

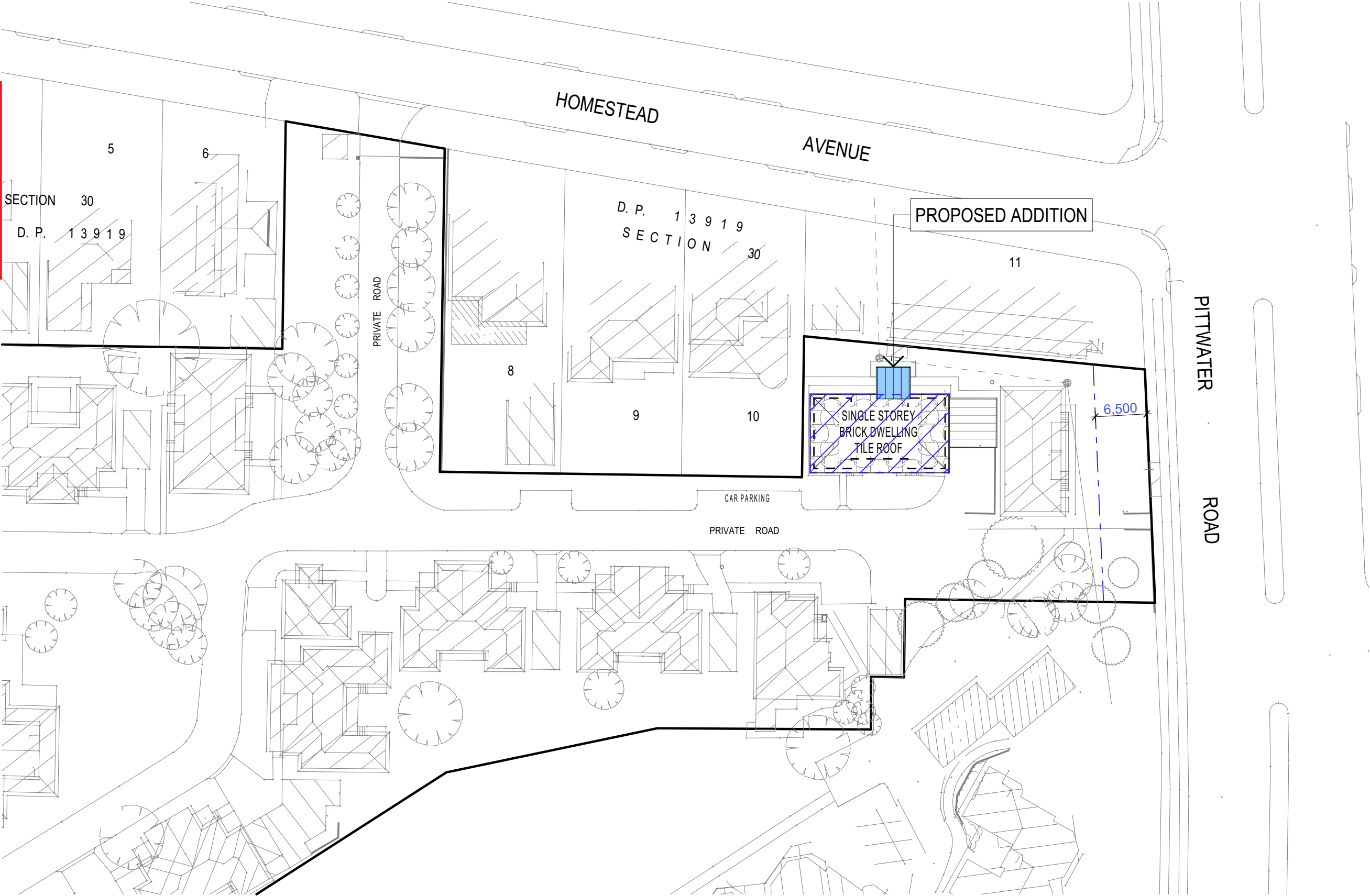
KEY

SUBJECT DWELLING

northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1731



LOT100

DP806942

SITE AREA = 147ha

ADDITIONAL HARD SURFACE AREA 8.08m²

LOCATION PLAN

1:500

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

*JJ Drafting*

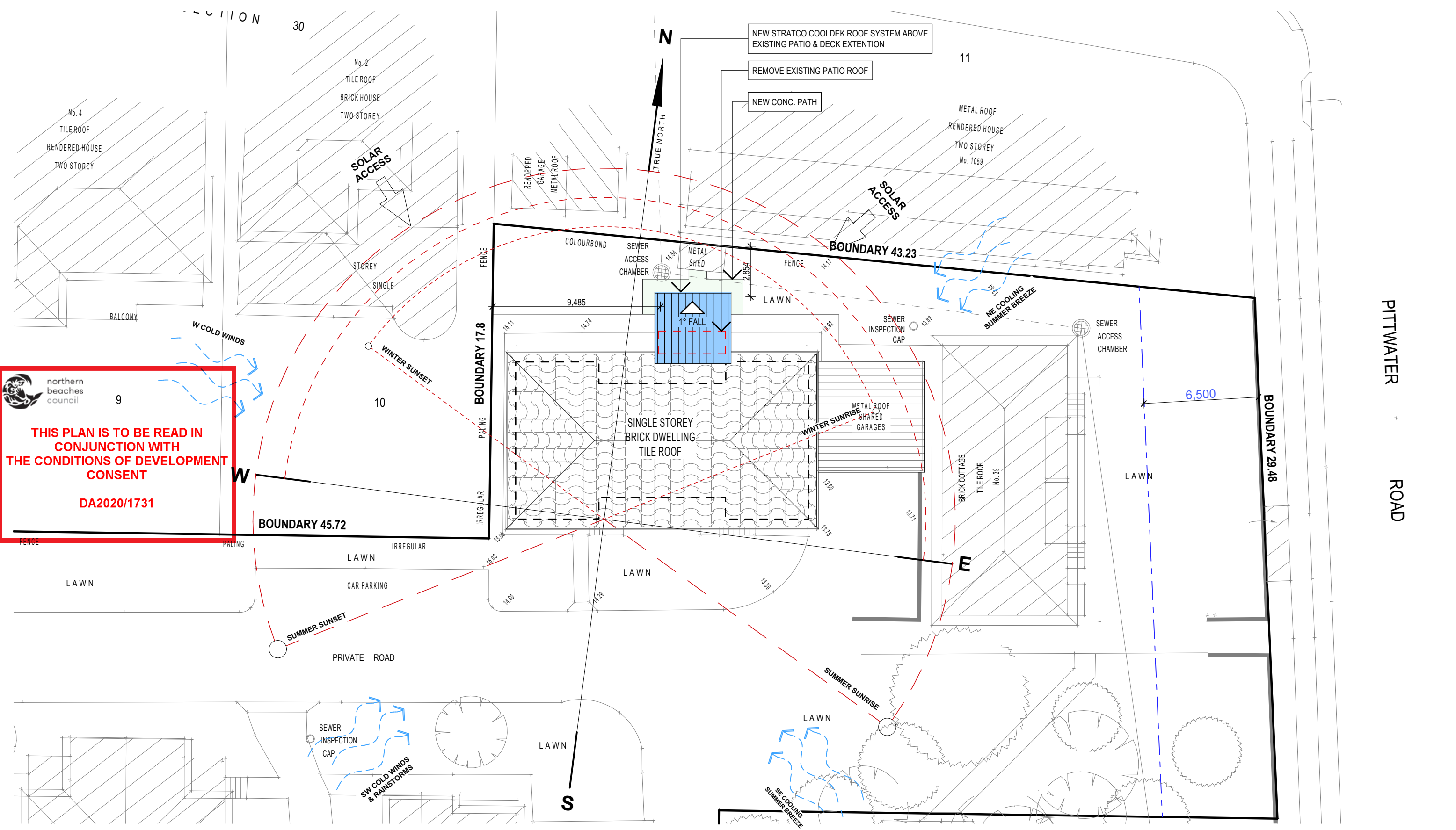
174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
A	02.10.20	FOR REVISION
B	08.12.20	ADDITIONAL NOTATION

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097

DRAWING TITLE:  
LOCATION PLAN

DATE: SEPT/20	DRAWN BY: AHB	SCALE: 1:500 @ A3
JOB No: 841/20	CHECKED BY: JJ	DRAWING No: DA.01




 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/1731**

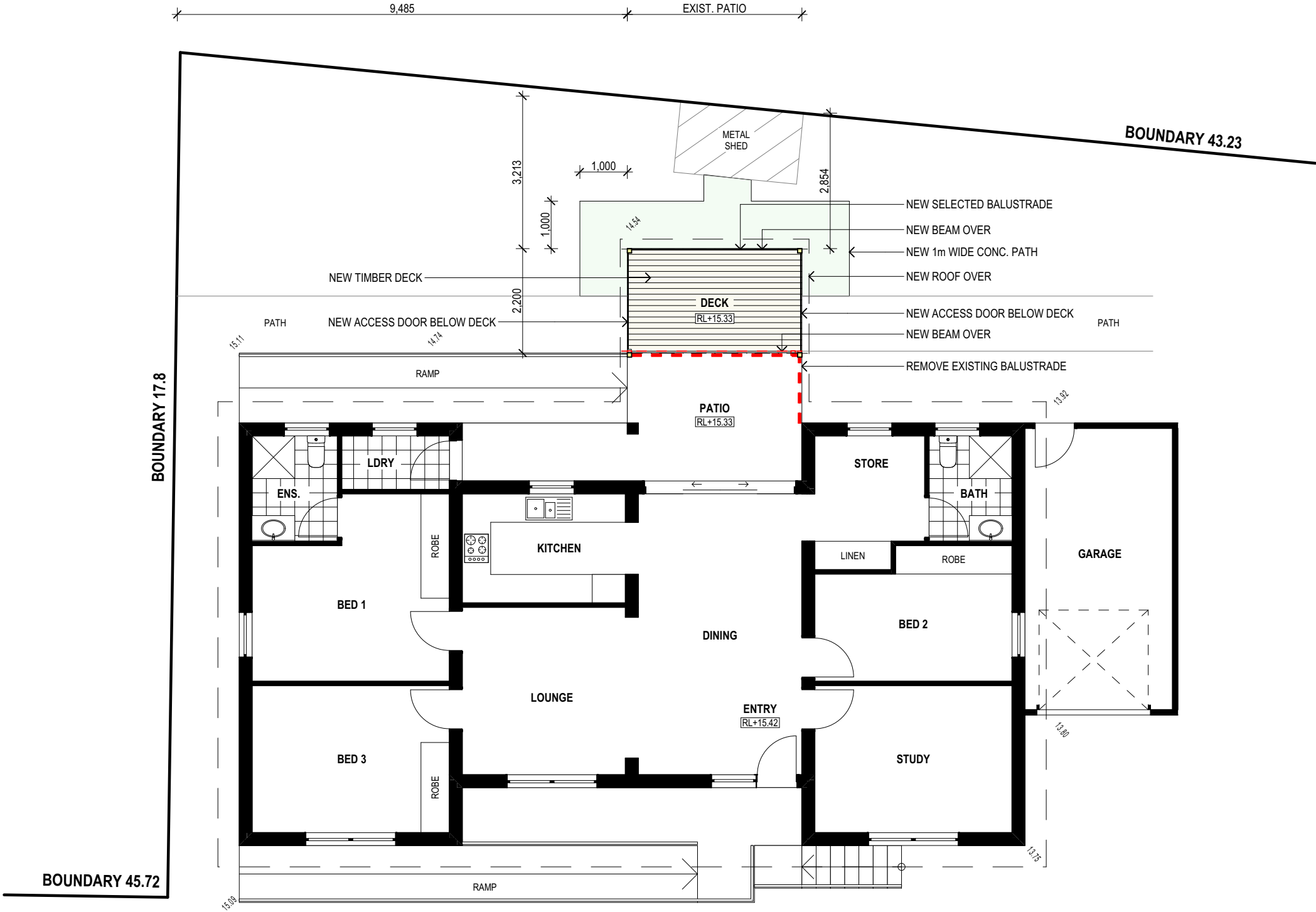
 **SITE ANALYSIS PLAN**  
1:200

<div>TRUE NORTH:</div> <div></div>	<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a></div> <div><a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a></div>	<div>REV:</div> <div>A</div>	<div>DATE:</div> <div>02.10.20</div>	<div>DESCRIPTION:</div> <div>FOR REVISION</div>	<div>PROJECT DETAILS:</div> <div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097</div>	<div>DATE:</div> <div>SEPT/20</div>	<div>DRAWN BY:</div> <div>AHB</div>	<div>SCALE:</div> <div>1:200 @ A3</div>
			<div>B</div>	<div>08.12.20</div>	<div>ADDITIONAL NOTATION</div>		<div>DRAWING TITLE:</div> <div>SITE ANALYSIS PLAN</div>	<div>JOB No:</div> <div>841/20</div>	<div>CHECKED BY:</div> <div>JJ</div>

 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/1731**

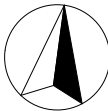


**GROUND FLOOR PLAN**  
1:100

SITE AREA = 147ha

ADDITIONAL HARD SURFACE AREA 16.80m<sup>2</sup>

TRUE NORTH:



**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

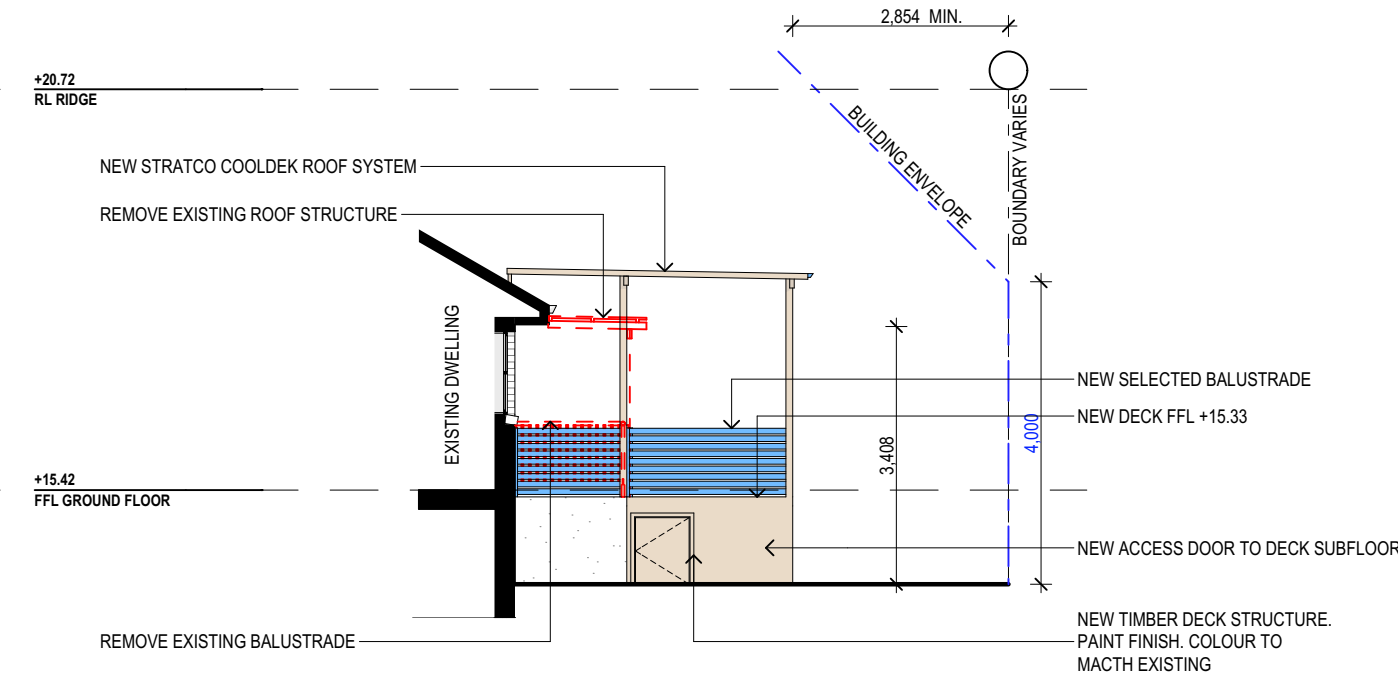
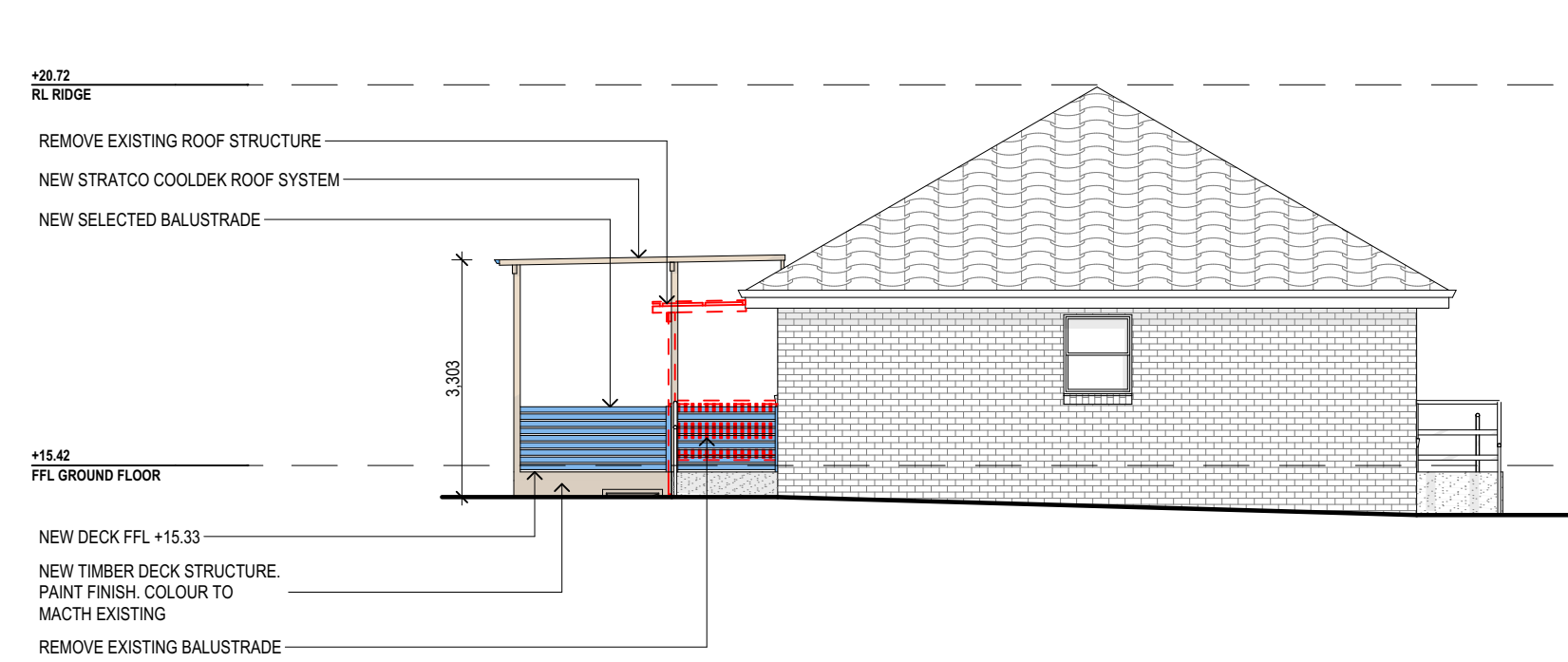
*JJ Drafting*

174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
A	02.10.20	FOR REVISION
B	08.12.20	ADDITIONAL NOTATION

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097	DRAWING TITLE: PROPOSED FLOOR PLAN
---	---------------------------------------

DATE: SEPT/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 841/20	CHECKED BY: JJ	DRAWING No: DA.04

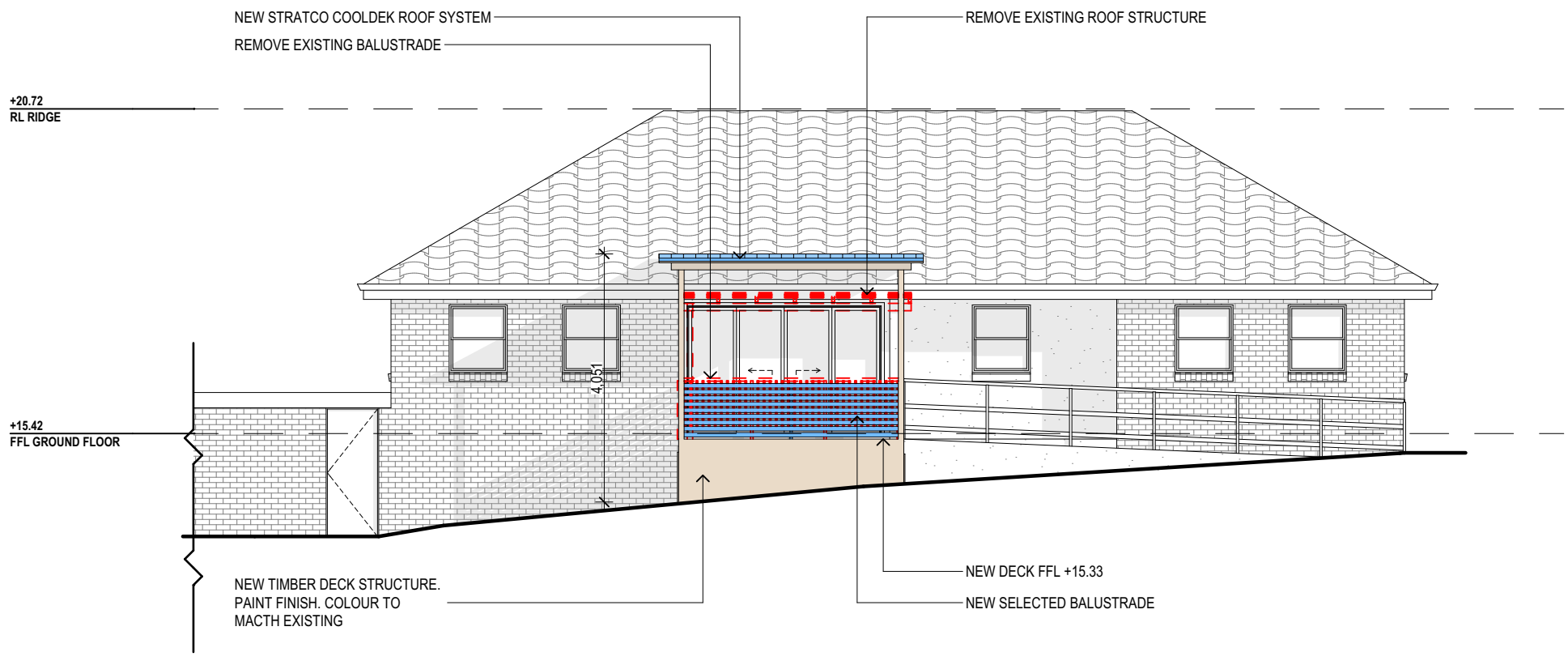


**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/1731**

**WEST ELEVATION**  
1:100

**EAST ELEVATION**  
1:100



**NORTH ELEVATION**  
1:100

**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**

174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
A	02.10.20	FOR REVISION
B	08.12.20	ADDITIONAL NOTATION

**PROJECT DETAILS:**  
PROPOSED ALTERATIONS AND ADDITIONS  
UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097

**DRAWING TITLE:**  
ELEVATIONS

DATE: SEPT/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 841/20	CHECKED BY: JJ	DRAWING No: DA.05





THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1731

SPECIFICATION NOTES

**DECK FLOOR:**  
- STRATCO MODWOOD IN SELECTED COLOUR INSTALLED TO MANUFACTURERS SPECIFICATIONS.

**CLADDING:**  
- UNDER DECK CLADDING IN BLUEBOARD INSTALLED TO MANUFACTURERS SPECIFICATIONS.  
- PAINT FINISH TO MATCH EXISTING COLOUR ON RAMP.

**BEARERS AND JOISTS:**  
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

**ANT CAPS:**  
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

**ROOF:**  
- STRATCO COOLDEK IN SELECTED COLOUR INSTALLED TO MANUFACTURERS SPECIFICATIONS.

**CONCRETE:**  
- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

**FOOTINGS:**  
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

**CARPENTRY:**  
- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

**TERMITE CONTROL:**  
- TO BE IN ACCORDANCE WITH TO AS3660.1  
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

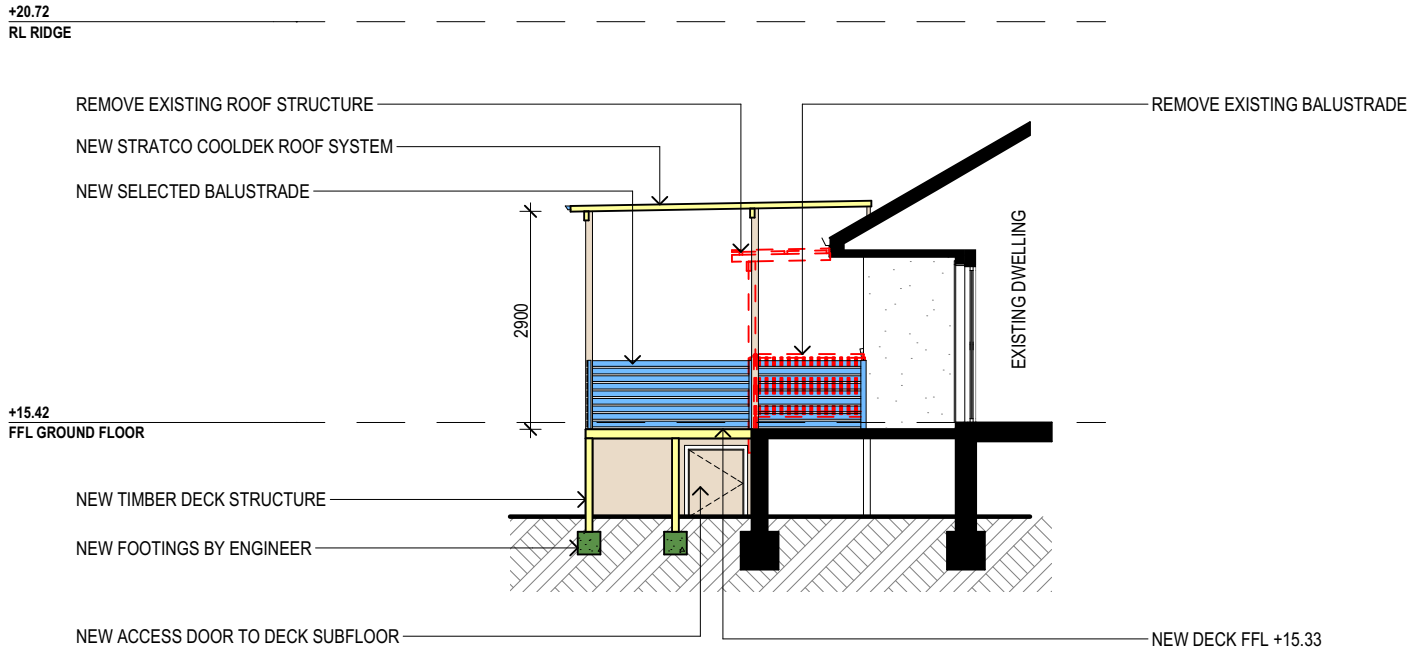
**STAIRS, HANDRAILS AND BALUSTRADES:**  
- STRATCO EZI-SLAT IN SELECTED COLOUR INSTALLED TO MANUFACTURERS SPECIFICATIONS.  
- NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.

**SLIP RESISTANCE:**  
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

**STORMWATER:**  
**EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**  
- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

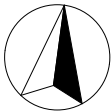
**WASTE MANAGEMENT:**  
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**  
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.



SECTION A-A  
1:100

TRUE NORTH:



**NOTES (E & OE)**  
● All structures including stormwater & drainage to engineer's details.  
● Do not obtain dimensions by scaling drawings.  
● All dimensions are to be checked on site prior to starting work.  
● These drawings are to be read in conjunction with all other consultant's drawings and specifications.  
● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.  
● New materials are to be used throughout unless otherwise noted.  
● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

*JJ Drafting*

174 Garden St, North Narrabeen, NSW, 2101  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541  
Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
A	02.10.20	FOR REVISION
B	08.12.20	ADDITIONAL NOTATION

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097

DRAWING TITLE:  
SECTION / SPECIFICATIONS

DATE:  
SEPT/20

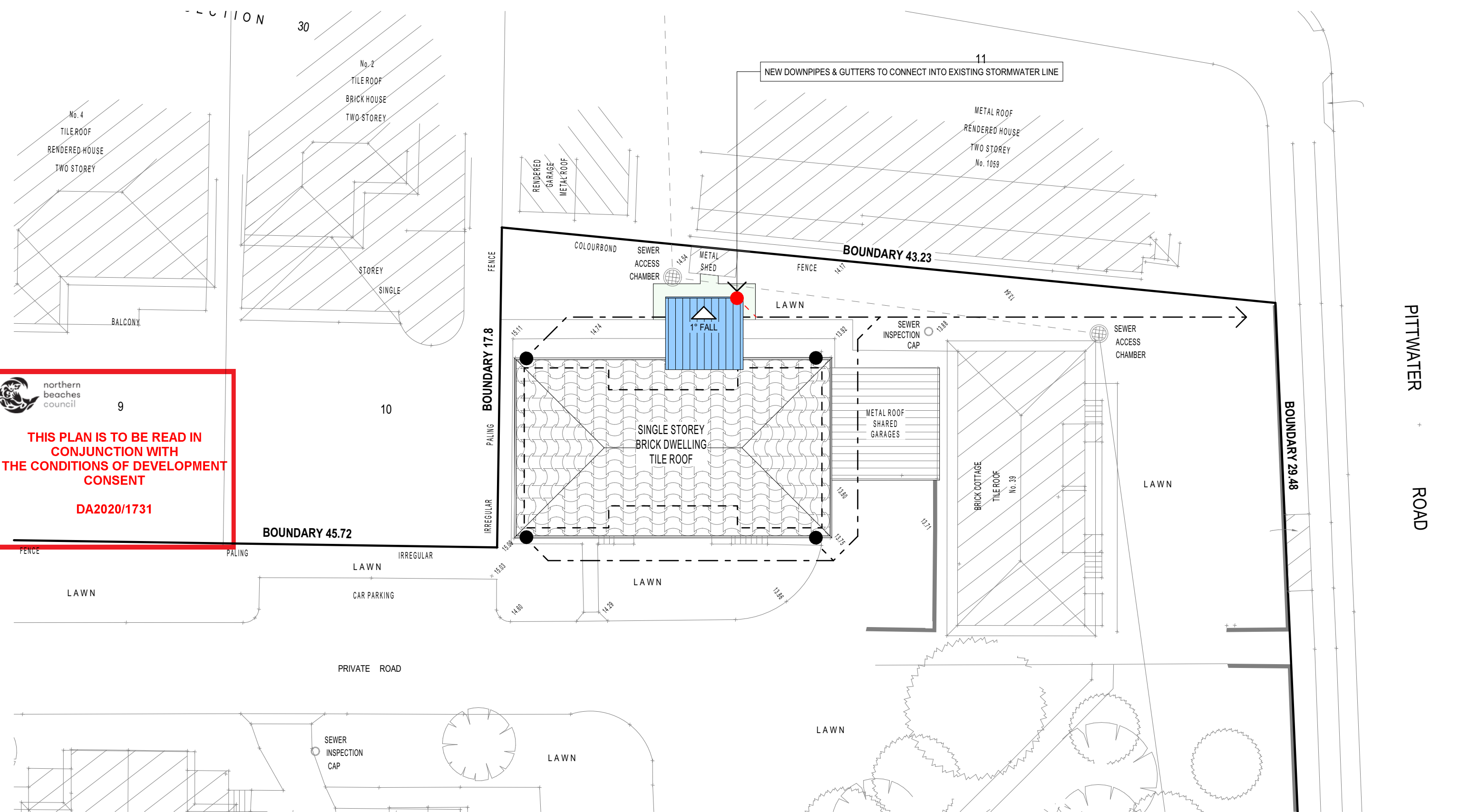
JOB No:  
841/20

DRAWN BY:  
AHB

CHECKED BY:  
JJ

SCALE:  
1:100 @ A3

DRAWING No:  
DA.06



**STORMWATER CONCEPT LEGEND**


EXISTING DOWNPIPES      ●

NEW DOWNPIPES      ●

EXISTING STORMWATER LINE      - - - - -

NEW STORMWATER LINE      - - - - -

ROOF & STORMWATER CONCEPT PLAN  
1:200

TRUE NORTH: 		<div>NOTES (E &amp; OE)</div> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>		<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>		<table><tr><td>REV:</td><td>DATE:</td><td>DESCRIPTION:</td></tr><tr><td>A</td><td>02.10.20</td><td>FOR REVISION</td></tr><tr><td>B</td><td>08.12.20</td><td>ADDITIONAL NOTATION</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		REV:	DATE:	DESCRIPTION:	A	02.10.20	FOR REVISION	B	08.12.20	ADDITIONAL NOTATION																<table><tr><td colspan="2">PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097</td></tr><tr><td colspan="2">DRAWING TITLE: ROOF &amp; STORMWATER CONCEPT PLAN</td></tr></table>		PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097		DRAWING TITLE: ROOF & STORMWATER CONCEPT PLAN		<table><tr><td>DATE:  SEPT/20</td><td>DRAWN BY:  AHB</td><td>SCALE:  1:200 @ A3</td></tr><tr><td>JOB No:  841/20</td><td>CHECKED BY:  JJ</td><td>DRAWING No:  DA.07</td></tr></table>		DATE:  SEPT/20	DRAWN BY:  AHB	SCALE:  1:200 @ A3	JOB No:  841/20	CHECKED BY:  JJ	DRAWING No:  DA.07
REV:	DATE:	DESCRIPTION:																																											
A	02.10.20	FOR REVISION																																											
B	08.12.20	ADDITIONAL NOTATION																																											
PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS UNIT 1 TRIGG VILLAGE, 8 HOMESTEAD AVE COLLAROY 2097																																													
DRAWING TITLE: ROOF & STORMWATER CONCEPT PLAN																																													
DATE:  SEPT/20	DRAWN BY:  AHB	SCALE:  1:200 @ A3																																											
JOB No:  841/20	CHECKED BY:  JJ	DRAWING No:  DA.07																																											