

STAGE 2 - DEVELOPMENT APPLICATION

December 2019 - Rev A

Anna & Tony SCOTT

ALTERATION & ADDITION TO AN EXISTING DWELLING

24 Kitchener Street - BALGOWLAH 2093 NSW

LOT 104 - D.P 6208

DWG No.	DESCRIPTION	REV	SCALE
DA00	COVER PAGE		
DA01	SITE ANALYSIS		1:200
DA02	LANSCAPE AND FLOOR CALCULATION		1:200
DA03	EXISTING GD FLOOR PLAN		1:100
DA04	EXISTING FIRST FLOOR PLAN		1:100
DA05	EXISTING ROOF PLAN		1:100
DA06	PROPOSED GD FLOOR PLAN		1:100
DA07	PROPOSED FIRST FLOOR PLAN		1:100
DA08	PROPOSED ROOF PLAN		1:100
DA09	EAST & WEST ELEVATIONS		1:100
DA10	NORTH & SOUTH ELEVATIONS		1:100
DA11	SECTION A & B & POOL		1:100
DA12	PERSPECTIVES		
DA13	WINDOW & DOOR SCHEDULE		
DA14	EXTERNAL FINISHES		
DA15	SEDIMENT AND CONTROL PLAN		1:200

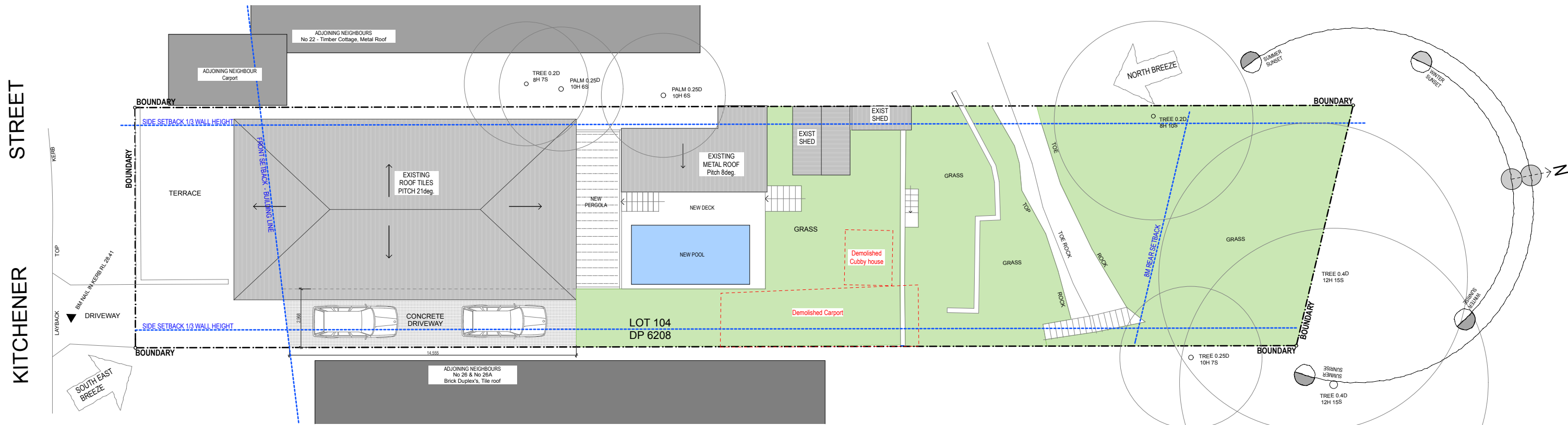




VIEW FROM THE STREET



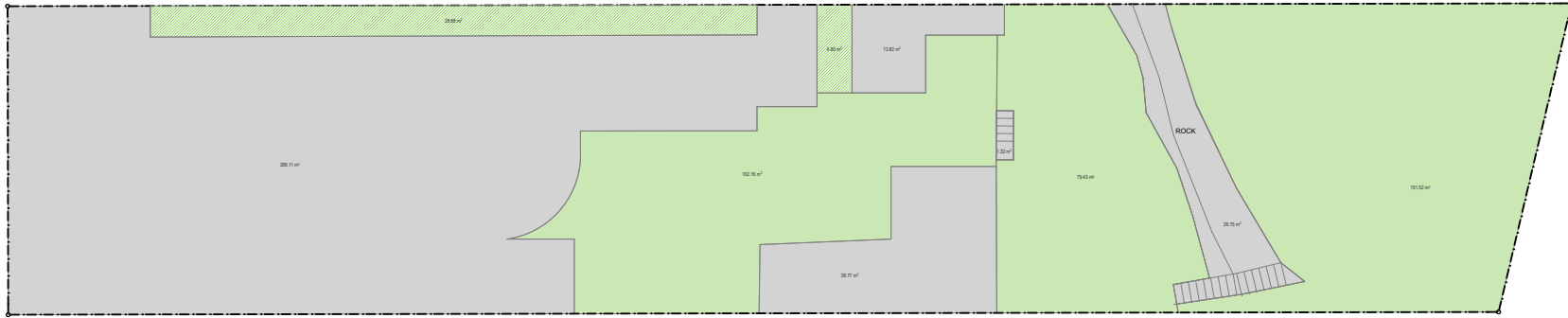
VIEW FROM GARDEN



SITE PLAN

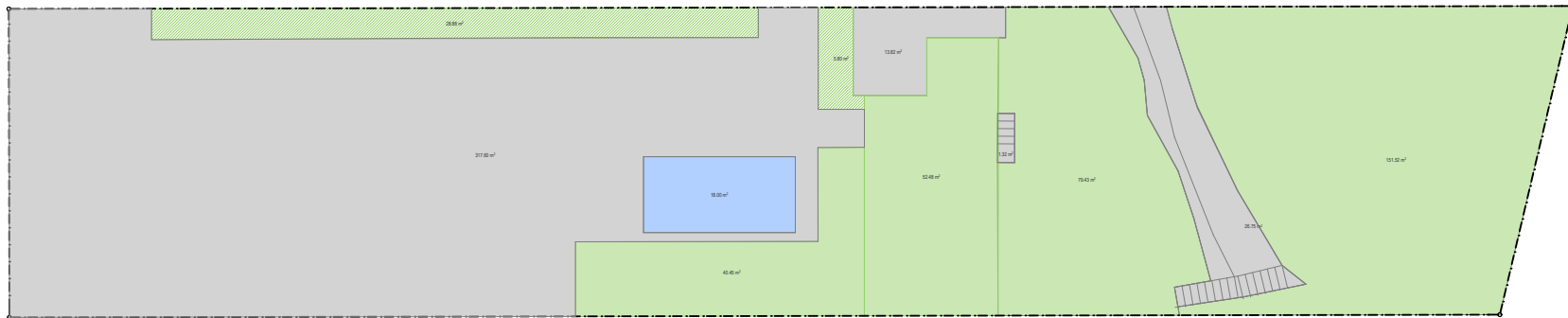
1:200

NOTES		PROJECT DETAILS		Plot Date:	Scale:
		24 Kitchener Street		11/2/20	1:200 @ A3
		BALGOWLAH 2093 NSW		Drawing Title:	
		LOT 104		SITE ANALYSIS	
		DP: 6208			
		Package:	Status:	Drawing No.:	Revision:
		DEVELOPMENT APPLICATION	ISSUED	DA01	



EXISTING

1:200

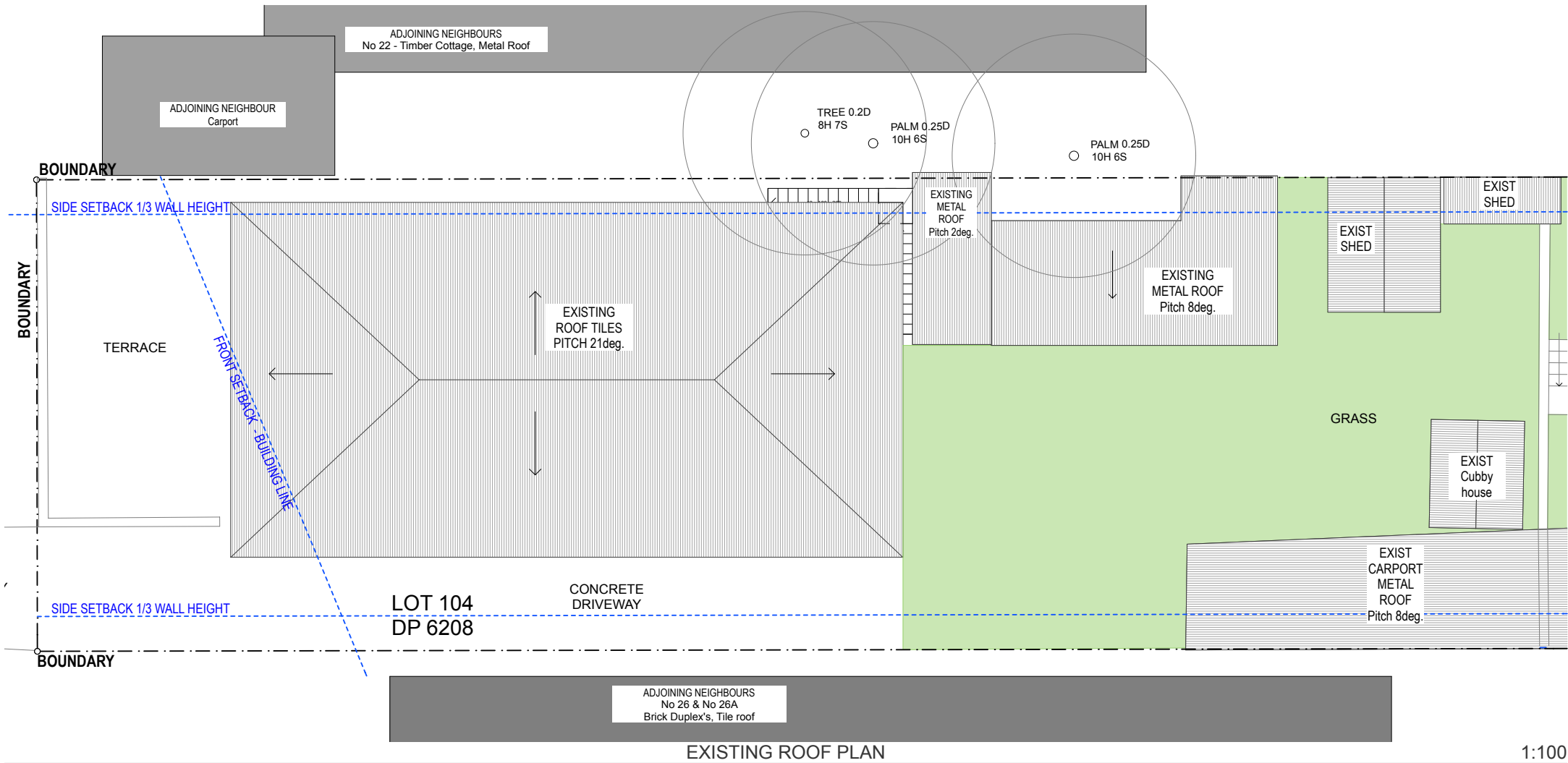


PROPOSED

1:200

LEGEND : SITE CALCULATIONS		EXIST	PROPOSED
	SITE AREA	735.6m ²	735.6m ²
	SOFT LANDSCAPE AREA (INCL)	331.1m ² / 45%	323.9m ² / 44%
	SOFT LANDSCAPE AREA (NOT INCL)	33.1m ² / 4.6%	34.7m ² / 4.7%
	IMPERVIOUS AREA	369.1m ² / 50%	359.4m ² / 48.9%
	POOL AREA	0 m ² / 0 %	18m ² / 2.4%
	TOTAL OPEN SPACE	514 m ² / 70 %	500m ² / 68%
	FLOOR AREA		
	Occupancy 01	- Gd Floor 65m2	116m2
	Occupancy 01	- 1st Floor 109m2	109m2
	Occupancy 02	- Gd Floor 36m2	
	Total	210m2	225m2

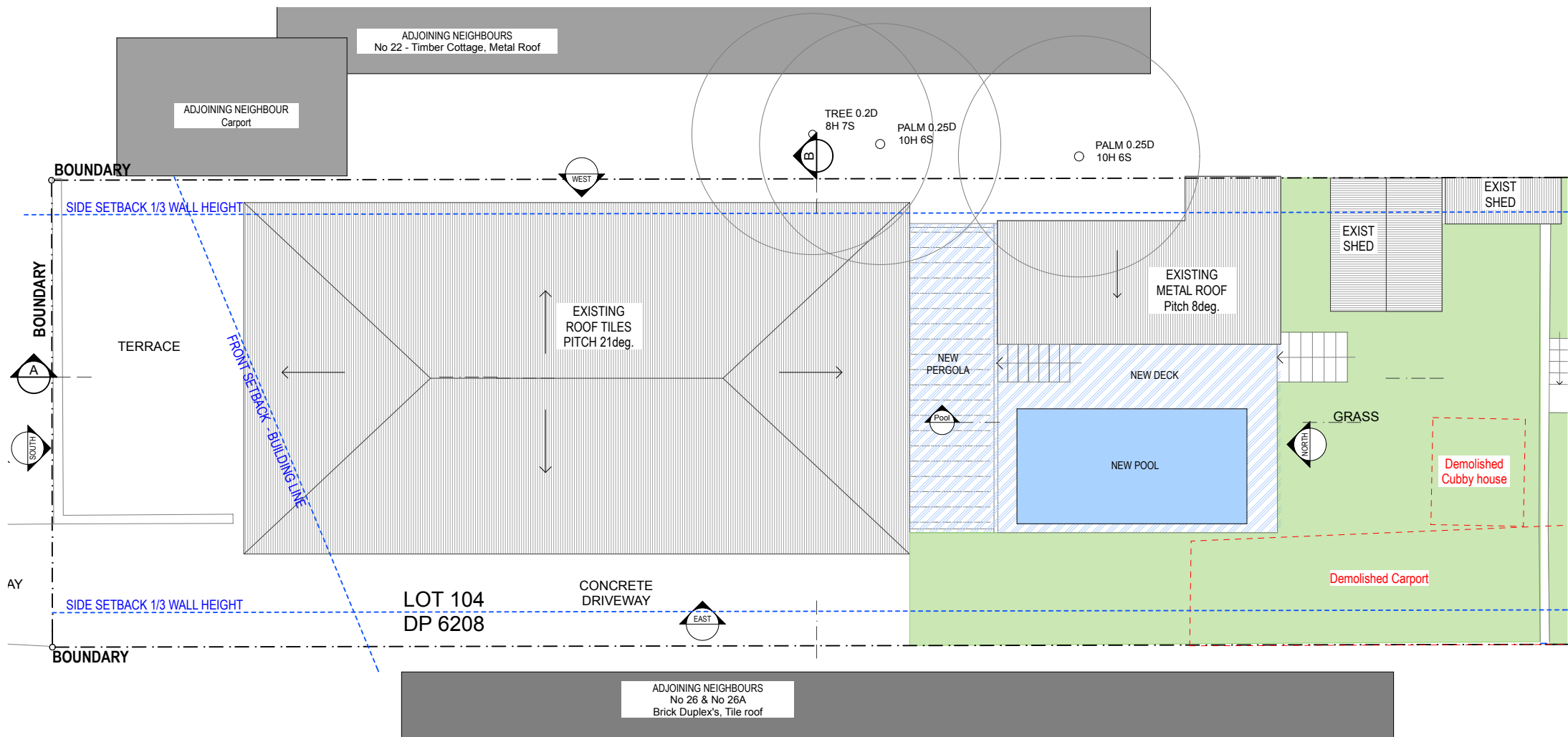
NOTES	PROJECT DETAILS		Plot Date:	Scale:
	24 Kitchener Street BALGOWLAH 2093 NSW LOT 104 DP: 6208		5/12/19	1:200 @ A3
	Package: DEVELOPMENT APPLICATION		Status: ISSUED	Drawing Title: LANDSCAPE AND FLOOR CALCULATION
			Drawing No.: DA02	Revision:



1:100

<p>NOTES</p>  <p>TRUE NORTH</p>	<p>PROJECT DETAILS</p> <p>24 Kitchener Street BALGOWLAH 2093 NSW LOT 104 DP: 6208</p> <p>Package: DEVELOPMENT APPLICATION Status: ISSUED</p>	<p>Plot Date: 5/12/19 Scale: 1:100 @ A3</p> <p>Drawing Title: EXISTING ROOF PLAN</p> <p>Drawing No.: DA05 Revision:</p>
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NOTE : STORMWATER TO CONNECT TO EXISTING SYSTEM AS PER COUNCIL'S DCP.

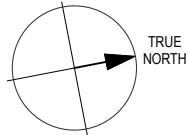


1:100

PROPOSED AREAS
EXISTING WALLS
DEMOLISHED

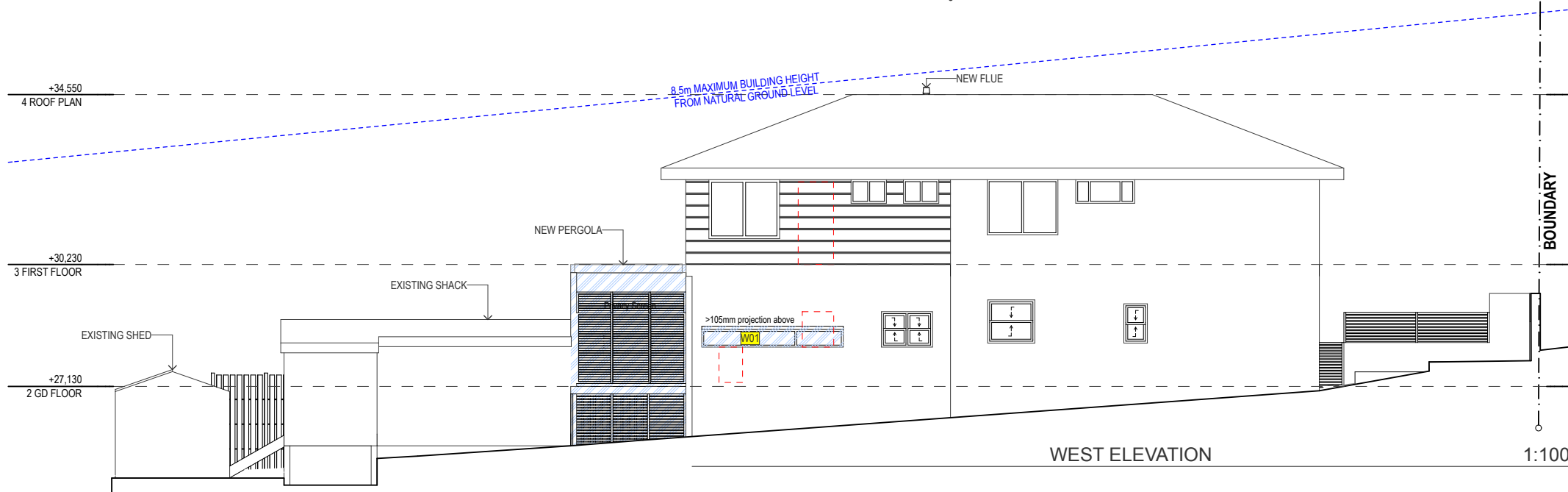
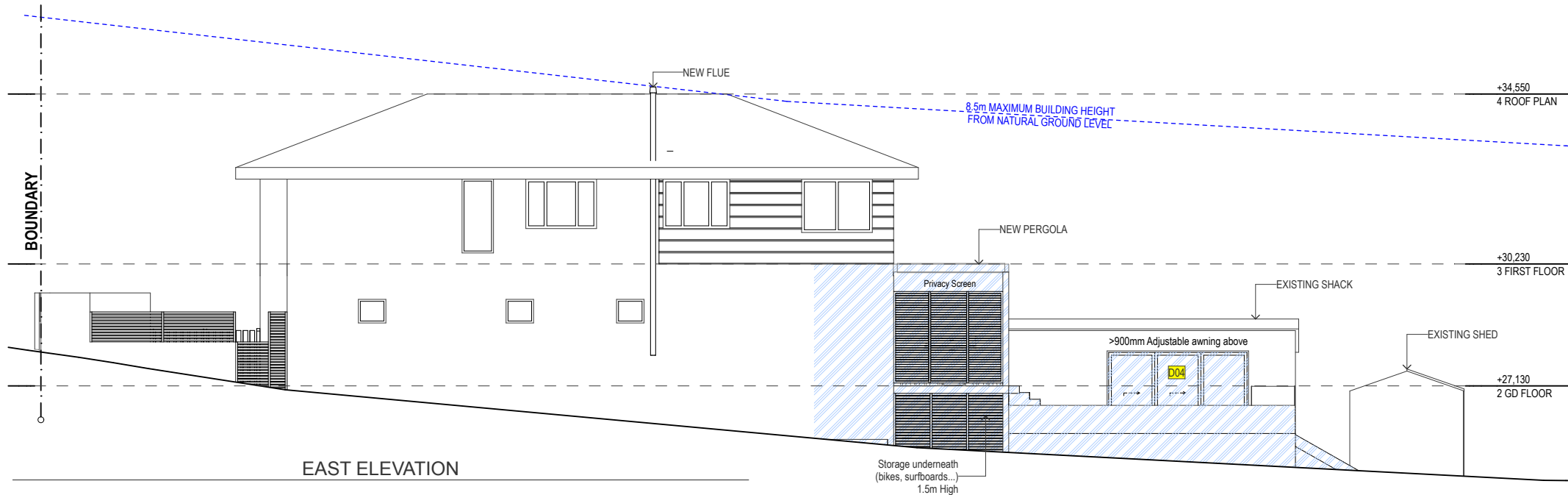
NEW WALLS
NEW AREA

NOTES



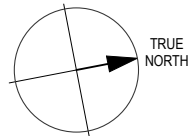
PROJECT DETAILS
24 Kitchener Street
BALGOWLAH 2093 NSW
LOT 104
DP: 6208
Package: DEVELOPMENT APPLICATION
Status: ISSUED

Plot Date: 5/12/19
Drawing Title: PROPOSED ROOF PLAN
Drawing No.: DA08
Scale: 1:100 @ A3
Revision:



- PROPOSED AREAS
- EXISTING WALLS
- DEMOLISHED
- NEW WALLS
- NEW AREA

NOTES



PROJECT DETAILS

24 Kitchener Street
BALGOWLAH 2093 NSW
LOT 104
DP: 6208

Package:
DEVELOPMENT APPLICATION

Status:
ISSUED

Plot Date:

5/12/19

Drawing Title:

EAST & WEST ELEVATIONS

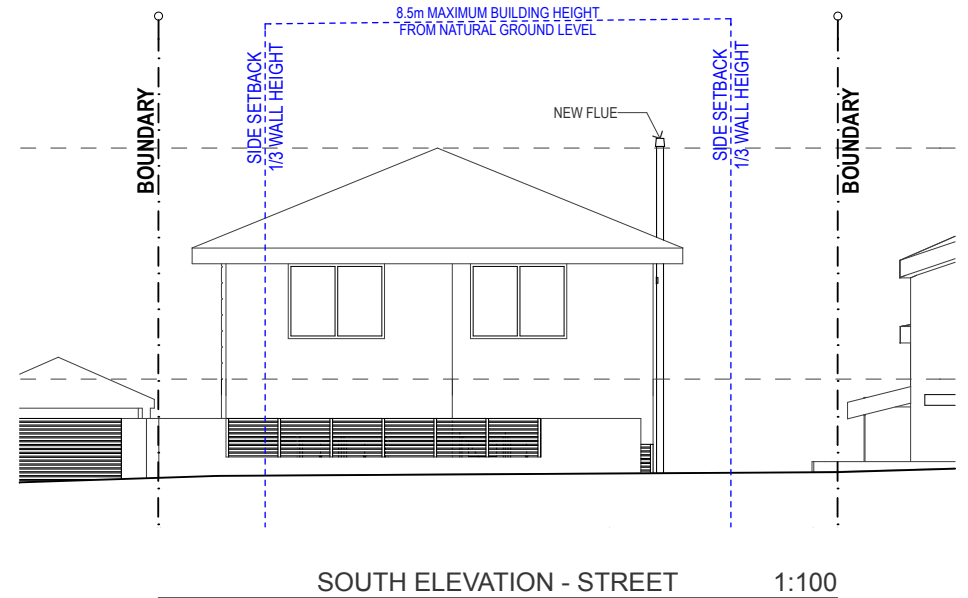
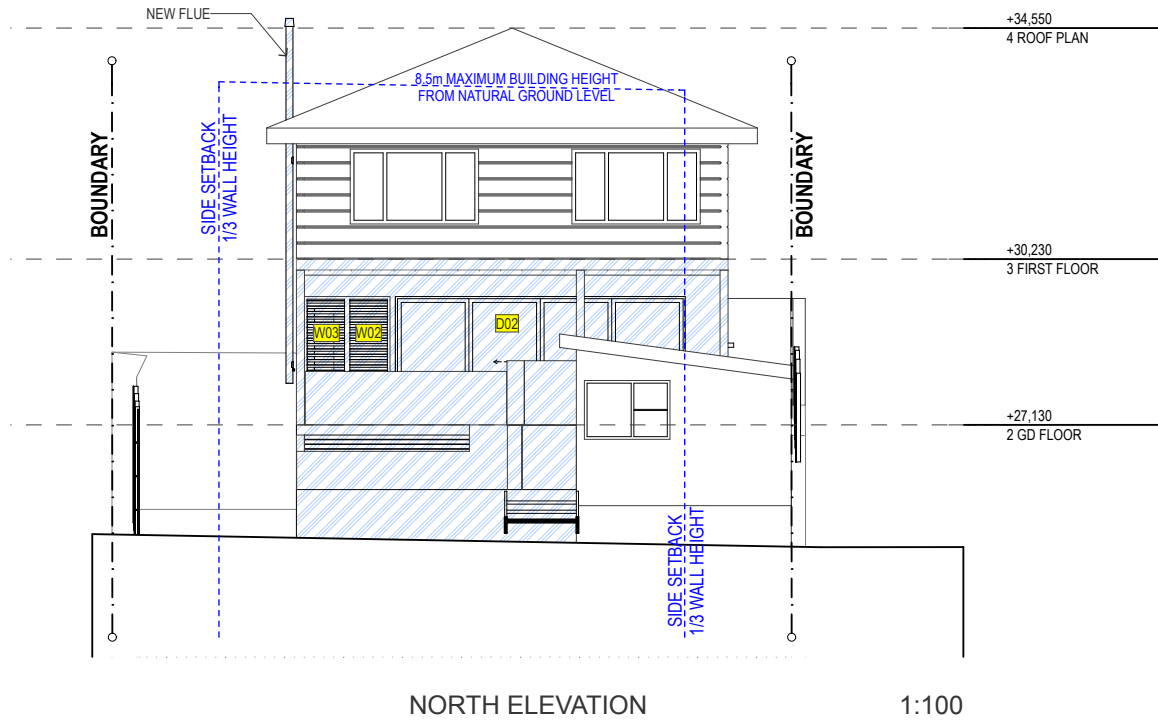
Drawing No.:

DA09

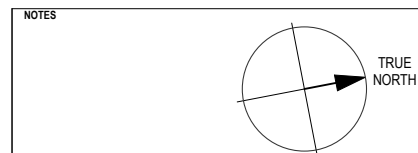
Scale:

1:100 @ A3

Revision:



- PROPOSED AREAS
- NEW WALLS
- EXISTING WALLS
- NEW AREA
- DEMOLISHED



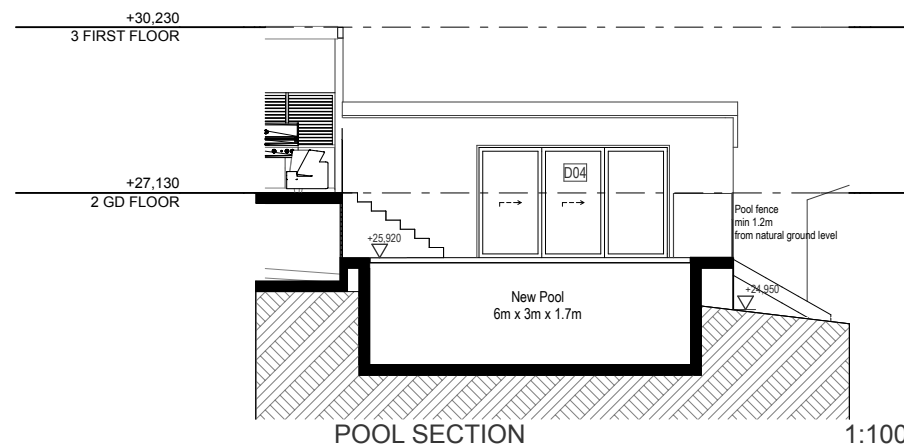
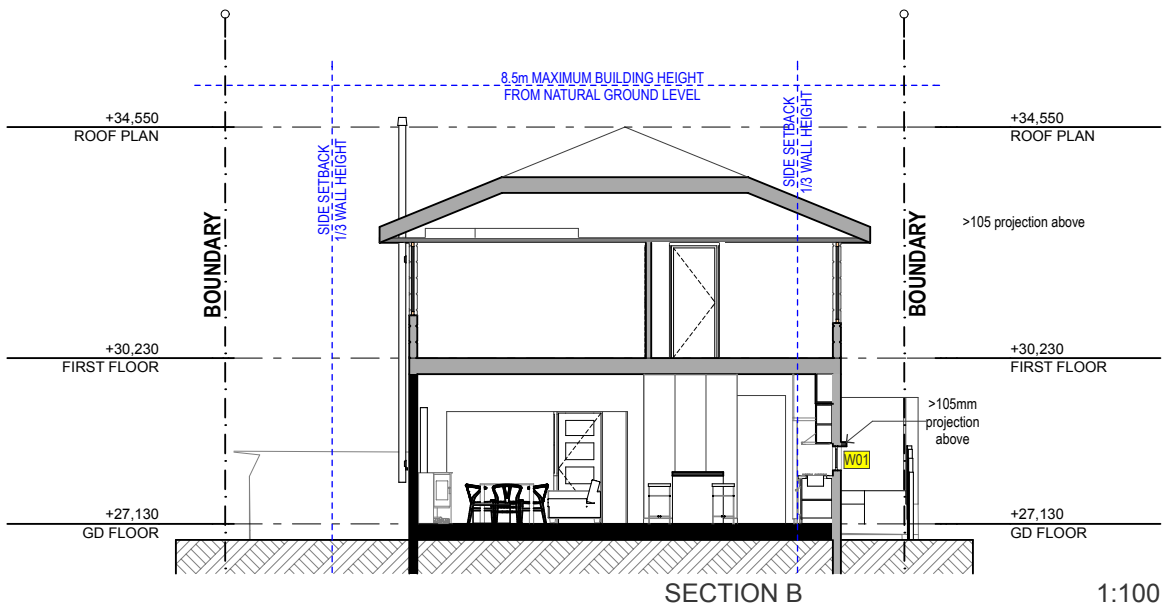
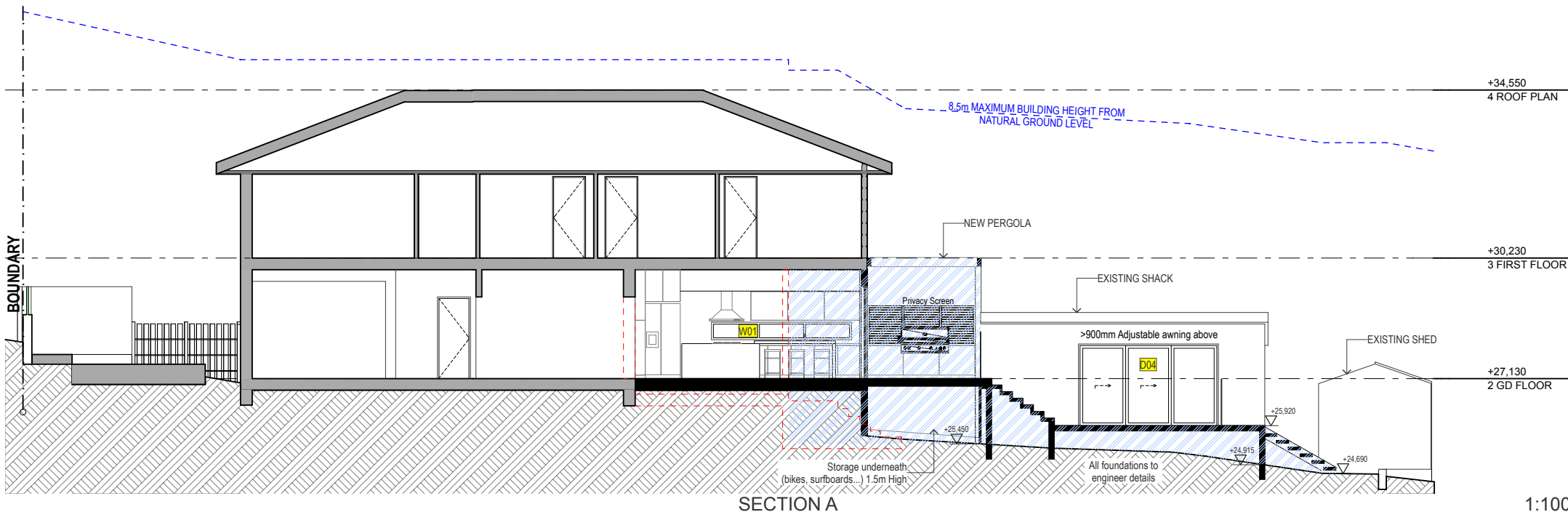
PROJECT DETAILS

24 Kitchener Street
BALGOWLAH 2093 NSW
 LOT 104
 DP: 6208

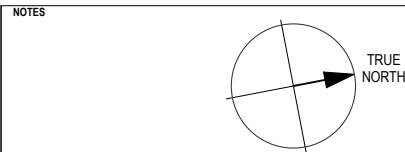
Package: DEVELOPMENT APPLICATION

Status: ISSUED

Plot Date: 5/12/19
 Drawing Title: NORTH & SOUTH ELEVATIONS
 Drawing No.: DA10
 Scale: 1:100 @ A3
 Revision:



- PROPOSED AREAS
- NEW WALLS
- EXISTING WALLS
- NEW AREA
- DEMOLISHED



PROJECT DETAILS
24 Kitchener Street
BALGOWLAH 2093 NSW
 LOT 104
 DP: 6208
 Package: DEVELOPMENT APPLICATION



Status: ISSUED

Plot Date: 5/12/19
 Drawing Title: SECTION A & B & POOL
 Drawing No.: DA11




Scale: 1:100 @ A3
 Revision:



NOTES	PROJECT DETAILS 24 Kitchener Street BALGOWLAH 2093 NSW LOT 104 DP: 6208 Package: DEVELOPMENT APPLICATION Status: ISSUED	Plot Date: 5/12/19 Scale: @ A3 Drawing Title: PERSPECTIVES Drawing No.: DA12 Revision:

EXTERNAL DOOR SCHEDULE		
ID	D02	D04
TYPE	SLIDING	SLIDING
LEVEL	GD FLOOR	GD FLOOR
ROOM	LIVING	SHACK
ORIENTATION	NORTH	EAST
ELEVATION VIEW (EXTERNAL)		
AREA (m2)	13.01	7.56
WIDTH (mm)	5,420	3,600
HEIGHT (mm)	2,400	2,100
SILL HEIGHT (mm)	0	0
FRAME & REVEAL		
GLAZING		
HARDWARE		
BLINDS / SHUTTERS/ SCREENS		

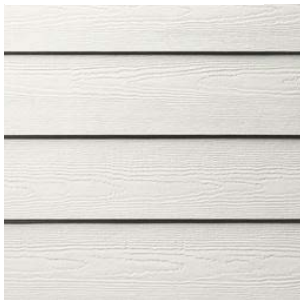
DOOR SCHEDULE

WINDOW SCHEDULE			
ID	W01	W02	W03
TYPE	SLIDING OR FIX TBC	LOUVRES	LOUVRES
LEVEL	GD FLOOR	GD FLOOR	GD FLOOR
ROOM	KITCHEN	LIVING	LIVING
ORIENTATION	WEST	NORTH	NORTH
ELEVATION VIEW (EXTERNAL)			
AREA (m2)	1.62	1.76	1.76
WIDTH (mm)	3,600	800	800
HEIGHT (mm)	450	2,200	2,200
SILL HEIGHT (mm)	1,000	2,060	2,060
FRAME & REVEAL			
GLAZING			
HARDWARE			
BLINDS / SHUTTERS / SCREENS			

WINDOW SCHEDULE

NOTES	PROJECT DETAILS		Plot Date:	Scale:
	24 Kitchener Street		5/12/19	@ A3
	BALGOWLAH 2093 NSW		Drawing Title:	WINDOW & DOOR SCHEDULE
	LOT 104			
	DP: 6208			
	Package:	Status:	Drawing No.:	Revision:
	DEVELOPMENT APPLICATION	ISSUED	DA13	

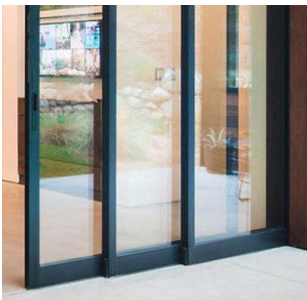
WEATHERBOARD



TIMBER DECK



ALUMINIUM WINDOWS/DOORS



PERGOLA



PRIVACY SCREEN

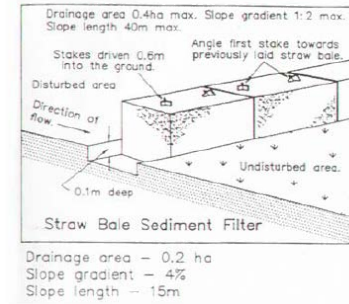
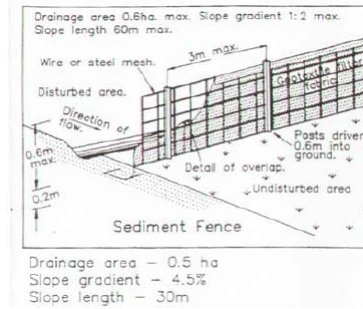


GLASS BALUSTRADE

NOTES	PROJECT DETAILS	Plot Date:	Scale:
	24 Kitchener Street BALGOWLAH 2093 NSW LOT 104 DP: 6208 Package: DEVELOPMENT APPLICATION Status: ISSUED	5/12/19 Drawing Title: EXTERNAL FINISHES Drawing No.: DA14	@ A3 Revision:

LEGEND

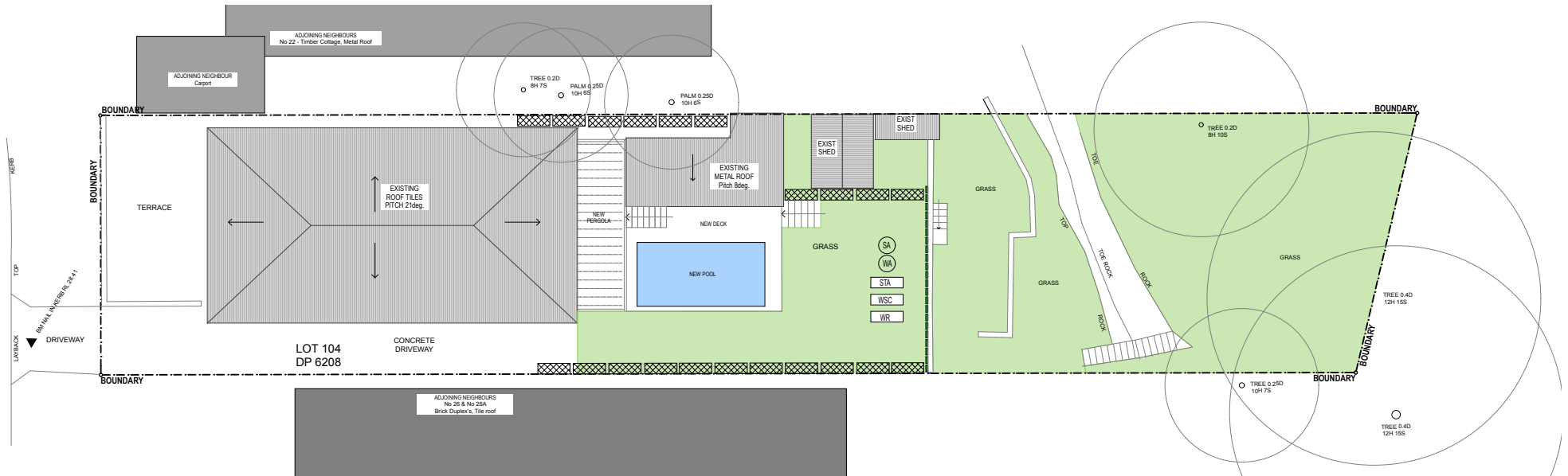
- SA STOCKPILE AREA
- WA WASH AREA
- STA STORAGE AREA
- WSC WASTE STORAGE CONTAINER
- WR WASTE RECYCLING
- STRAW BALE SEDIMENT FILTER
- SILT SOCKS/FENCE (SEDIMENT CONTROL SOCKS)



NOTES

- Adequate care must be exercised to ensure no damage to adjoining properties during the course of the works.
- Dividing Fences Act – A survey is to be prepared to identify all boundaries prior to the commencement of the works.
- A Security fence is to be installed to the perimeter of the site prior to commencement.
- A sediment fence, in the form of geotextile filter fabric buried into ground and supported by star pickets at 3m maximum centres that are driven 600mm into the ground, as to be positioned around the perimeter of the site. Position to be confirmed by nominated contractor. Refer to control diagrams below for reference.
- All stockpiles of building materials such as sand and soil must be protected by a waterproof covering, an earth bank and sediment fence to prevent scour and erosion.
- Protection of the public stormwater system and tracking of loose material is required by the use of sandbags in the gutter 2m minimum from the stormwater drain.
- Timber planks are to be provided, for vehicle access.
- Public footways and roadways adjacent to site are to be maintained at all times during the course of the works.
- Storage of building material and delivery as noted.
- Waste Management Facilities as noted.

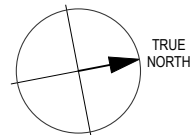
KITCHENER STREET



SITE PLAN

1:200

NOTES



PROJECT DETAILS

24 Kitchener Street
BALGOWLAH 2093 NSW
LOT 104
DP: 6208

Package:
DEVELOPMENT APPLICATION

Status:
ISSUED

Plot Date:

5/12/19

Drawing Title:

SEDIMENT AND CONTROL PLAN

Drawing No.:

DA15

Scale:

1:200 @ A3

Revision: