

CARPARKING WORKS

60 - 62 CHISHOLM AVENUE AVALON BEACH NSW 2107

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MATERIAL SCHEDULE



LIGHTWEIGHT CLADDING (LC)

MASONRY (M)

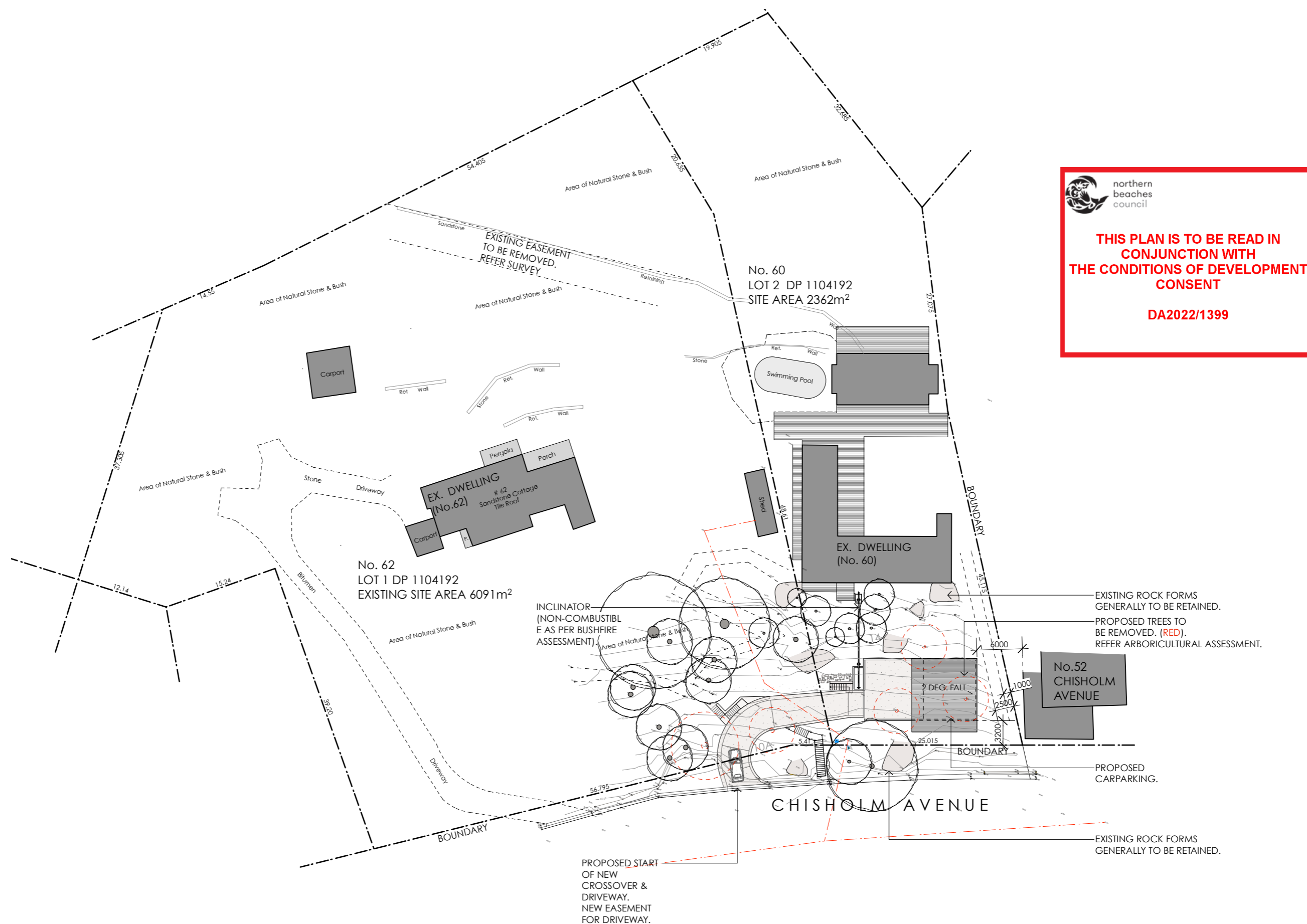
BALUSTRADE. (BAL)

WASHED CONCRETE. (CONC.)

METAL ROOF SHEETING. (MR)

SANDSTONE TO RETAINING WALLS.

<p>Note: All footings, slabs, structural beams, etc, to future engineers details. All wall/roof connections + member sizes to NCC & future engineers details. Rainwater from gutters to connect to stormwater system to relevant Building Codes, Council requirements. All wastewater/sewage to connect to existing sewer system to all relevant NCC, Building Codes + Council requirements. All works to comply with all relevant NCC, Building Codes + Council requirements.</p>	<p>MATERIALS: BAL BALUSTRADE CONC. CONCRETE DP DOWNPIPE FG FIXED GLAZING LC LIGHTWEIGHT CLADDING M MASONRY MR METAL ROOF SHEETING NGL NATURAL GROUND LEVEL</p>	<p>Nada Herman 60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192</p>		
		<p>PROJECT Alterations & Additions</p>	<p>ANDY LEHMAN DESIGN</p>	<p>DWG. NO. SK. 00</p>
		<p>DRAWING DRAWING SCHEDULE / MATERIALS</p>	<p>Tel. 0414 466 665 Email: andy@andylehman.com.au</p>	<p>SCALE NTS DATE May 2022</p>
		<p>NOTES Please print in A3 or A1. This drawing is copyright and is for Development Application purposes only. Do not measure off drawings. If in doubt ask.</p>	<p>ISSUE</p>	



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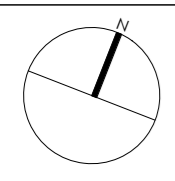
EXISTING ROCK FORMS GENERALLY TO BE RETAINED.

PROPOSED TREES TO BE REMOVED. (RED). REFER ARBORICULTURAL ASSESSMENT.

PROPOSED CARPARKING.

EXISTING ROCK FORMS GENERALLY TO BE RETAINED.

PROPOSED START OF NEW CROSSOVER & DRIVEWAY, NEW EASEMENT FOR DRIVEWAY.



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DP DOWNPIPE
FG FIXED GLAZING
LC LIGHTWEIGHT CLADDING
M MASONRY
MR METAL ROOF SHEETING
NGL NATURAL GROUND LEVEL

Nada Herman
 60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192

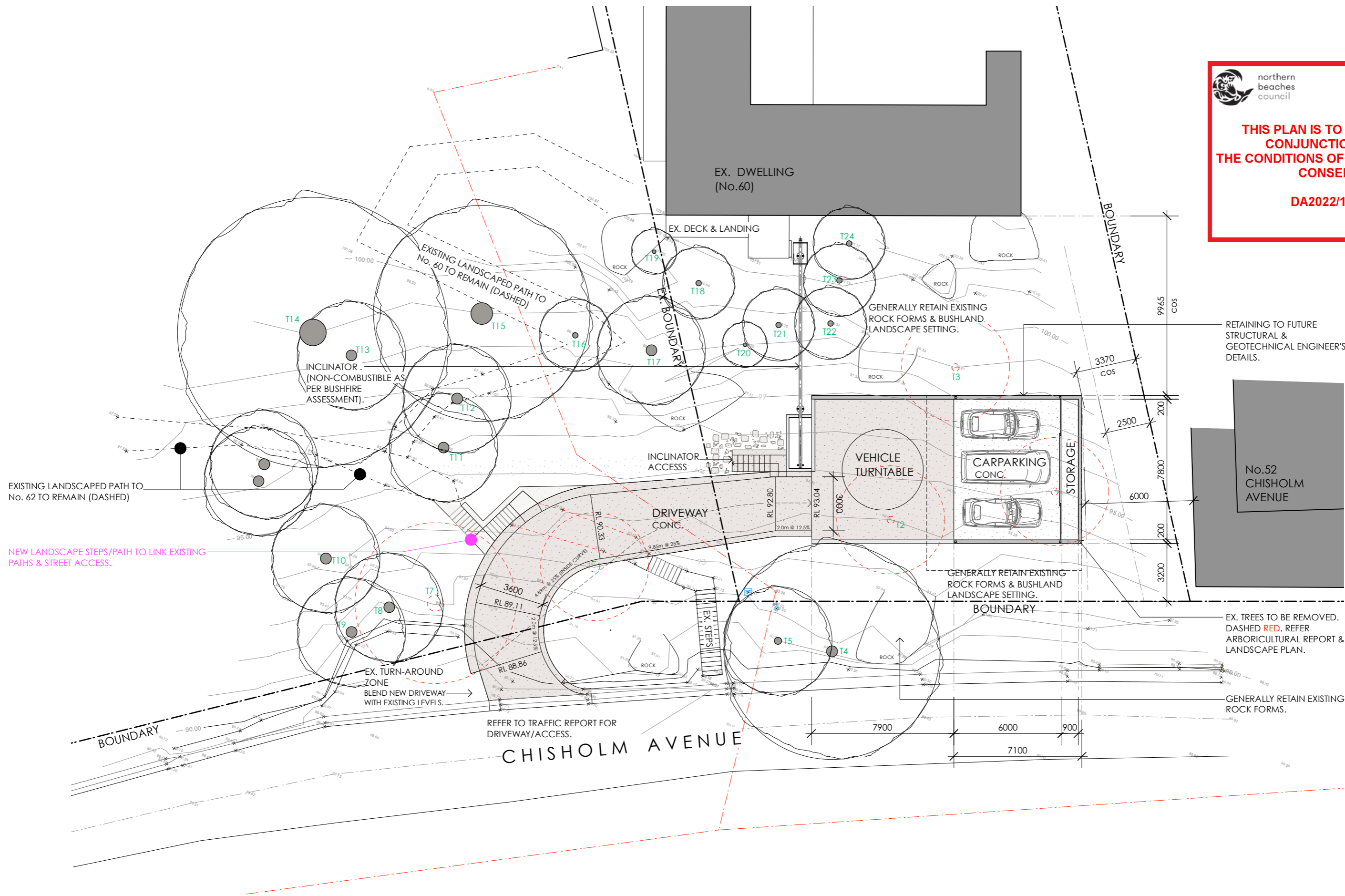
PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN		DWG. NO.	SK. 01
DRAWING	SITE / ROOF/ ANALYSIS PLAN	Tel. 0414 466 645		SCALE	1:500@A3
NOTES	Please print in A3 or A1. This drawing is copyright and is for Development Application purposes only. Do not measure off drawings.	Email: andy@andylehman.com.au		DATE	DECEMBER 2022
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RETAINING TO FUTURE STRUCTURAL & GEOTECHNICAL ENGINEER'S DETAILS.



EX. TREES TO BE REMOVED. DASHED RED. REFER ARBORICULTURAL REPORT & LANDSCAPE PLAN.

GENERALLY RETAIN EXISTING ROCK FORMS.

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			PROJECT Alterations & Additions	DRAWING CARPARKING FLOOR PLAN	
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		<p>PROJECT Alterations & Additions</p>	<p>ANDY LEHMAN DESIGN</p>		<p>DWG. NO. SK. 03</p>
		<p>DRAWING SOUTH-EAST (STREET) ELEVATION</p>	<p>Tel. 0414 466 665</p>	<p>SCALE 1:200@A3</p>	<p>DATE May 2022</p>
		<p>NOTES Please print in A3 or A1. This drawing is copyright and is for Development Application purposes only. Do not measure off drawings. If in doubt ask.</p>	<p>Email: andy@andylehman.com.au</p>	<p>ISSUE</p>	




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		PROJECT Alterations & Additions	ANDY LEHMAN DESIGN		
		DRAWING SOUTH WEST ELEVATION / INCLINATOR SECTION	Tel. 0414 466 665 Email: andy@andylehman.com.au		
		NOTES Please print in A3 or A1. This drawing is copyright and is for Development Application purposes only. Do not measure off drawings.	If in doubt ask.		



RETAINING/FOOTINGS TO FUTURE
STRUCTURAL & GEOTECHNICAL
ENGINEER'S DETAILS.



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		<p>Nada Herman 60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192</p>			
<p>PROJECT Alterations & Additions</p>		<p>ANDY LEHMAN DESIGN</p>		<p>DWG. NO. SK. 05</p>	
<p>DRAWING NORTH-EAST ELEVATION</p>		<p>Tel. 0414 466 665 Email: andy@andylehman.com.au</p>		<p>SCALE 1:100@A3 DATE May 2022</p>	
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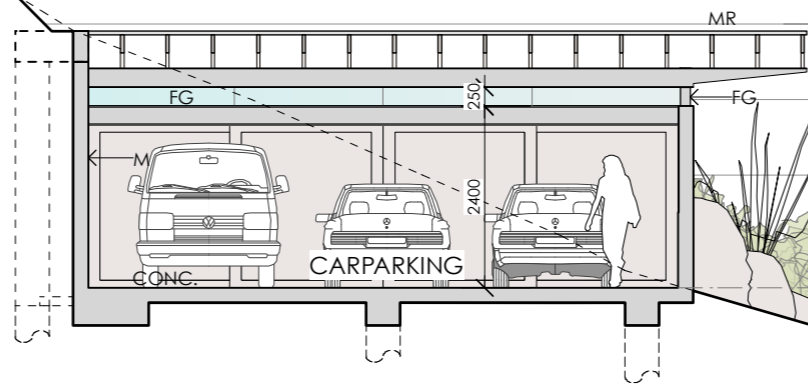
EX. DWELLING (No.60)



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RETAINING/FOOTINGS TO FUTURE STRUCTURAL & GEOTECHNICAL ENGINEER'S DETAILS.

RL 97.00 (TOP ROOF)

RL 93.51 (FFL CARPARKING)

BUSH LANDSCAPING ENDEMIC TO THE LOCAL AREA. REFER LANDSCAPE PLAN.

CHISHOLM AVENUE

Note:
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MR METAL ROOF SHEETING
NGL NATURAL GROUND LEVEL

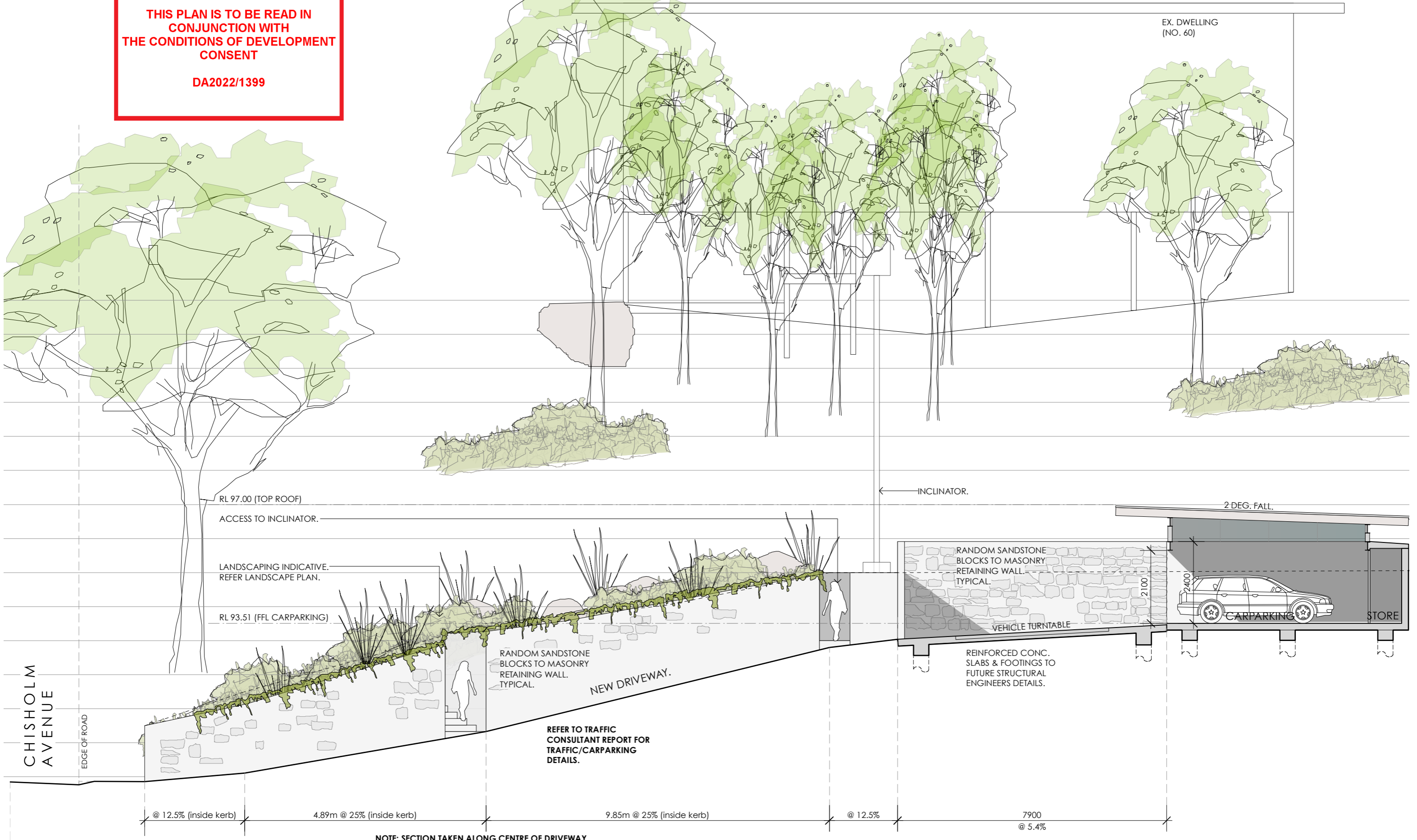
Nada Herman

60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192

PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN		DWG. NO.	SK. 06
DRAWING	SOUTH-WEST SECTION	Tel. 0414 466 665	Email: andy@andylehman.com.au	SCALE	1:100@A3
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CHISHOLM AVENUE

RL 97.00 (TOP ROOF)

ACCESS TO INCLINATOR.

LANDSCAPING INDICATIVE. REFER LANDSCAPE PLAN.

RL 93.51 (FFL CARPARKING)

← INCLINATOR.

EX. DWELLING (NO. 60)

2 DEG. FALL.

RANDOM SANDSTONE BLOCKS TO MASONRY RETAINING WALL. TYPICAL.

NEW DRIVEWAY.

RANDOM SANDSTONE BLOCKS TO MASONRY RETAINING WALL. TYPICAL.

VEHICLE TURNTABLE

REINFORCED CONC. SLABS & FOOTINGS TO FUTURE STRUCTURAL ENGINEERS DETAILS.



STORE

REFER TO TRAFFIC CONSULTANT REPORT FOR TRAFFIC/CARPARKING DETAILS.

@ 12.5% (inside kerb)

4.89m @ 25% (inside kerb)

9.85m @ 25% (inside kerb)

@ 12.5%

7900 @ 5.4%

NOTE: SECTION TAKEN ALONG CENTRE OF DRIVEWAY.

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Nada Herman

60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192

PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN		DWG. NO.	SK. 07
DRAWING	DRIVEWAY SECTION	Tel. 0414 466 645		SCALE	1:100@A3
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NOTE:

CONCRETE / MORTAR WASTE & WASHING:
AREA OF THE SITE THAT DOES NOT DRAIN TO THE STORMWATER SYSTEM.

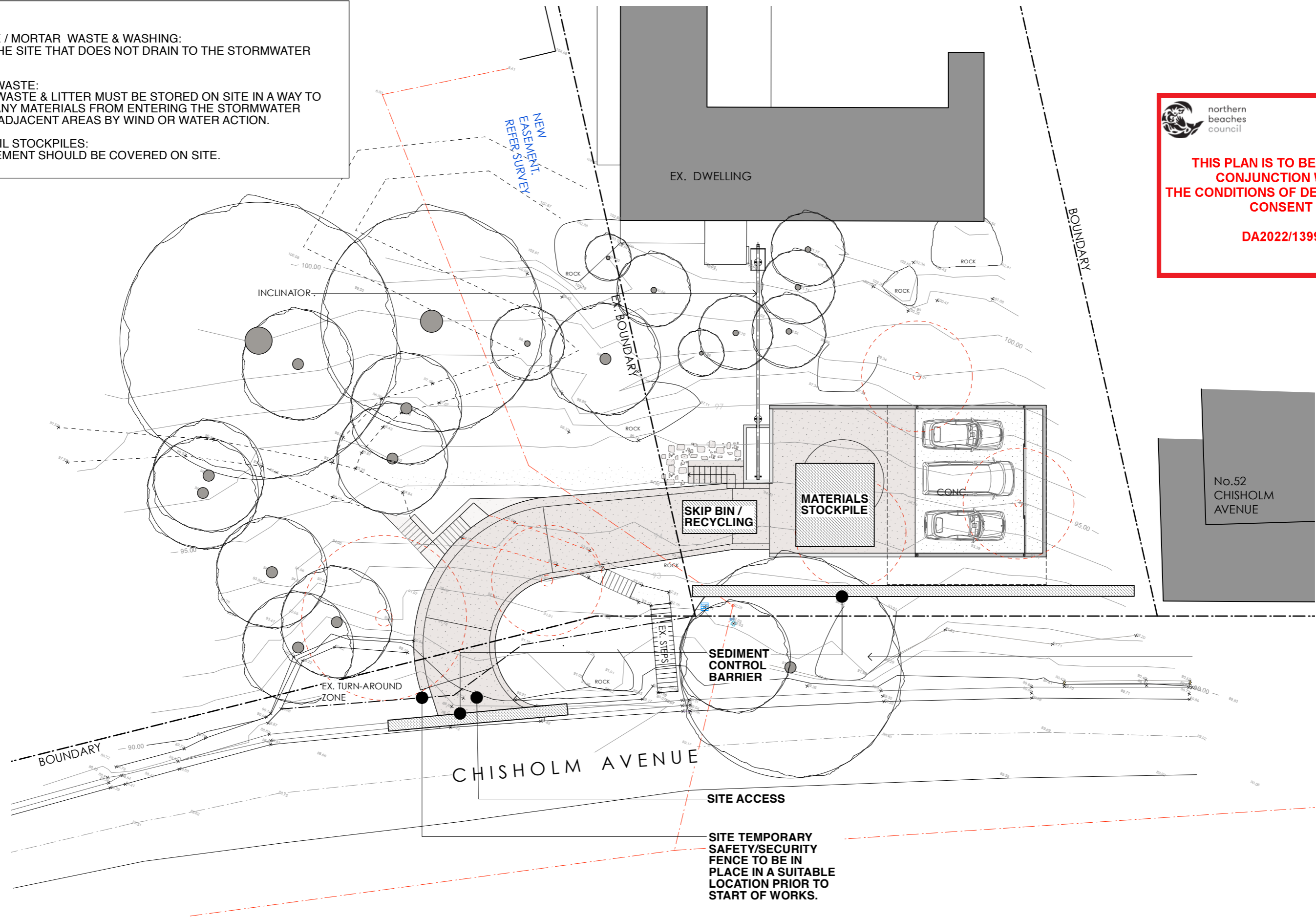
GENERAL WASTE:
ALL HARD WASTE & LITTER MUST BE STORED ON SITE IN A WAY TO PREVENT ANY MATERIALS FROM ENTERING THE STORMWATER SYSTEM & ADJACENT AREAS BY WIND OR WATER ACTION.

SAND & SOIL STOCKPILES:
SOIL OR CEMENT SHOULD BE COVERED ON SITE.

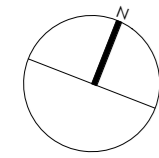
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No.52
CHISHOLM
AVENUE



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MATERIALS:

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DP	DOWNPIPE
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LC	LIGHTWEIGHT CLADDING
M	MASONRY
MR	METAL ROOF SHEETING
NGL	NATURAL GROUND LEVEL

Nada Herman

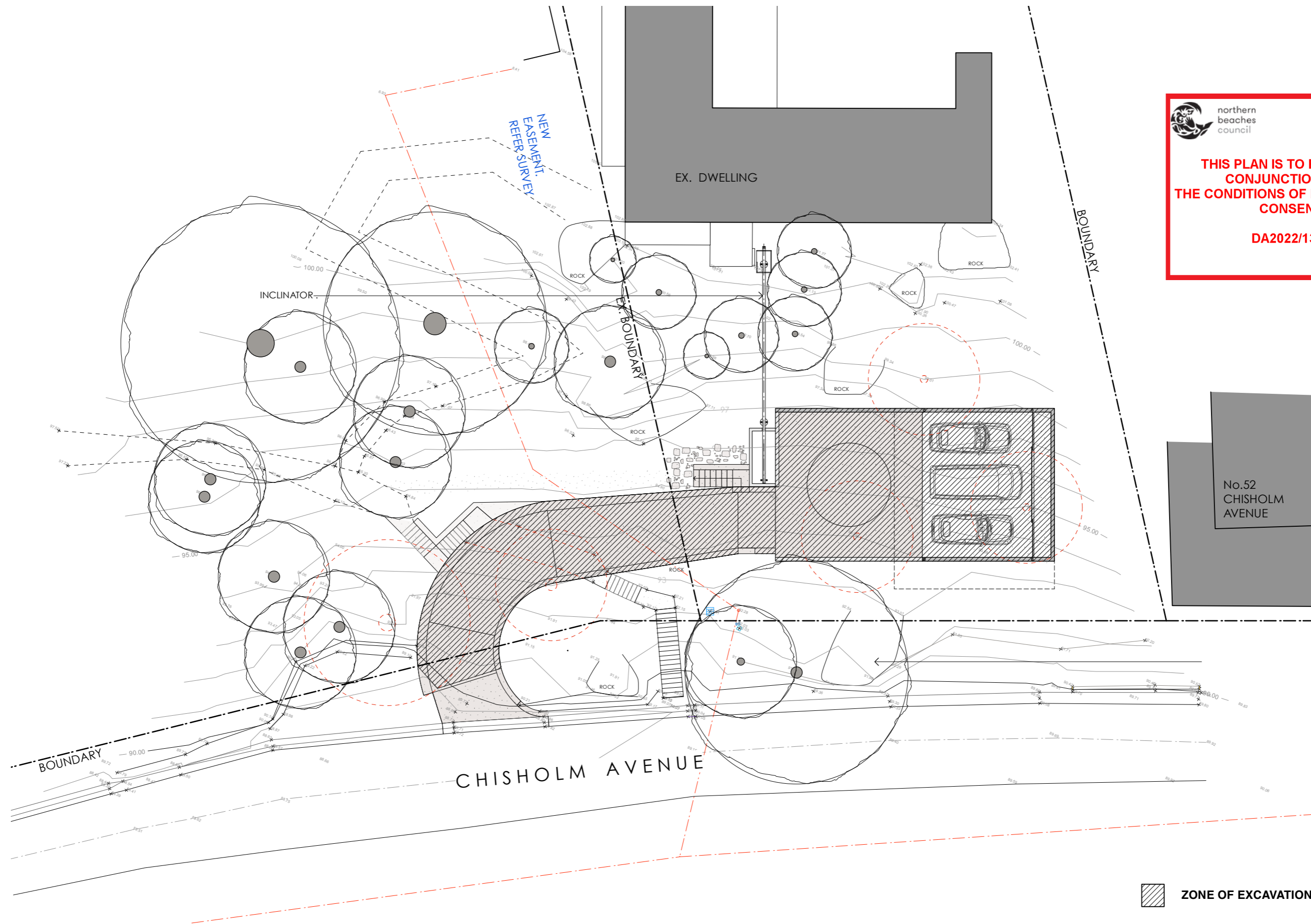
60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192

PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN	DWG. NO.	SK. 08
DRAWING	SEDIMENT CONTROL & WASTE MANAGEMENT PLAN	Tel. 0414 466 665	SCALE	1:200@A3
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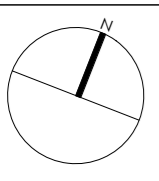
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No.52
CHISHOLM
AVENUE

ZONE OF EXCAVATION



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NGL NATURAL GROUND LEVEL

Nada Herman

60-62 CHISHOLM AVENUE NSW 2107 LOTS 1 & 2 DP 1104192

PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN		DWG. NO.	SK. 09
DRAWING	EXCAVATION & FILL PLAN	Tel. 0414 466 665	SCALE	1:200@A3	
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PROPOSED EASEMENTS:
(refer Survey Plan of Easements)

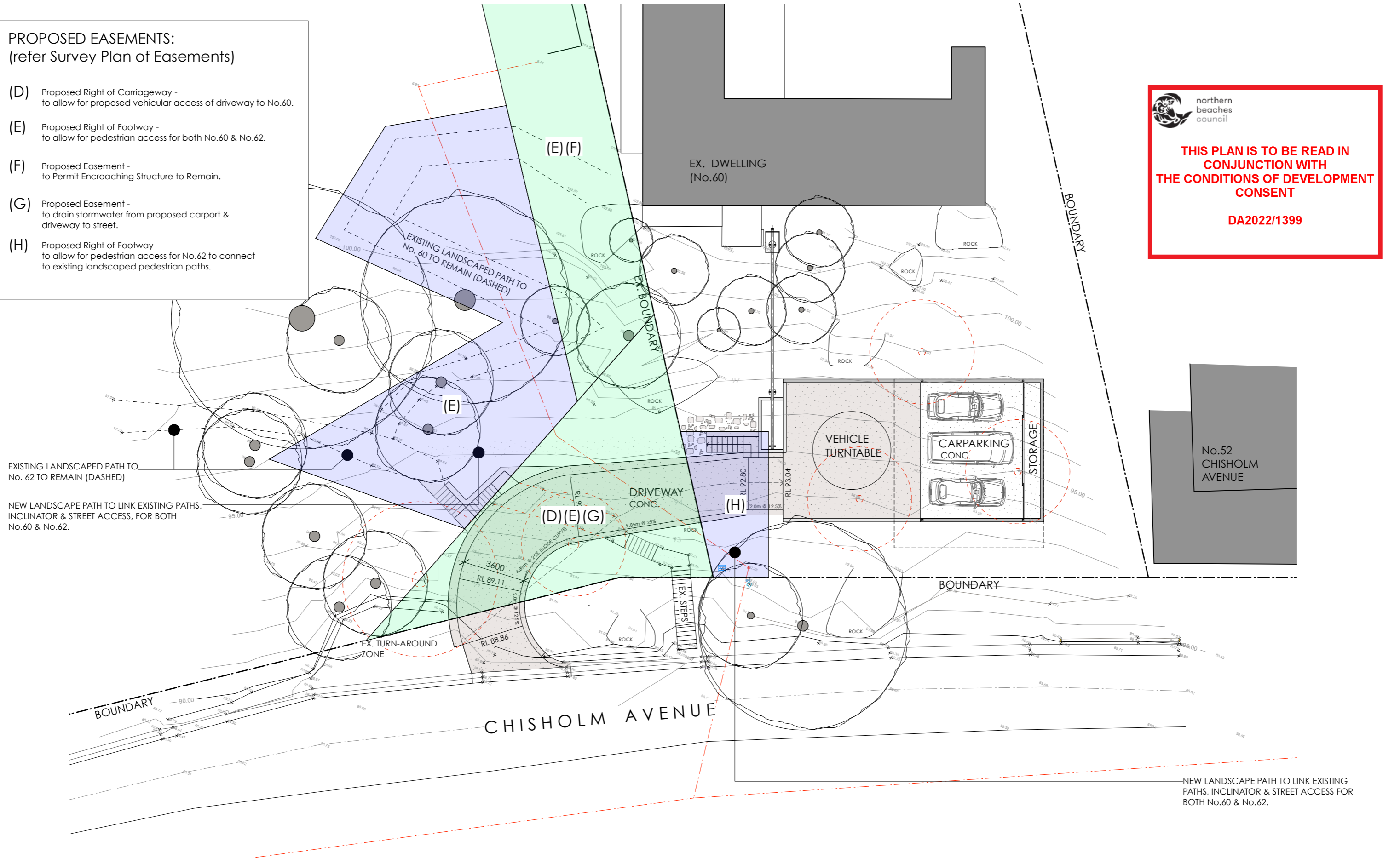
- (D) Proposed Right of Carriageway - to allow for proposed vehicular access of driveway to No.60.
- (E) Proposed Right of Footway - to allow for pedestrian access for both No.60 & No.62.
- (F) Proposed Easement - to Permit Encroaching Structure to Remain.
- (G) Proposed Easement - to drain stormwater from proposed carport & driveway to street.
- (H) Proposed Right of Footway - to allow for pedestrian access for No.62 to connect to existing landscaped pedestrian paths.



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EXISTING LANDSCAPED PATH TO No. 62 TO REMAIN (DASHED)

NEW LANDSCAPE PATH TO LINK EXISTING PATHS, INCLINATOR & STREET ACCESS, FOR BOTH No.60 & No.62.

NEW LANDSCAPE PATH TO LINK EXISTING PATHS, INCLINATOR & STREET ACCESS FOR BOTH No.60 & No.62.

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	PROJECT	Alterations & Additions	ANDY LEHMAN DESIGN		DWG. NO.	SK. 10
	DRAWING	EASEMENTS	Tel. 0414 466 645 Email: andy@andylehman.com.au		SCALE	1:200@A3
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