METAL ROOF, LIGHT GREY COLOUR
- SANDSTONE BLOCKS



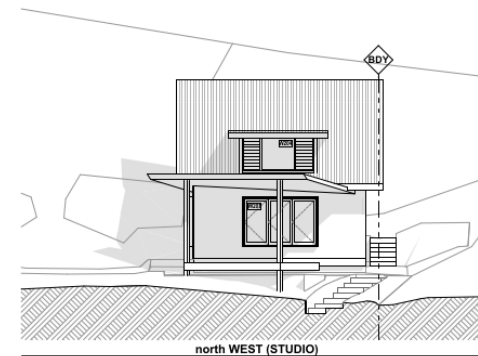
SOUTH west



SOUTH west (STUDIO)



north WEST



north WEST (STUDIO)



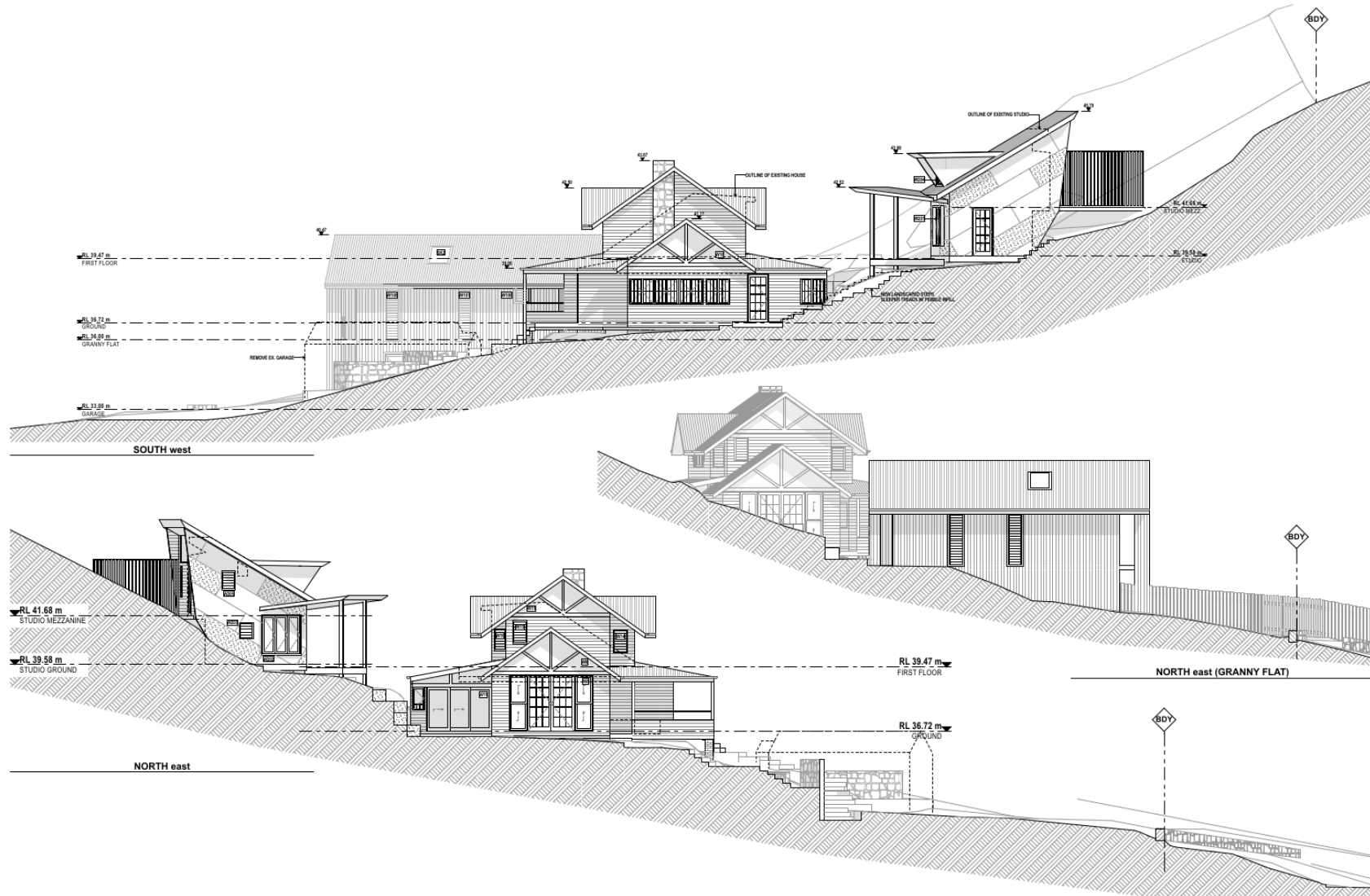
GARTNERTROVATO

ARCHITECTS

A 47/88 HIDE TOWN ROAD
HIDE TOWN, NSW 2100
P 02 8 870 4411
F 02 8 870 4444
E INFO@GARTNERTROVATO.COM

DATE	REV	DESCRIPTION
17/01/19	1	ON ISSUE

PROJECT	PROPOSED
ALTERATIONS & ADDITIONS, NEW GARAGE + GRANNY FLAT	NORTH + SOUTH ELEVATION
45 MARINE PDE AVALON BEACH NSW 2107	SCALE
LOT 4, DP 550893	1:100 @ A3
FOR MR AND MRS SCOTT	DATE
	17/01/19
	PROJECT
	1833
	CDL 05
	A



GARTNERTROVATO
ARCHITECTS

A 47/000 1000 1000 1000
B 47/000 1000 1000 1000
C 47/000 1000 1000 1000
D 47/000 1000 1000 1000
E 47/000 1000 1000 1000

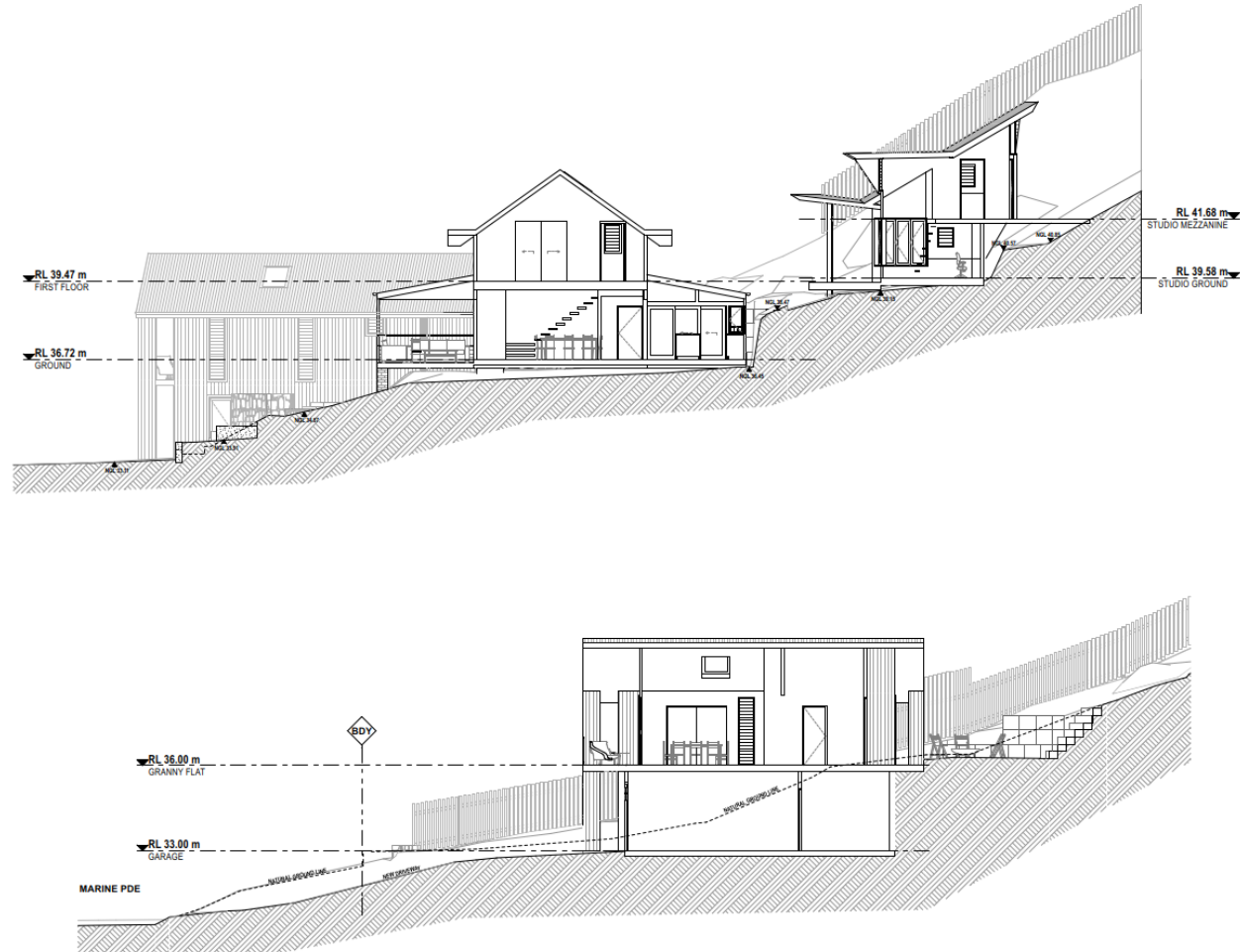
DATE	REV	DESCRIPTION
17/01/19	1	ISSUED

PROJECT
ALTERATIONS & ADDITIONS, NEW
GARAGE + GRANNY FLAT
45 MARINE PARADE AVALON BEACH NSW 2107
LOT 4, DP 550893
FOR MR AND MRS SCOTT

SCALE
1:100 (Q) A3
1833

DRAWN BY
GJAB
17/01/19

CHECKED BY
CDC.06
A



GARTNERTROVATO

ARCHITECTS

A 47/00 HIDE YOUR NAME
B 47/00 HIDE YOUR NAME
C 47/00 HIDE YOUR NAME
D 47/00 HIDE YOUR NAME
E 47/00 HIDE YOUR NAME
F 47/00 HIDE YOUR NAME

DATE	REV	DESCRIPTION
17/01/19	1	ON ISSUE

PROJECT	SECTIONS
ALTERATIONS & ADDITIONS, NEW GARAGE + GRANNY FLAT 45 MARINE PDE AVALON BEACH NSW 2107 LOT 4, DP 550893	SECTION 1:100 @ A2 1833 CDC.07 A
FOR MR AND MRS SCOTT	



VIEW OF FRONT



VIEW OF REAR



EXTERIOR FINISHES LEGEND		
1	WEATHERBOARDS, PAINT FINISH RESENE 'TRIPLE SEA FOG'	
2	V-JOINT VERTICAL FC CLADDING, PAINT FINISH RESENE 'TRIPLE SEA FOG'	
3	CFC PANELS 900x300, PAINT FINISH 'RUST', 'GRAVEL'	
4	TIMBER, WHITE PAINT FINISH	
5	SANDSTONE CLADDING, RANDOM FIELD STONE PATTERN	
6	TIMBER SCREEN, CLEAR SEAL FINISH	
7	COLORBOND METAL ROOF, TO MATCH EXISTING GREY ROOF COLOUR	
8	COLORBOND METAL ROOF, LIGHT GREY COLOUR	
9	SANDSTONE BLOCKS	

A. WEATHERBOARDS	B. V-JOINT VERTICAL FC	C. CFC PANELS, PAINT 'RUST', 'GRAVEL'
D. WHITE PAINTED TIMBER	E. SANDSTONE CLADDING	F. TIMBER BATTEN SCREEN
G. ROOF COLORBOND - GREY	H. ROOF COLORBOND - LIGHT GREY	I. SANDSTONE BLOCKS

DATE	REV	DESCRIPTION
17/01/19	1	CA ISSUE

PROJECT	REVISION
ALTERATIONS & ADDITIONS, NEW GARAGE + GRANNY FLAT	EXTERNAL FINISHES, PHOTOMONTAGE
45 MARINE PDE AVALON BEACH NSW 2107	DATE
LOT 4, DP 550893	17/01/19
FOR MR AND MRS SCOTT	1833
	CDC-08
	A