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Collaroy Street Pty ATF Collaroy Street Unit Trust PO Box H-340

Australia Square NSW 1215 Attention: Mr Steve Howell

Project: Proposed Seniors Living

Site Location: 4 Alexander Street, Collaroy, NSW

Reference: 13625-GR-1-1 Addendum 2

Report Date: 30 June 2023

Addendum 2 to the Report 13625-GR-1-1 for S4.55 Application Support

Introduction

This addendum is to be read in conjunction with our report 13625-GR-1-1. The addendum provides Alliance geotechnical review of the updated architectural drawings for the proposed development and addresses that the changes in the architectural drawings have no negative geotechnical impact on the proposed development.

Supplied Documents

At the time of preparing the Alliance geotechnical investigation report 13625-GR-1-1 dated 23 September 2021, the architectural drawings provided included:

- Conceptual architectural drawings prepared by PBD Architects, dated 04/08/2021 (project reference: 7768)
- Preliminary architectural drawings prepared by PBD Architects, dated 16/08/2021 (project reference: 2129 issue P1)

Based on the initial architectural drawings provided, the proposed development consisted of:

- · Demolition of the existing structure and,
- Construction of a three-storey building with a ground floor car park with the finished surface reduced level (RL) of 2.98m and hence an excavation level of RL 2.7m relevant to Australian Height Datum (AHD). This corresponds to a maximum excavation depth of 3.9m below the existing ground level (begl) at the southern boundary.
- The setbacks of the project were approximately 1.5m from the western boundary, 2.0m from the eastern boundary, and 4.0 to 4.5m from the southern boundary.

The updated architectural drawing provided to Alliance in June 2023 by the client includes:

 Architectural drawings, for S4.55 application, including plans, sections, and elevations, (prepared by: PBD Architects, Project No.: 2129, Issue.: A to E, Dated 23 June 2023) The revised architectural drawings are attached to this addendum letter. The review of the new architectural drawings shows that the alterations in the revised architectural drawings include:

- The ground floor car park finished surface level is increased to the level of RL4.53m and hence an excavation level of about RL4.23m which corresponds to a maximum excavation depth of 2.3m begl.
- A private store room basement located at the project's western boundary with a finished floor level
 of RL1.38m and hence an excavation level of about RL1.08m which corresponds to a maximum
 excavation depth of about 4.4m begl.
- A swimming pool at the southern boundary, with an excavation depth of about 0.6m begl, and a setback of about 2.5m from the southern boundary.

Conclusion & Recommendations

Based on the review of the initial architectural drawings and the revised architectural drawings, it is concluded that:

- The new maximum bulk excavation depth is about 2.3m, which is less than the initial depth of excavation which was 3.90m.
- The swimming pool added to the southern boundary has a maximum excavation depth of 0.6m begl and is outside the zone of influence of the adjacent property located at the southern boundary.
- An excavation depth of about 4.4m begl is expected for the excavation of the new private store room located at the project site's western boundary.

Hence, Alliance certifies that the revised architectural drawings received in June 2023 have no geotechnical negative impacts, as the depth of the excavation is decreased, the swimming pool at the southern boundary is outside the zone of influence of the adjacent property, and has shallow excavation up to 0.6m begl.

For the new private room located at the project's western boundary, the excavation is expected to be within extremely weathered bedrock after the depths of about 2.2 to 2.8m begl, and the relevant geotechnical design parameters and excavation considerations are provided in the Alliance Geotechnical report 13625-GR-1-1.

Therefore, the Alliance geotechnical investigation report 13625-GR-1-1 is satisfactory for the new architectural drawings, and no further geotechnical investigation is required.

Regards



Ali Mirzaii
BSc (Civil), MSc & PhD (Geo)
MIEAust, CPEng, NER (Civil & Geotechnical)
Senior Geotechnical Engineer

Attachments:

Architectural drawings

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>-FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH

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LEGEND:

AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT FIRE HOSE REEL PLANTER BOX PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND: AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST. STONE CLADDING ST STONE CLADDING
OP. OPAQUE GLAZING

KEY: PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY

PROPOSED TREE REMOVAL

DESCRIPTION

DRAWING SCHEDULE

A000 - General

DA000	COVER SHEET
DA001	DEMOLITION PLAN
DA002	SITE PLAN

A100 - 100 Plans

DA050	BASEMENT PLAN
DA100	GROUND FLOOR PLAN
DA101	LEVEL 1 PLAN
DA102	LEVEL 2 PLAN
DA103	ROOF PLAN

A200 - Elevations

DA200	ELEVATIONS 01
DA201	ELEVATIONS 02
DA202	SOUTHERN BOUNDARY INTERFACE

A300 - Sections

	7.000 000	tions -
DA300	DA300	SECTION A AND B
	DA301	BOUNDARY CONDITION STUDY

A500 - Calculation Diagrams

DA504	SOLAR ACCESS DIAGRAM 01 - JUNE 21ST
DA505	SOLAR ACCESS DIAGRAM 02 - JUNE 21ST
DA506	SOLAR ACCESS DIAGRAM 03 - JUNE 21ST
DA507	SOLAR ACCESS DIAGRAM 04 - JUNE 21ST
DA508	SOLAR ACCESS DIAGRAM 05 - JUNE 21ST
DA520	GFA CALCULATION
DA540	DEEP SOIL CALCULATION

A600 - Shadow Diagrams

DA601		SHADOW DIAGRAM 01
	DA602	SHADOW DIAGRAM 02

PROJECT SUMMARY

Proposed Seniors Living | SEPP HSPD 2004

Site Area	1,199 sqm				
	Approved DA	S4.55 (8) Proposal			
Proposed FSR	0.65:1	0.65:1			
Landscape (min)	30%	30%			
Landscape (proposed)	30%	30%			
Deep Soil (min)	15%	15%			
Deep Soil (proposed)	18.4%	17%			
Total no. units	5	5			
Total no. car spaces	9	16			
Height (max.)	8.0m to Ceiling	8.0m to Ceiling			
Height (proposed)	8.0m to Ceiling	8.5m - 9.8m to Ceiling			
Solar Access (min)	70% of Living rooms & P.O.S receive 3hrs between 9AM - 3PM	70% of Living rooms & P.O.S receive 3hrs between 9AM - 3PM			
Solar Access (proposed)	100% of Living rooms & P.O.S received 3hr between 9AM - 3PM	80% of Living rooms & P.O.S received 3hr between 9AM - 3PM			
Private Open Space (min)	15 sqm per dwelling, not less 3m wide and 3m long	15 sqm per dwelling, not less 3m wide and 3m long			
Private Open Space (proposed)	All greater than 15sqm	All greater than 15sqm			

AMENDMENTS

DESCRIPTION

DEVELOPMENT APPLICATION

ISSUE FOR \$4.55 APPLICATION

PROPOSED MODIFICATIONS

PROPOSED MODIFICATION ITEM NO. REFER TO LIST BELOW

- Proposed modifications to skylights including deletion of 2 skylights over unit 2.01, and updated sizes of skylights over Unit 1.02 & 1.03.
- 2 Additional storage room at basement level.

3 Updated interior layout generally.

- 4 Modification to facade windows openings and configurations generally.
- 5 Additional metal framed louvre awning to Level 2.
- 6 Proposed removal of flood gate from driveway and associated DA Condition 28.
- 7 Proposed external design modifications including additional BBQ benches, planters , fences and gates for maintenance access to side planters at rear (Level 1).
- 8 Updated stormwater concept design.

- Associated landscape design update including:
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 - e) Level 1: Revised external backyard f) Ground floor: Revised front garden design to G.01 and around OSD tank area
- Proposed building height increase including adjustments to floor levels to: Level 1: RL 7.73
- Level 2: RL 11.03 Roof: RL 14.28
- 1 1 Updated roof layout including adjustment to the extent of roof overhang, lift overrun structure, services exhaust ventilation, services enclosure and photovoltaic panels. Proposed deletion of DA Condition 8 as part of the proposed amendments at roof level.
- 12 Updated extent of shoring and retention generally.
- 13 Modification to proposed car parking arrangement and number of car space.



DA000

FOR S4.55 (8) APPLICATION

ISSUE: B SCALE:1:100

DATE: MAY 2023 PROJECT NO.: 2129

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LOT A, DP 379308 CLIENT: HCAP GROUP

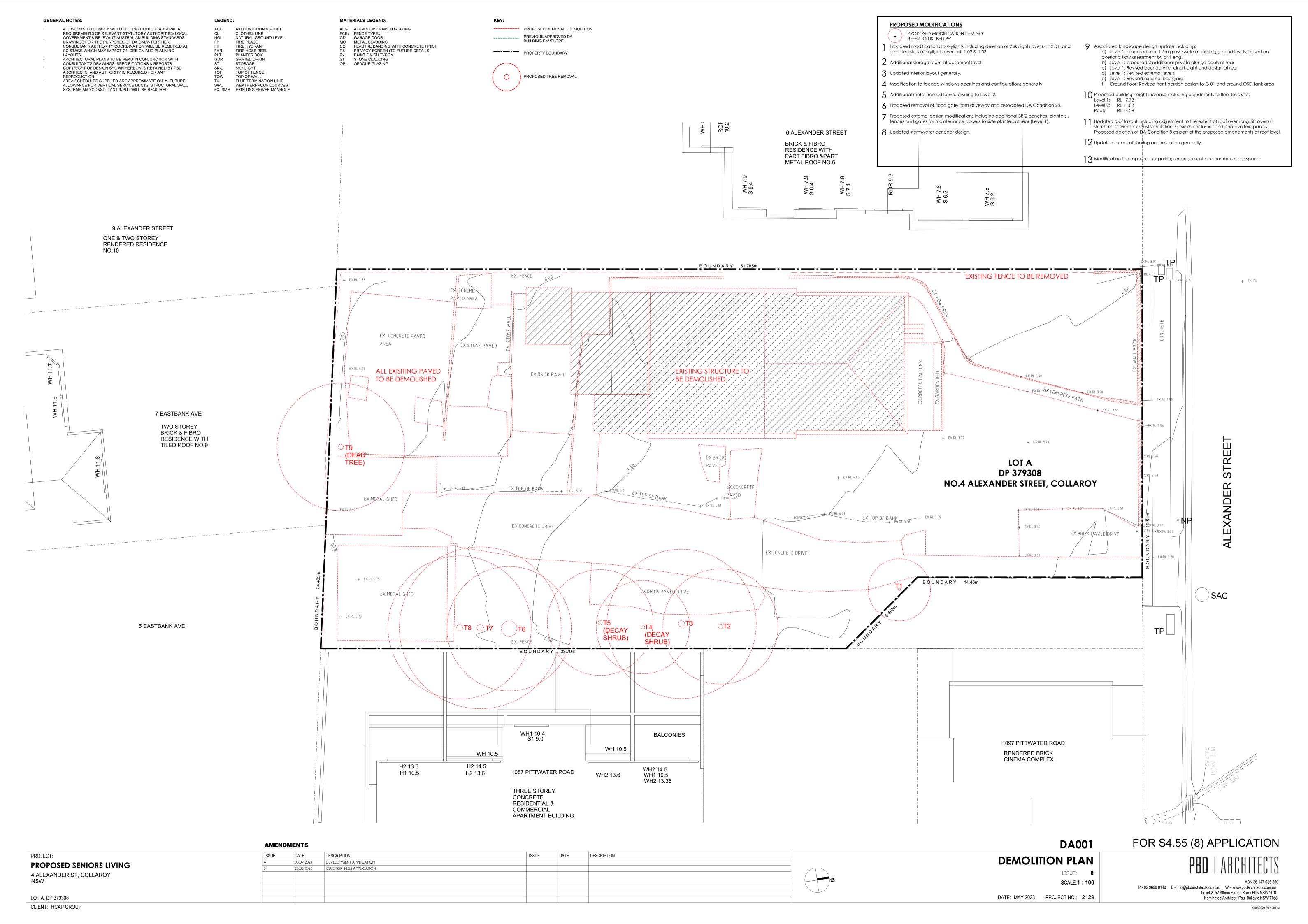
PROPOSED SENIORS LIVING

4 ALEXANDER ST, COLLAROY

COVER SHEET

Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768

23/06/2023 2:57:18 PM



CENERAL NOTES:

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

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REPRODUCTION

CLIENT: HCAP GROUP

ACU AIR CONDITIONING UNIT
CL CLOTHES LINE
NGL NATURAL GROUND LEVEL
FP FIRE PLACE
FH FIRE HYDRANT
FHR FIRE HOSE REEL
PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT

WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE MATERIALS LEGEND:

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FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
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OP. OPAQUE GLAZING

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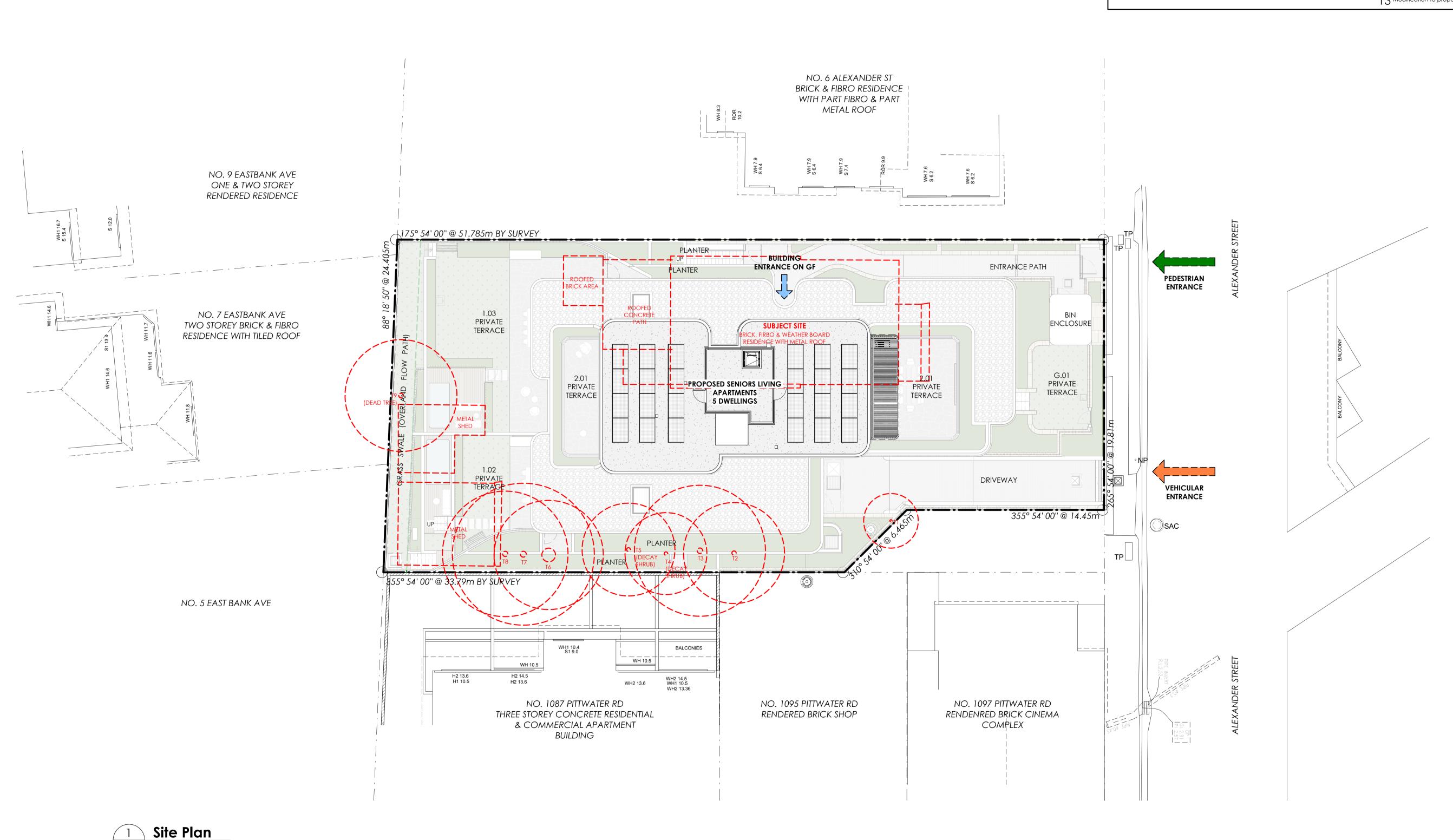
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Level 2: RL 11.03 Roof: RL 14.28

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12 Updated extent of shoring and retention generally.

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 PROJECT:
 DATE
 DESCRIPTION
 ISSUE
 DATE
 DESCRIPTION

 PROPOSED SENIORS LIVING
 A
 03.09.2021
 DEVELOPMENT APPLICATION
 DEVELOPMENT APPLICATION
 DESCRIPTION

 4 ALEXANDER ST, COLLAROY NSW
 SUBJECT ST. SSUE FOR S4.5S APPLICATION
 SUBJECT ST. SSUE FOR S4.5S APPLICATION

DA002 SITE PLAN

ISSUE: B

FOR S4.55 (8) APPLICATION

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ABN 36 147 035 5

SCALE: As indicated

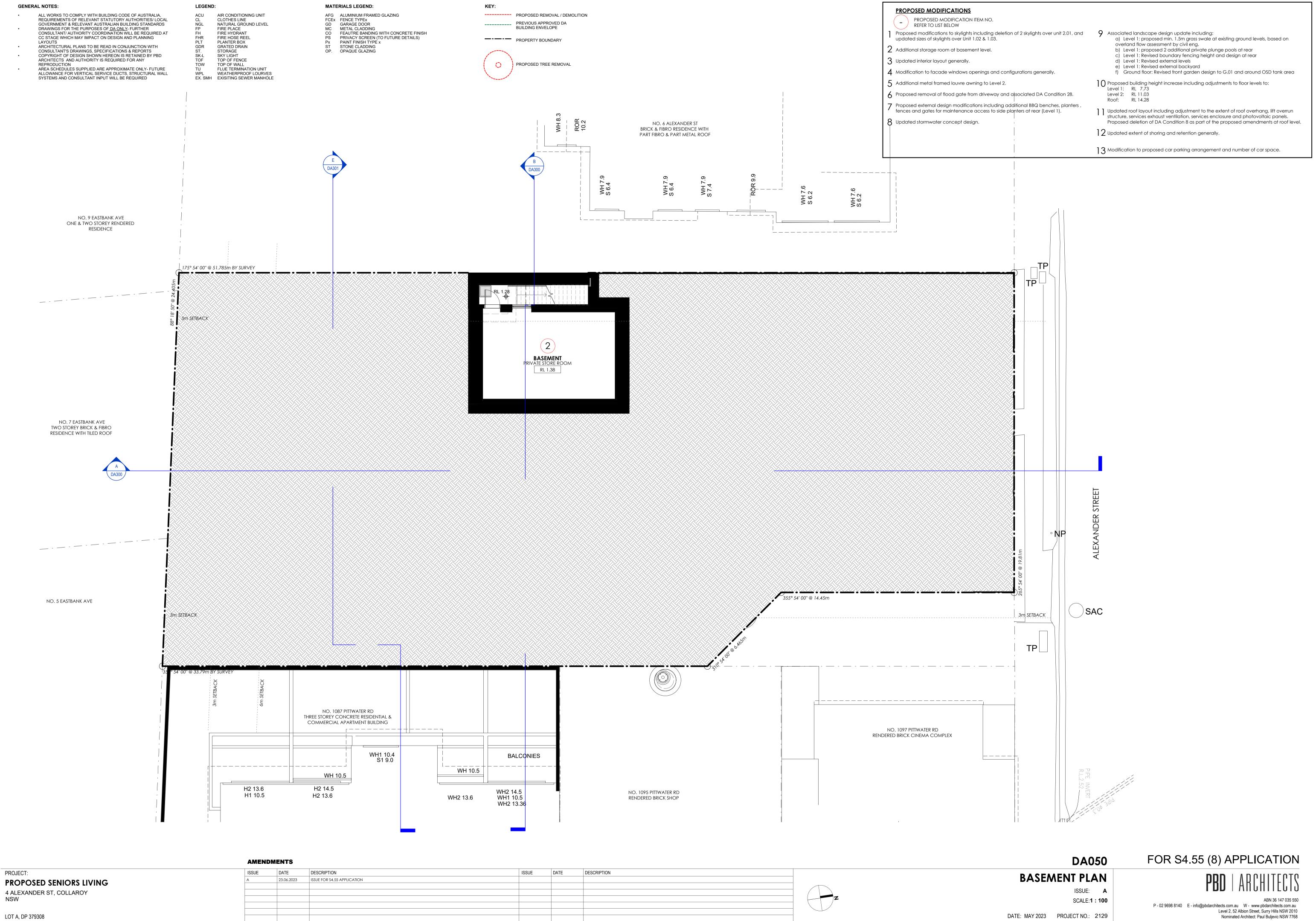
DATE: MAY 2023 PROJECT NO.: 2129

SCALE: As indicated

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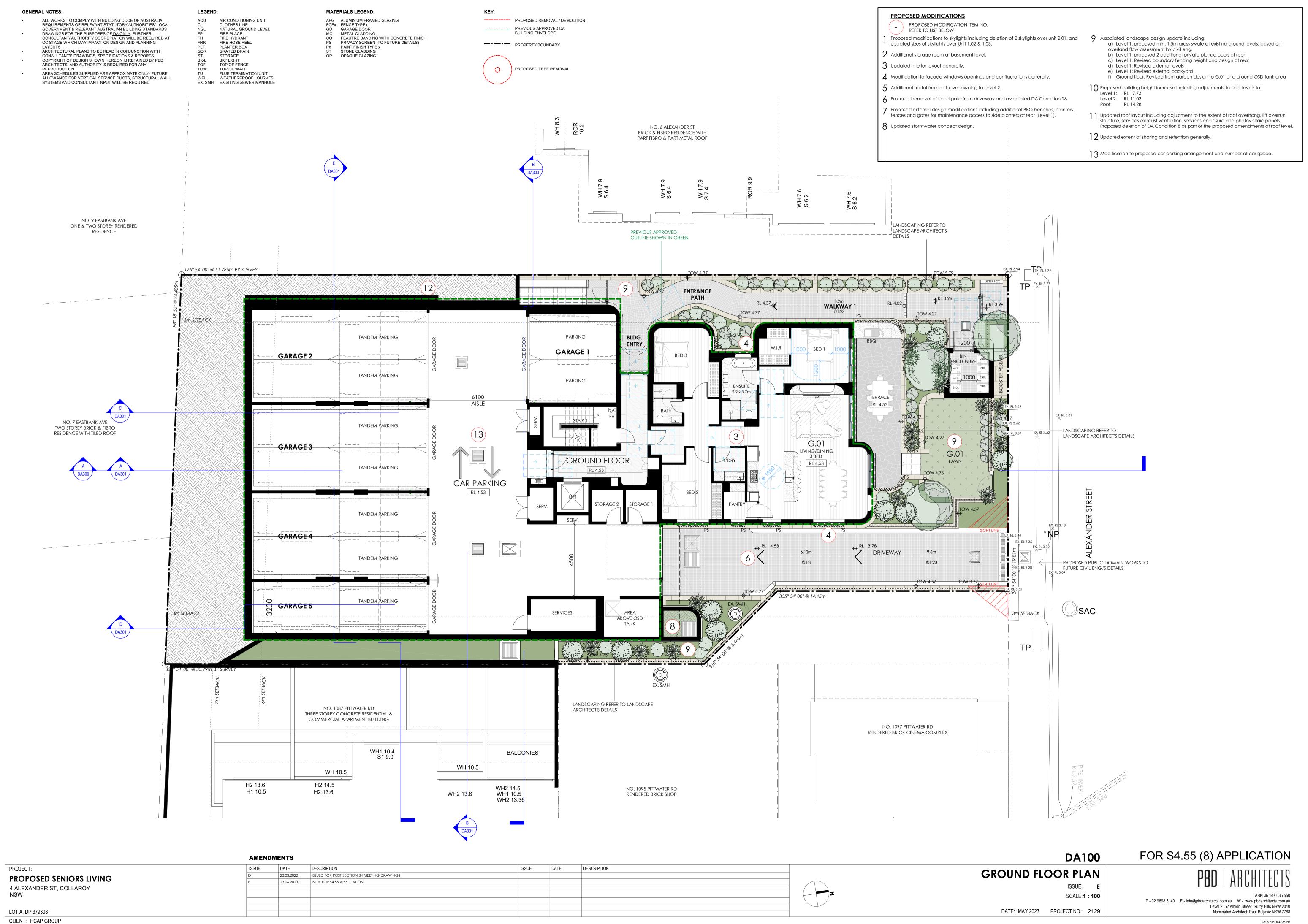
Nominated Architect: Paul Buljevic NSW 7768

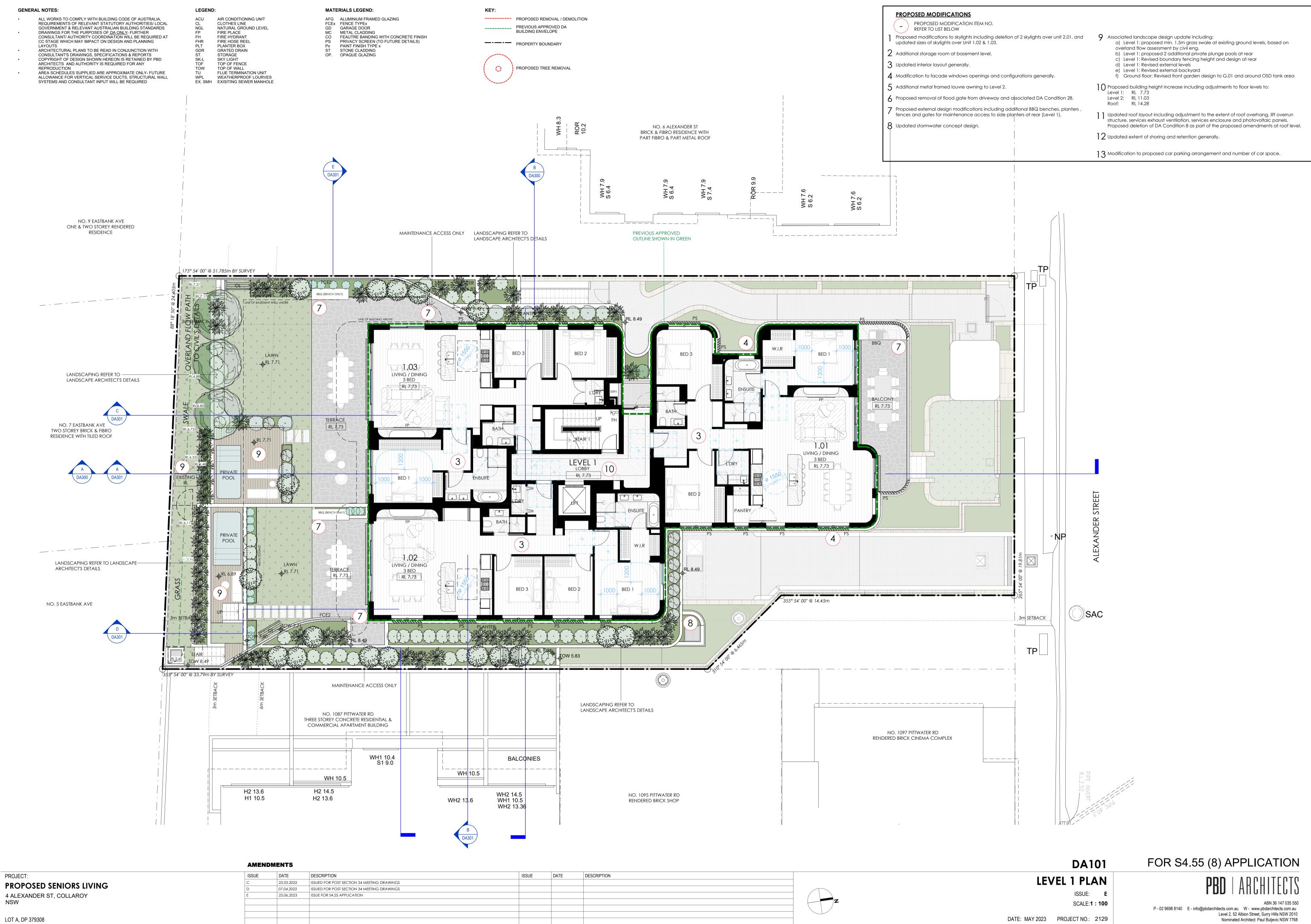
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CLIENT: HCAP GROUP

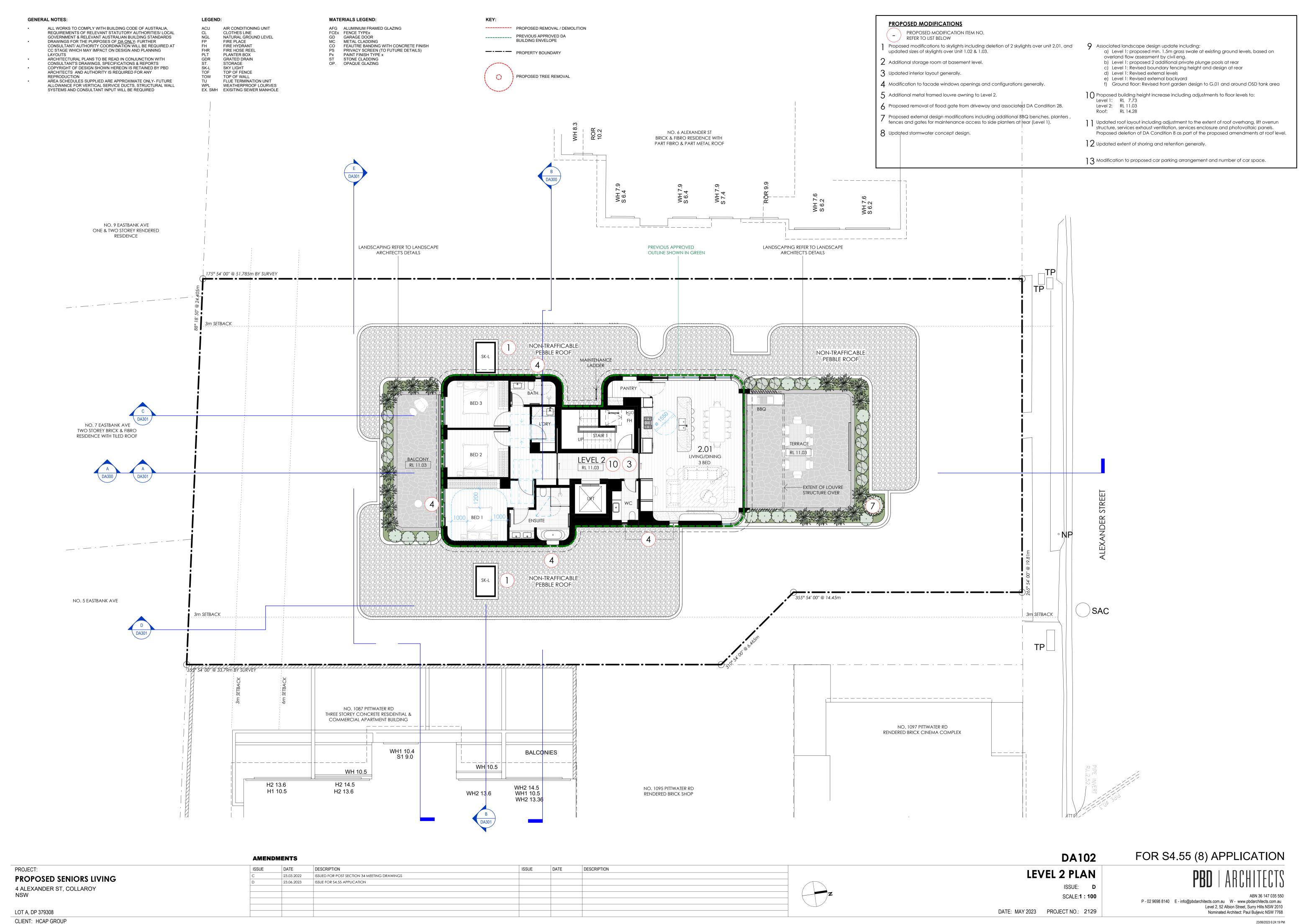
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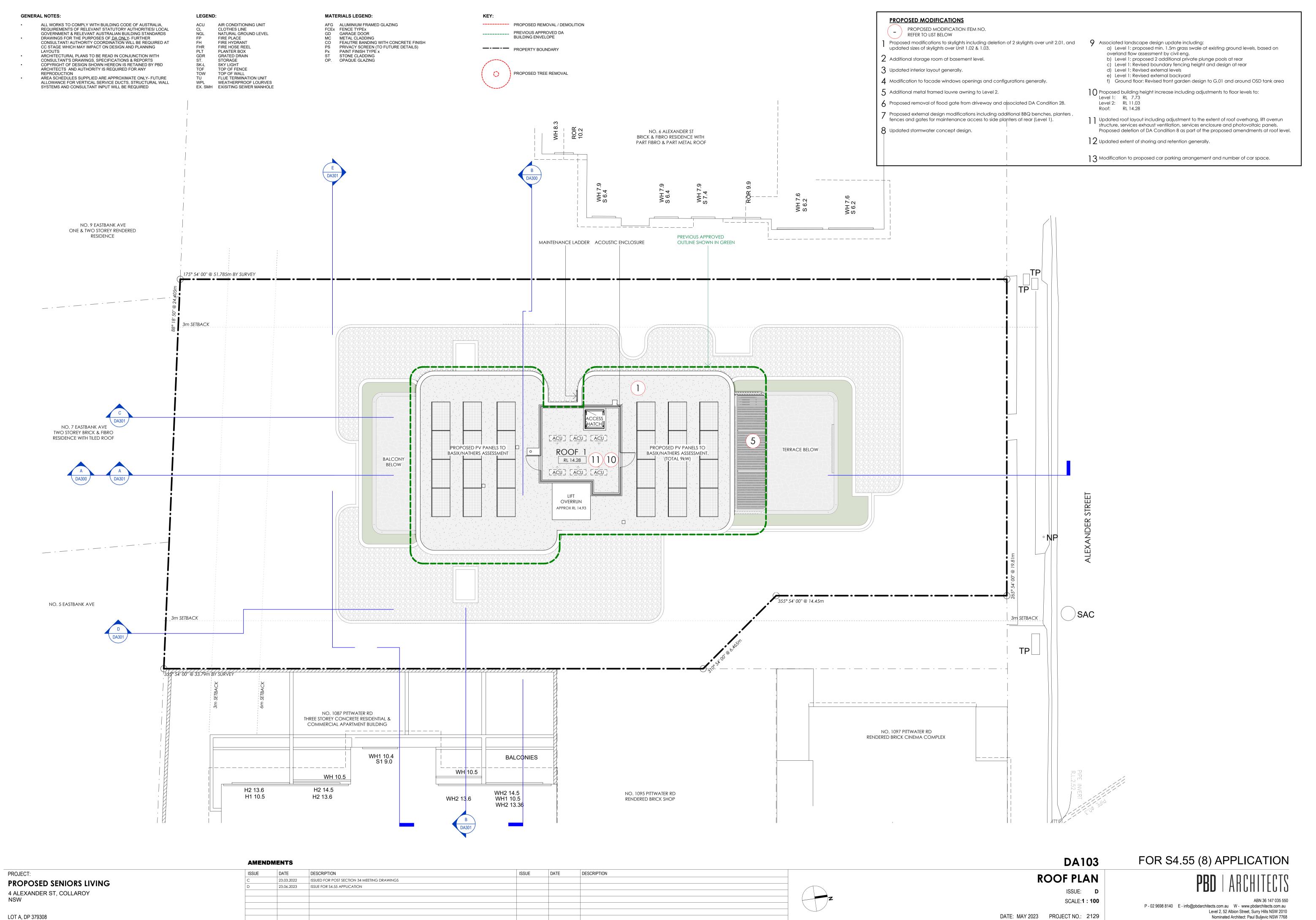




CLIENT: HCAP GROUP

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CLIENT: HCAP GROUP

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CENERAL NOTES:

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WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE MATERIALS LEGEND:

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PROPOSED REMOVAL / DEMOLITION
PREVIOUS APPROVED DA
BUILDING ENVELOPE
PROPERTY BOUNDARY

PROPOSED TREE REMOVAL

PROPOSED MODIFICATIONS

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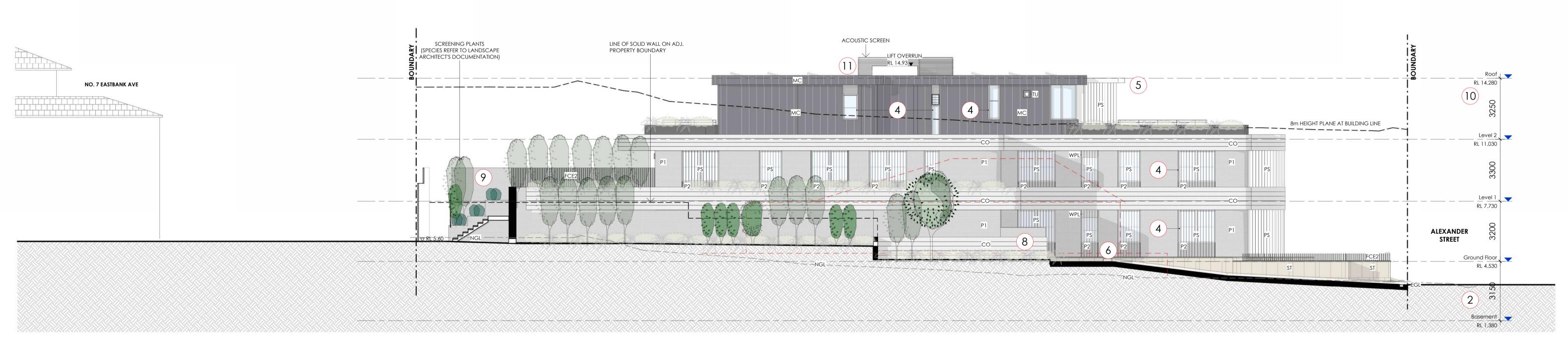
Level 2: RL 11.03

Roof: RL 14.28

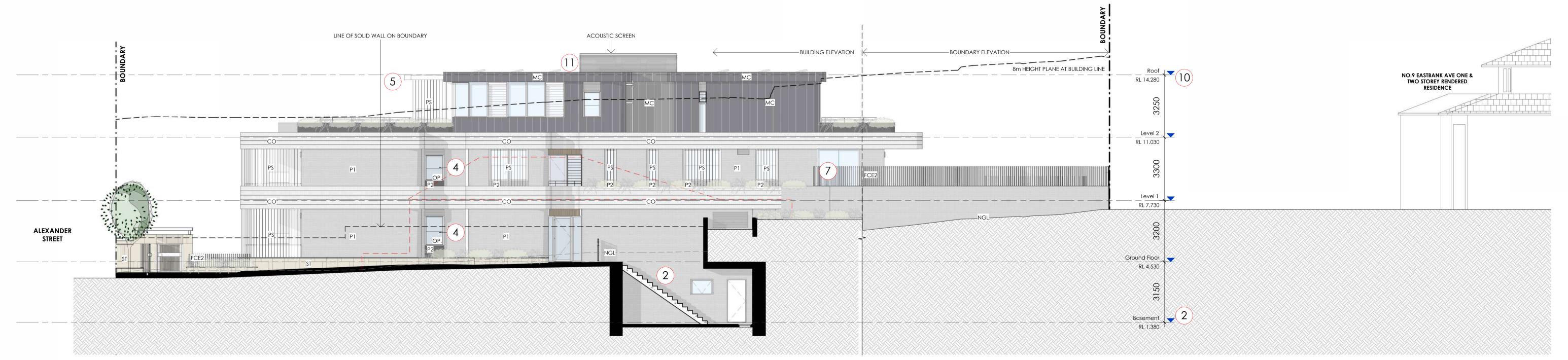
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13 Modification to proposed car parking arrangement and number of car space.









CLIENT: HCAP GROUP

PROJECT:
PROPOSED SENIORS LIVING

4 ALEXANDER ST, COLLAROY
NSW

LOT A, DP 379308

DA200 ELEVATIONS 01

ISSUE: **D**

SCALE:1:100

FOR S4.55 (8) APPLICATION

ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

DATE: MAY 2023 PROJECT NO.: 2129

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768

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LEGEND:

AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HOSE REEL PLANTER BOX

GRATED DRAIN STORAGE
SKY LIGHT
TOP OF FENCE
TOP OF WALL
FLUE TERMINATION UNIT WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND:

AFG ALUMINIUM FRAMED GLAZING AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
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KEY: ----- PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY PROPOSED TREE REMOVAL

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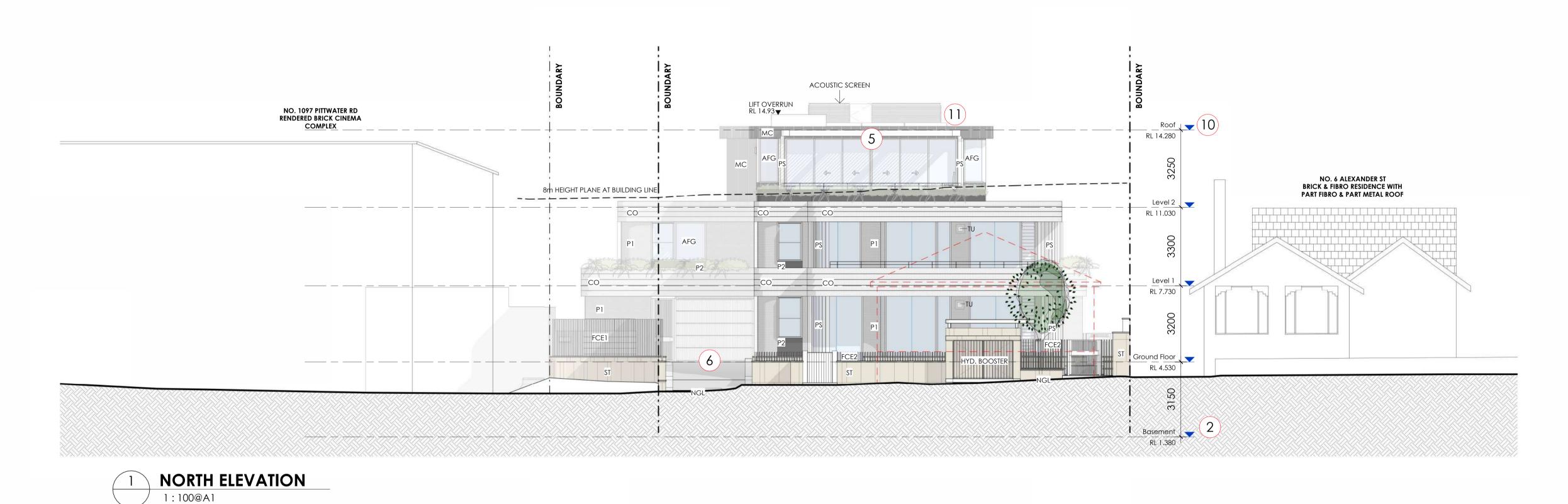
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NO. 1087 PITTWATER RD
THREE STOREY CONCRETE RESIDENTIAL
& CONMMERCIAL APARTMENT
BULIDING 11 VRL 15.40 LIFT OVERRUN RL 14.93 V ---MC=----RL 14.280 8m HEIGHT PLANE AT BUILDING LINE NO. 6 ALEXANDER ST BRICK & FIBRO RESIDENCE WITH PART 3000 FIBRO & PART METAL ROOF Level 2 RL 11.030 □-TU **□**TU —EXISTING SOLID WALL ON ADJ. PROPERTY'S BOUNDARY Level 1 RL 7.730 OVERLAND FLOW PATH REFER LINE OF BOUNDARY FENCE TO CIVIL ENG'S. DETAILS Ground Floor RL 4.530

SOUTH ELEVATION THROUGH GRASS SWALE 1:100@A1

AMENDMENTS

LOT A, DP 379308

CLIENT: HCAP GROUP

PROPOSED SENIORS LIVING 4 ALEXANDER ST, COLLAROY

DESCRIPTION DESCRIPTION ISSUED FOR POST SECTION 34 MEETING DRAWINGS ISSUE FOR \$4.55 APPLICATION

DA201

FOR S4.55 (8) APPLICATION

ELEVATIONS 02 ISSUE: **D** SCALE:1:100

DATE: MAY 2023 PROJECT NO.: 2129

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

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LAYOUTS

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8 Updated stormwater concept design.

3 Updated interior layout generally.

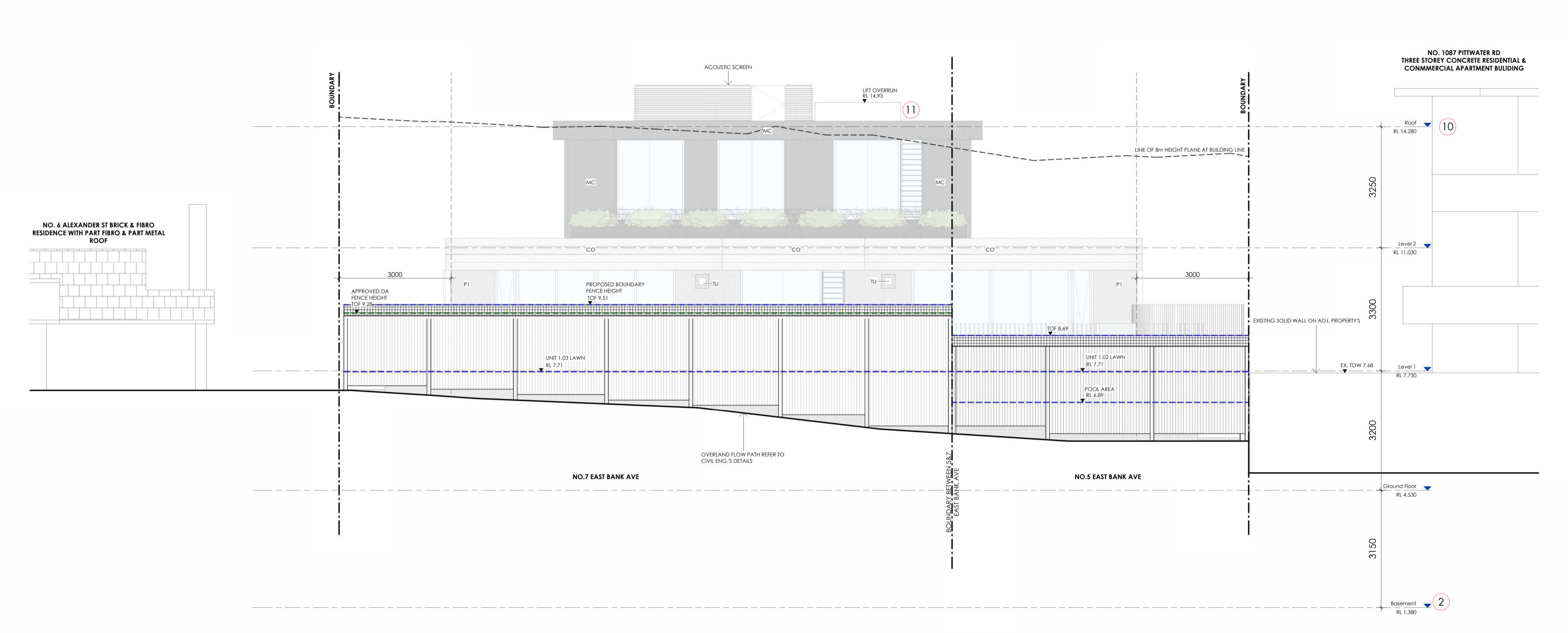
5 Additional metal framed louvre awning to Level 2.

Associated landscape design update including:

a) Level 1: proposed min. 1.5m grass swale at existing ground levels, based on overland flow assessment by civil eng.
b) Level 1: proposed 2 additional private plunge pools at rear
c) Level 1: Revised boundary fencing height and design at rear
d) Level 1: Revised external levels
e) Level 1: Revised external backyard
f) Ground floor: Revised front garden design to G.01 and around OSD tank area

Proposed building height increase including adjustments to floor levels to:
Level 1: RL 7.73
Level 2: RL 11.03
Roof: RL 14.28
Updated roof layout including adjustment to the extent of roof overhang, lift overrun structure, services exhaust ventilation, services enclosure and photovoltaic panels.
Proposed deletion of DA Condition 8 as part of the proposed amendments at roof level.
Updated extent of shoring and retention generally.

13 Modification to proposed car parking arrangement and number of car space.





CLIENT: HCAP GROUP

PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	
PROPOSED SENIORS LIVING	A	23.03.2022	ISSUED FOR POST SECTION 34 MEETING DRAWINGS				
KOPOSED SEINIOKS LIVING	В	11.04.2022	ISSUED FOR POST SECTION 34 MEETING DRAWINGS				
4 ALEXANDER ST, COLLAROY	С	23.06.2023	ISSUE FOR \$4.55 APPLICATION				
NSW							
LOT A, DP 379308							

DA202
SOUTHERN BOUNDARY INTERFACE

FOR S4.55 (8) APPLICATION

ISSUE: C
SCALE: As
indicated
DATE: MAY 2023 PROJECT NO.: 2129

ABN 36 147 035 550

- 02 9698 8140 E - info@pbdarchitects.com.au

Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

GENERAL NOTES: ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>-FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING

LAYOUTS ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND: AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT FIRE HOSE REEL PLANTER BOX GRATED DRAIN STORAGE
SKY LIGHT
TOP OF FENCE
TOP OF WALL
FLUE TERMINATION UNIT

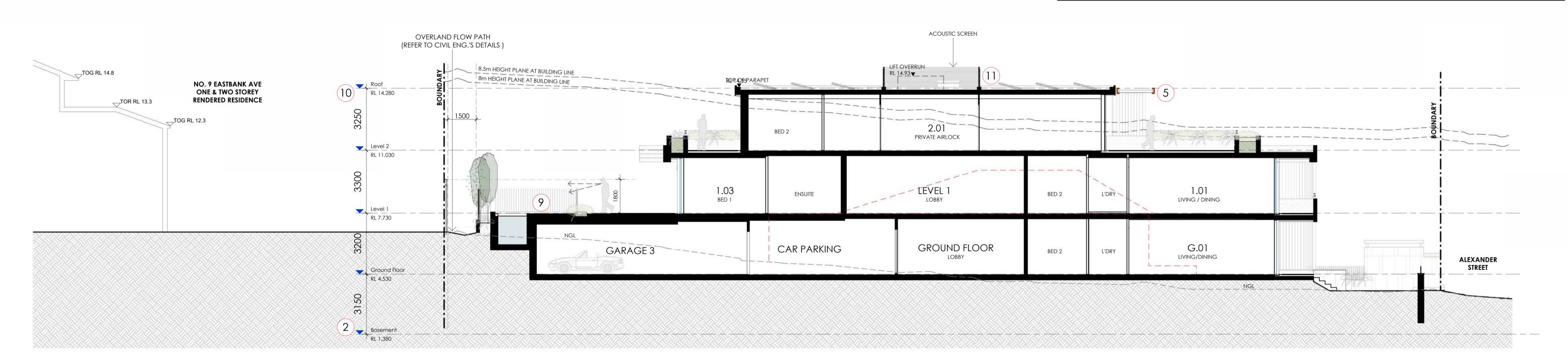
WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND: AFG ALUMINIUM FRAMED GLAZING AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
CT OF STANK OF A PAINT OP. OPAQUE GLAZING

KEY: PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY PROPOSED TREE REMOVAL

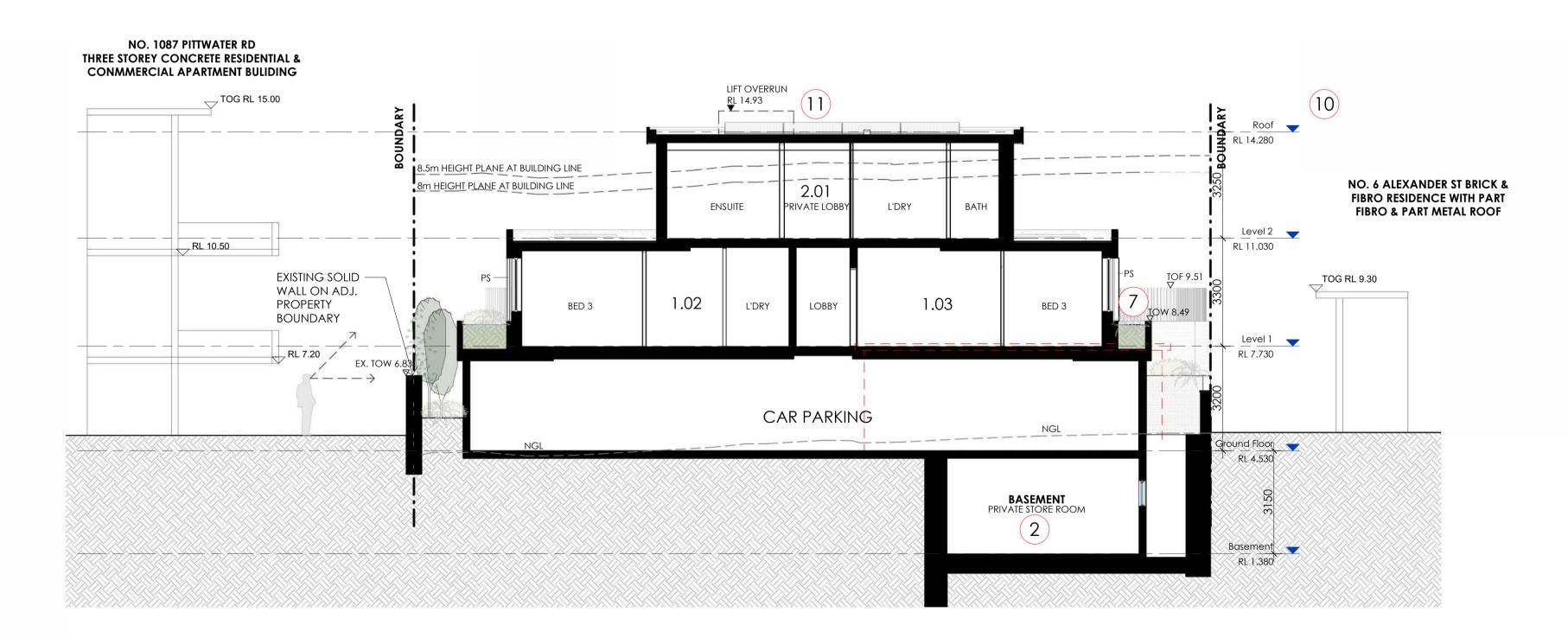
PROPOSED MODIFICATIONS PROPOSED MODIFICATION ITEM NO. REFER TO LIST BELOW Proposed modifications to skylights including deletion of 2 skylights over unit 2.01, and updated sizes of skylights over Unit 1.02 & 1.03. Associated landscape design update including:

a) Level 1: proposed min. 1.5m grass swale at existing ground levels, based on overland flow assessment by civil eng. 2 Additional storage room at basement level. b) Level 1: proposed 2 additional private plunge pools at rear c) Level 1: Revised boundary fencing height and design at rear 3 Updated interior layout generally. d) Level 1: Revised external levels e) Level 1: Revised external backyard 4 Modification to facade windows openings and configurations generally. f) Ground floor: Revised front garden design to G.01 and around OSD tank area Proposed building height increase including adjustments to floor levels to: Level 1: RL 7.73 5 Additional metal framed louvre awning to Level 2. 6 Proposed removal of flood gate from driveway and associated DA Condition 28. Level 2: RL 11.03 Roof: RL 14.28 Proposed external design modifications including additional BBQ benches, planters , fences and gates for maintenance access to side planters at rear (Level 1). 1 1 Updated roof layout including adjustment to the extent of roof overhang, lift overrun structure, services exhaust ventilation, services enclosure and photovoltaic panels. 8 Updated stormwater concept design. Proposed deletion of DA Condition 8 as part of the proposed amendments at roof level. 12 Updated extent of shoring and retention generally. 13 Modification to proposed car parking arrangement and number of car space.





CLIENT: HCAP GROUP





	AMENDMENTS			
PROJECT:	ISSUE DATE	DESCRIPTION	ISSUE DATE DESCRIPTION	
PROPOSED SENIORS LIVING	C 23.03.2022	ISSUED FOR POST SECTION 34 MEETING DRAWINGS		
KOLOSED SEIMOKS FIAIMA	D 23.06.2023	ISSUE FOR \$4.55 APPLICATION		
4 ALEXANDER ST, COLLAROY				
NSW				
LOT A, DP 379308				

DA300 SECTION A AND B

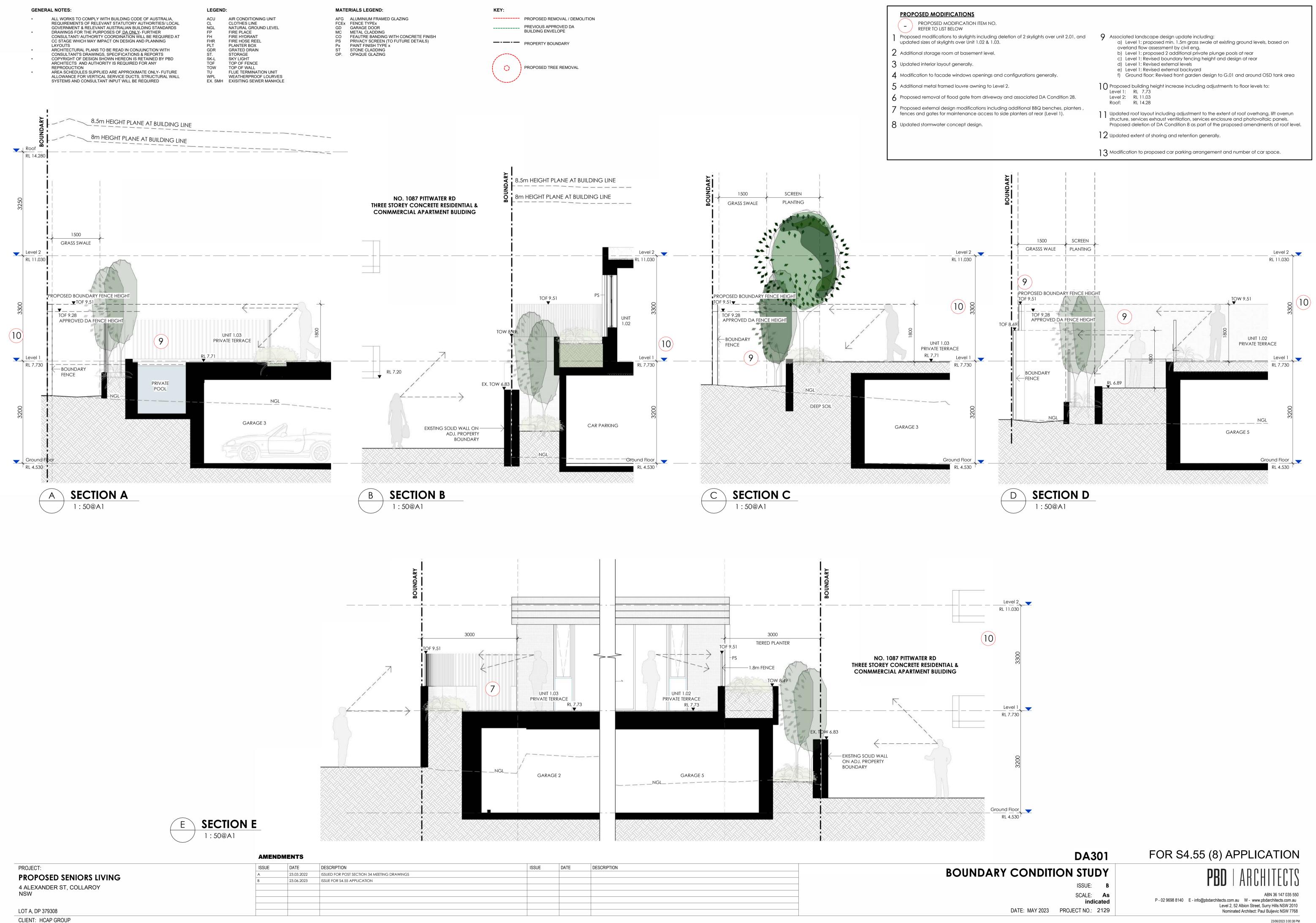
DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

ISSUE: **D** SCALE:1:100

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768



ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS

ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

ACU AIR CONDITIONING UNIT
CL CLOTHES LINE
NGL NATURAL GROUND LEVEL
FP FIRE PLACE
FH FIRE HYDRANT
FHR FIRE HOSE REEL
PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND: AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST STONE CLADDING
OP. OPAQUE GLAZING

----- PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE

PROPERTY BOUNDARY

PROPOSED TREE REMOVAL



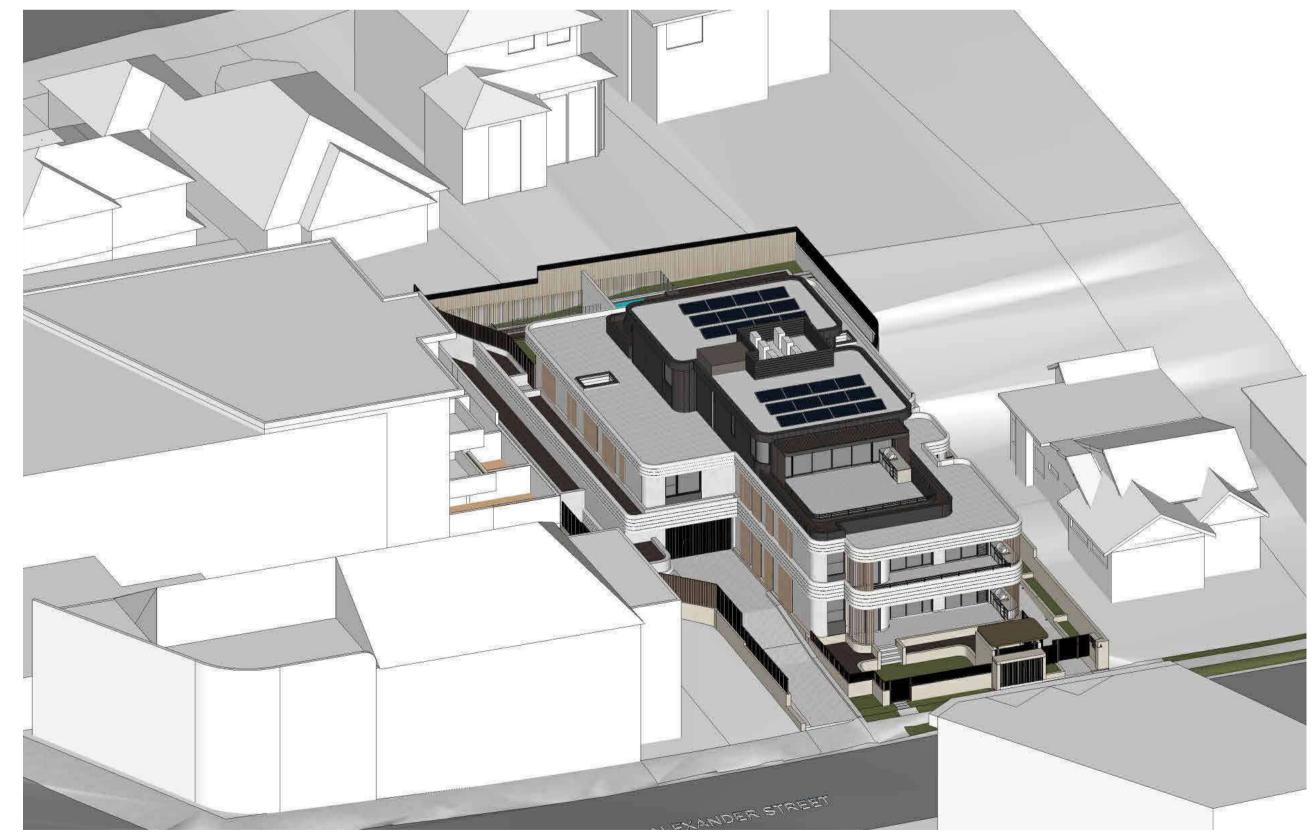
09AM -LEC Approved



09AM - S4.55 Proposal

AMENDMENTS DESCRIPTION DESCRIPTION

10AM -LEC Approved



10AM - \$4.55 Proposal

DA504 SOLAR ACCESS DIAGRAM 01 - JUNE 21ST

DATE: MAY 2023 PROJECT NO.: 2129

ISSUE: A SCALE: 1:20 ABN 36 147 035 550
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au
Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

FOR S4.55 (8) APPLICATION

LOT A, DP 379308 CLIENT: HCAP GROUP

PROPOSED SENIORS LIVING

4 ALEXANDER ST, COLLAROY NSW

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u> FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS

ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD

ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY-FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED LEGEND:

AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT FIRE HOSE REEL PLANTER BOX

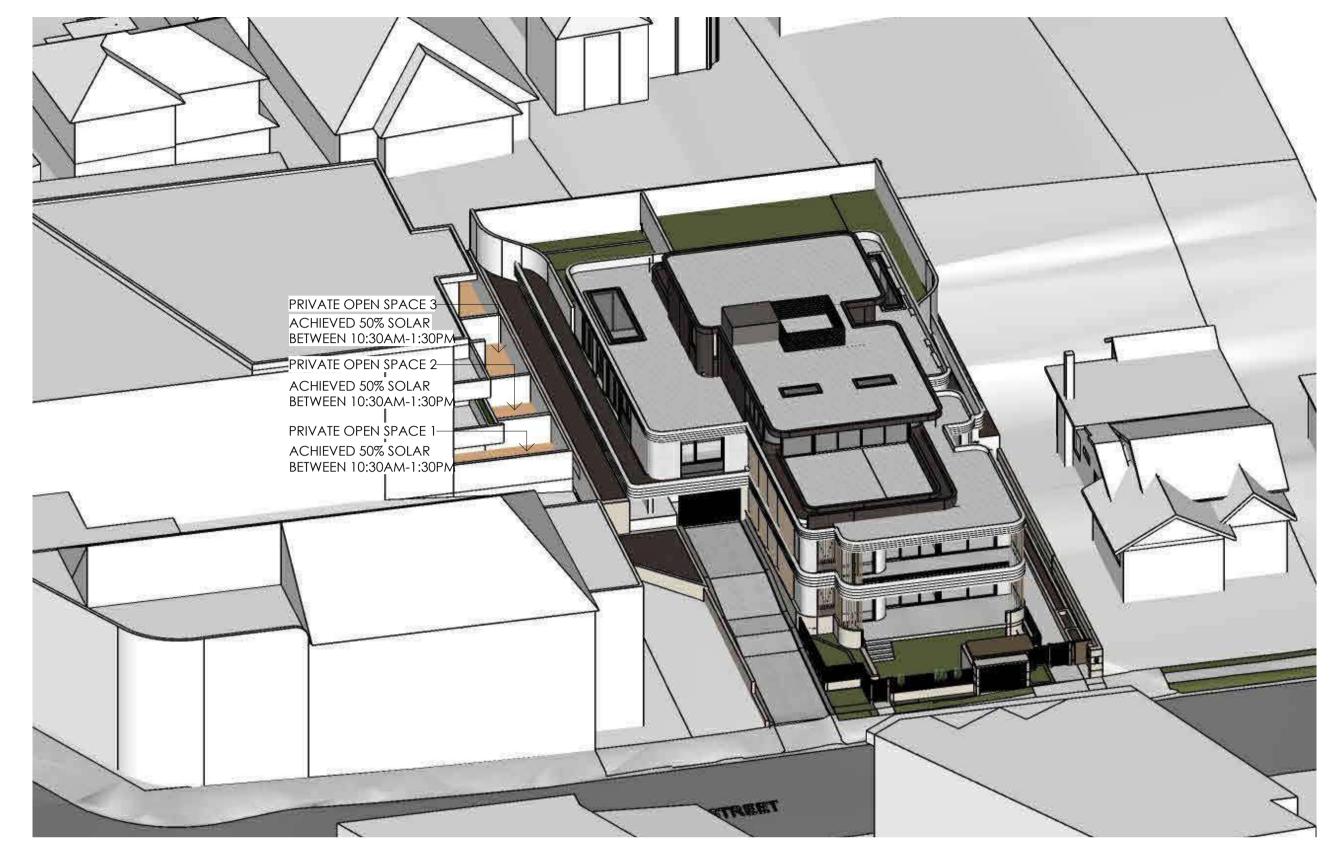
PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND:

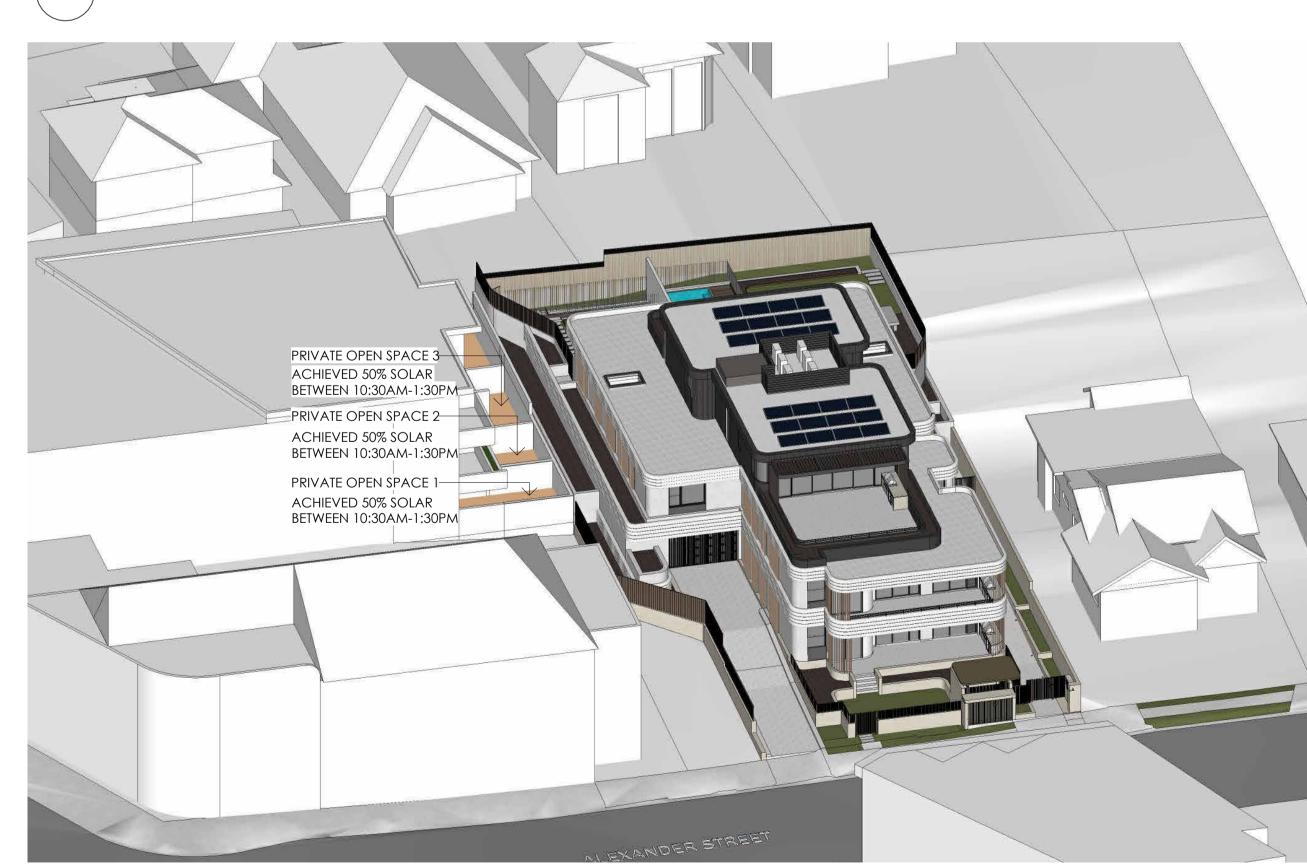
AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST. STONE CLADDING ST STONE CLADDING
OP. OPAQUE GLAZING

PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY

PROPOSED TREE REMOVAL



10:30AM - LEC Approved

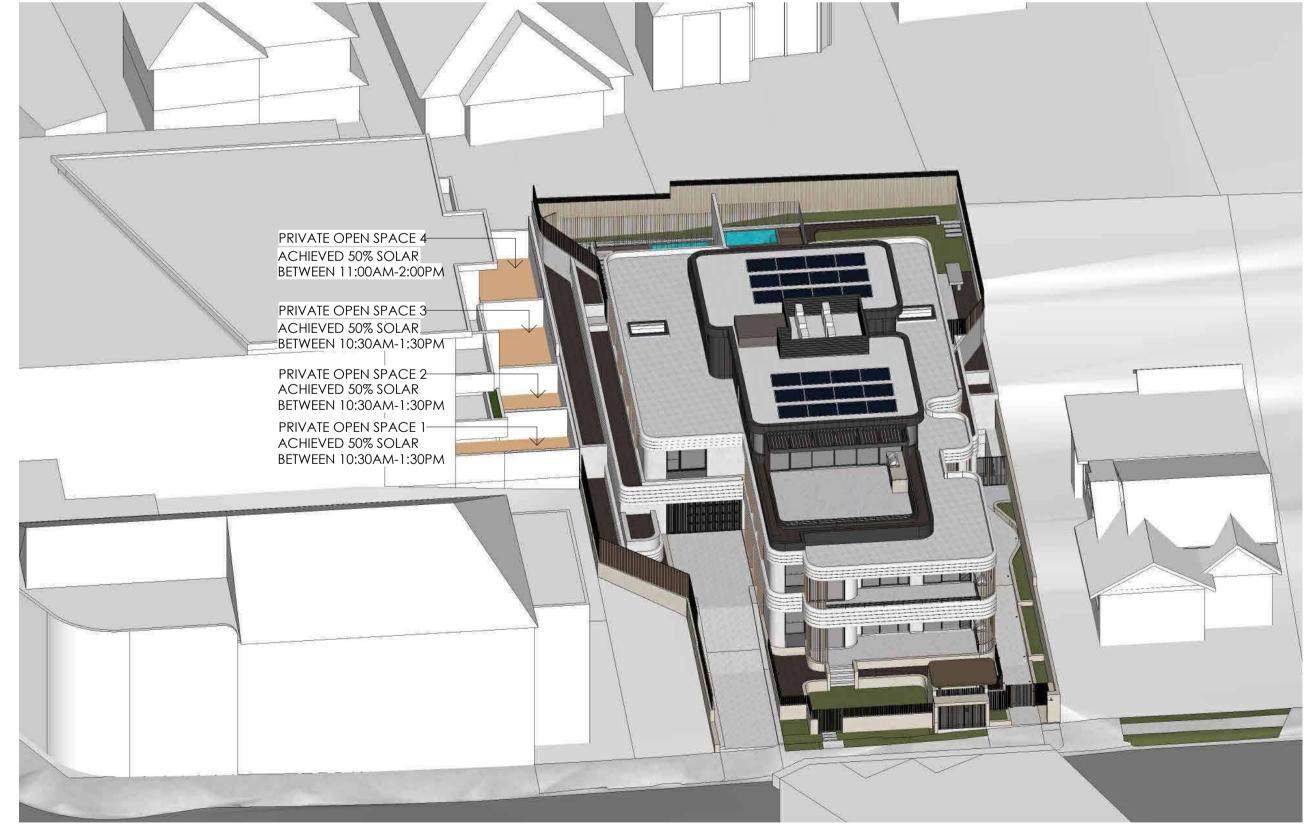


AMENDMENTS

10:30AM - \$4.55 Proposal



11AM - LEC Approved



11AM -S4.55 Proposal

PROPOSED SENIORS LIVING 4 ALEXANDER ST, COLLAROY NSW

LOT A, DP 379308 CLIENT: HCAP GROUP DATE DESCRIPTION DESCRIPTION

DA505 SOLAR ACCESS DIAGRAM 02 - JUNE 21ST

ISSUE: A SCALE: 1:20

DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u> FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT

AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY-FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND:

AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT

FIRE HOSE REEL PLANTER BOX PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE MATERIALS LEGEND:

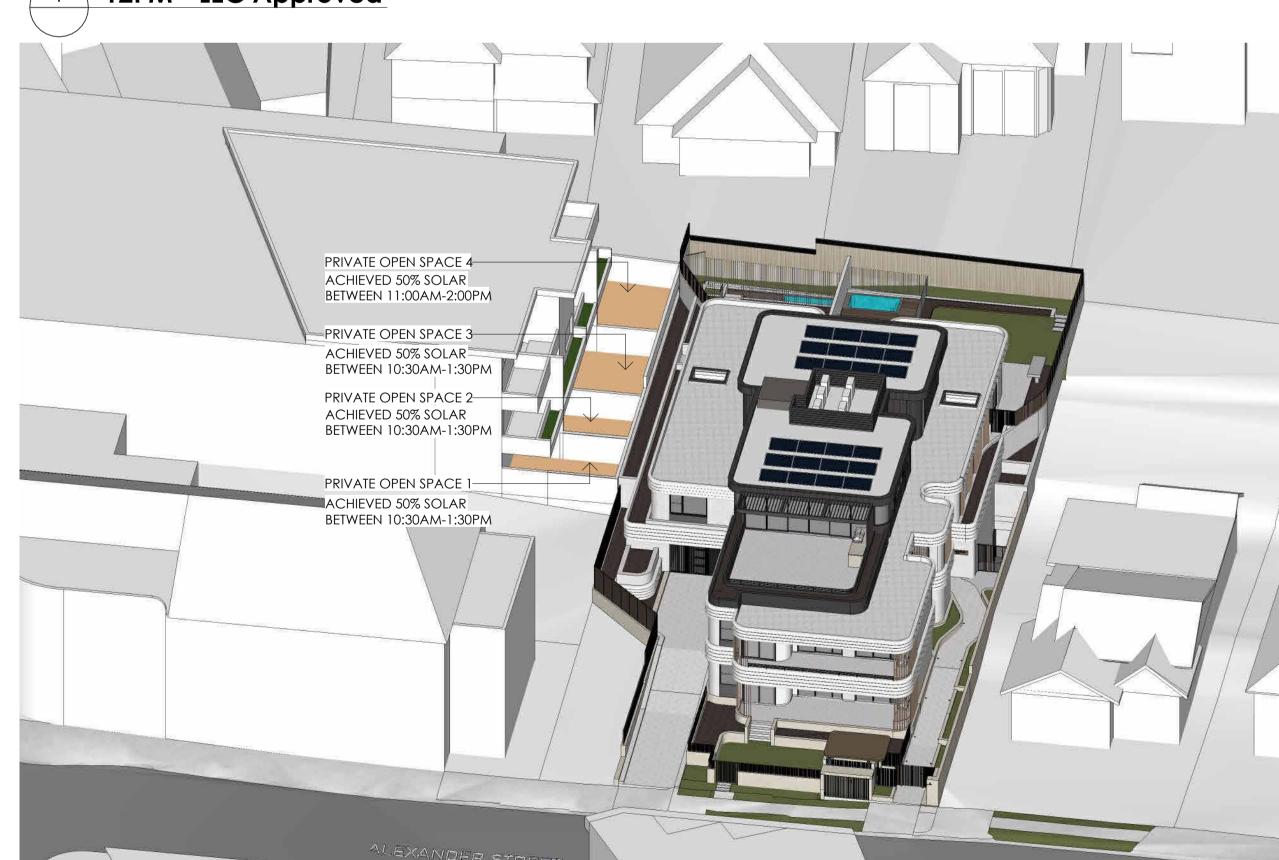
AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST. STONE CLADDING ST STONE CLADDING
OP. OPAQUE GLAZING

PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY

PROPOSED TREE REMOVAL



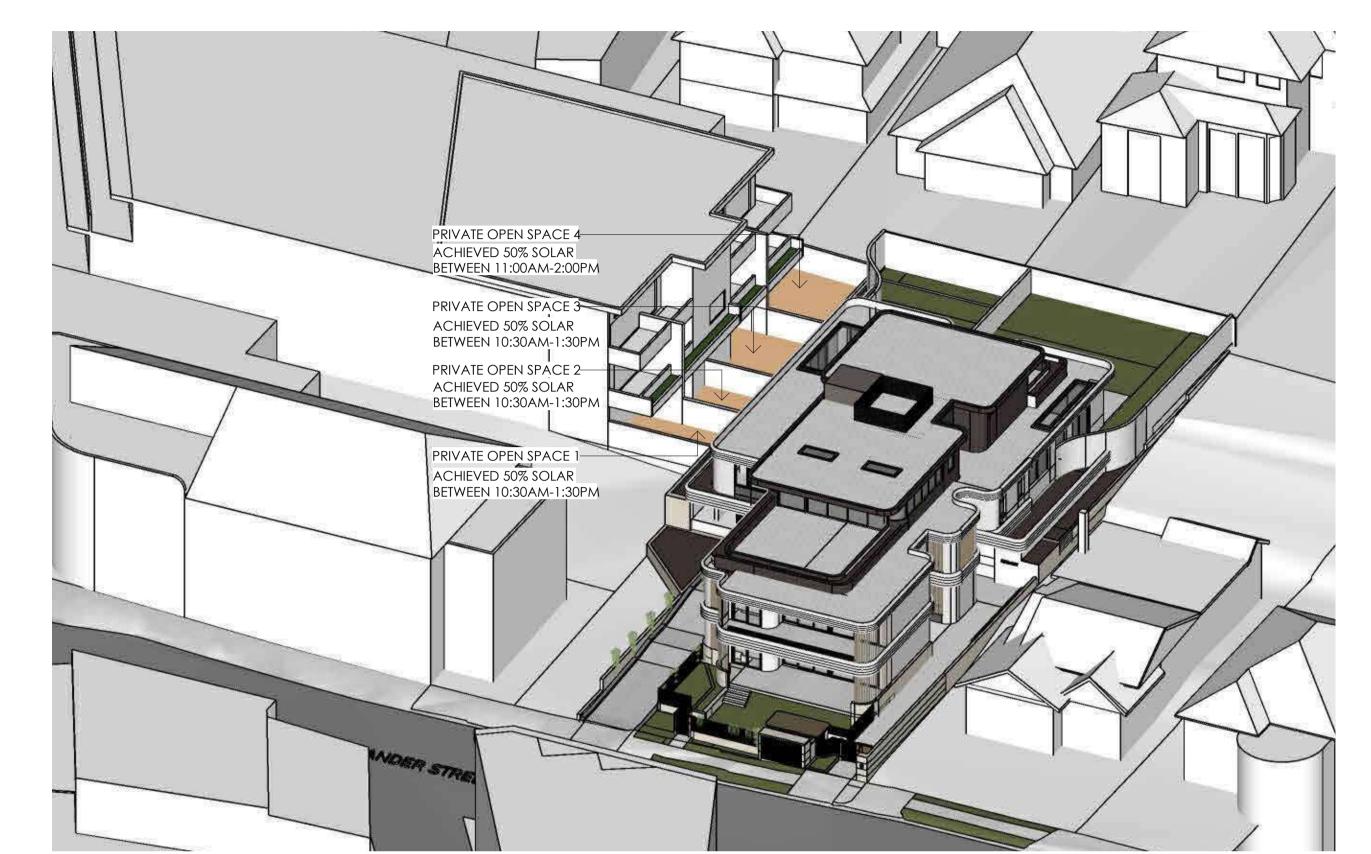
12PM - LEC Approved



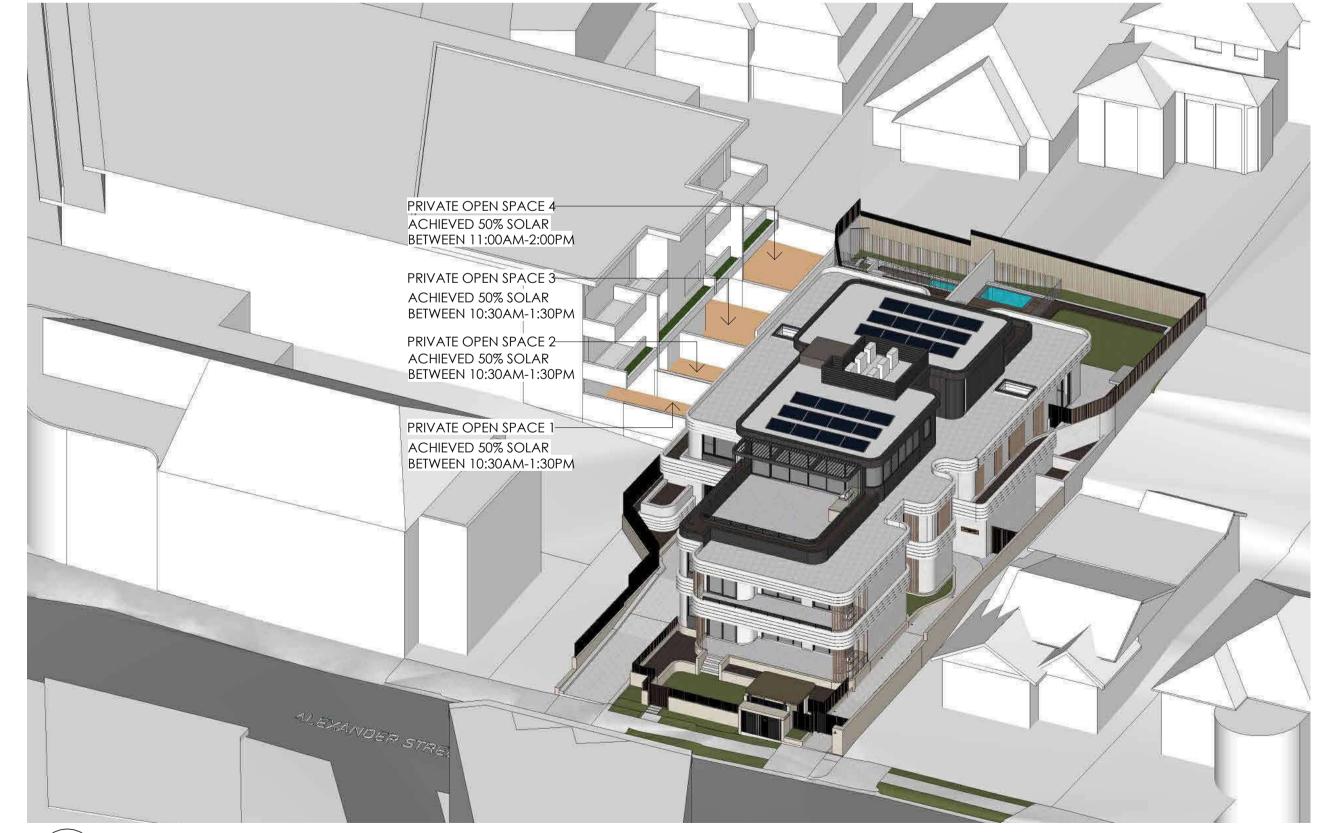
12PM - \$4.55 Proposal

LOT A, DP 379308

CLIENT: HCAP GROUP



01PM - LEC Approved



01PM - S4.55 Proposal

AMENDMENTS

DATE DESCRIPTION DESCRIPTION PROPOSED SENIORS LIVING 4 ALEXANDER ST, COLLAROY

DA506 SOLAR ACCESS DIAGRAM 03 - JUNE 21ST

ISSUE: A SCALE: 1:20

DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT

CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT

LEGEND:

FIRE HOSE REEL PLANTER BOX PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE

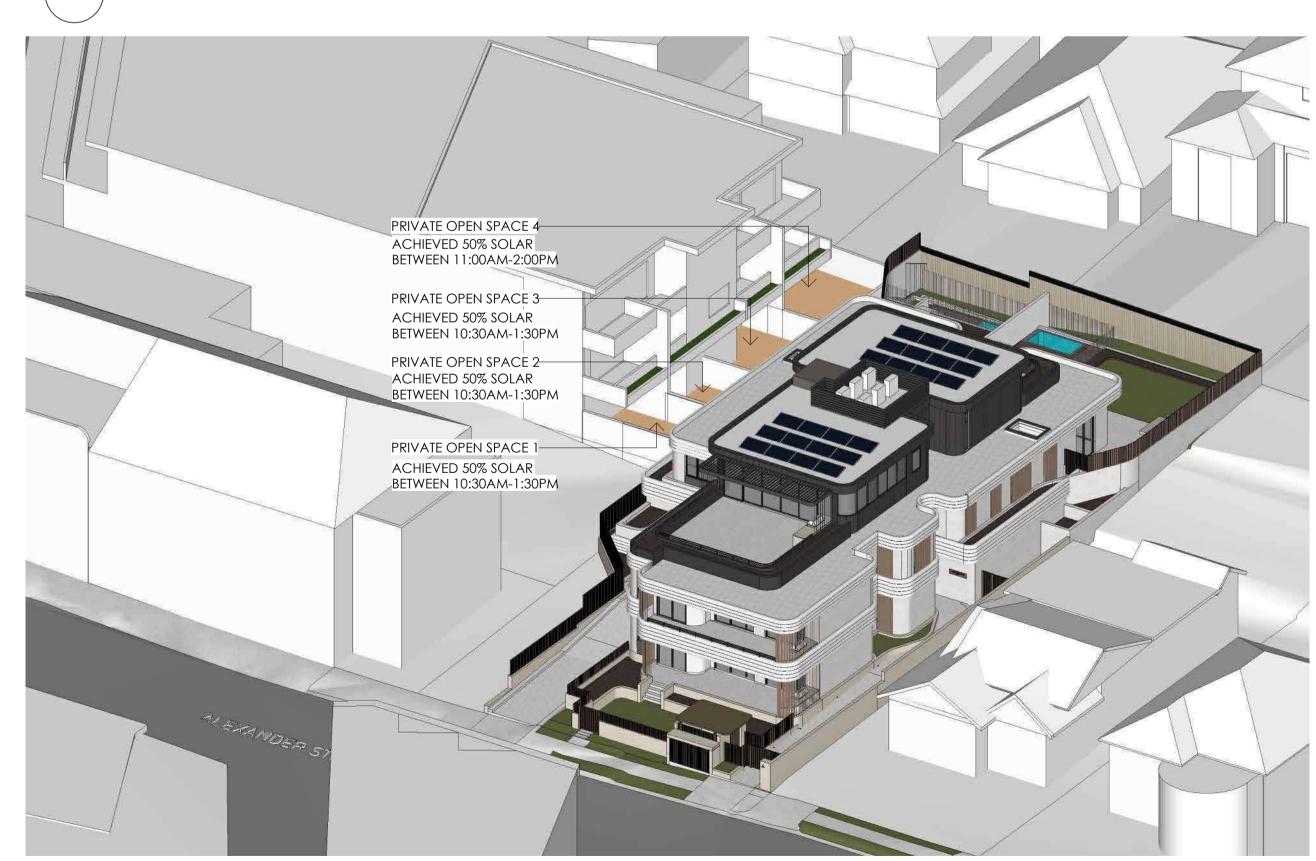
MATERIALS LEGEND: AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST STONE CLADDING
OP. OPAQUE GLAZING PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY

PROPOSED TREE REMOVAL





01:30PM - \$4.55 Proposal



AMENDMENTS

DESCRIPTION DESCRIPTION DATE ISSUE FOR \$4.55 APPLICATION PROPOSED SENIORS LIVING

PRIVATE OPEN SPACE 4 ACHIEVED 50% SOLAR BETWEEN 11:00AM-2:00PME

02PM - LEC Approved



02PM - S4.55 Proposal

DA507 SOLAR ACCESS DIAGRAM 04 - JUNE 21ST

ISSUE: A SCALE: 1:20

DATE: MAY 2023 PROJECT NO.: 2129

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010
Nominated Architect: Paul Buljevic NSW 7768

FOR S4.55 (8) APPLICATION

LOT A, DP 379308 CLIENT: HCAP GROUP

4 ALEXANDER ST, COLLAROY NSW

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>. FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS

ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

ACU AIR CONDITIONING UNIT
CL CLOTHES LINE
NGL NATURAL GROUND LEVEL
FP FIRE PLACE
FH FIRE HYDRANT
FHR FIRE HOSE REEL
PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE

MATERIALS LEGEND:

AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST STONE CLADDING
OP. OPAQUE GLAZING

KEY: PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE

PROPERTY BOUNDARY

PROPOSED TREE REMOVAL



03PM - LEC Approved



03PM - S4.55 Proposal

AMENDMENTS

PROPOSED SENIORS LIVING

4 ALEXANDER ST, COLLAROY NSW

LOT A, DP 379308 CLIENT: HCAP GROUP DESCRIPTION DESCRIPTION

DA508 SOLAR ACCESS DIAGRAM 05 - JUNE 21ST

ISSUE: A SCALE: 1:20

DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

Level 2, 52 Albion Street, Surry Hills NSW 2010

Nominated Architect: Paul Buljevic NSW 7768



FOR S4.55 (8) APPLICATION

GFA (sqm)

1,199 sqm

161.2 sqm

457.2 sqm

169.3 sqm

787.7 sqm

0.65:1

Approved DA

Proposed \$4.55

160.7 sqm

457.5 sqm

169.3 sqm

787.4 sqm

0.65:1

Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING

ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION

LEGEND: AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HOSE REEL PLANTER BOX

WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE

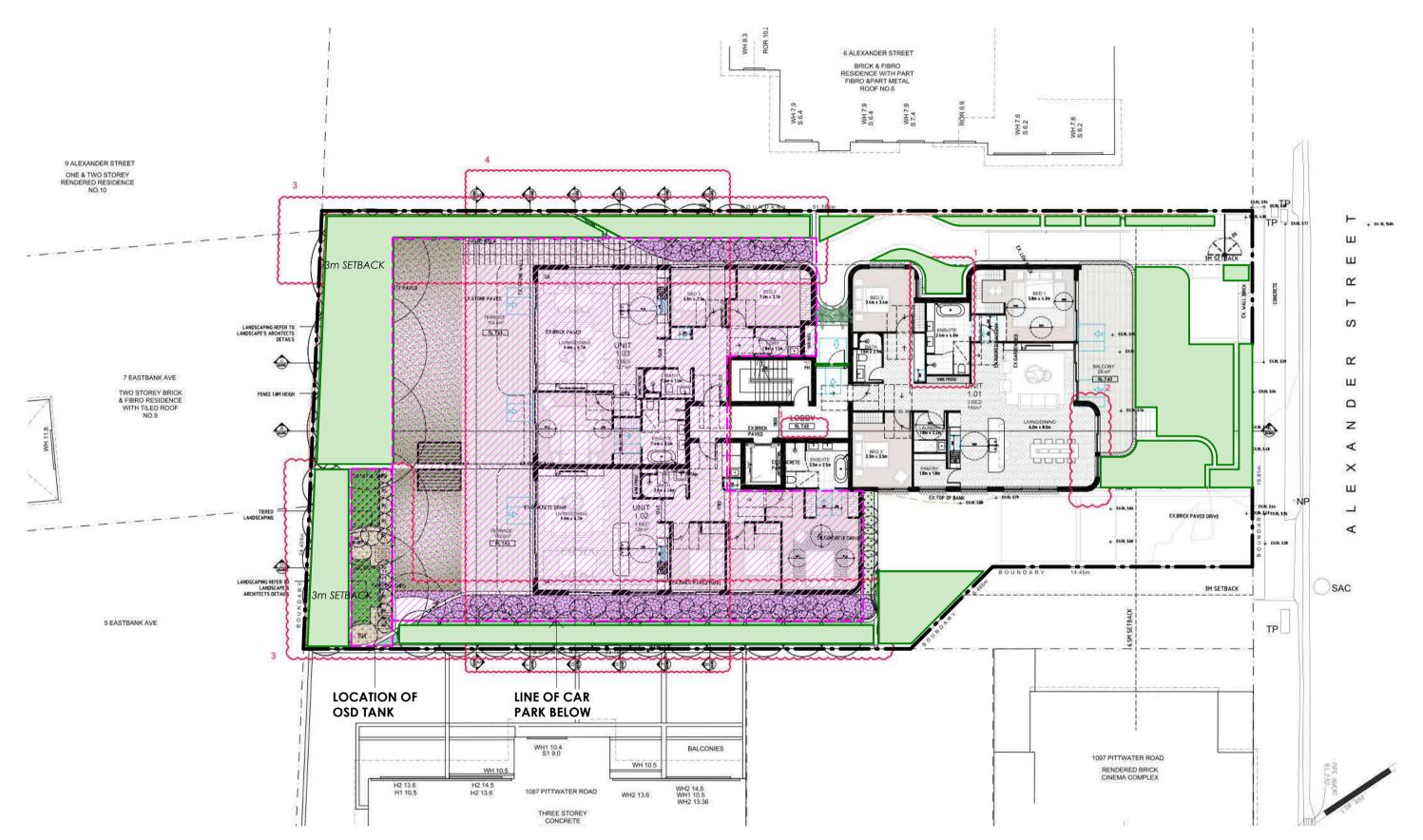
GRATED DRAIN STORAGE
SKY LIGHT
TOP OF FENCE
TOP OF WALL
FLUE TERMINATION UNIT

MATERIALS LEGEND: AFG ALUMINIUM FRAMED GLAZING AFG ALUMINIUM FRAMED GLAZING FCEX FENCE TYPEX GD GARAGE DOOR MC METAL CLADDING CO FEAUTRE BANDING WITH CONCRETE FINISH PS PRIVACY SCREEN (TO FUTURE DETAILS) PX PAINT FINISH TYPE X CT OF STANK OF A PAINT

OP. OPAQUE GLAZING

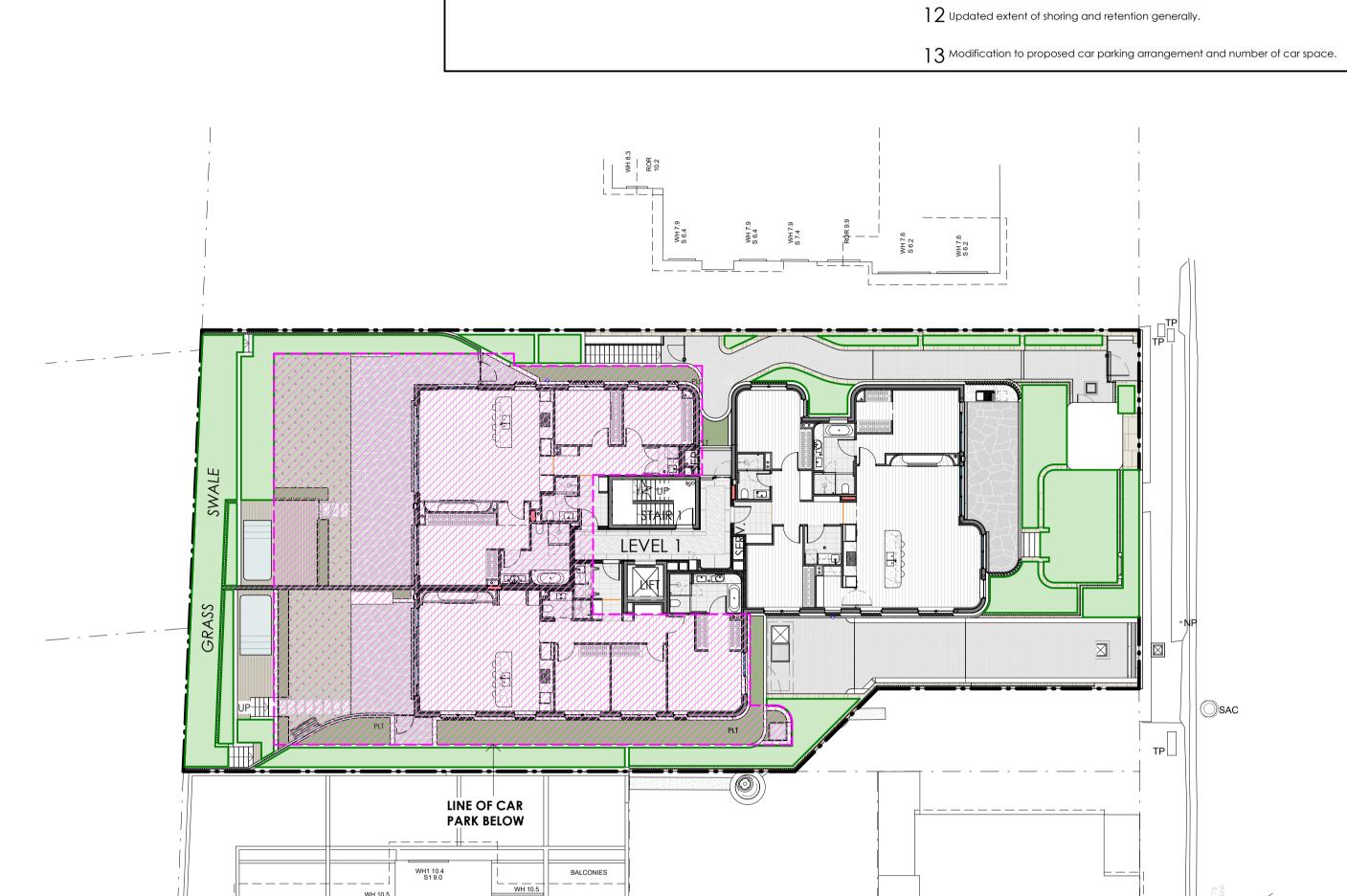
----- PROPOSED REMOVAL / DEMOLITION PREVIOUS APPROVED DA BUILDING ENVELOPE PROPERTY BOUNDARY

PROPOSED TREE REMOVAL



APPROVED DA DEEP SOIL CALC.

CLIENT: HCAP GROUP



PROPOSED MODIFICATIONS

REFER TO LIST BELOW

2 Additional storage room at basement level.

5 Additional metal framed louvre awning to Level 2.

3 Updated interior layout generally.

8 Updated stormwater concept design.

PROPOSED MODIFICATION ITEM NO.

4 Modification to facade windows openings and configurations generally.

6 Proposed removal of flood gate from driveway and associated DA Condition 28.

7 Proposed external design modifications including additional BBQ benches, planters, fences and gates for maintenance access to side planters at rear (Level 1).

Proposed modifications to skylights including deletion of 2 skylights over unit 2.01, and updated sizes of skylights over Unit 1.02 & 1.03.

Associated landscape design update including:

d) Level 1: Revised external levels

Level 2: RL 11.03

Roof: RL 14.28

overland flow assessment by civil eng.

e) Level 1: Revised external backyard

a) Level 1: proposed min. 1.5m grass swale at existing ground levels, based on

f) Ground floor: Revised front garden design to G.01 and around OSD tank area

Proposed deletion of DA Condition 8 as part of the proposed amendments at roof level.

b) Level 1: proposed 2 additional private plunge pools at rear

Proposed building height increase including adjustments to floor levels to: Level 1: RL 7.73

Updated roof layout including adjustment to the extent of roof overhang, lift overrun structure, services exhaust ventilation, services enclosure and photovoltaic panels.

c) Level 1: Revised boundary fencing height and design at rear

PROPOSED AMENDMENT DEEP SOIL CALC. 1:200@A1

DEEP SOIL AREA CALCULATION

SITE AREA 1,199 sqm DEEP SOIL % (min.) 179.85 sqm (15%) (SEPP SENIORS) Approved DA Proposed \$4.55 DEEP SOIL AREA 221 sqm (18.4%) 204 sqm (17%) LEGEND

WH2 14.5 WH2 13.6 WH1 10.5 WH2 13.36



DEEP SOIL AREA

H2 13.6 H1 10.5

EXTENT OF CAR PARK AND OSD TANK LOCATION

AMENDMENTS DESCRIPTION ISSUE DESCRIPTION FOR DA APPROVAL PROPOSED SENIORS LIVING ISSUE FOR \$4.55 APPLICATION 23.06.2023 4 ALEXANDER ST, COLLAROY LOT A, DP 379308

DA540 DEEP SOIL CALCULATION FOR S4.55 (8) APPLICATION

P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010

ISSUE: E

SCALE: As

GENERAL NOTES: LEGEND: MATERIALS LEGEND: AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL ----- PROPOSED REMOVAL / DEMOLITION AFG ALUMINIUM FRAMED GLAZING AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST STONE CLADDING PREVIOUS APPROVED DA GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT BUILDING ENVELOPE FIRE HOSE REEL PLANTER BOX CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING PROPERTY BOUNDARY GRATED DRAIN
STORAGE
SKY LIGHT
TOP OF FENCE
TOP OF WALL
FLUE TERMINATION UNIT ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS
COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD OP. OPAQUE GLAZING

ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY

09AM - JUNE 21st

REPRODUCTION

4 ALEXANDER ST, COLLAROY

LOT A, DP 379308

CLIENT: HCAP GROUP

LEGEND:

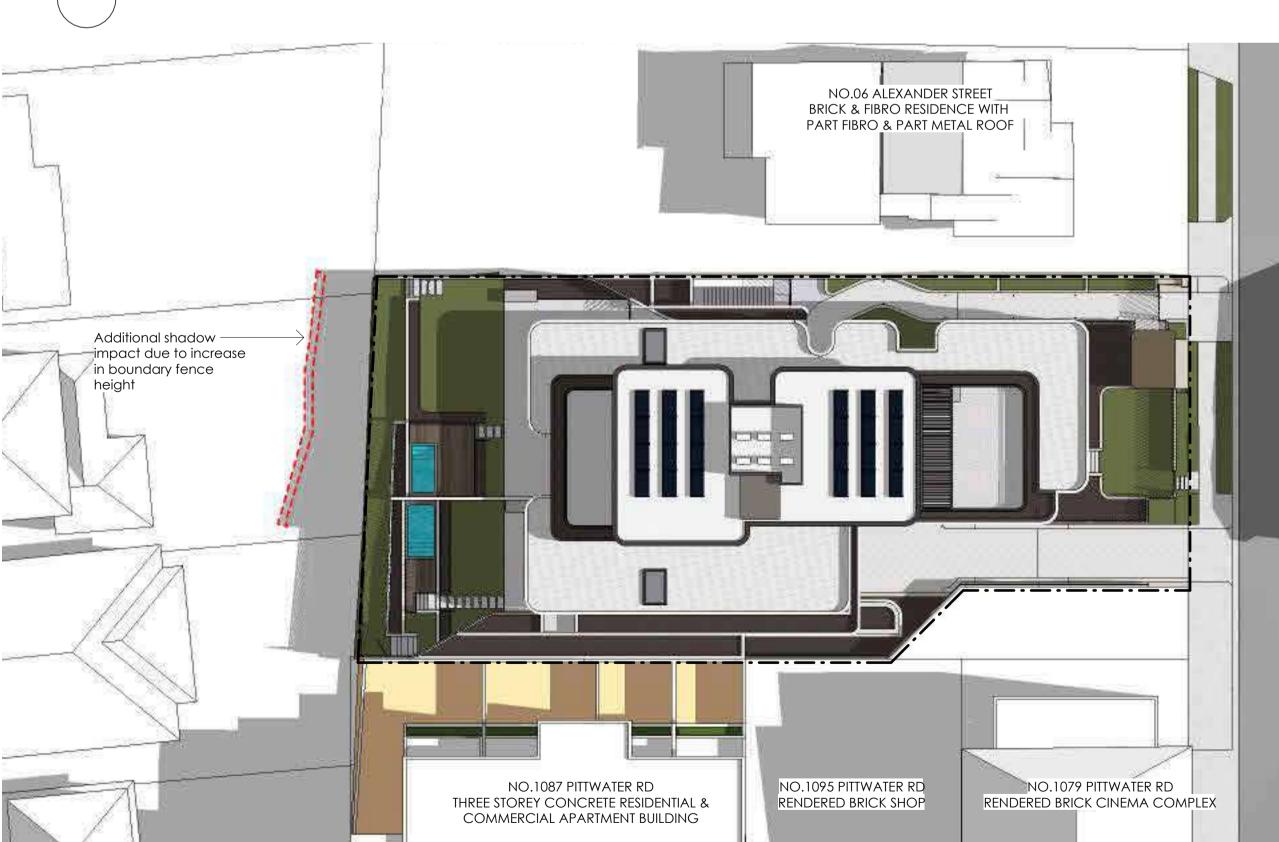
PROPOSED TREE REMOVAL

APPROVED DA SHADOW

ADDITIONAL SHADOW IMPACT BY \$4.56
PROPOSED BUILDING

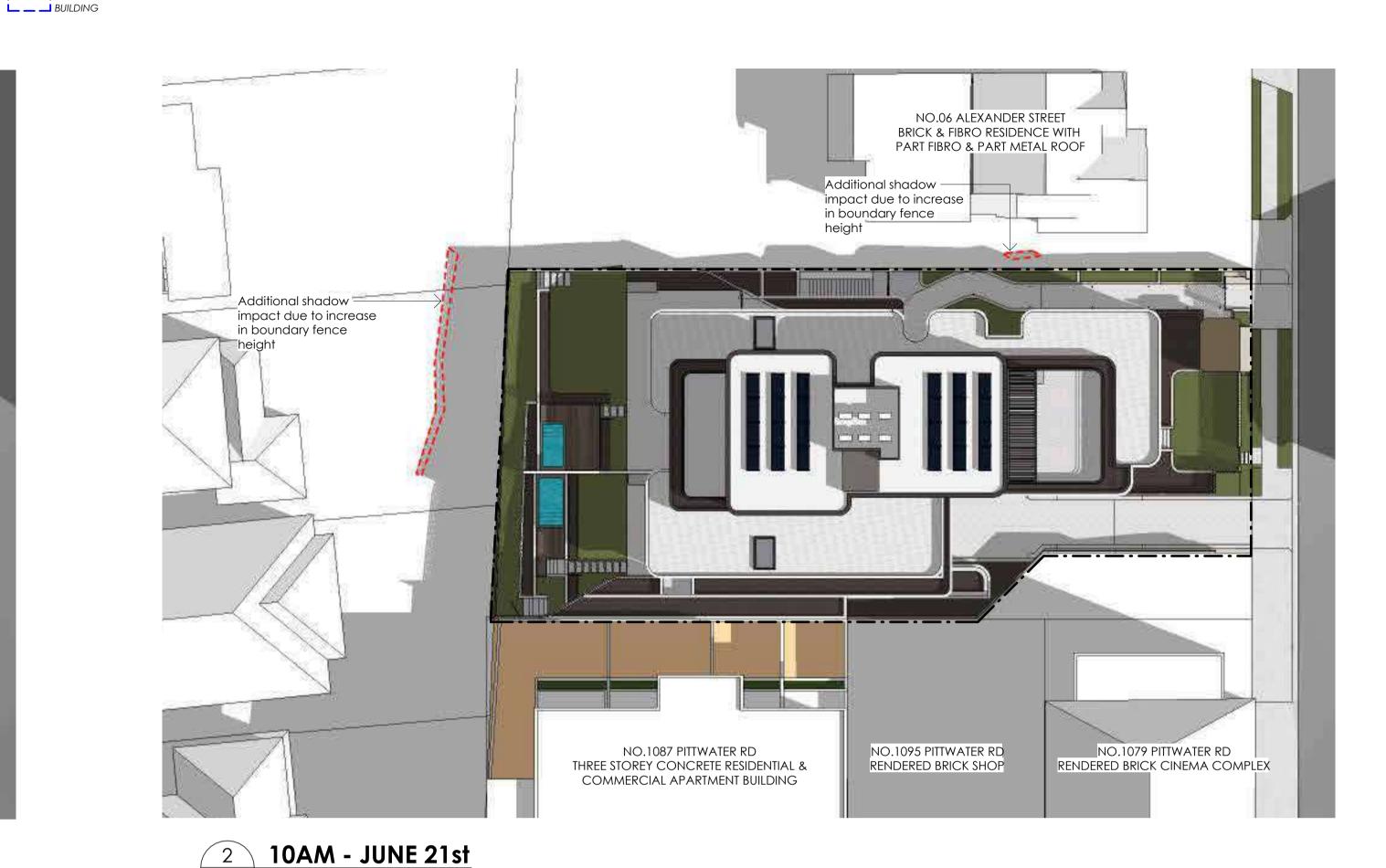
☐ ☐ ☐ IMPROVEMENT BY \$4.56 PROPOSED

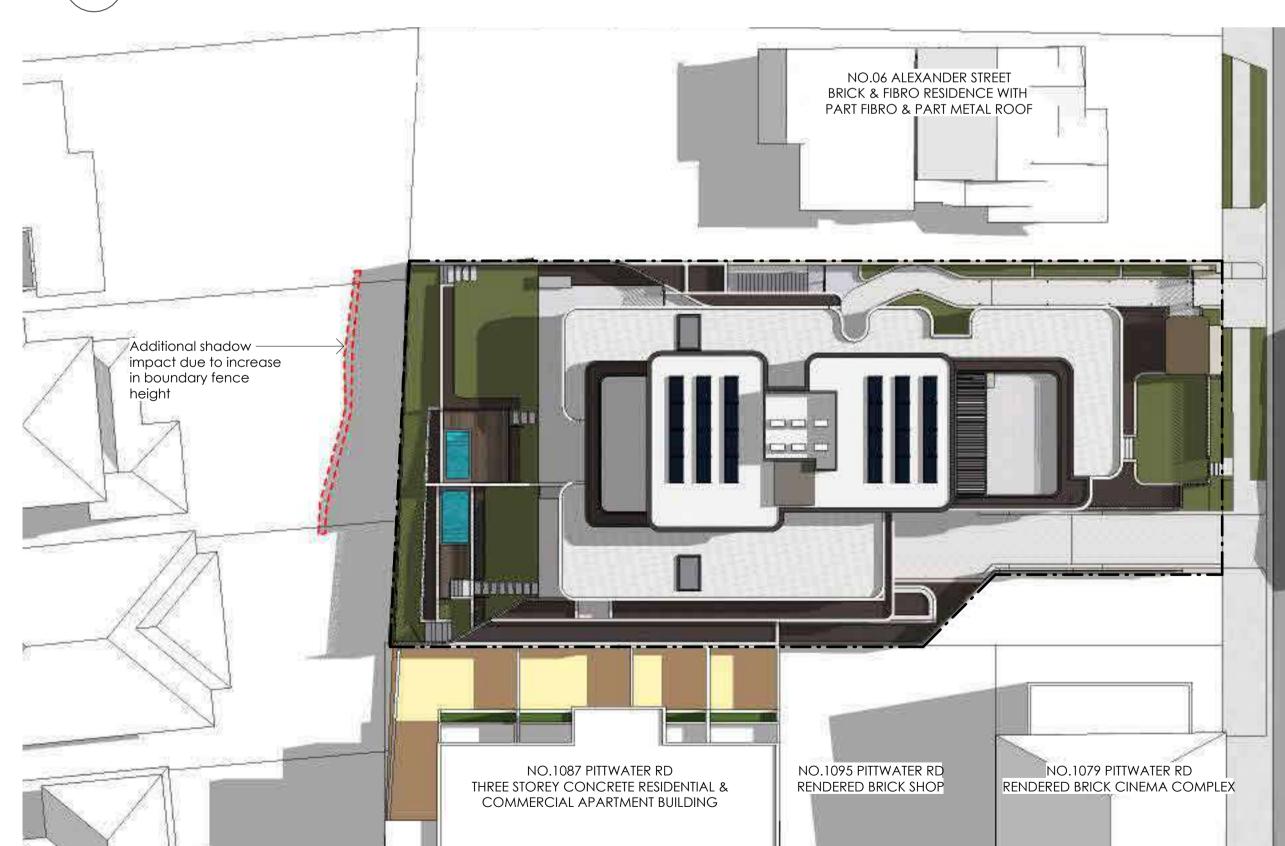
AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY-FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED WPL WEATHERPROOF LOURVES EX. SMH EXISITING SEWER MANHOLE Reduction in shadow -Additional shadow – impact due to decrease NO.06 ALEXANDER STREET impact due to increase in overall awning extent BRICK & FIBRO RESIDENCE WITH Additional shadow in building height on roof level PART FIBRO & PART METAL ROOF impact due to increase in building height Additional shadow impact due to increase in boundary fence height NO.1087 PITTWATER RD NO.1095 PITTWATER RD NO.1079 PITTWATER RD RENDERED BRICK SHOP RENDERED BRICK CINEMA COMPLEX THREE STOREY CONCRETE RESIDENTIAL & COMMERCIAL APARTMENT BUILDING



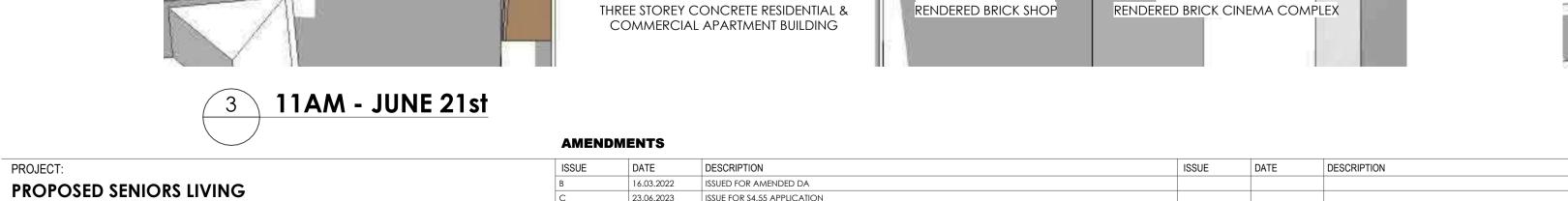
ISSUE FOR \$4.55 APPLICATION

23.06.2023





12PM - JUNE 21st



DA601 SHADOW DIAGRAM 01

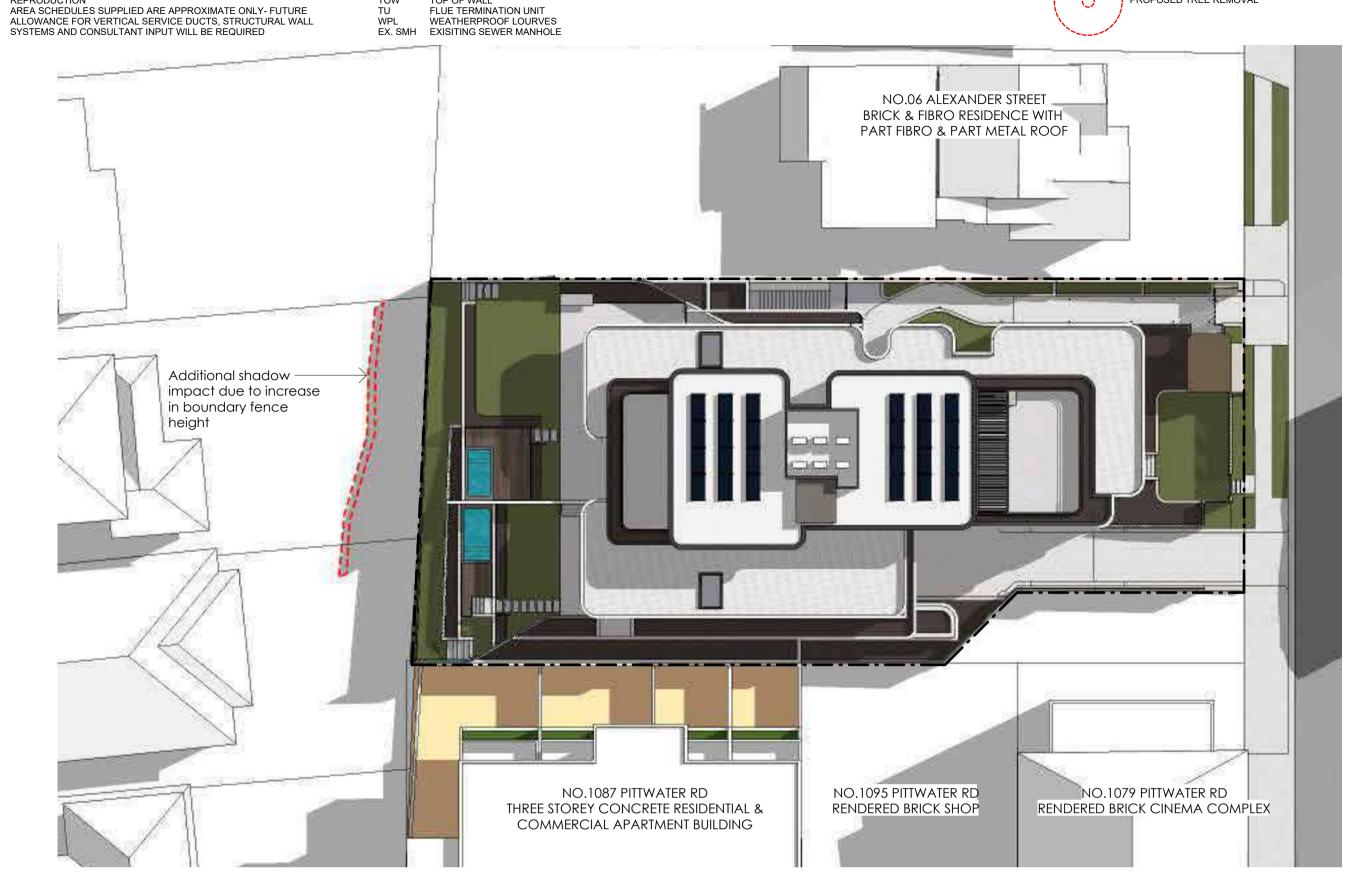
DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

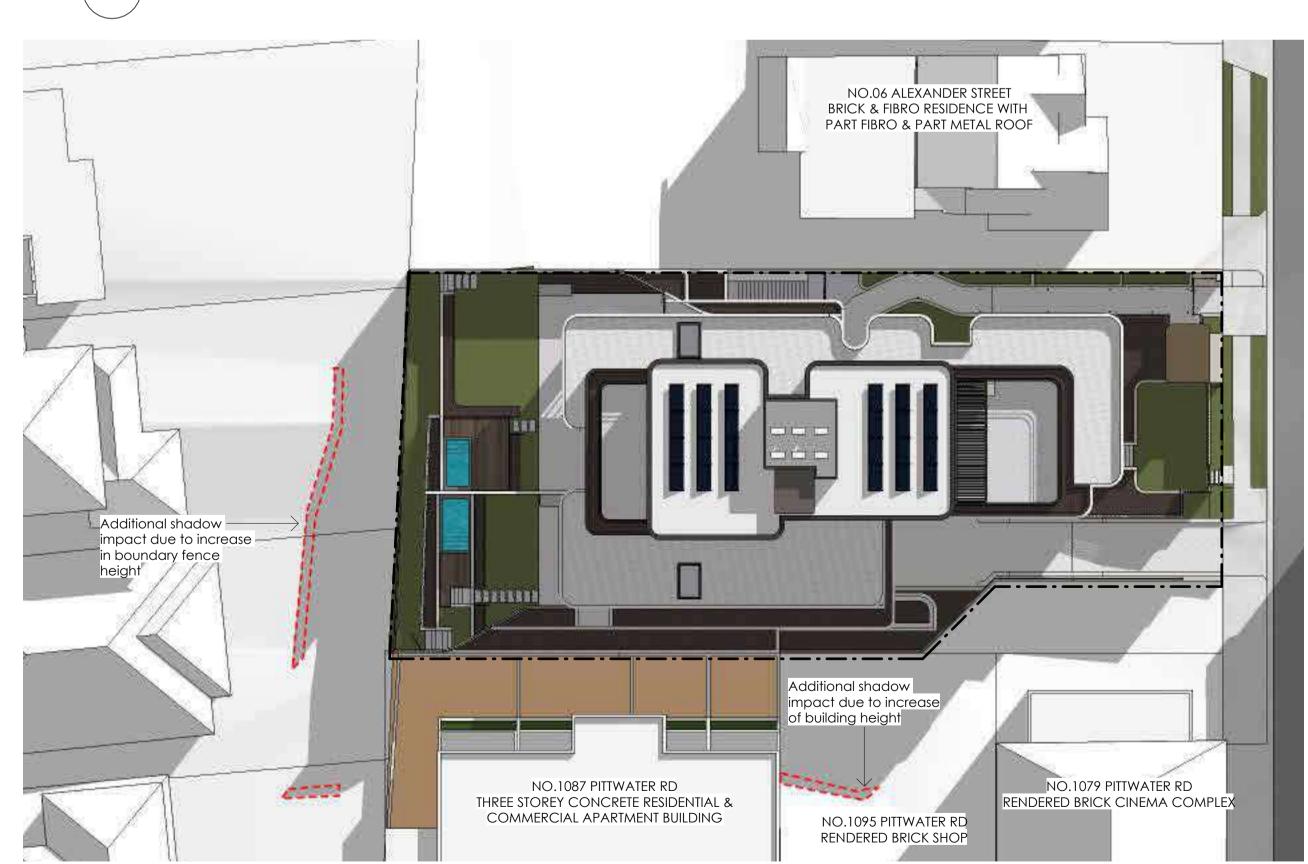
ISSUE: C SCALE: **As** indicated

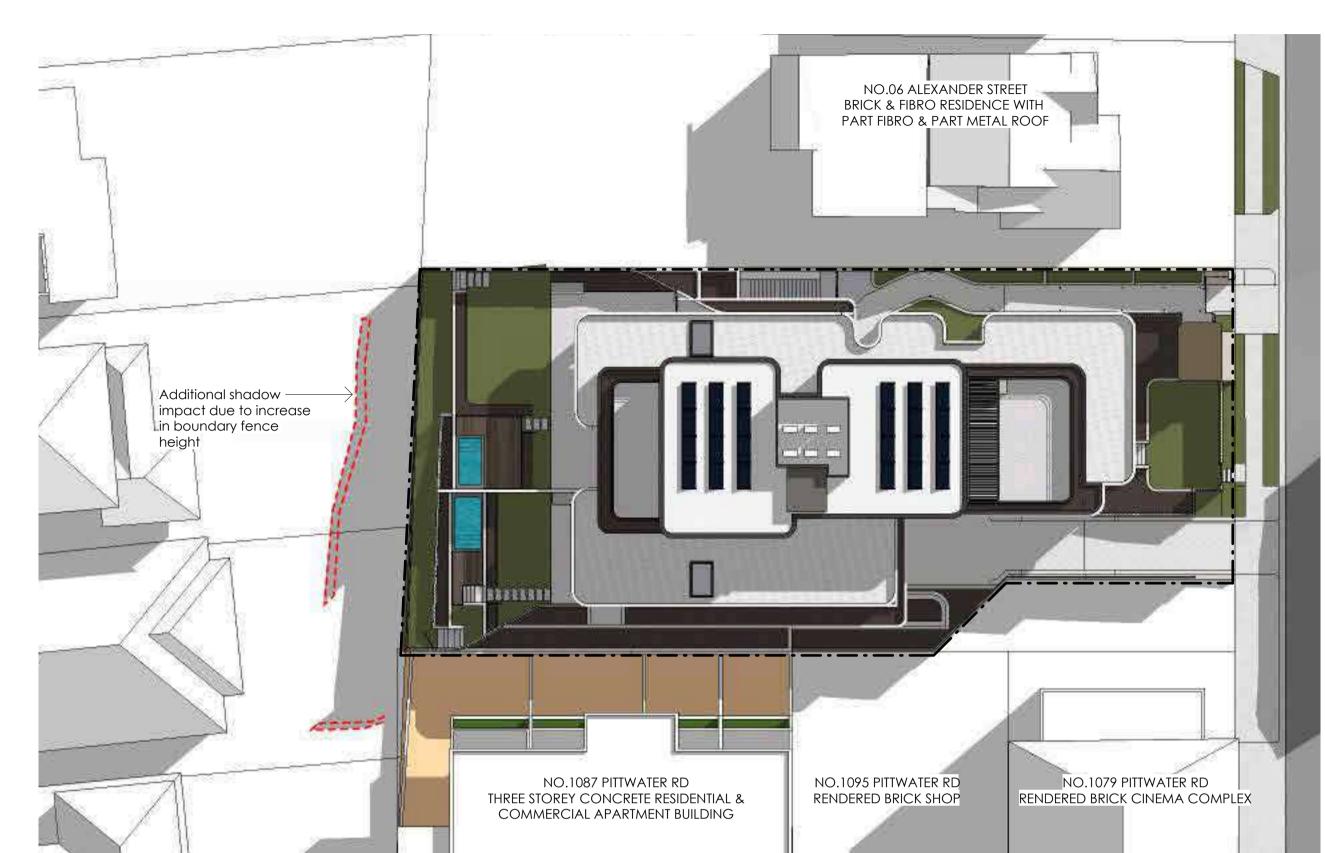
P - 02 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au Level 2, 52 Albion Street, Surry Hills NSW 2010 Nominated Architect: Paul Buljevic NSW 7768

LEGEND: **GENERAL NOTES:** LEGEND: MATERIALS LEGEND: KEY: AIR CONDITIONING UNIT CLOTHES LINE NATURAL GROUND LEVEL FIRE PLACE FIRE HYDRANT AFG ALUMINIUM FRAMED GLAZING
FCEX FENCE TYPEX
GD GARAGE DOOR
MC METAL CLADDING
CO FEAUTRE BANDING WITH CONCRETE FINISH
PS PRIVACY SCREEN (TO FUTURE DETAILS)
PX PAINT FINISH TYPE X
ST. STONE CLADDING ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL PROPOSED REMOVAL / DEMOLITION ACU AIR CONDITIONING UNIT
CL CLOTHES LINE
NGL NATURAL GROUND LEVEL
FP FIRE PLACE
FH FIRE HYDRANT
FHR FIRE HOSE REEL
PLT PLANTER BOX
GDR GRATED DRAIN
ST. STORAGE
SK-L SKY LIGHT
TOF TOP OF FENCE
TOW TOP OF WALL
TU FLUE TERMINATION UNIT
WPL WEATHERPROOF LOURVES
EX. SMH EXISITING SEWER MANHOLE APPROVED DA SHADOW PREVIOUS APPROVED DA BUILDING ENVELOPE GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS DRAWINGS FOR THE PURPOSES OF <u>DA ONLY</u>- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT ADDITIONAL SHADOW IMPACT BY \$4.56
PROPOSED BUILDING CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING PROPERTY BOUNDARY ST STONE CLADDING
OP. OPAQUE GLAZING ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DRAWINGS, SPECIFICATIONS & REPORTS COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ☐ ☐ ☐ IMPROVEMENT BY \$4.56 PROPOSED L _ _ BUILDING ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY PROPOSED TREE REMOVAL REPRODUCTION



1 01PM - JUNE 21st





2 02PM - JUNE 21st

3 03PM - JUNE 21st

CLIENT: HCAP GROUP

DA602 SHADOW DIAGRAM 02

ISSUE: C
SCALE: As
indicated
DATE: MAY 2023 PROJECT NO.: 2129

FOR S4.55 (8) APPLICATION

PBD | ARCHITECTS

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Nominated Architect: Paul Buljevic NSW 7768