

**BASIX COMMITMENTS**

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.
- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.
- A NEW GAS INSTANTANEOUS HOT WATER SYSTEM TO BE INSTALLED (POSITION T.B.C)
- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.
- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.
- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE
- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

**LEGEND**

- EXISTING HOUSE WALLS:** HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS** EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:** HOUSE EXTENSION EXTRA GFA
- DEMOLITION:** EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES** AS PER SITE SURVEY PLAN
- CONCRETE** REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:** SELECTED HARDWOOD FLOOR
- WET AREA TILING** SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING** COLOURBOND METAL ROOFING TO FALLS

**SYMBOLS**

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS
- DOUBLE WALL HEIGHT LINE

**DRAWING LIST**

**ARCHITECTURAL DRAWING SET - DA**

DRAWING NO.	ISSUE NO.	ISSUE	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	DA	D	Cover Sheet + Site Plan	1/200	30/08/2019
DA.02	DA	D	Roof Plan	1/100	30/08/2019
DA.03	DA	D	Existing Lower Ground Floor Plan	1/100	30/08/2019
DA.04	DA	D	Existing Ground Floor Plan	1/100	30/08/2019
DA.05	DA	D	Demolition Lower Ground Floor Plan	1/100	30/08/2019
DA.06	DA	D	Demolition Ground Floor Plan	1/100	30/08/2019
DA.07	DA	D	Lower Ground Floor Plan	1/100	30/08/2019
DA.08	DA	D	Ground Floor Plan	1/100	30/08/2019
DA.09	DA	D	First Floor Plan	1/100	30/08/2019
DA.10	DA	D	Elevations North/South	1/100	30/08/2019
DA.11	DA	D	Elevations East/West	1/100	30/08/2019
DA.12	DA	D	Sections	1/100	30/08/2019
DA.13	DA	D	Perspectives	-	30/08/2019
DA.14	DA	D	Glazing Schedule	-	30/08/2019

**PROJECT TEAM**

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NORTHERN BEACHES COUNCIL  
MANLY CIVIC CENTRE  
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MANLY NSW 2095

**GENERAL**

+ DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT: THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA OR CDC.  
THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC OR CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT.

+ DRAWING INFORMATION: THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION.

+ SITE SURVEY INFORMATION: THE SITE INFORMATION HEREIN HAS BEEN TRANSPROSED FROM THE TRUE NORTH SURVEY PLAN #B7320U. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BODY WALL TO BE DETERMINED ACCURATELY.

+ COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

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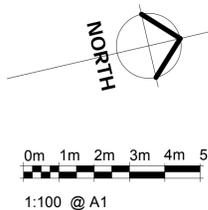
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**1 Site Plan**  
1 : 200

**ABBREVIATIONS**

AC AIR CONDITIONED	FIG FIGURE	PW PLASTERBOARD WALL
AHD AUSTRALIAN HEIGHT DATUM	FFL FINISHED FLOOR LEVEL	QTY QUANTITY
ADH ADHESIVE	FE FIRE EXTINGUISHER	REF REFERENCE
AG AGGREGATE	FR FIRE RESISTANT	RW RENDERED & PAINTED WALL
AL ALUMINIUM	FW FLOOR WASTE	RWH RAIN WATER HEAD
AW AWNING	G GLASS	RWP RAIN WATER PIPE
B BALUSTRADE	GALV GALVANIZED	RL REDUCED LEVEL
BK BRICK WALL	GP GAS POINT	RC REINFORCED CONCRETE
BIT BITUMEN	H HYDRANT	SB MAIN ELECTRICAL SWITCH BOARD
BHD BULKHEAD	HWS HOT WATER SYSTEM	SC STEEL COLUMN
BOW BOTTOM OF WALL	HYD HYDRAULIC	SHD SHOWER
BM BENCHMARK	LS LANDSCAPING	SLD SLIDING DOOR
BW BLOCKWORK WALL	LV LOUVRE	SPEC SPECIFICATION
C CONCRETE	MECH MECHANICAL	SS STAINLESS STEEL
CANT CANTILEVER	MDIF MEDIUM DENSITY FIBRO BOARD	STR STRUCTURAL SLAB LEVEL
CJ CONSTRUCTION JOINT	MOD MODIFICATION	SW STONE WALL
CL CENTRE LINE	MR METAL ROOFING	STD STANDARD
CW CONCRETE WALL	MS MILD STEEL	SWP STORM WATER PIT
CLIN COLUMN	MV MECHANICAL VENTILATION	T TILE
CPT CARPET	NGL NATURAL GROUND LEVEL	TD TIMBER DECKING
DIM DIMENSION	NTS NOT TO SCALE	TOW TOP OF WALL
DP DOWNPIPE	OFC OFF FORM CONCRETE	TYP TYPICAL
DRAIN	OG OBSCURE GLAZING	UB UNIVERSAL BEAM
EJ EXPANSION JOINT	OH OVER HEAD	US UNDERSIDE
ENG ENGINEER	P SELECTED PAVING	V VENTILATION
EWS EXTERNAL WALL SYSTEM	PB PLASTERBOARD	W WINDOW
EX EXISTING	PFC PARALLEL FLANGE CHANNEL	WC WATER CLOSET
EXH EXHAUST	PL PLANTER	WM WATER MAIN
F FALL TO SCREED	PP POWER POLE	WT WASH TROUGH
FG FIXED GLAZING	PS PRIVACY SCREEN	WPM WATER PROOFING MEMBRANE

Residential Alterations & Additions CLASS 1a Building  
7 CLIFFORD AVENUE, FAIRLIGHT  
LOT B; SEC 1 - D.P. 315261  
EXISTING SITE AREA 522.5m<sup>2</sup>



**NOTES**

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C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA

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**DU PLESSIS ARCHITECTS**

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0433408368  
www.droom.com.au

NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY House Alterations & Additions**

CLIENT NAME:  
**GEORGE & TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue Fairlight NSW 2094**

DRAWING TITLE:  
**Cover Sheet + Site Plan**

DRAWN:  
**AH**

CHECKED:  
**EDUP**

SCALE:  
**1:200@A1**

DRAWING NO:  
**DA.01**

ISSUE:  
**D**

DATE:  
**30/08/2019**

**DEVELOPMENT APPLICATION**

**BASIX COMMITMENTS**

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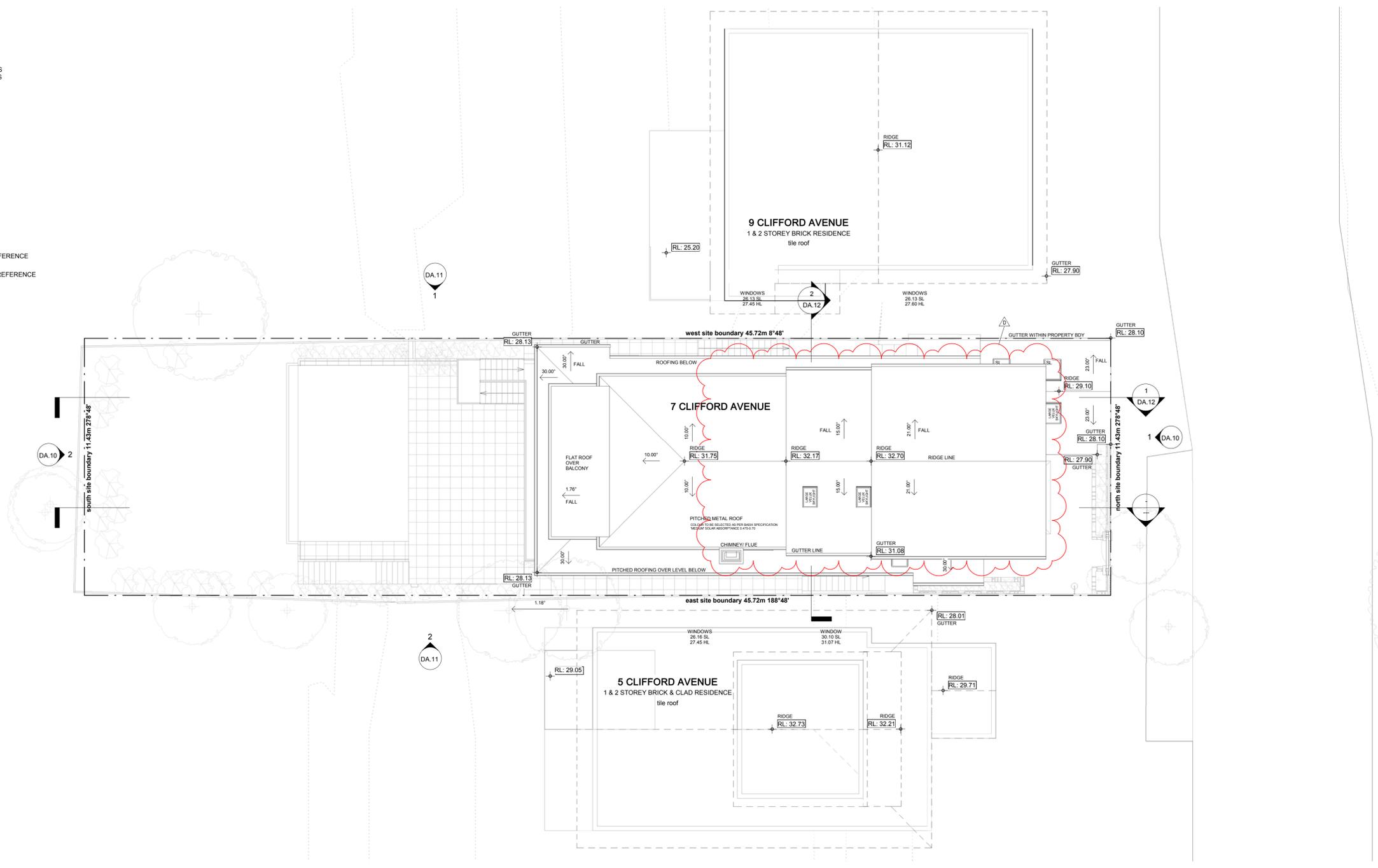
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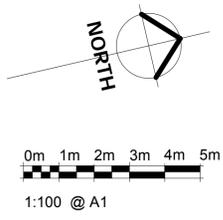
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- PLAN/ SECTION REFERENCE
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**1** Roof Plan  
1 : 100



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DRAWING NO:  
**DA.02**

ISSUE:  
**D**

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**30/08/2019**

DEVELOPMENT APPLICATION

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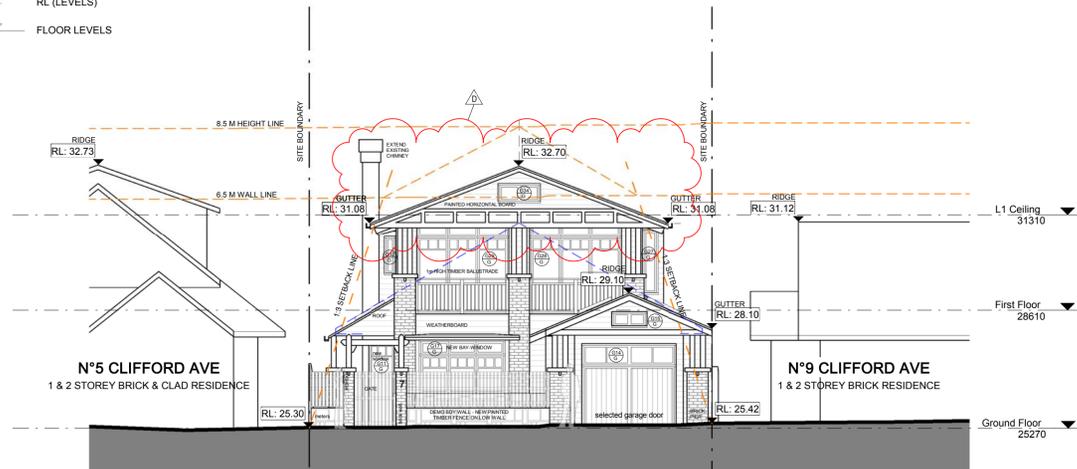
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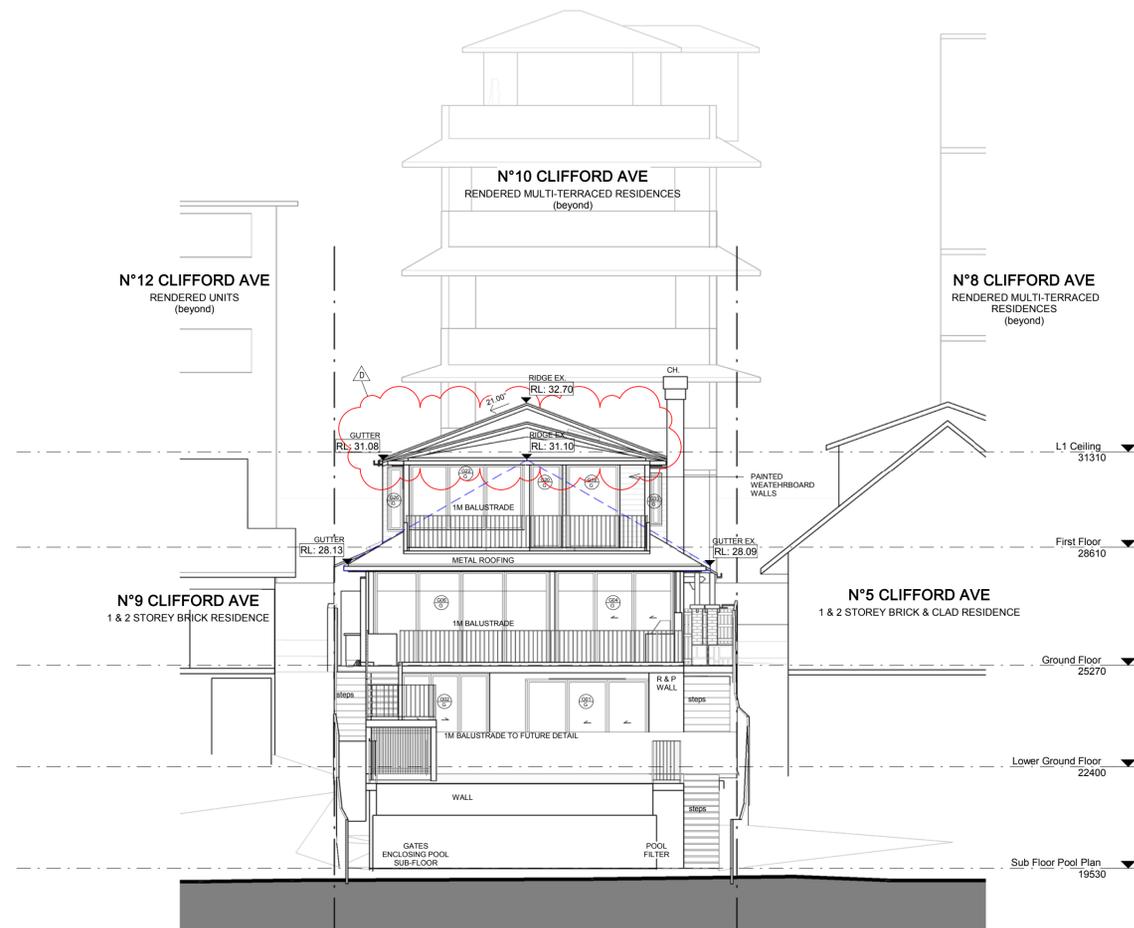
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**1** North Elevation  
1 : 100



**2** South Elevation  
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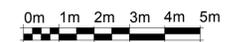
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DATE:  
**30/08/2019**

DEVELOPMENT APPLICATION



1:100 @ A1

**BASIX COMMITMENTS**

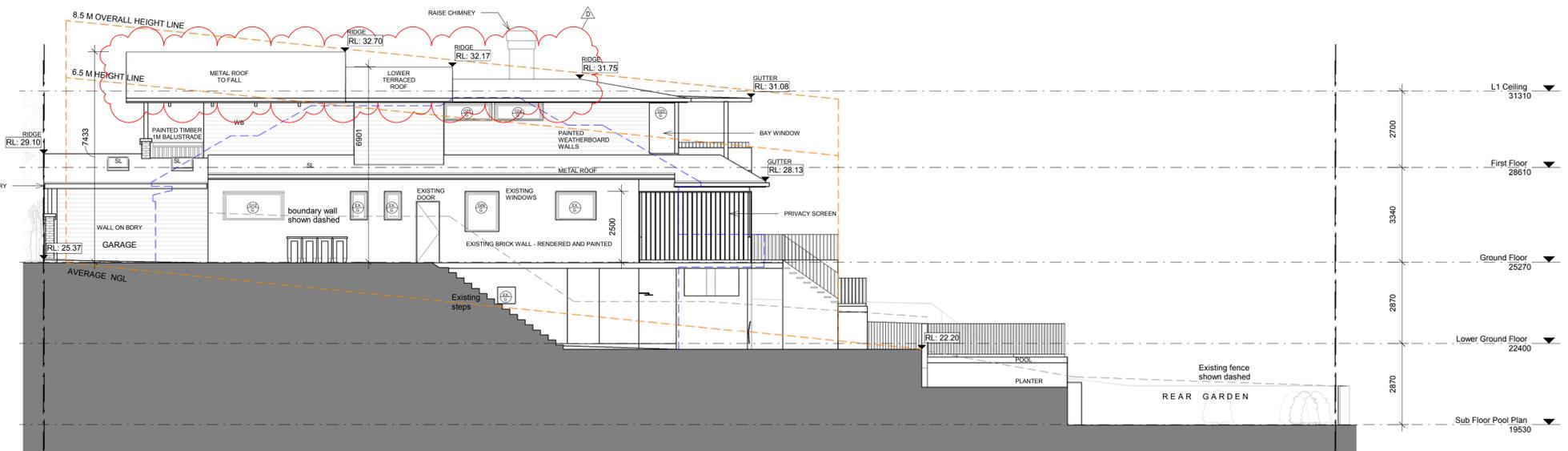
- READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:
- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.
  - THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.
  - PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.
  - A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED (POSITION T.B.C)
  - A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.
  - ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.
  - ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE
  - ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.
  - THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

**LEGEND**

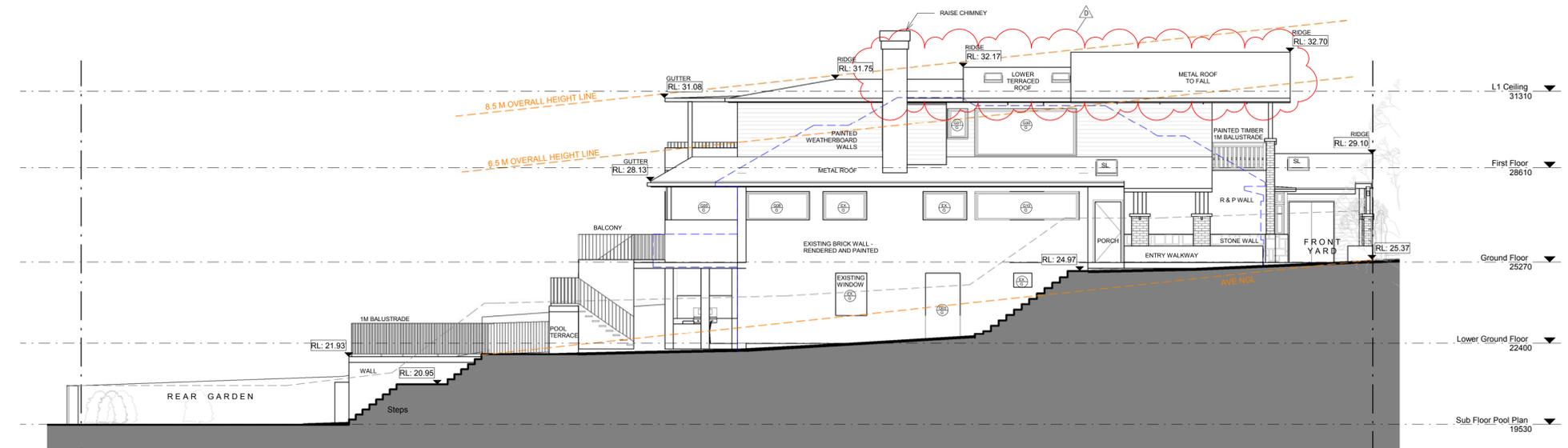
- EXISTING HOUSE WALLS: HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS
- EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
- INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION: HOUSE EXTENSION EXTRA GFA
- DEMOLITION: EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES AS PER SITE SURVEY PLAN
- CONCRETE REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR: SELECTED HARDWOOD FLOOR
- WET AREA TILING: SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING: COLOURBOND METAL ROOFING TO FALLS

**SYMBOLS**

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- DCP/LEP WALL HEIGHT LINE
- PLAN/SECTION REFERENCE
- PLAN/ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS



**1 West Elevation**  
1 : 100



**2 East Elevation**  
1 : 100

**NOTES**

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- EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

Issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA

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NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY House Alterations & Additions**

CLIENT NAME:  
**GEORGE + TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue Fairlight NSW 2094**

DRAWING TITLE:  
**Elevations East/West**

DRAWN: **AH** CHECKED: **EDUP**

SCALE:  
**1:100@A1**

DRAWING NO:  
**DA.11**

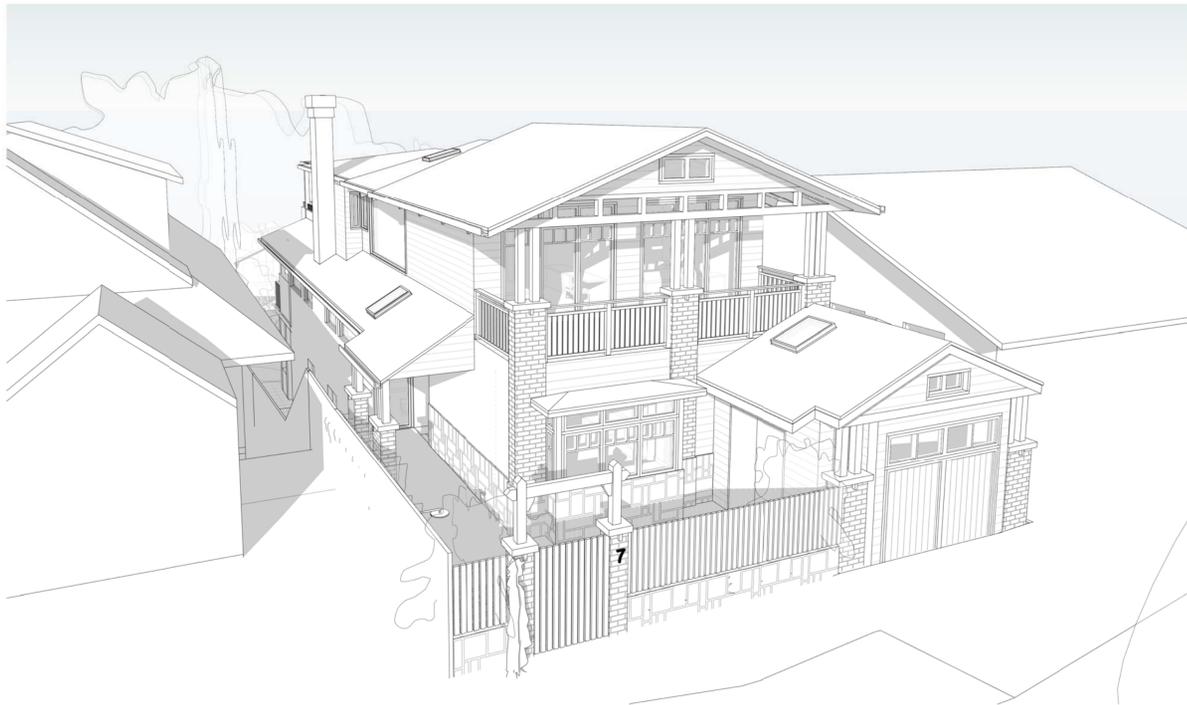
ISSUE: **D** DATE: **30/08/2019**

DEVELOPMENT APPLICATION





1 Perspective North



3 Perspective Northeast



2 Perspective - Southwest



4 Perspective Northwest

NOTES

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C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA

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NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY House Alterations & Additions**

CLIENT NAME:  
**GEORGE + TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue  
Fairlight NSW 2094**

DRAWING TITLE:  
**Perspectives**

DRAWN:  
**AH**

CHECKED:  
**EDUP**

SCALE:

DRAWING NO.:

**DA.13**

ISSUE:  
**D**

DATE:  
**30/08/2019**

DEVELOPMENT APPLICATION

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issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA

Glazing Schedule												
GLAZING	WINDOW TYPE	FLOOR	AREA	LENGTH	HEIGHT	SILL HEIGHT	ORIENTATION	FUNCTION	QUANTITY	FRAME TYPE	SHADING	HARDWARE
G01		LG	9 m²	3486	2500	0		Exterior	1	TIMBER		
G02		LG	7 m²	2523	2670	0		Exterior	1	TIMBER		
G03		LG	3 m²	1220	2500	0		Exterior	1	TIMBER		
G04		GF	9 m²	3365	2700	0		Exterior	1	TIMBER		
G05		GF	6 m²	2401	2700	0		Exterior	1	TIMBER		
G06		GF	13 m²	4990	2700	0		Exterior	1	TIMBER		
G07		GF	9 m²	3775	2500	0		Exterior	1	TIMBER		
G08		GF	2 m²	2250	1000	1500		Exterior	1	TIMBER		
G09		GF	2 m²	1200	1400	1100		Exterior	1	TIMBER		
G10		GF	4 m²	3681	1000	1500		Exterior	1	TIMBER		
G11		GF	2 m²	797	2425	0		Exterior	1	TIMBER		
G12		GF	2 m²	2147	1000	1500		Exterior	1	TIMBER		
G13		GF	1 m²	700	2100	0		Exterior	1	TIMBER		
G14		GF	6 m²	2700	2400	0		Exterior	1	TIMBER		
G15		GF	0 m²	1000	400	2908		Exterior	1	TIMBER		
G16		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G17		GF	4 m²	2635	1500	1000		Exterior	1	TIMBER		
G18		GF	1 m²	350	1500	1000		Exterior	1	TIMBER		
G19		FF	4 m²	1520	2400	0		Exterior	1	TIMBER		
G20		FF	2 m²	930	2400	0		Exterior	1	TIMBER		
G21		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G22		FF	6 m²	3250	1900	500		Exterior	1	TIMBER		
G23		FF	2 m²	900	1800	500		Exterior	1	TIMBER		
G24		FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
G25		FF	1 m²	1700	600	1700		Exterior	1	TIMBER		
G26		FF	1 m²	450	1800	500		Exterior	1	TIMBER		
G27		FF	1 m²	450	1800	500		Exterior	1	TIMBER		
G28		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G29		FF	7 m²	2605	2500	0		Exterior	1	TIMBER		
G30		FF	6 m²	3580	1670	430		Exterior	1	TIMBER		
G31		FF	1 m²	700	1050	1050		Exterior	1	TIMBER		
G32		FF	0 m²	330	1050	1050		Exterior	1	TIMBER		
G33		FF	0 m²	330	1450	650		Exterior	1	TIMBER		
G34		FF	1 m²	1200	500	3100		Exterior	1	TIMBER		

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NSW REGISTERED ARCHITECT #7435  
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY**  
House Alterations & Additions

CLIENT NAME:  
**GEORGE + TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue**  
Fairlight NSW 2094

DRAWING TITLE:  
**Glazing Schedule**

DRAWN:  
**AH**

CHECKED:  
**EDUP**

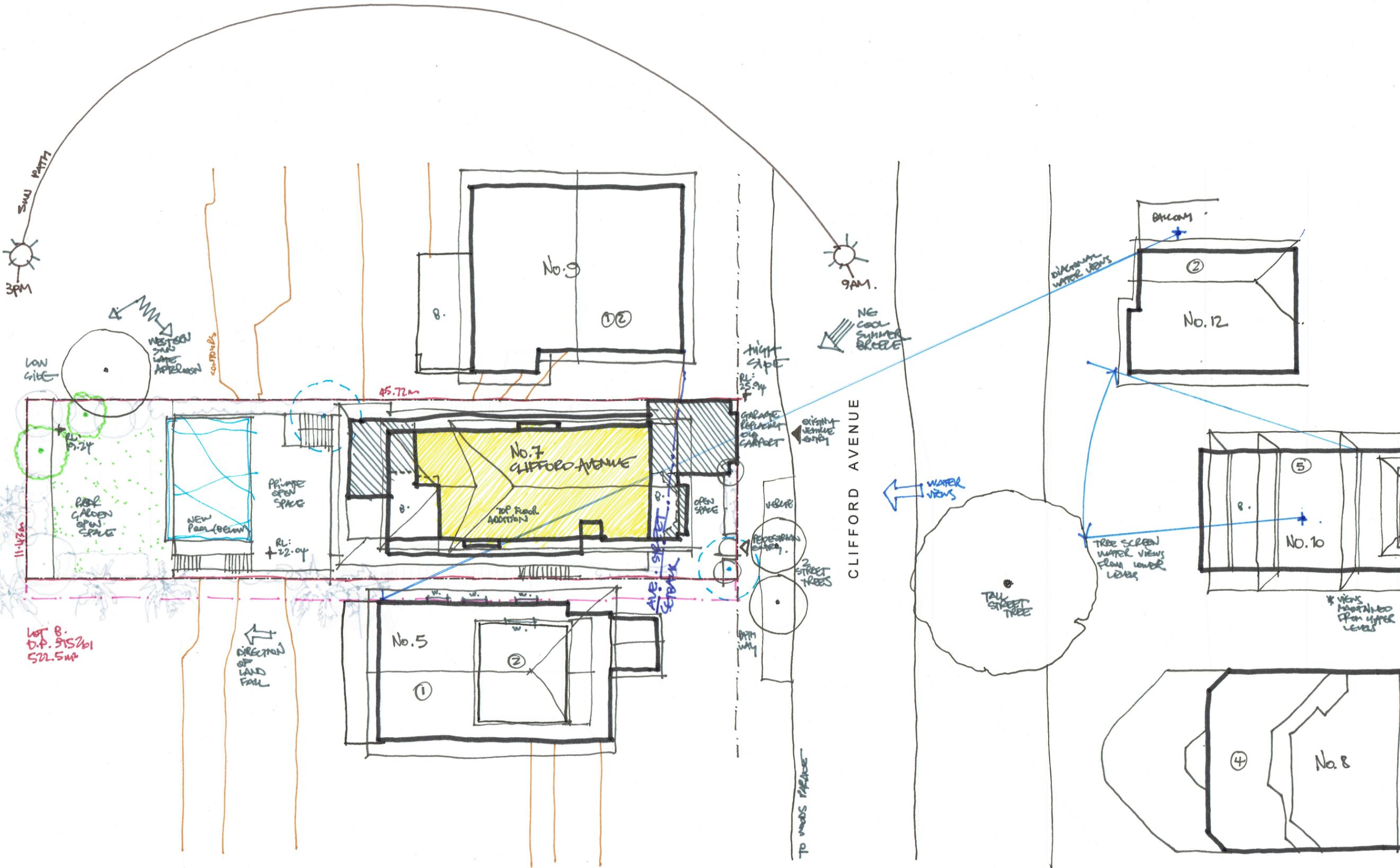
SCALE:

DRAWING NO:  
**DA.14**

ISSUE:  
**D**

DATE:  
**30/08/2019**

DEVELOPMENT APPLICATION



- LEGEND**
- SITE BOUNDARY
  - ▭ EXISTING BUILDINGS
  - ▭ PROPOSED GROUND FLOOR
  - ▭ PROPOSED FIRST FLOOR
  - TREES TO BE REMOVED
  - NEW REPLACEMENT TREES
  - EXISTENT (SPRINKLER)
  - ① NUMBER OF STREETS
  - ② LANDSCAPE
  - ③ VIEWS
  - ④ SETBACK LINES
  - ⑤ GARDEN OPEN SPACE

**NOTES**

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ISSUE	DATE	DESCRIPTION
B	03.10.2018	PRELIMINARY
C	05.11.2018	DEVELOPMENT APPLICATION

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NSW  
REGISTERED ARCHITECT  
#7435  
NOMINATED ARCHITECT:  
EUGENE DU PLESSIS

PROJECT TITLE:  
OPADCHY  
House Alterations & Additions

CLIENT:  
GEORGE & TATIANA OPADCHY

ADDRESS:  
7 Clifford Avenue  
Fairlight NSW 2094

DRAWING TITLE:  
SITE  
ANALYSIS

DRAWN: H DU PLESSIS	CHECKED: E DU PLESSIS
------------------------	--------------------------

SCALE:  
1:75 [A1]

DRAWING NO.:  
SA.002

ISSUE: C	DATE: 05.11.2019
-------------	---------------------

DRAWING STATUS:  
DEVELOPMENT APPLICATION

**Site Analysis**  
SCALE 1:125/A1



## **SCHEDULE OF EXTERNAL COLOURS & FINISHES**

**Address:** No. 7 Clifford Avenue, Fairlight NSW 2093

**Project:** Alterations to an existing residential dwelling

**Applicants & Owners:** George & Tatiana Opadchy

**Prepared by:** Du Plessis + DuPlessis Architects

**Date:** March 2019

**Issue:** NBC Council Development Application

## **WALLS**

### **1. Existing house masonry walls**

Make good and re-paint existing house lower level brick and/or rendered walls.

*Refer Dulux paint colours below.*

### **2. Proposed addition framed light-weight walls**

Painted weatherboard cladding (typically Scyon Linea).

*Refer Dulux paint colours below.*

### **3. Garden & other feature walls**

Selected sandstone wall cladding (typically Eco Outdoor).

## **ROOFS**

### **4. All roofing**

Pitched Colorbond metal roofs to falls [0.58 Solar Absorptance & BCA Class 'M']

*Refer Colorbond roof colour below 'Windspray'*

### **5. All roof gutters, downpipes, etc**

Selected profiles (typically Stratco)

*Refer Colorbond roof colour below 'Windspray'*

## **FLOORING**

### **6. House Terraces & Balconies**

Selected large format slip free tiles to falls

*Selected external grade travertine large format tiles*

## **WINDOW & DOORS**

### **7. All doors & Windows**

White painted hardwood timber frame window & doors

*Refer Dulux paint colours below.*

## **OTHER**

### **8. Gables, fascia, eaves, timber fretwork, privacy screens, balustrades, street picket fence, etc**

White painted hardwood timber, board & other

*Refer Dulux paint colours below.*

### **9. Pool safety fencing**

Frameless glass to detail [to comply with regulations]

### **10. Skylights**

Proprietary as per manufacturer's details [Velux or similar glazing to comply with BASIX].

*\* Refer enclosed External & Internal Mood Boards*

Microsoft Edge browser window displaying the Dulux website. The address bar shows the URL: <https://www.dulux.com.au/colour-ideas/white-on-white>. The page title is "White on White™".

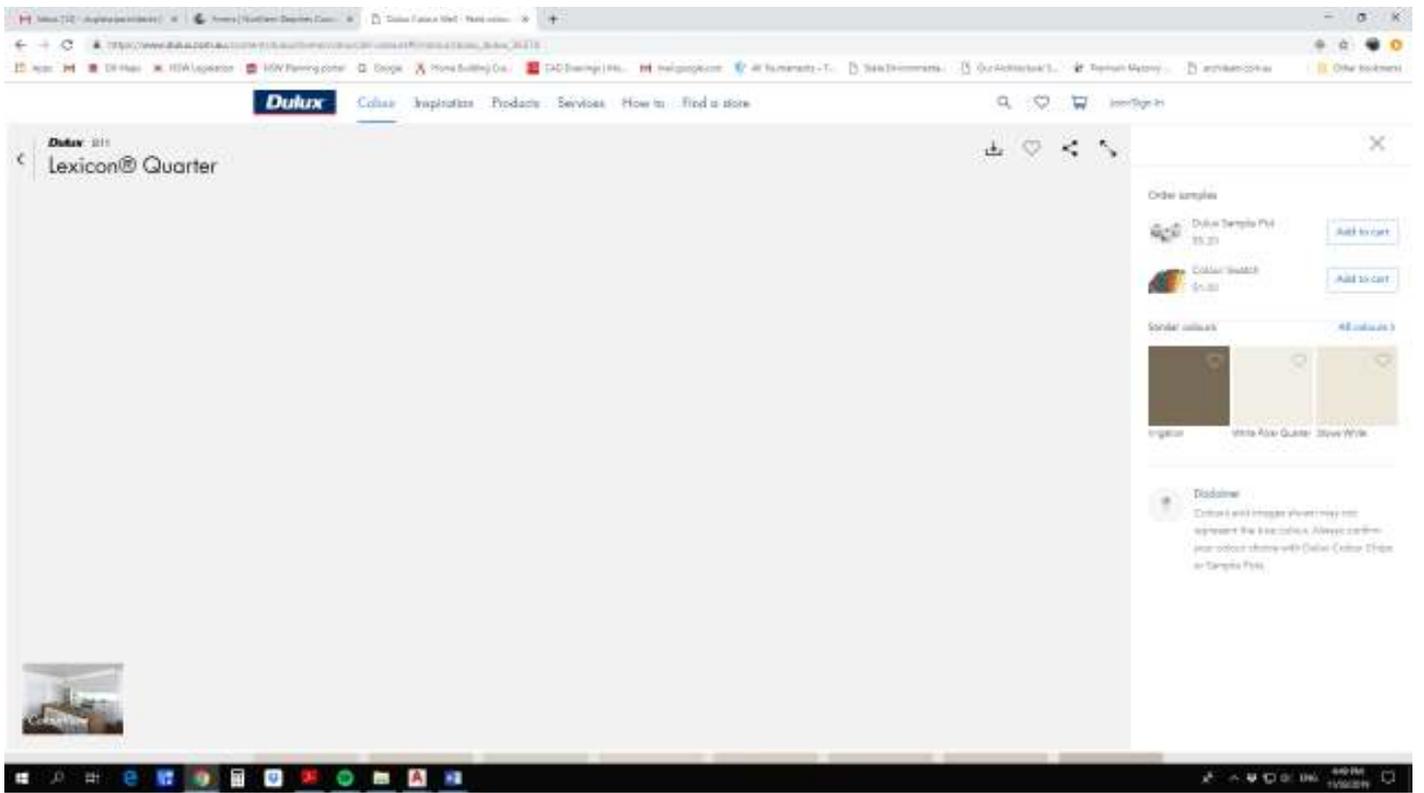
The website header includes the Dulux logo and navigation links: [Colour](#), [Inspiration](#), [Products](#), [Services](#), and [How to find a store](#). A search icon, a heart icon, and a shopping cart icon are also visible.

The main content area features a large light gray background with the text "White on White™" and a small image of a bedroom in the bottom left corner.

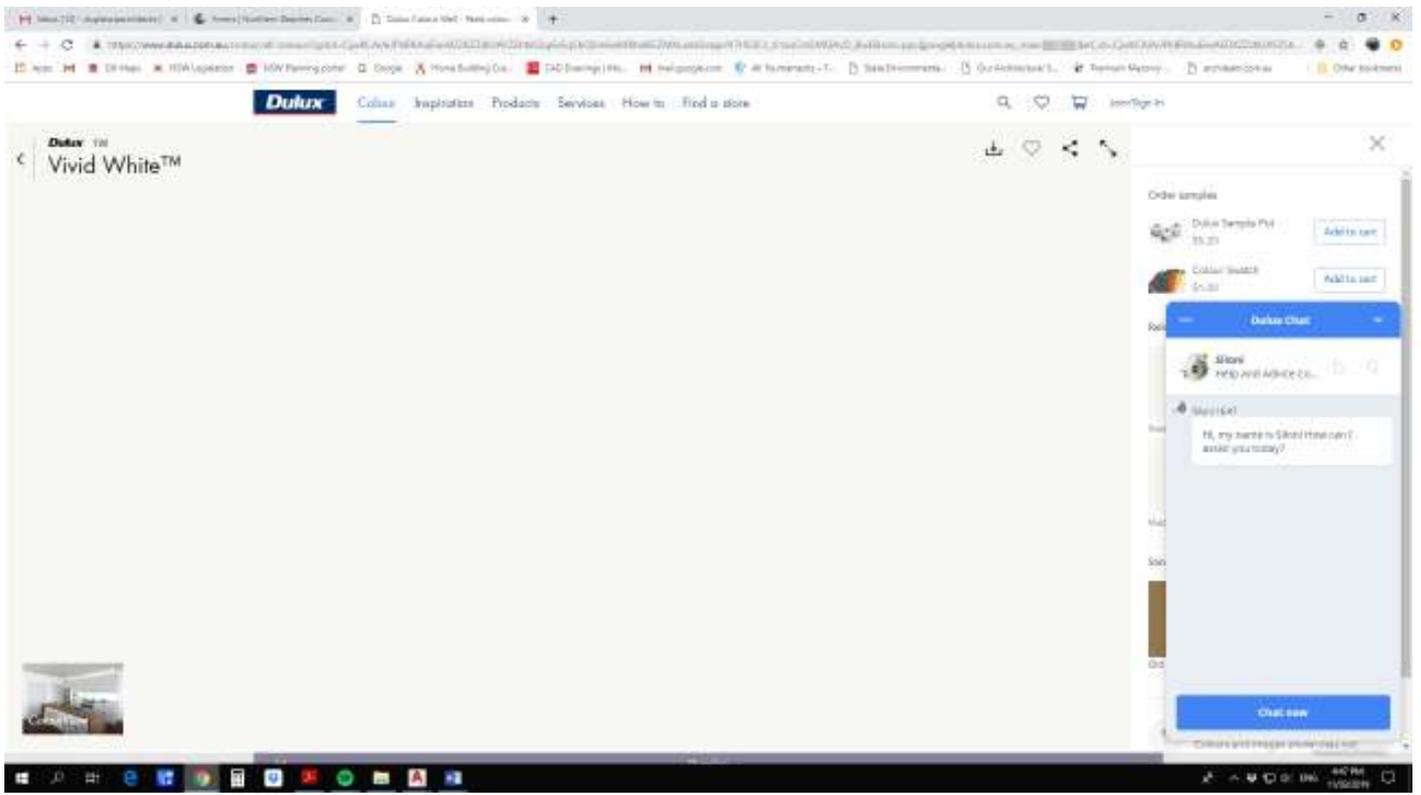
A right-hand sidebar contains the following sections:

- Order samples:** Includes "Dulux Tempa Pint" (55.25) and "Colour Watch" (5.50), each with an "Add to cart" button.
- Related schemes:** A grid of color swatches with labels: "White on White™", "Lime Shred Red", "Soft Salmon Quake", "White on White™", "Angels' Kiss", "Bute Ridge", and "All colours".
- Similar colours:** A grid of color swatches with labels: "Iron", "Honey White™", and "White On White™".

The Windows taskbar at the bottom shows the Start button, task view, and several application icons. The system tray on the right indicates the date and time as "10:40 PM 11/20/2019".







Microsoft Edge browser window showing the Dulux website. The address bar displays the URL: <https://www.dulux.com.au/colour-ideas/white-polar-quarter>. The page title is "White Polar Quarter".

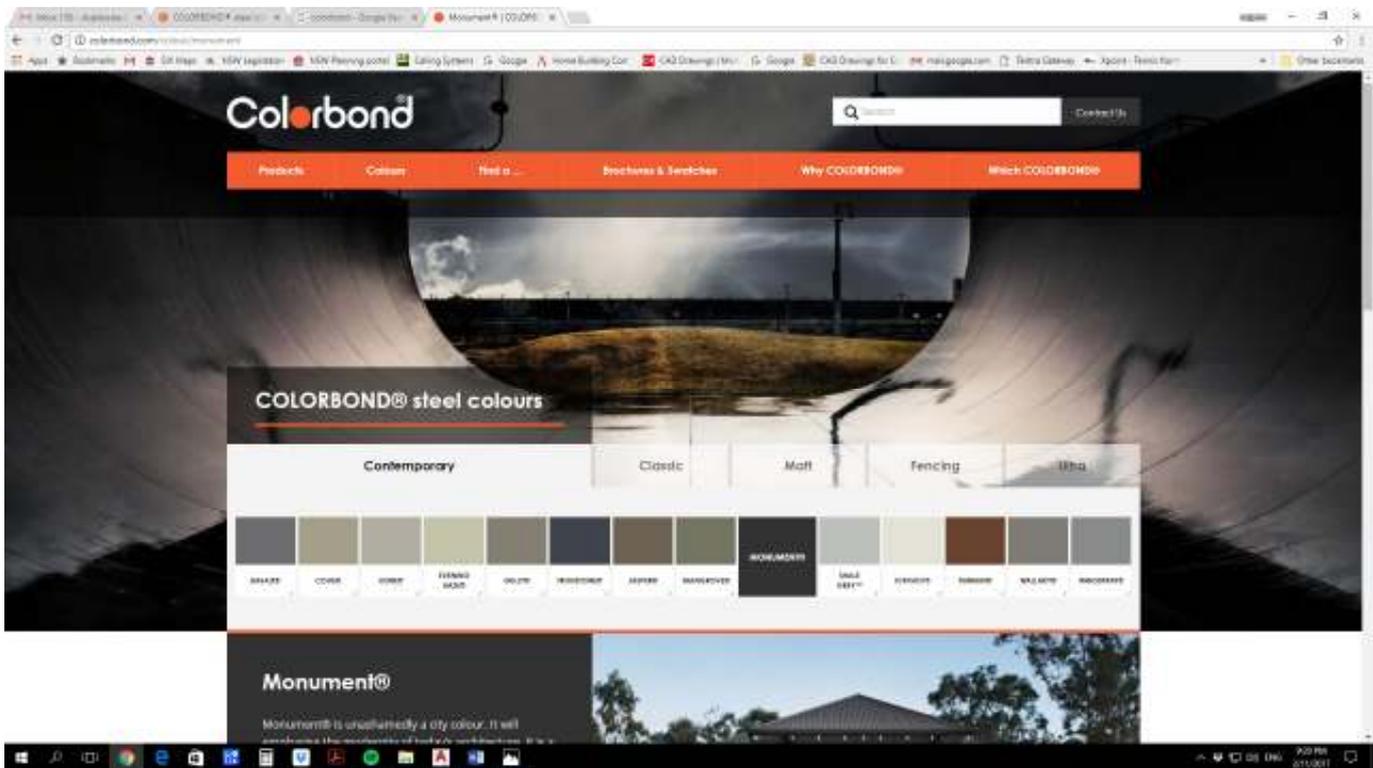
The website header includes the Dulux logo and navigation links: [Colour](#), [Inspiration](#), [Products](#), [Services](#), [How to](#), and [Find a store](#). A search icon, a heart icon, and a shopping cart icon are also visible, along with the text "Sign in".

The main content area features a large, light beige background with the text "White Polar Quarter" at the top left. A small image of a room is visible in the bottom left corner.

On the right side, there is a sidebar with the following sections:

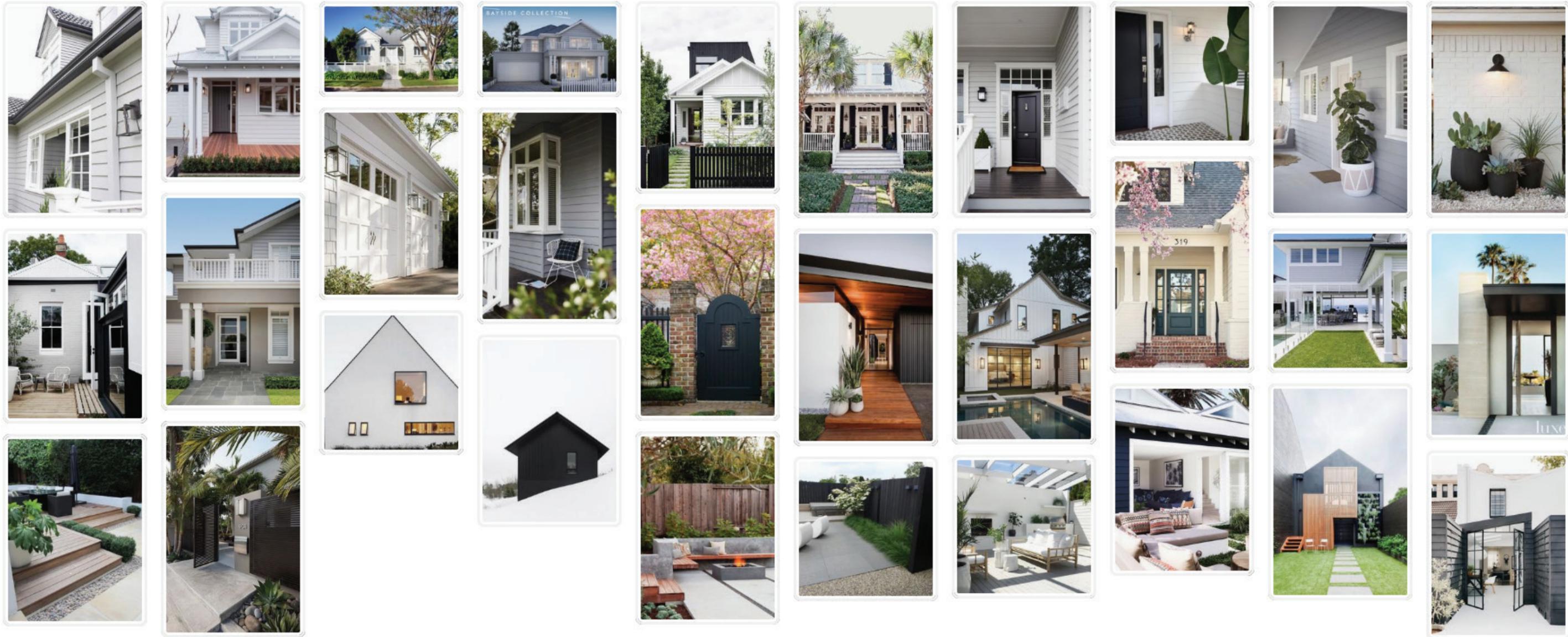
- Order samples:** Includes "Dulux Sample Kit" for \$5.20 and "Colour Watch" for \$1.00, both with "Add to cart" buttons.
- Related schemes:** Displays three color swatches: "White Polar Quarter", "Green Pastel Ash", and "Dorset Red". Below them are two more swatches: "White Polar Quarter" and "Amulet White".
- Similar colours:** Includes a link to "All colours" and three color swatches: "Levcoff Quarter", "Dove White", and "Dark o' EA".
- Did you know:** A section with the text "Colour and design ideas for you".

The Windows taskbar is visible at the bottom of the screen, showing various application icons and the system tray.



# Exteriors

Colours, Gates, Flooring



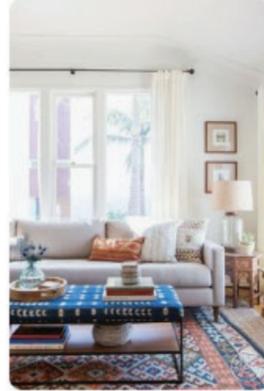
# Interiors

Living and Dining Areas / 1



# Interiors

Living and Dining Areas / 2



# Colour Palette

Options



**LANDSCAPE NOTES**

**1. SITE PREPARATION**  
 ANY EXISTING TREES AND VEGETATION TO BE RETAINED SHALL BE PRESERVED AND PROTECTED FROM DAMAGE OF ANY SORT DURING THE EXECUTION OF LANDSCAPE WORK. IN PARTICULAR, ROOT SYSTEMS OF EXISTING PLANTS MUST NOT BE DISTURBED IF POSSIBLE.  
 ANY NEARBY SITE WORKS SHOULD BE CARRIED OUT CAREFULLY USING HAND TOOLS. TO ENSURE THE SURVIVAL AND GROWTH OF EXISTING TREES DURING LANDSCAPING WORKS, PROTECT BY FENCING OR ARMORING WHERE NECESSARY.  
 TREES SHALL NOT BE REMOVED OR LOPPED UNLESS SPECIFIC WRITTEN APPROVAL TO DO SO IS GIVEN OR IS INDICATED ON PLAN. STORAGE OF MATERIALS, MIXING OF MATERIALS, VEHICLE PARKING, DISPOSAL OF LIQUIDS, MACHINERY REPAIRS AND REFUELLING, SITE OFFICE AND SHEDS, AND THE LIGHTING OF FIRES SHALL NOT OCCUR WITHIN THREE (3) METERS OF ANY EXISTING TREES.  
 DO NOT STOCKPILE SOIL, RUBBLE OR OTHER DEBRIS CLEARED FROM THE SITE, OR BUILDING MATERIALS, WITHIN THE DROPLINE OF EXISTING TREES. VEHICULAR ACCESS SHALL NOT BE PERMITTED WITHIN THREE (3) METERS OF ANY TREE.

**2. SOIL PREPARATION**  
 ALL PROPOSED PLANTING AREAS TO BE DEEP RIPPED TO 300MM AND CLAY SOILS TO BE TREATED WITH CLAY BREAKER. HARVEST EXISTING TOP SOIL FROM SITE AND STORE ON SITE. MIX WITH 25% A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.  
 APPLY AT LEAST 200MM SOIL DEPTH TO PLANTING AREAS. ADDITIONAL REQUIRED SOIL TO BE OF GOOD QUALITY PLANTING MIX TO BE IMPORTED AND COMBINED WITH 25% DEPTH A.N.L. GREENLIFE COMPOST OR APPROVED EQUIVALENT.  
 TO BE FULLY MIXED PRIOR TO INSTALLATION AND THEN WORKED IN WITH HOE. CARE TAKEN TO HAND CULTIVATE IN ANY AREA WHERE EXISTING TREE ROOTS EXIST TO PRESERVE HEALTH OF TREES.

**3. NEW PLANTINGS**  
 NEWLY PLANTED TREES AND LARGE SHRUBS SHOULD BE SECURED TO STAKES WITH HESSIAN TIES TO PREVENT ROCKING BY WIND.  
 PLANTING HOLES FOR PLANT MATERIAL SHOULD BE LARGE ENOUGH IN SIZE TO TAKE ROOT BALL WITH ADDITIONAL SPACE TO TAKE BACK FILLING OF GOOD QUALITY PLANTING MIX. (SEE DETAIL). MATURE HEIGHTS OF PLANTING AS SHOWN ON PLANTING SCHEDULE SHOW THE GREATEST HEIGHT POSSIBLE IN IDEAL CONDITIONS.  
 THESE HEIGHTS ARE SUBJECT TO PARTICULAR SITE CONDITIONS, POSSIBLE CONTAINER ENVIRONMENTS AND INTENDED HEDGING OR PRUNING FOR FUNCTIONAL REQUIREMENTS SUCH AS AVAILABLE PLANTING WIDTH INTENDED ACCESS UNDER BRANCHES AND SOLAR ACCESS.

**4. MULCHING**  
 ALL PLANTING AREAS TO BE MULCHED WITH A MINIMUM 100MM THICK COVER OF FOREST FINES MULCH AND THEN ALL PLANT AREAS TO BE THOROUGHLY SOAKED WITH WATER.

**5. FERTILIZER**  
 ALL PLANTING AREAS TO BE FERTILIZED WITH 9 MONTH NPK SLOW RELEASE FERTILIZER

**6. STAKING**  
 TO THOSE PLANTS INDICATED ON THE PLANTING SCHEDULES PROVIDE HARDWOOD STAKES AS NOMINATED AND DRIVEN INTO GROUND TO A DEPTH ABLE TO ACHIEVE RIGID SUPPORT.

**7. LAWN EDGING**  
 ALL PLANTER BEDS ADJACENT TO LAWN AREAS TO HAVE FLUSH TIMBER EDGING TO FUTURE DETAIL.

**8. IRRIGATION**  
 AUTOMATIC WATERING SYSTEM TO BE SELECTED. TO EXTEND TO ALL LANDSCAPED AREAS INCLUDED IN WORKS. IN GROUND DRIP LINE IRRIGATION ONLY. EXCLUDING LAWN AREAS. THE LANDSCAPE CONTRACTOR IS TO LIAISE WITH COUNCIL AS NECESSARY TO ENSURE THAT THE IRRIGATION SYSTEM CONFORMS WITH ALL WATER BOARD, COUNCIL, AND AUSTRALIAN STANDARDS (AS) TO BE CONNECTED TO PREFABRICATED RAINWATER STORAGE TANKS LOCATED IN SUB-BASE AREA.

**9. TURFING**  
 TURF TO BE SOFT LEAF BUFFALO ON 150mm GOOD QUALITY TURF UNDERLAY OVER SOIL AREAS TO BE DEEP RIPPED TO 300MM DEPTH PRIOR TO INSTALLATION.

**10. STRUCTURAL**  
 ALL STRUCTURAL PLANTER RETAINING WALLS TO ENGINEER'S DETAILS

**11. MAINTENANCE**  
 THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE CONTRACT AREAS BY ACCEPTED HORTICULTURAL PRACTICES AS WELL AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE WORKS UNDER NORMAL USE. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE WORKS AND MAKE GOOD ALL DEFECTS FOR A PERIOD OF THIRTEEN (13) WEEKS AFTER THE DATE OF PRACTICAL COMPLETION.  
 PRACTICAL COMPLETION OF THE LANDSCAPE WORKS SHALL INCLUDE BUT NOT BE LIMITED TO THE REPLACEMENT OF PLANTS WHICH HAVE FAILED OR BEEN DAMAGED OR STOLEN DURING WORK UNDER THE CONTRACT.  
 LANDSCAPE MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: WATERING, RUBBISH REMOVAL, SPRAYING AND WIPING LEAF SURFACES, REPLACING FAILED PLANTS, MAINTAINING MULCH, PRUNING, INSECT AND DISEASE CONTROL, CLEANING OF SURROUNDING AREAS.

**POOL NOTES**

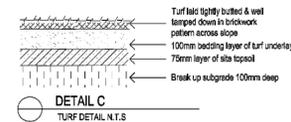
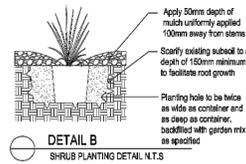
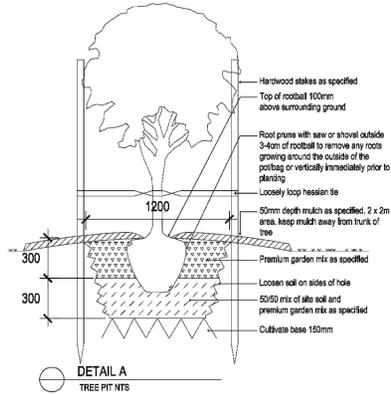
**1. POOL DESIGN**  
 • POOL SIZE = 7.8m x 4.9m  
 • POOL VOLUME = MAXIMUM 36 KILOLITRES  
 • POOL COPING LEVEL = R1.2(1.5)  
 • POOL FENCING = 1.2m FRAMELESS GLASS SAFETY FENCE & GATES TO COMPLY WITH STANDARDS  
 • POOL FILTER BOX = LOCATED IN BELOW ENCLOSED POOL VOID AREA (ACCESSED FROM LOWER GARDEN AREA)

NOTE: POOL SUBJECT TO DETAIL STRUCTURAL ENGINEERING DESIGN BY OTHERS.

**2. POOL FENCING**  
 POOL SAFETY FENCE MUST:  
 • BE AT LEAST 1.2M HIGH (AS MEASURED FROM THE FINISHED GROUND LEVEL)  
 • NOT LEAVE A GAP AT THE BOTTOM BIGGER THAN 100mm FROM THE FINISHED GROUND LEVEL  
 • IF A BOUNDARY FENCE IS PART OF THE POOL FENCE, THE BARRIER MUST BE 1.8m HIGH  
 • NOT HAVE GAPS OF MORE THAN 100mm BETWEEN ANY VERTICAL BARS IN THE FENCE

**3. POOL REGISTRATION**  
 OWNERS TO REGISTER THE POOL WITH COUNCIL, AND/OR FNSW

**4. OTHER**  
 POOL TILES, LIGHTS, ETC TO BE DECIDED.  
 POOL HEATING TO BE CONFIRMED.  
 POOL DRAINAGE TO STORMWATER ENGINEER DETAILS.



**planting schedule**

SYMBOL	BOTANICAL NAME	COMMON NAME	No.	MATURE HEIGHT
<b>TREES</b>				
PLU	PLUMERIA ACUTIFOLIA	FRANGIPANI	2	2-3m
CB	TRISTANOPSIS	NSW XMAS BUSH	2	7m+
<b>SHRUBS</b>				
BMU	BUXUS MICROPHYLLA 'JAPONICUM'	JAPANESE BOX	8	0.5m
MP	MURRAYA	ORANGE JESSAMINE	10	1.5m
SYR	SYZYGIUM RESILIENCE	LILLY PILLY (HEDGED)	12	2-2.5m
<b>ORNAMENTAL GRASSES</b>				
LOT	LOMANDRA LONGIFOLIA	FINE LEAF DWARF LOMANDRA	6	0.5m
<b>TURF</b>				
SWB	SIR WALTER BUFFALO	BUFFALO LAWN	N/A	N/A



PHOTOGRAPH 1  
EXISTING REAR YARD GARDEN

**LEGEND**

- TURF LAWN AREAS
- PLANTING BEDS (GARDEN AREAS)
- EXISTING SITE TREES TO REMAIN
- NEW SITE TREES
- TREES TO BE REMOVED (REFER ARBORIST REPORT)

**NOTES**

- SITE SURVEY INFORMATION:**  
 THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TRUE NORTH SURVEY'S SURVEY PLAN #82500. REFER TO THE SURVEY DRAWING TO CONFIRM COORDINATES, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY THE ARCHITECT AND ACCURACY T.B.CONSIST.
- COORDINATION:**  
 REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:**  
 UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:**  
 EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

ISSUE	DATE	DESCRIPTION
B	20.10.2018	PRELIMINARY DEVELOPMENT APPLICATION
C	05.11.2019	

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.  
 FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALES.  
 ALL DIMENSIONS ARE IN MILLIMETRES (MM).  
 PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.  
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 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONSULTANT'S OTHER DETAIL DOCUMENTATION, SPECIFICATIONS, REPORTS & OTHER.  
 ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

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 NSW  
 REGISTERED ARCHITECT  
 #14125  
 NOMINATED ARCHITECT:  
 EMBENE DU PLESSIS

PROJECT TITLE:  
**OPADCHY House Alterations & Additions**

CLIENT:  
**GEORGE & TATIANA OPADCHY**

ADDRESS:  
**7 Clifford Avenue  
 Fairlight NSW 2094**

DRAWING TITLE:  
**CONCEPT LANDSCAPE PLAN**

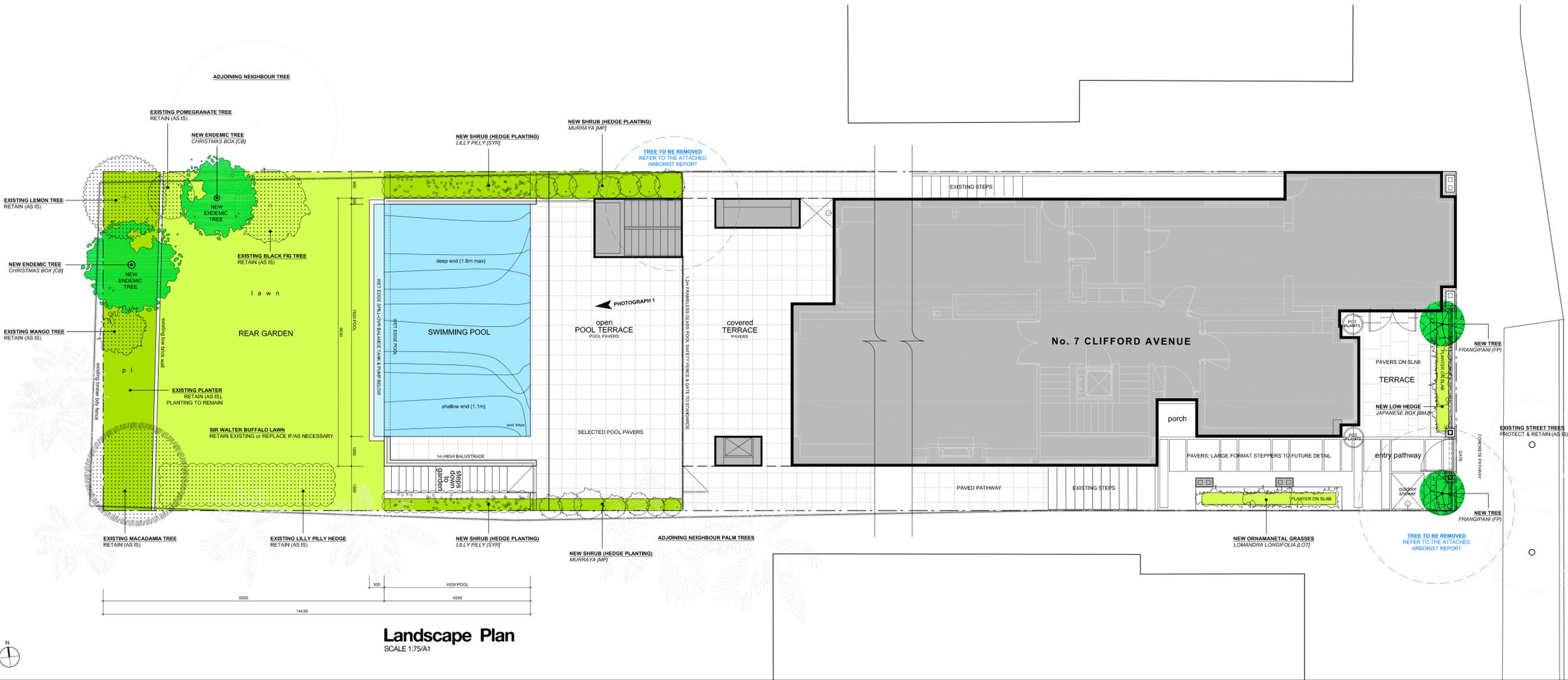
DRAWN: H DU PLESSIS  
 CHECKED: E DU PLESSIS

SCALE:  
**1:75 [A1]**

DRAWING NO:  
**L.001**

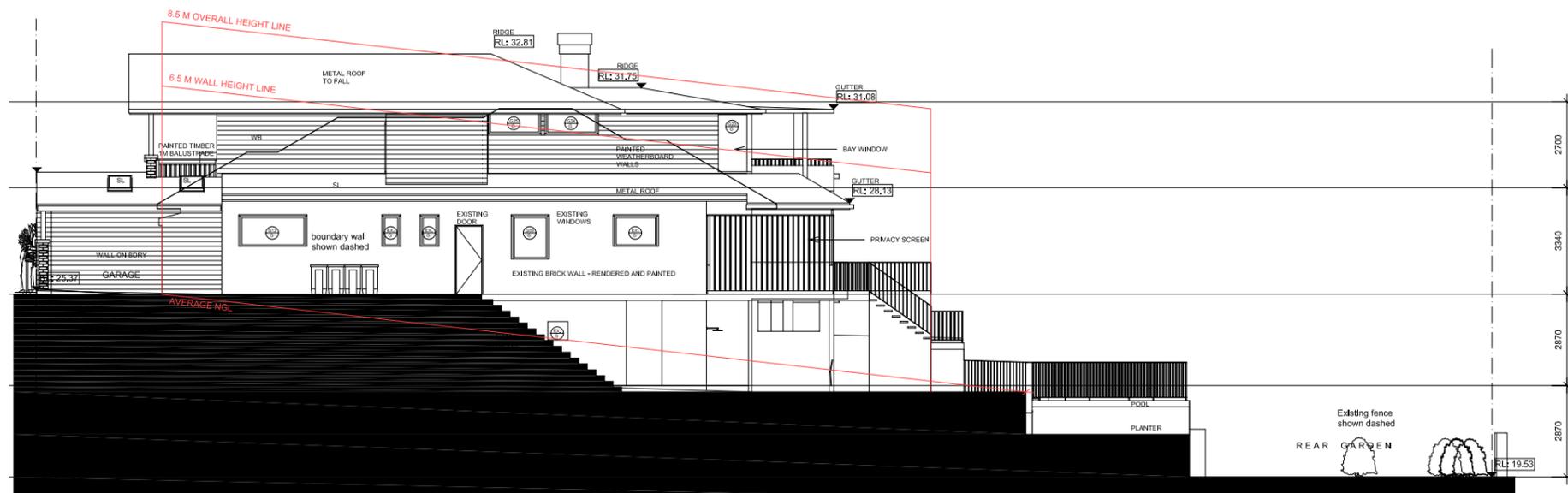
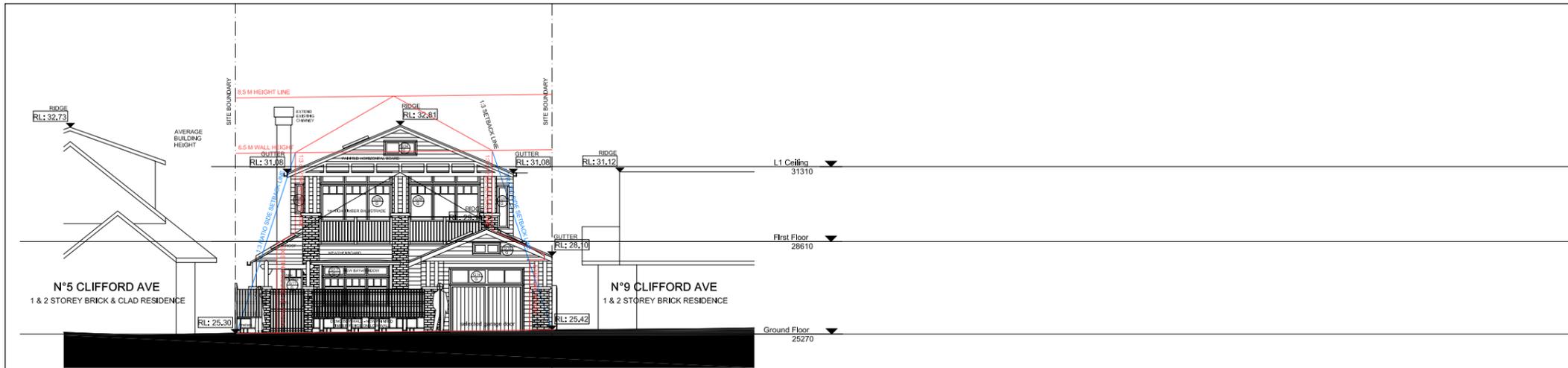
ISSUE: C  
 DATE: 05.11.2019

DRAWING STATUS:  
**DEVELOPMENT APPLICATION**



**Landscape Plan**  
 SCALE 1:75/A1

7 CLIFFORD AVENUE



DuPlessis Architects - Feb 2019 - drawing instruction for DA Compliant Massing Envelope

CERTIFIED PHOTOMONTAGE  
No : PMC156603- Refer to attached Certificate.

Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

**NOTE:**

Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing.  
Camera Data:  
Daylight: 7/09/18 NOON  
Lens: (35mm efl) 24mm lens, Level Target.

**No.10 CLIFFORD AV**

- P 01 Level 4 MASTER BED
- P02 LEVEL 3 KITCHEN / LIVING
  - P02.1 REAR of BALCONY
  - P02.2 FRONT of BALCONY
  - P02.3 LIVING - Standing
  - P02.4 LIVING - Seated
- P03 LEVEL 2 FAMILY
  - P03.1 FAMILY BALCONY
  - P03.2 FAMILY ROOM - Standing
- P04 Level 1 BEDROOM

**No.12 CLIFFORD AV**

- P 05 BALCONY

**NOTE 2: MASSING ENVELOPE**

DA Compliant Massing Envelope model (RED) has been shown in overlay with the Proposed DA Design as per DuPlessis Architects drawing set.

TITLE  
PHOTOMONTAGE VIEW ANALYSIS  
WITH DA MASSING ENVELOPE

DA COMPLIANT MASSING

PROJECT  
PROPOSED ALTERATIONS AND ADDITIONS  
CLIFFORD AVE  
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

**DU PLESSIS**  
**DU PLESSIS ARCHITECTS**

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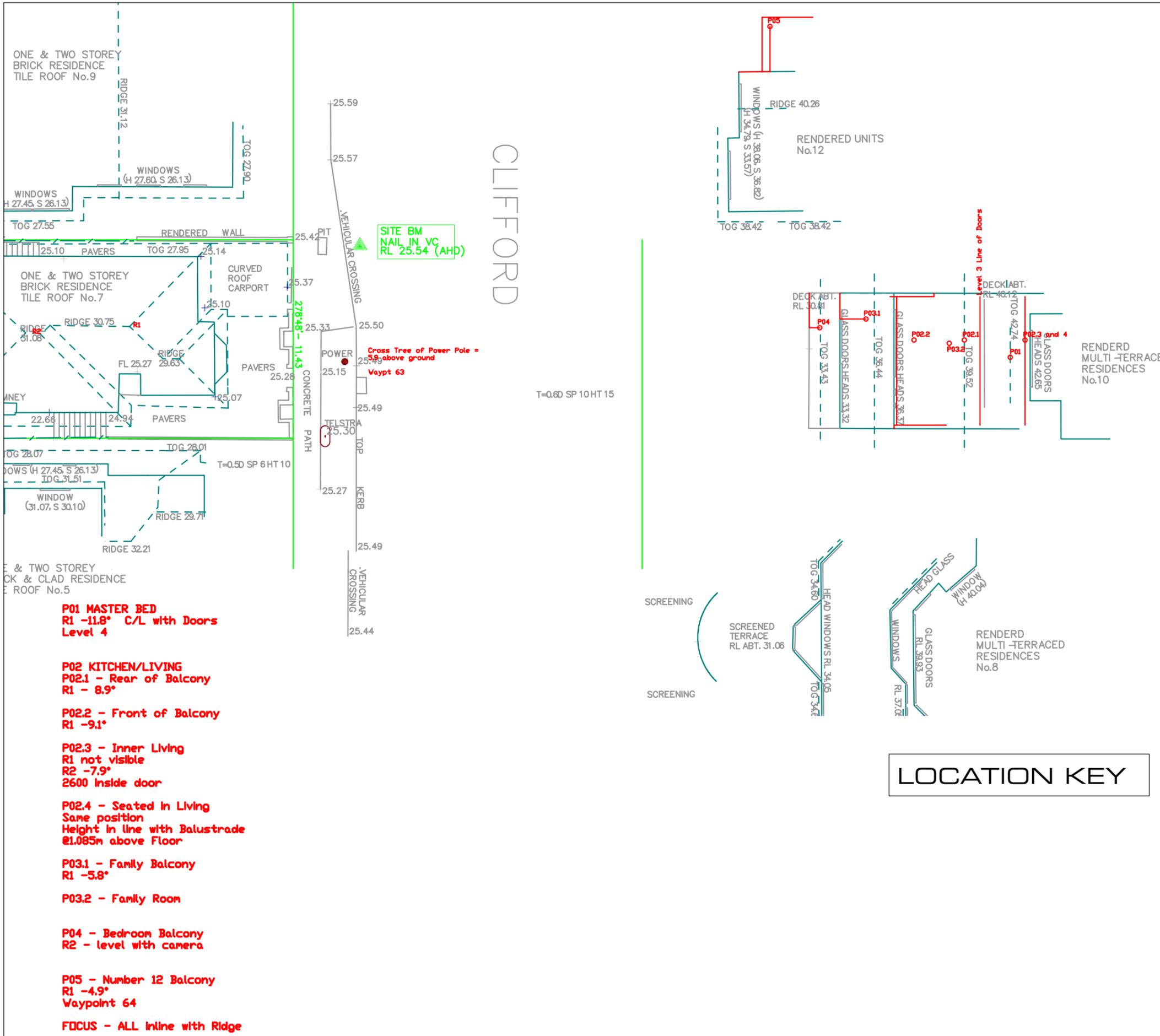
DATA SOURCE (In order of precedence)

- Registered Survey - True North Surveys, Ref 8732, 23/11/17.
- Architectural Plans - (3D Data ) DuPlessis Ref 07.11.18, (Ver B NOV.18)

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- P01 MASTER BED**  
R1 -11.8° C/L with Doors  
Level 4
- P02 KITCHEN/LIVING**  
P02.1 - Rear of Balcony  
R1 - 8.9°  
  
P02.2 - Front of Balcony  
R1 -9.1°  
  
P02.3 - Inner Living  
R1 not visible  
R2 -7.9°  
2600 inside door  
  
P02.4 - Seated in Living  
Same position  
Height in line with Balustrade  
@1.085m above Floor
- P03.1 - Family Balcony**  
R1 -5.8°
- P03.2 - Family Room**
- P04 - Bedroom Balcony**  
R2 - level with camera
- P05 - Number 12 Balcony**  
R1 -4.9°  
Waypoint 64
- FOCUS - ALL inline with Ridge**

**CERTIFIED PHOTOMONTAGE**  
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**NOTE:**  
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Camera Data:  
Daylight: 7/09/18 NOON  
Lens: (35mm efl) 24mm lens, Level Target.

- No.10 CLIFFORD AV**
- P 01 Level 4 MASTER BED
  - P02 LEVEL 3 KITCHEN / LIVING
    - P02.1 REAR of BALCONY
    - P02.2 FRONT of BALCONY
    - P02.3 LIVING - Standing
    - P02.4 LIVING - Seated
  - P03 LEVEL 2 FAMILY
    - P03.1 FAMILY BALCONY
    - P03.2 FAMILY ROOM - Standing
  - P04 Level 1 BEDROOM

- No.12 CLIFFORD AV**
- P 05 BALCONY

TITLE  
**PHOTOMONTAGE VIEW ANALYSIS  
WITH DA MASSING ENVELOPE**

**CAMERA POSITION KEY**

PROJECT  
PROPOSED ALTERATIONS AND ADDITIONS  
**CLIFFORD AVE  
FAIRLIGHT NSW**

CLIENT: George & Tatiana Opadchy

DESIGNER  
**+ DU PLESSIS  
DU PLESSIS ARCHITECTS**

DATA SOURCE (In order of precedence)

- Registered Survey - True North Surveys, Ref 8732, 23/11/17.
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--	--



P03.2 EXISTING



PROPOSED

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Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

**NOTE:**

Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing.

Camera Data:

Daylight: 7/09/18 NOON

Lens: (35mm efl) 24mm lens, Level Target.

No 10 CLIFFORD AVE  
LEVEL 4 MASTER BED



CAMERA LOCATION



TITLE  
PHOTOMONTAGE VIEW ANALYSIS  
WITH DA MASSING ENVELOPE

P03.2 - Level 2 FAMILY ROOM  
No. 10 CLIFFORD AVE

PROJECT  
PROPOSED ALTERATIONS AND ADDITIONS  
CLIFFORD AVE  
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

**DU PLESSIS**  
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DATA SOURCE (In order of precedence)

- Registered Survey - True North Surveys, Ref 8732, 23/11/17.
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P04 EXISTING



PROPOSED

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Certifier: Cameron McFadzean B Arch BA (Arch) IES ABSA AAAI

**NOTE:**

Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing.

Camera Data:

Daylight: 7/09/18 NOON

Lens: (35mm efl) 24mm lens, Level Target.

**No.10 CLIFFORD AV**

- P 01 Level 4 MASTER BED
- P02 LEVEL 3 KITCHEN / LIVING
  - P02.1 REAR of BALCONY
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  - P03.1 FAMILY BALCONY
  - P03.2 FAMILY ROOM - Standing
- P04 Level 1 BEDROOM

**No.12 CLIFFORD AV**

- P 05 BALCONY

3D PROOF



TITLE  
PHOTOMONTAGE VIEW ANALYSIS  
WITH DA MASSING ENVELOPE

P04 - Level 1 BEDROOM  
No. 10 CLIFFORD AVE

PROJECT  
PROPOSED ALTERATIONS AND ADDITIONS  
CLIFFORD AVE  
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER  
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DATA SOURCE (In order of precedence)

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P05 EXISTING



PROPOSED

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Photomontage perspective based on camera data, Laser Survey position and survey photomatch - Existing.

Camera Data:

Daylight: 7/09/18 NOON

Lens: (35mm efl) 24mm lens, Level Target.

No. 10 CLIFFORD AVE  
LEVEL 4 MASTER BED



CAMERA LOCATION



TITLE  
PHOTOMONTAGE VIEW ANALYSIS  
WITH DA MASSING ENVELOPE

P05 - BALCONY  
No. 12 CLIFFORD AVE

PROJECT  
PROPOSED ALTERATIONS AND ADDITIONS  
CLIFFORD AVE  
FAIRLIGHT NSW

CLIENT: George & Tatiana Opadchy

DESIGNER

**DU PLESSIS**  
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