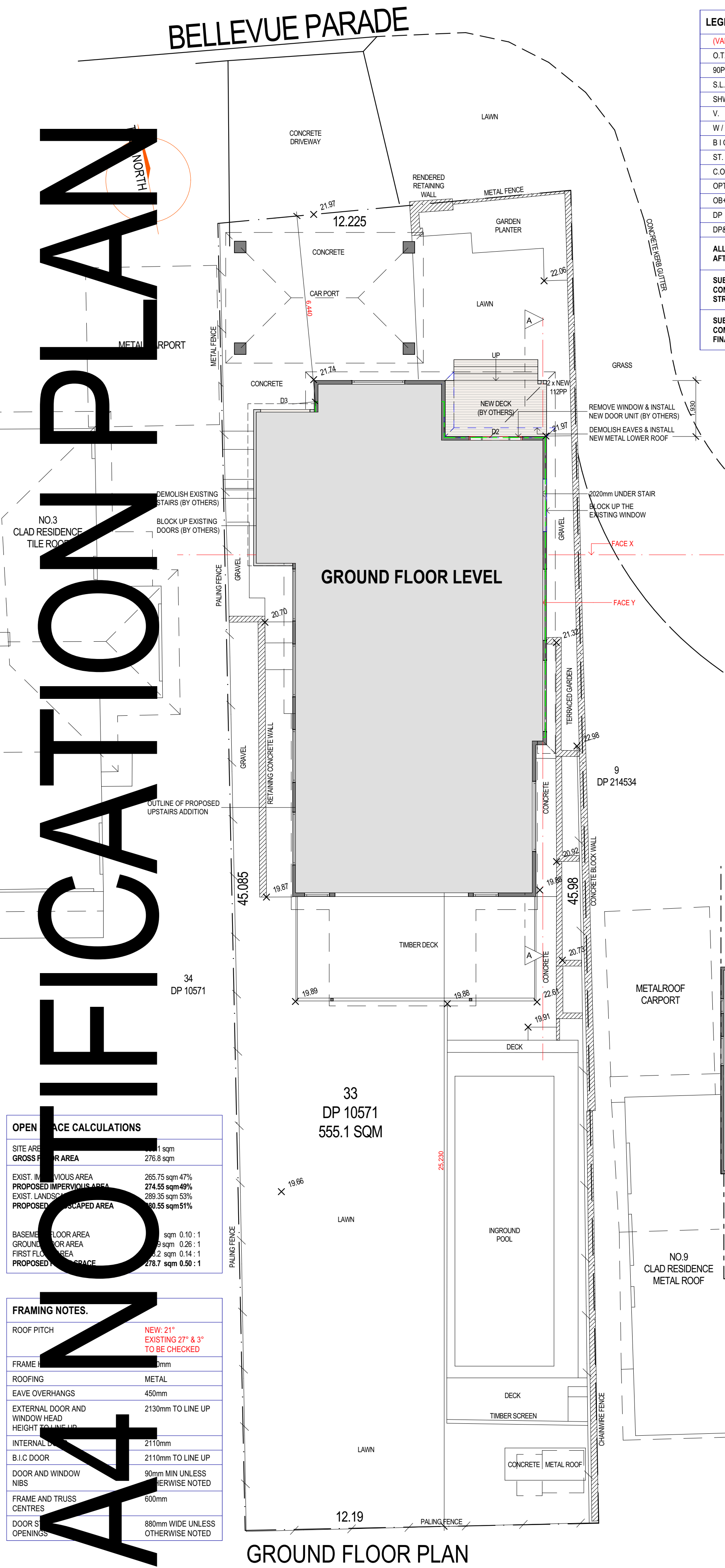


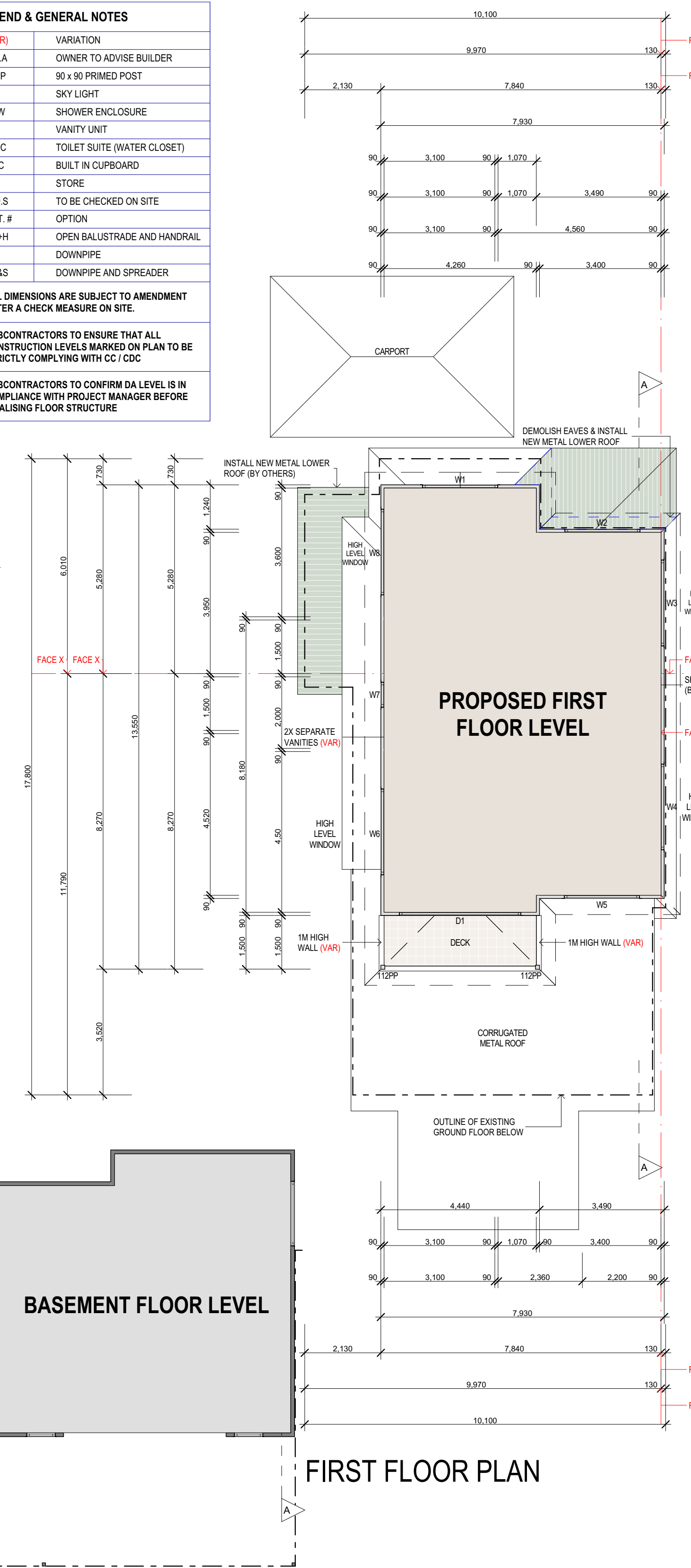
NOTIFICATION PLAN



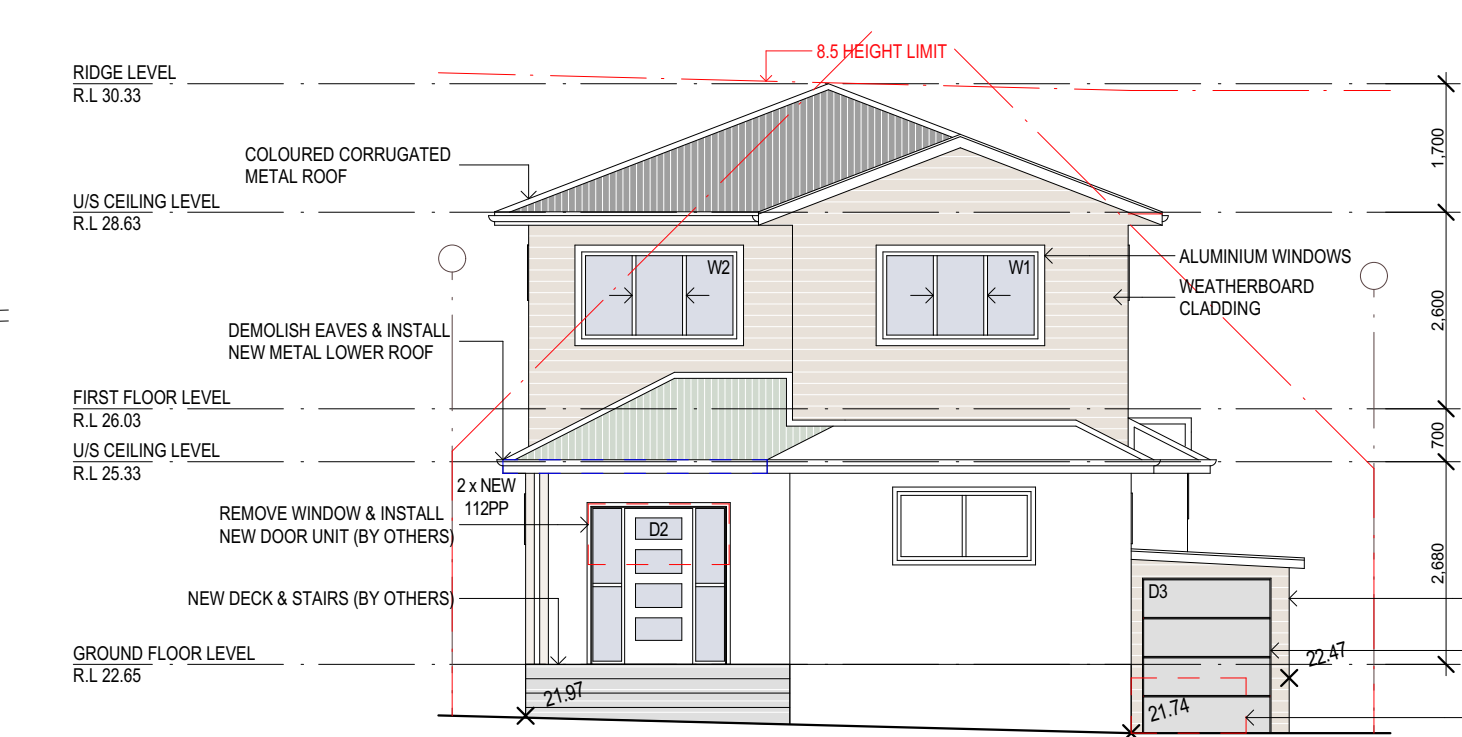
OPEN SPACE CALCULATIONS	
SITE AREA	270.1 sqm
GROSS FLOOR AREA	270.8 sqm
EXIST. IMPERVIOUS AREA	265.75 sqm 47%
PROPOSED IMPERVIOUS AREA	274.55 sqm 49%
EXIST. LANDSCAPED AREA	292.35 sqm 53%
PROPOSED LANDSCAPED AREA	280.55 sqm 51%
BASMENT FLOOR AREA	sqm 0.10 : 1
GROUND FLOOR AREA	sqm 0.26 : 1
FIRST FLOOR AREA	sqm 0.14 : 1
PROPOSED TERRACE	278.7 sqm 0.50 : 1

FRAMING NOTES.	
ROOF PITCH	NEW: 21° EXISTING: 27° & 3° TO BE CHECKED
FRAME	mm
ROOFING	METAL
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2130mm TO LINE UP
INTERNAL DOOR HEIGHT	2110mm
B.L.C DOOR	2110mm TO LINE UP
DOOR AND WINDOW MBS	90mm MIN UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR S OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

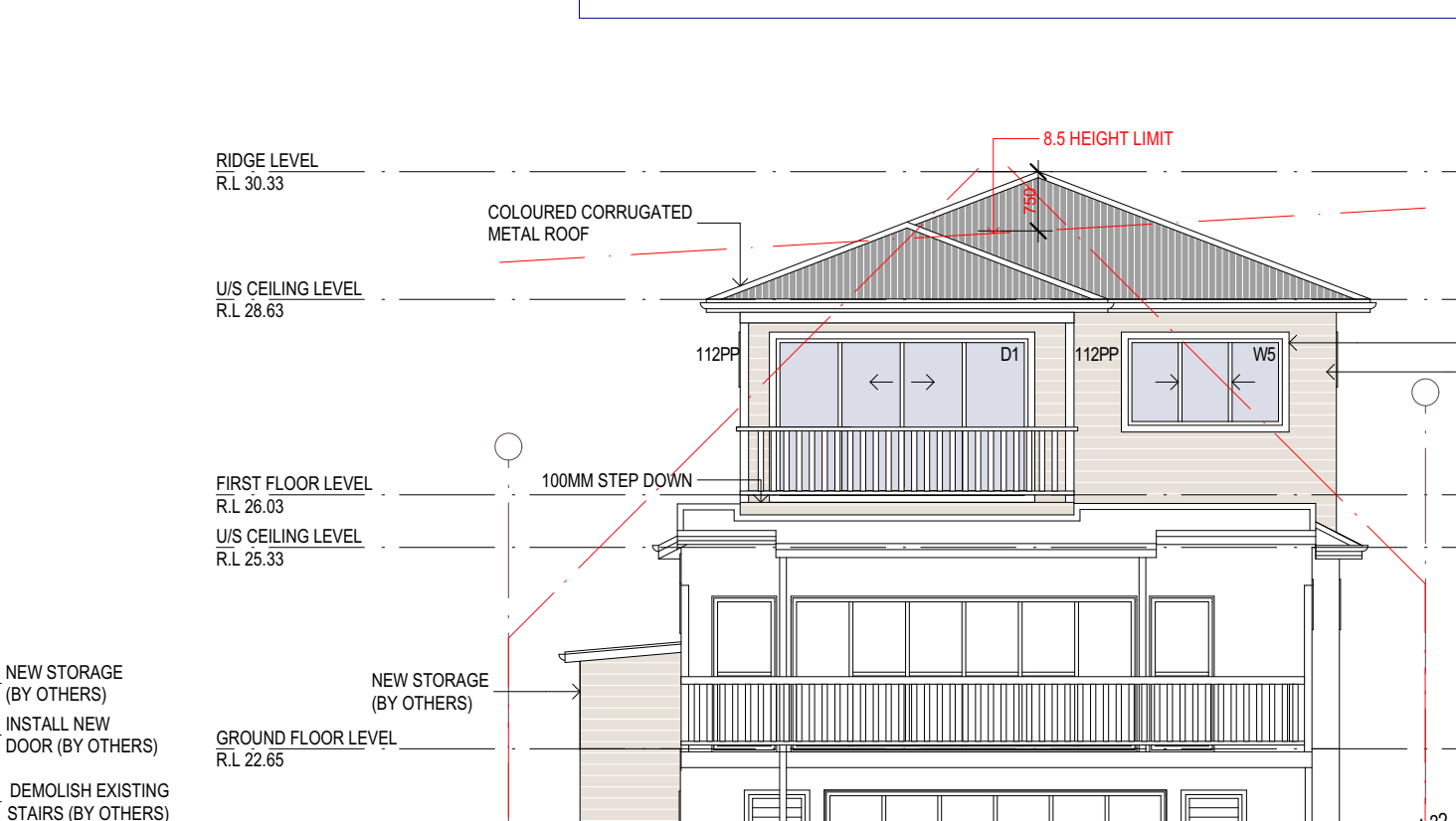
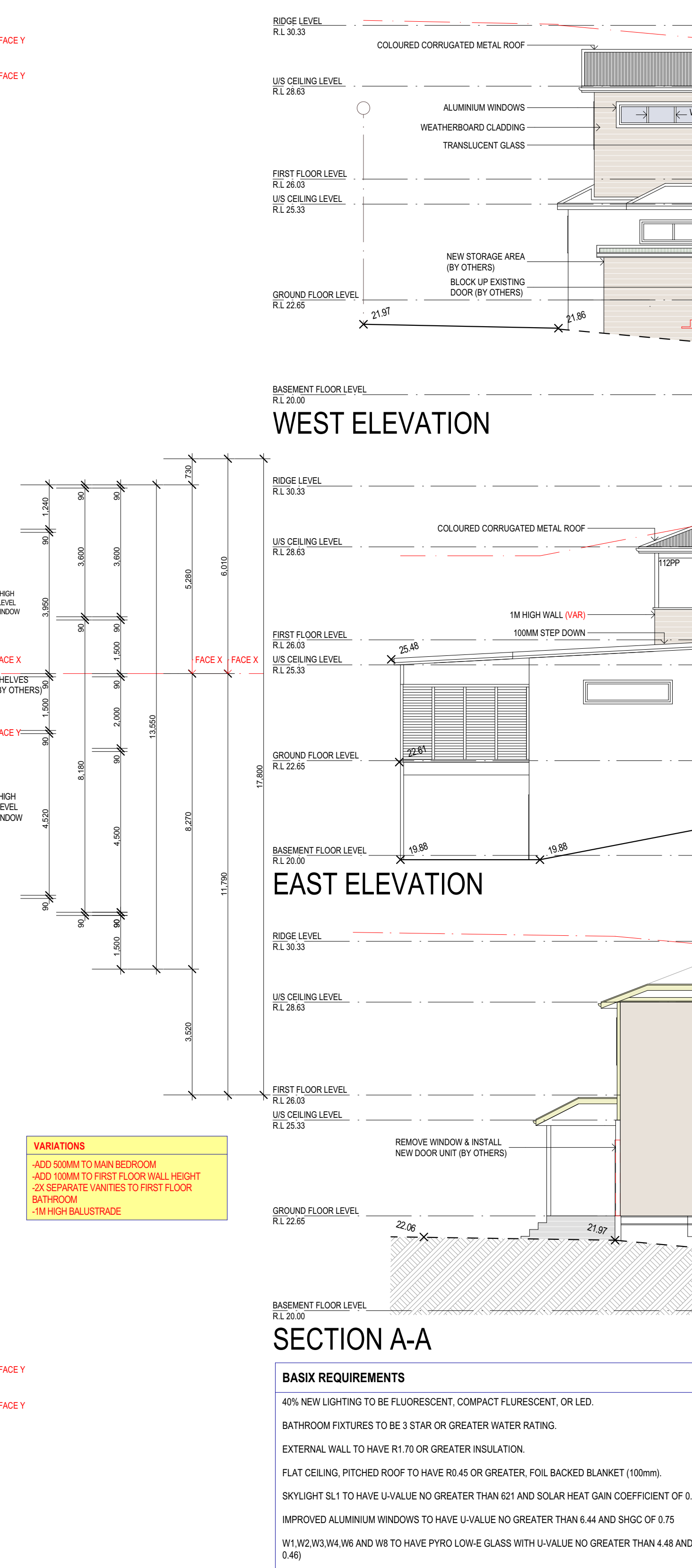
LEGEND & GENERAL NOTES	
(VAR)	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90PP	90 x 90 PRIMED POST
S.L	SKY LIGHT
SHW	SHOWER ENCLOSURE
V.	VANITY UNIT
W/C	TOILET SUITE (WATER CLOSET)
B.I.C	BUILT IN CUPBOARD
ST.	STORE
C.O.S	TO BE CHECKED ON SITE
OPT.#	OPTION
OB+H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DP&S	DOWNPIPE AND SPREADER
ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE ON SITE.	
SUBCONTRACTORS TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLYING WITH CC / CDC	
SUBCONTRACTORS TO CONFIRM DA LEVEL IS IN COMPLIANCE WITH PROJECT MANAGER BEFORE FINALISING FLOOR STRUCTURE	



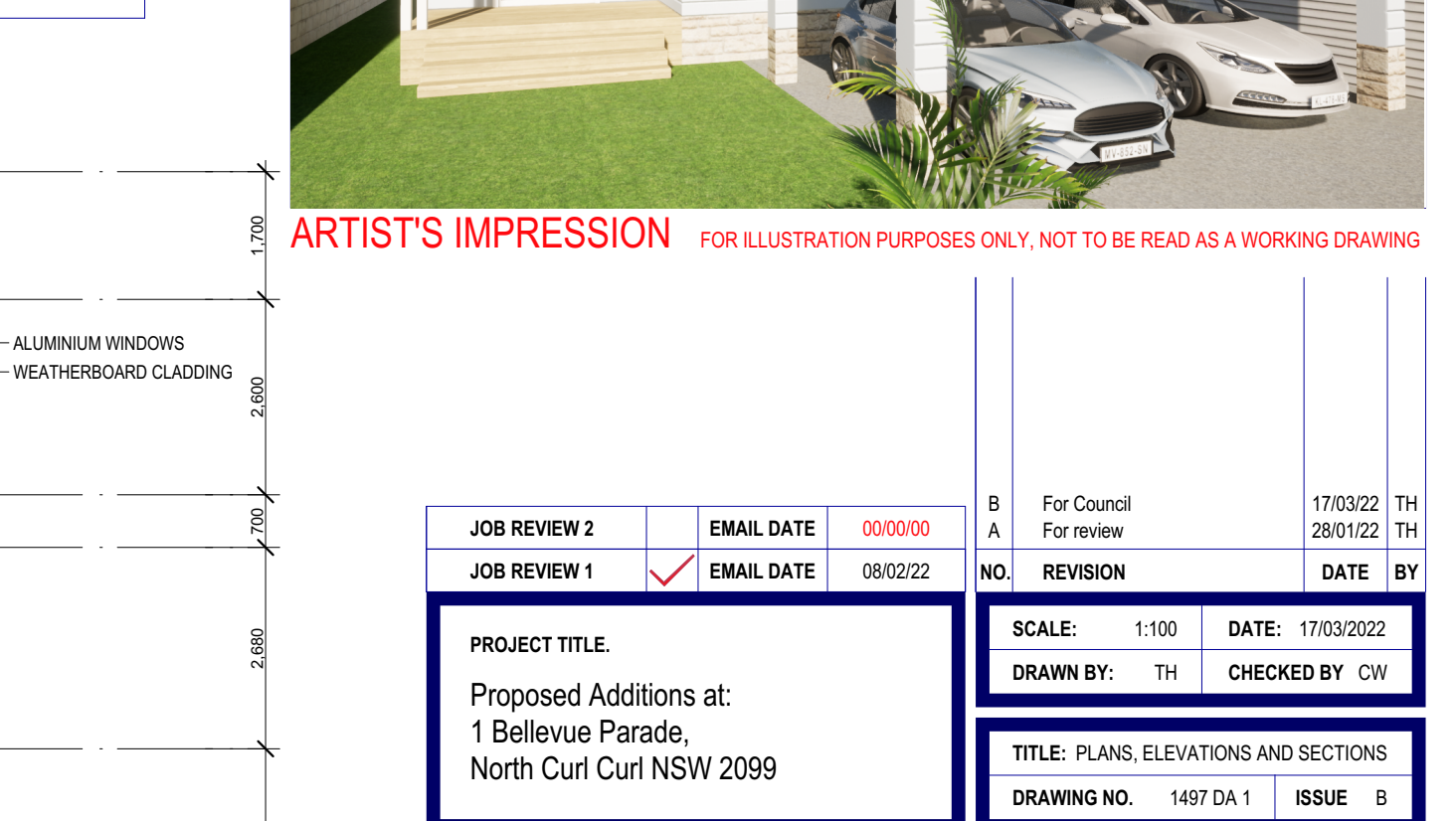
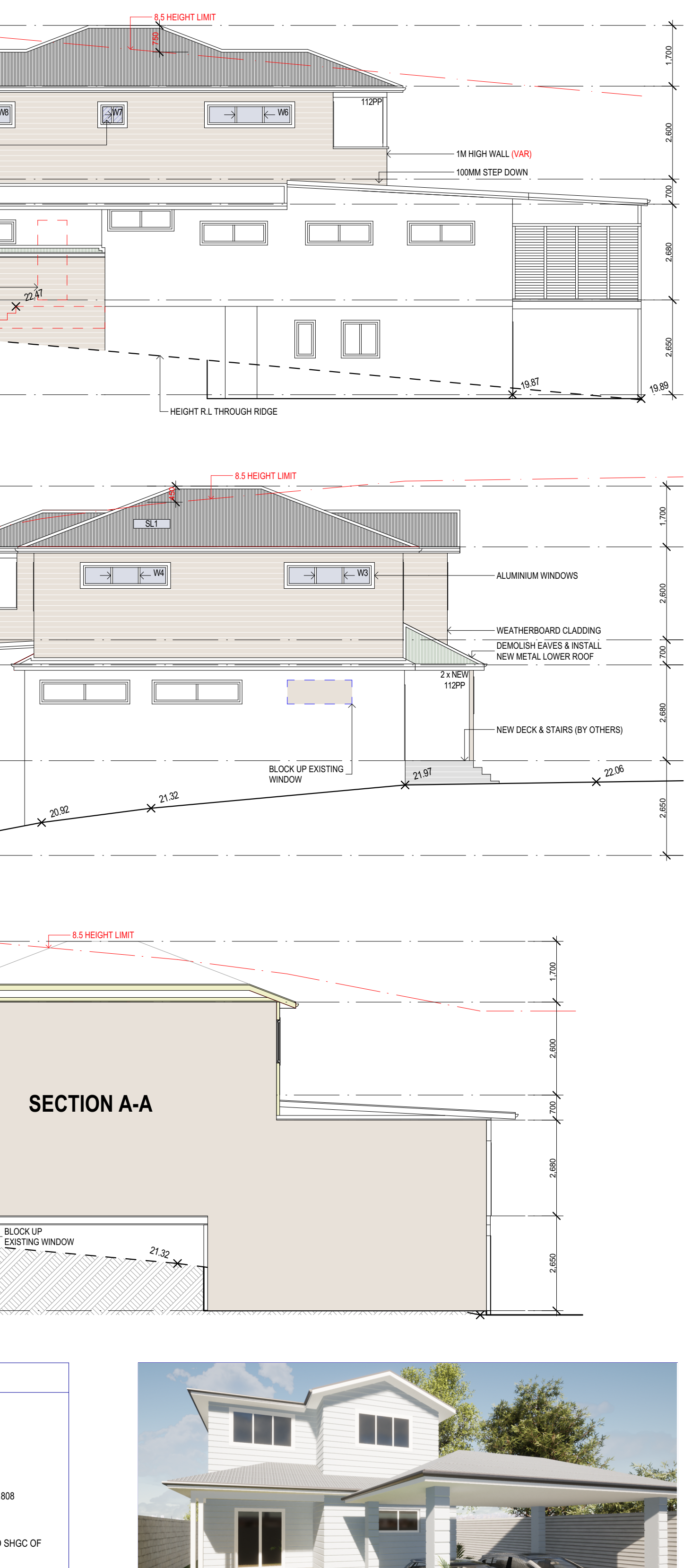
BASMENT FLOOR PLAN



NORTH ELEVATION



EAST ELEVATION



SECTION A-A



ARTIST'S IMPRESSION FOR ILLUSTRATION PURPOSES ONLY. NOT TO BE READ AS A WORKING DRAWING

JOB REVIEW 2		EMAIL DATE	00/00/00	B		For Council	17/03/22	TH
JOB REVIEW 1		EMAIL DATE	08/02/22	A		For review	28/01/22	TH
PROJECT TITLE.		SCALE: 1:100		DATE: 17/03/2022				
Proposed Additions at: 1 Bellevue Parade, North Curl Curl NSW 2099		DRAWN BY: TH		CHECKED BY: CW				
TITLE: PLANS, ELEVATIONS AND SECTIONS		DRAWING NO. 1487 DA 1		ISSUE B				

**ADD-STYLE**
HOME ADDITIONS
Upstairs Specialists

ADD-STYLE HOME ADDITIONS
5018 CONDOMINE ST MANLY VALE 2093
PHONE: (02) 9907 8055
EMAIL: info@addstyle.com.au