

PRIVATE BUILDING CERTIFIERS

RECEIVED
19 MAY 2015
PITTWATER COUNCIL

14 May 2015

Our Reference: 142556

The General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

Re: 76 Queens Parade East, Newport NSW 2106
Development Consent No: N0131/14
Construction Certificate No: 14/2556-1

Under Part 4A of the Environmental Planning and Assessment Act 1979, Private Building Certifiers has issued a Construction Certificate for the above premises.

Please find enclosed the following documentation:

- Cheque for Council's registration fee.
- Construction Certificate No: 14/2556-1
- Copy of application for Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in the attachments of the Certificate.

Please provide a receipt upon completion of payment process and post to Suite 2501, 4 Daydream Street, Warriewood NSW 2102.

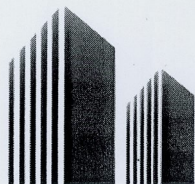
If you require further information please contact me on (02) 9999 6490.

Regards,

Private Building Certifiers Pty Ltd
ABN 63 152 183 205

336 Rec: 378029 19/5/15

North West Sydney Suite 3.08, 29-31 Lexington Drive, Bella Vista NSW 2153 P. (02) 9680 2464 F. (02) 8079 6184	South West Sydney Level 2, 121 Queens Street, Campbelltown NSW 2560 P. (02) 9262 2790 F. (02) 8079 6184	Sydney City Suite 1d, Level 23, 1 Farrer Place, Sydney NSW 2000 P. (02) 9281 5061 F. (02) 8079 6184	North Shore Suite 1, 133 Alexander Street, Crows Nest NSW 2065 P. (02) 9411 2113 F. (02) 8079 6184	Northern Beaches Suite 2501, 4 Daydream Street, Warriewood NSW 2102 P. (02) 9999 6490 F. (02) 8079 6184
---	---	---	--	---



PRIVATE BUILDING CERTIFIERS

CONSTRUCTION CERTIFICATE No. 14/2556-1

Issued under the Environmental Planning and Assessment Act 1979 Sections 109C(1)(b), 81A(2) and 81A(4)

Owner

Name: Stephen & Symone Riddle
Address: 76 Queens Parade East, Newport NSW 2106

Property details

Address: 76 Queens Parade East, Newport NSW 2106
Lot/Portion No: 4
Section: -
DP No: 12031
Municipality: Pittwater Council

Description and value of development

Description: Additions to the dwelling including a deck and home office.
Value of work: \$42,000

Building Code of Australia Building Classification

Use: Residential
BCA classification: 1a

Determination

Approved/Refused: Approved
Date of Determination: 14 May 2015

Plans and specifications approved

- Architectural Drawings No. 1 to 10 prepared by J. D. Evans & Company dated 20.02.2014.
- Structural Drawings No. S1 to S9 prepared by Northern Beaches Consulting Engineers dated 01.07.2014.
- Stormwater Drawings No. D01 and D02 prepared by Northern Beaches Consulting Engineers dated 14.07.2015.
- Site Survey No. 2496 prepared by DP Surveying dated 28.03.2014.

Attachments

1. Application Form for Construction Certificate.
2. Record of Site Inspection made by Accredited Certifier in accordance with Clause 143B (EP&A Regulations 2000) prior to issue of Construction Certificate.
3. Long Service Levy receipt prepared by Long Service Corporation dated 13.05.2015.
4. Owner Builder Permit prepared by NSW Fair Trading dated 09.07.2014.
5. Building Plan Approval prepared by Sydney Water dated 29.04.2015.
6. Stormwater Design Statement prepared by Northern Beaches Consulting Engineers dated 12.05.2015.
7. Schedule of Colours prepared by Steve Riddle dated 14.05.2015.

Development Consent

Certificate No.: N0131/14
Date of Determination: 5 June 2014

North West Sydney

Suite 3.08, 29-31 Lexington
Drive, Bella Vista NSW 2153
P. (02) 9680 2464
F. (02) 8079 6184

South West Sydney

Level 2, 121 Queens Street,
Campbelltown NSW 2560
P. (02) 9262 2790
F. (02) 8079 6184

Sydney City

Suite 1D, Level 23,
1 Farrer Place,
Sydney NSW 2000
P. (02) 9281 5061
F. (02) 8079 6184

North Shore

Suite 1, 133 Alexander Street,
Crows Nest NSW 2065
P. (02) 9411 2113
F. (02) 8079 6184

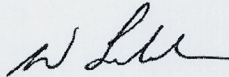
Northern Beaches

Suite 2501, 4 Daydream Street,
Warriewood NSW 2102
P. (02) 9999 6490
F. (02) 8079 6184

Certificate / Certifying Authority

I certify that work completed in accordance with the documentation accompanying the application for this certificate (with such modifications, if any, verified by me as may be shown on that documentation) will comply with the requirements of the *Environmental Planning & Assessment Regulation 2000* as referred to in s.81A(5) of the *Environmental Planning & Assessment Act 1979*.

Signature



Wayne Treble
Accredited Certifier
BPB Registration No. 0413
Private Building Certifier Pty Ltd
ABN 63 152 183 205

Date of endorsement **14.05.2015**
Certificate Number **14/2556-1**

Note: Prior to commencement of work sections 81A(2)(b), 81A(2)(c), 81A(4)(b) and 81A(4)(c) of the Environmental Planning and Assessment Act 1979 must be satisfied.



SCHEDULE TO APPLICATION FOR A CONSTRUCTION CERTIFICATE

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All New Buildings

Please complete the following:

- Number of storeys (including underground floors) 1
- Gross floor area of building (m2)
- Gross site area (m2)

Residential Buildings Only

Please complete the following details on residential structures:

- Number of dwellings to be constructed 2
- Number of pre-existing dwellings on site 1
- Number of dwellings to be demolished -
- Will the new dwelling(s) be attached to other new buildings? Yes No
- Will the new building(s) be attached to existing buildings? Yes No
- Does the site contain a dual occupancy? Yes No
(NB dual occupancy = two dwellings on the same site)

Material to be used – Residential Building

Please indicate the material to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double) <input type="checkbox"/>	11	Tiles <input type="checkbox"/>	10	Concrete or slate <input type="checkbox"/>	20	Timber <input checked="" type="checkbox"/>	40
Brick (veneer) <input type="checkbox"/>	12	Concrete or slate <input type="checkbox"/>	20	Timber <input checked="" type="checkbox"/>	40	Steel <input type="checkbox"/>	60
Concrete or stone <input type="checkbox"/>	20	Fibre cement <input type="checkbox"/>	30	Other <input type="checkbox"/>	80	Aluminium <input type="checkbox"/>	70
Fibre cement <input type="checkbox"/>	30	Steel <input checked="" type="checkbox"/>	60	Not Specified <input type="checkbox"/>	90	Other <input type="checkbox"/>	80
Timber <input checked="" type="checkbox"/>	40	Aluminium <input type="checkbox"/>	70			Not Specified <input type="checkbox"/>	90
Curtain glass <input type="checkbox"/>	50	Other <input type="checkbox"/>	80				
Steel <input type="checkbox"/>	60	Not Specified <input type="checkbox"/>	90				
Aluminium <input type="checkbox"/>	70						
Other <input type="checkbox"/>	80						
Not Specified <input type="checkbox"/>	90						



Record of inspection

1. Details of application for construction certificate (CC)			
Name of applicant		Name of certifying authority	
Stephen Riddle		Wayne Treble	
Date of application for CC	Date application for CC received by certifying authority	Registered No. of the development application/development consent	
26/06/2014	26/06/2014	N0131/14	
2. Address of property			
Unit/street no.		Street name	
76		Queens Parade East	
Suburb or town		State	Postcode
Newport		NSW	2106
3. Details of Inspection (tick as appropriate)			
<input checked="" type="checkbox"/> Inspection by accredited certifier			
Name of accredited certifier		Accreditation No.	
Wayne Treble		0413	
Date inspection carried out	12/02/2015		
Type of inspection	Pre-CC building inspection under Cl.143B EP&A Regulation		
4. Current fire safety measures			
Provide details of the current fire safety measures in the existing building the subject of the inspection			
5. Plans and specifications (tick as appropriate)			
Do the plans and specifications that accompany the application adequately and accurately depict the condition of the existing building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If no, list deficiencies or inaccuracies			
6. Commencement of work (tick as appropriate)			
Has any building or subdivision work authorised by the development consent commenced on the site?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If YES, provide details			
7. Signature			
Wayne Treble			12/02/2015
Name of accredited certifier conducting inspection			Date

Levy Online Payment Receipt

Building and Construction

STEVE RIDDLE
76 QUEENS PDE
NEWPORT NSW 2106

Application Details:

Applicant Name:	STEVE RIDDLE
Levy Number:	5093893
Application Type:	DA
Application Number:	131/14
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	76 QUEENS PARADE NEWPORT NSW 2106
Value of work:	\$26,000
Levy Due:	\$91.00

Payment Details:

LSC Receipt Number:	200330
Payment Date:	13/05/2015 7:38:20 PM
Bank Payment Reference:	803062520
Levy Paid:	\$91.00
Credit card surcharge:	\$0.36
Total Payment Received:	\$91.36



**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Stephen Riddle
76 Queens Pde
NEWPORT NSW 2106

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit : 412985P
Receipt: 10000091610-01

Issued : 09/07/2014
Amount: \$168.00

BUILDING SITE

76 Queens Pde, NEWPORT, NSW 2106 AUSTRALIA

AUTHORISED BUILDING WORK

additions to the dwelling including a deck and home office

Authority No : DA-N0131/14
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$20,000. A certificate of insurance must be attached to any contract of sale.

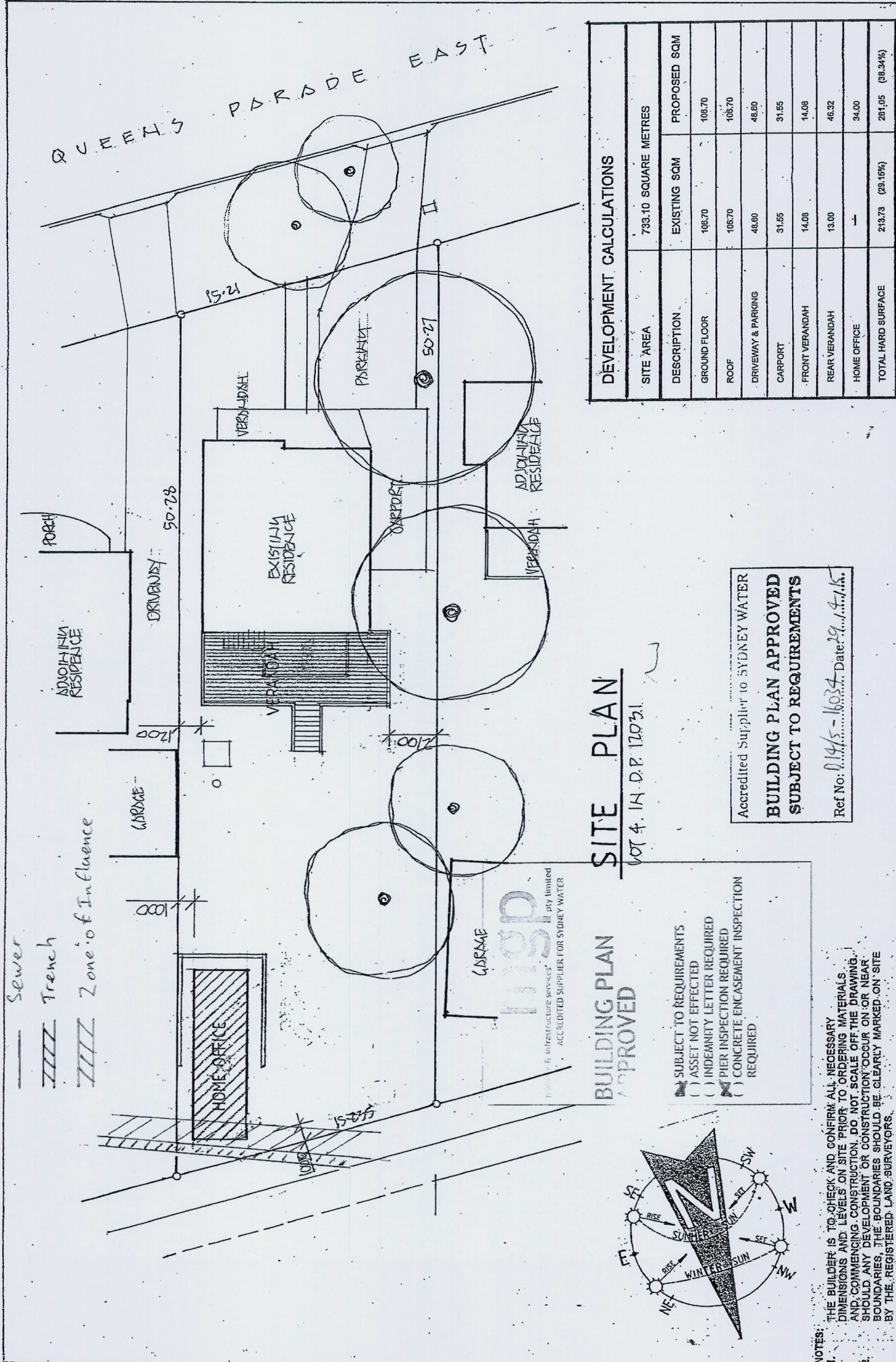
You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00

Rod Stowe
Commissioner for Fair Trading

Issuing officer

***** END OF PERMIT *****



DEVELOPMENT CALCULATIONS			
SITE AREA	733.10 SQUARE METRES	EXISTING SQM	PROPOSED SQM
GROUND FLOOR	106.70	106.70	106.70
ROOF	106.70	106.70	106.70
DRIVEWAY & PARKING	48.60	48.60	48.60
CARPARK	31.65	31.65	31.65
FRONT VERANDAH	14.08	14.08	14.08
REAR VERANDAH	13.00	13.00	46.32
HOME OFFICE	—	—	34.00
TOTAL HARD SURFACE	219.73 (29.16%)		281.05 (38.34%)

BUILDING PLAN APPROVED

SITE PLAN

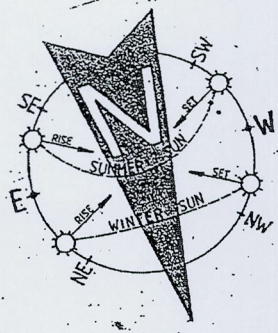
LOT 4, IN D.P. 12031

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
 Ref No: 1630-1 Date: 29/1/15

- SUBJECT TO REQUIREMENTS**
- () ASSET NOT EFFECTED
 - () INDEMNITY LETTER REQUIRED
 - (x) PIER INSPECTION REQUIRED
 - () CONCRETE ENCASEMENT INSPECTION REQUIRED

NOTES:

- THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.



PROJECT: PROPOSED ALTERATIONS/ADDITIONS
 15/78 QUEENS PARADE EAST
 NEWPORT N.S.W. 2106
 CLIENT: STEVE & SYMONE RIDDLE

DATE: 20/02/2014
 DRAWING NO.: 1630-1
 SCALE: 1:500
 PROJECT NO.: 1630-1

J.D. EVANS and COMPANY
 DESIGN AND BUILDING CONSULTANTS
 74 RIVIERA AVENUE, AVALON BEACH, 2107
 Phone: 9418 9200
 mobile: 0418 976 588
 www.jdeco.com.au
 email: info@jdeco.com.au



Stormwater Design Certificate

Date: 12th May 2015 Job No. 140713
Client: S & S Riddle Engineer: RM

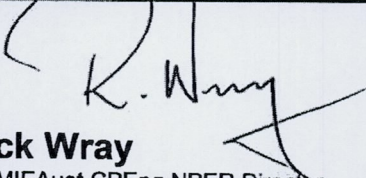
Site: 76 QUEENS PARADE EAST, NEWPORT

Northern Beaches Consulting Engineers P/L have designed the Stormwater Management System for the above project (Job No: 140713, Dwg No's: D01A & D02A).

The design generally complies with the intent of Pittwater Council's policy B5 of Pittwater 21 DCP (2014).

We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NORTHERN BEACHES CONSULTING ENGINEERS P/L


Rick Wray
BE MIEAust CPEng NPER Director

X:\ENG NBC\2014\140713\140713 Pittwater Council Stormwater Design Certificate.docx

COLOUR SCHEDULE

76 QUEENS PARADE EAST, NEWPORT
STEVE RIDDLE

Deck and Office White Cabbage
Roof Woodland Grey

PROPOSED ADDITIONS

at: 76 Queens Pde East, Newport

for: Steve & Symone Riddle

Architect: J.D. Evans

Prepared By:



NORTHERN BEACHES

Consulting Engineers P/L.

A.C.N. 076 121 616 A.B.N. 24 076 121 616
Suite 207, 30 FISHER ROAD

DEE WHY N.S.W. 2099

Ph: (02) 9984 7000 Fax: (02) 9984 7444

e-mail : nb@nbconsulting.com.au

web page : www.nbconsulting.com.au

DRAWING SCHEDULE:

- 501 - GENERAL NOTES
- 502 - VERANDAH FOOTING PLAN
- 503 - VERANDAH FLOOR FRAMING PLAN
- 504 - VERANDAH ROOF FRAMING PLAN
- 505 - HOME OFFICE FOOTING PLAN
- 506 - HOME OFFICE FLOOR FRAMING PLAN
- 507 - HOME OFFICE ROOF FRAMING PLAN
- 508 - TYPICAL WALL BRACING DETAILS
- 509 - TYPICAL TIE DOWN DETAILS

140713

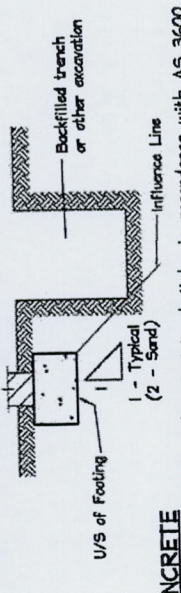
REV. - - - - -

GENERAL NOTES:

- G1. The drawings are to be read together with all Architects drawings and specifications.
G2. Dimensions shall not be obtained by scaling from the drawings. All setting out dimensions shall be verified and discrepancies shall be referred to the Engineer prior to commencement of work.
G3. Care is required during construction so that structural elements are not over stressed and that the works and excavations required therefore are kept stable at all times.
G4. Design, materials and workmanship are to be in accordance with current S.A.A standards and statutory authority regulations except where varied by these documents.
G5. Design live loads are in accordance with AS 1170.1.
G6. Builder to ensure stability of existing structures in the vicinity of excavation works.

FOOTINGS

- F1. FOUNDATION STRATA IS ASSUMED FOR DESIGN PURPOSES IN ACCORDANCE WITH AS 2870-1996 'RESIDENTIAL SLAB AND FOOTINGS-CONSTRUCTION' SEE FOOTNOTE. CLASSIFICATION TO BE VERIFIED BY A GEOTECHNICAL ENGINEER COMMISSIONED BY THE CLIENT FOR CERTIFICATION OF FOUNDATIONS.
F2. Footings to be constructed and back filled as soon as possible following excavation to avoid softening by rain or drying out by exposure.
F3. Footings must bear into undisturbed natural ground clear of organic material. Refer to details.
F4. If rock or variable bearing strata is encountered during excavation of the footings all footings/piers are to be excavated to similar material of greater bearing capacity.
F5. The Engineer is to be contacted at that time for approval or review. Footings to be cast in approved material having an allowable capacity as follows:
Sand Foundations:
SA1. Required bearing capacity 100 kPa.
SA2. Trenches must be cleaned of all debris and hand compacted prior to placement of reinforcement.
Clay Foundations:
CA1. Required bearing capacity 150 kPa.
CA2. Trenches must be cleaned of all debris. Soft spots must be cut out and filled as per compacted fill notes, prior to placement of reinforcement.
Shale Foundations:
SH1. Required bearing capacity 400 kPa.
SH2. Excavation for footings into shale must be cast or capped with plain concrete on the same day as excavation.
Sandstone Foundations:
SA3. Required bearing capacity 600 kPa.
SA4. Scraped weathered surfaces to remove cleaved sandstone under footings.
SA5. Refer adjacent for assumed Design bearing strata.
F6. Future development of neighboring properties may affect ground water conditions on this site. Consequently, reactivity in subgrade beneath footings may be locally altered therefore pitting footing at risk of differential settlement. We recommend that, particularly in clay subgrades, agricultural drainage is installed to the upstream perimeter of the building at a distance from the building which is outside the zone of influence of the footings. The agricultural drain must be installed below the fluctuating seasonal zone which should be identified by geotechnical investigation.
F7. UNLESS OTHERWISE APPROVED. Excavations near new or existing footings shall not be within the footing influence line.



CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600.
C2. Concrete quality shall be as follows and shall be verified by tests.
C3. All concrete unless otherwise noted shall have a slump of 80mm at point of placement, a max. aggregate size of 20 mm.
C4. Clear concrete cover to reinforcement shall be as follows unless otherwise shown-
No water shall be added to the mix prior to or during placement of concrete. Strength as specified on plans.
C5. Sizes of concrete elements do not include thickness of applied finishes.
C6. All construction joints locations shall be approved by the Structural Engineer.
C7. Beam depths are written first and include slab thickness, if any.

Table with 2 columns: ELEMENT, EXTERIOR CAST AGAINST GROUND. Rows include FOOTINGS/PEDESTALS, SLABS/WALLS, BEAMS, and BLOCKWORK with their respective interior and exterior dimensions.

- C8. No holes or chases other than those shown on the structural drawings shall be made in concrete elements without the prior approval of the engineer.
C9. Strinkage reducing admixtures such as 'Eclipse' or approved equivalent, if specified, must be added to mix prior to pour.
C10. Water reducing agents, if specified, must be added to increase slump. No extra water is to be added to increase slump.
C11. Where vertical slab/beam surfaces are formed against a masonry (or other) wall, provide 10 mm styrene separation material.
C12. Water must not be added to concrete mix prior to placement of concrete.
C13. Above covers may have to be adjusted if fire rating is a requirement.
C14. Any structural concrete slab that is designed in accordance with Australian Standards is susceptible to shrinkage cracking due to the nature of the hydration and curing process involved in setting. A certain level of cracking is therefore considered acceptable in the Standards and consequently if a crack free surface is necessary then a proprietary topping system should be considered.

REINFORCEMENT

- R1. All reinforcement specified is Grade D500 unless noted otherwise.
R2. Reinforcement is represented diagrammatically it is not necessarily shown in true projection.
R3. Top reinforcement is to be continuous over supports. Bottom reinforcement to be lapped at supports.
R4. Welding of reinforcement shall not be permitted unless shown on the structural drawings.
R5. Pipes or conduits shall not be placed within the zone of concrete cover to the reinforcement without the approval of the engineer.
R6. All reinforcing bars and fabric shall comply with AS 4671-2001.
R7. Reinforcement symbols:
N - Grade 500N deformed bar (D500) Normal Ductility
R - Grade 250N plain round bar (R250) Normal Ductility
SL - Grade 500L welded deformed ribbed mesh (D500) Square Low Ductility
RL - Grade 500L welded deformed ribbed mesh (D500) Rectangular Low Ductility
The number immediately following these symbols is the number of millimeters in the bar diameter.
Example 1: 8 N2-250
Denotes 8, Grade 500N deformed bars, 12 mm diameter at 250 cts.
R8. Fabric reinforcement shall be firmly supported on bar chairs spaced + 25 mm unless noted otherwise.
R9. All reinforcement of 750 centres both ways under rod and fabric at a maximum of 750 centres shall be tied at alternate intersections. Reinforcement shall be protected from wind and traffic.

FORMWORK

- FM1. Formwork must be cleared of all debris prior to casting of concrete.
FM2. Minimum stripping times for form work shall be as recommended in AS 3610 - 1990 or as directed by the engineer.
FM3. The finished concrete shall be a dense homogeneous mass, completely filling the form work, thoroughly embedding the reinforcement and free of stone pockets. All concrete elements including slabs on ground and footings shall be compacted with mechanical vibrators.
FM4. Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, followed by prevention of loss of moisture for seven days followed by a gradual drying out. Approved sprayed on curing compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.

BRICKWORK

- BR1. Brickwork is to be constructed to AS 3700.
BR2. Two layers of approved greased metal based slip material shall be used over all load bearing walls that support concrete slabs and placed on smooth brickwork or trowelled mortar finish. Non load-bearing walls shall have 10 mm compressible material and ties to the slab soffit.
BR3. No brickwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests.
BR4. Control joints to be placed at a maximum of 8m centres or in accordance with AS 3700.
BR5. Exposure grade bricks to be used below damp proof course.
BR6. Vertical control joint material where specified on plan between slabs and brick walls shall be: 10 mm Spardeck External UNO. Bitumastic fibreboard Internal UNO.
BR7. Provide stoinieps steel wall ties below DPC to AS 3700. Provide galvanized wall ties above DPC to AS 3700 + Local Council Specifications.
BR8. Dry Pressed Bricks should always be used for brick retaining walls. In addition wet rebarments that dry pressed bricks grow only half as much as extruded bricks. Extruded bricks are difficult to fix to and excessive brick growth leads to cracking in walls and render.

- BL1. Concrete blocks shall have a minimum compressive strength of 15 MPa and conform to AS 1500. Masonry to be constructed to AS 3700.
BL2. Where cores of hollow blocks are to be filled, properly compacted 20MPa concrete with 10 mm aggregate and 250 mm slump shall be used. Clean out openings must be utilized for all cores.
BL3. Location of actual starters is critical to suit block cores, allow 55 mm cover from the outside face of blockwork. All reinforcement lap lengths to conform to AS 3600.
BL4. Control joints to be placed at a maximum of 8 m centres or in accordance with AS 3700.
BL5. Vertical control joint material where specified on plan between slabs and brick walls shall be: 10 mm Spardeck External UNO. Bitumastic fibreboard Internal UNO.
Retaining walls or any reinforced and concrete core filled block walls to be of Double 'U' Block Construction.
BL7. No blockwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests. Unless approved by the Structural Engineer.
BL8. Max. pour height for unrestrained blockwork is 2000.

STEEL

- S1. All structural steelwork to be Grade 300 or greater. Design, fabrication and erection to be in accordance with AS 4100.
S2. Materials and workmanship shall comply with AS 1250 - 1981, SAA Steel Structures Code and the specification for Structural Steel.
S3. Rolled steel sections including steel plate shall comply with AS 3678-1990.
S4. Cold formed steel sections shall be Grade 450 Zinc coated in accordance with AS 1538-1988.
S5. Welded and seamless steel hollow sections shall comply with AS 1163 Grade 350.
S6. Bolt Designation:
4.6S - Commercial bolts Grade 4.6, snug tightened.
8.8S - High Strength structural bolts Grade 8.8, fully tightened to AS 1511
8.8TF - High Strength structural bolts Grade 8.8, fully tensioned to AS 1511 and acting as a Bearing Joint.
8.8TF - High Strength structural bolts Grade 8.8, fully tensioned to AS 1511 and acting as a Bearing Joint.
Unless noted otherwise, minimum connection shall be 2P16 bolts, 10 thick gusset plates, 6mm continuous fillet welds.
S8. Load indicating washers shall be used in all fully tensioned joints.
S9. All welding shall be carried out in accordance with AS 1554 SAA Structural Steel Welding Code.
S10. Unless noted otherwise, all welds shall be category SP using Elix Electrodes.
S11. Grooving of anchor bolt sleeves and base plates shall be completed by the contractor using High Strength, Non-Shrink grout.
S12. Fabrication and erection tolerances for Structural Steelwork shall be in accordance with AS 4100.
S13. Purlin bolts shall be M12 - 4.6S galvanized.
S14. Steel work shall have one of the following grades of corrosion protection-
a. Thoroughly cleaned wire brushing, followed by two coats of zinc phosphate primer equivalent to Dulux Luxaprime applied by hand using brushes to achieve a total dry film thickness of 70 microns.
b. Preparation Blast clean to a minimum standard Class 2.5 in accordance with AS 1627 Part 4.
Primer 2-pack epoxy phosphate at dft. 75 microns (Dulux Durepon P14).
Barrier Coat 2-pack epoxy micaceous iron oxide, dft. 100 microns.
Finish Coat 2-pack epoxy high gloss acrylic to dft. 75 microns.
(c. e.g. Dulux Acrathane 1 F)
c. Hot dipped galvanized to AS 4680.
Where the galvanic (Hot Dip Galvanized) coating is compromised by welding, bolting or damage, two pack zinc rich epoxy primer (Dulux Zincade 202) is to be applied after wire brushing affected area (use 3 coats minimum) or Hot Metal Spray in accordance with AS 4680.
PAINTING OVER HOT DIP GALVANIZED STEEL:
Degrease and preparation whip blast. Application of a general purpose epoxy (Dulux Duremax GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns EXTERNAL ELEMENTS, & ELEMENTS WITHIN EITHER SKIN OF EXTERNAL CAVITY WALLS LESS THAN 2 km AND GREATER THAN 200m FROM SEA WATER.
d. Preparation blast clean to minimum Class 2.5
Application of a two pack zinc rich epoxy primer (Dulux Zincade 402) thickness 75 microns. Application of a general purpose epoxy (Dulux Duremax GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns

- Where the galvanic (Hot Dip Galvanized) coating is compromised by welding, bolting or damage, two pack zinc rich epoxy primer (Dulux Zincade 202) is to be applied after wire brushing affected area (use 3 coats minimum) or Hot Metal Spray in accordance with AS 4680.
PAINTING OVER HOT DIP GALVANIZED STEEL:
Degrease and preparation whip blast. Application of a general purpose epoxy (Dulux Duremax GPE) thickness 125 microns. Application of a high build polyurethane (Dulux Weathermax HBR) thickness 100 microns
S15. Workshop drawings shall be prepared and two copies submitted to the engineer for review prior to fabrication commencement.

TIMBER

- T1. All workmanship and materials to be in accordance with AS 1684, AS 1720 and AS 3984. All soft wood to be Grade F7 unless noted otherwise. All hardwood to be minimum Grade F14 unless otherwise noted. Exposed timber to be CCA treated (to AS 1604) redified after full impregnation, or durability class 1, 2 or 3.
ALL SOFTWOOD TIMBER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF H2 OR T2 TREATED FOR TERMITE PROTECTION UNLESS NOTED OTHERWISE.
T2. All joists deeper than 150 to have blocking over support bearers and at a maximum 3000 centres.
T3. Roof trusses to be designed by the manufacturer to the relevant standards. Pre camber to be an amount equal to dead load deflection unless otherwise noted.
T4. All holes for bolts to be exact size. Washers to be used under all heads and nuts and to be at least 2.5 times the bolt diameter. Bolts to be M16 grade 4.6 unless noted otherwise.
T5. Treat all exposed cut ends with Resol by Protim to manufacturers specification to achieve required Hazard Level Exposure Classification.
T6. Battens for T & G to be Kiln Dried to 12 %, 38mm minimum, deep treated pine or as recommended by supplier. Flooring to be installed no sooner than 28 days after slab pour.
T7. Hot dip galvanized nails/clouets/screws to be used with all timber connections.
T8. Continuous nailing must not be used for any timber connections.
T9. All exposed CCA treated pine to have an application of penetrating sealer to reduce warping and twist of the timber due to varying moisture content in service.
T10. All Stud walls to be 90x45 F7 Kiln Dried T2 Treated at 460 Cts and reggings to AS 1684.

COMPACTED FILL

- CF1. Only to be used with approval by Engineer & to be certified by a geotechnical Engineer.
CF2. Clear organic material, topsoil and any uncontrolled existing fill under proposed slabs/footings.
CF3. Filling shall be granular material compacted in not more than 200 mm layers to a minimum dry density ratio (AS 1289/EAL2 1982) of 98 percent standard maximum dry density.
CF4. Darning clearing and excavation for slabs and footings cut out soft spots and fill as above.

INSPECTIONS BY ENGINEER

- 48 HOURS NOTICE IS REQUIRED BEFORE ANY SITE INSPECTION ANY STRUCTURAL ELEMENT NOT INSPECTED BY NEC WILL NOT BE CERTIFIED BY NEC
1. Bearing strata of all footings prior to concrete pour by Geotechnical Engineer.
2. Any reinforcement prior to concrete pour.
3. Timber and Steel framing prior to cladding or lining.
4. Steel lintels after installation.
5. CONTACT YOUR PCA (Principal Certifying Authority) AS TO REQUIREMENTS FOR MANDATORY CRITICAL STAGE INSPECTIONS IN ACCORDANCE WITH REVISED EPRA ACT REGULATIONS EFFECTIVE JULY 1, 2004.
6. Inspection by Geotechnical Engineer over 1.5m of vertical cut through Sandstone bed rock to permit identification of defects and remedial measures initiated.

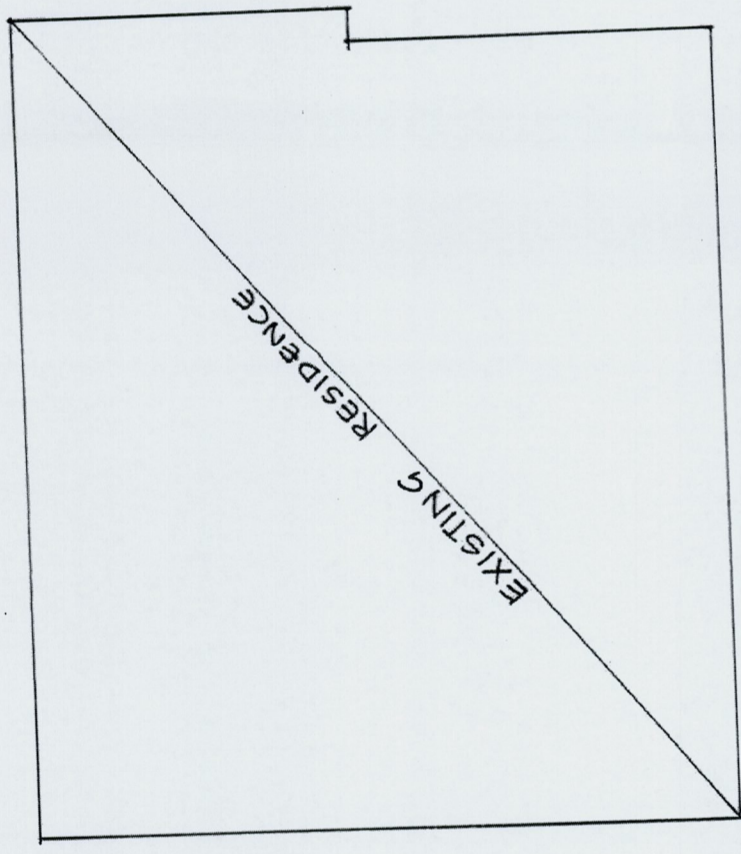
ASSUMED FOUNDATION CLASSIFICATION FOR DESIGN PURPOSES - 1M ASSUMED BEARING STRATA FOR DESIGN PURPOSES - CLAY, 150 kPa. CONTRACTOR TO ENGAGE GEOTECHNICAL CONSULTANT TO VERIFY FOUNDATION CLASSIFICATION FOUNDATION CLASSIFICATION AND BEARING CAPACITY VERIFICATION TO BE OBTAINED IF CERTIFICATION OF THESE ITEMS IS REQUIRED.

Project: 76 QUEENS PDE EAST, NEWPORT
Architect: J.D.EVANS
Client: STEVE & SYMONE RIDDLE
NORTHERN BEACHES Consulting Engineers P/L
DOCUMENT CERTIFICATION
Date: JULY 14
Rick G. Wray
BE(Civil), CPEng, MIEAust., NPER.
(Director Northern Beaches Consulting Engineers)
The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

Northern Beaches Consulting Engineers Pty Ltd.



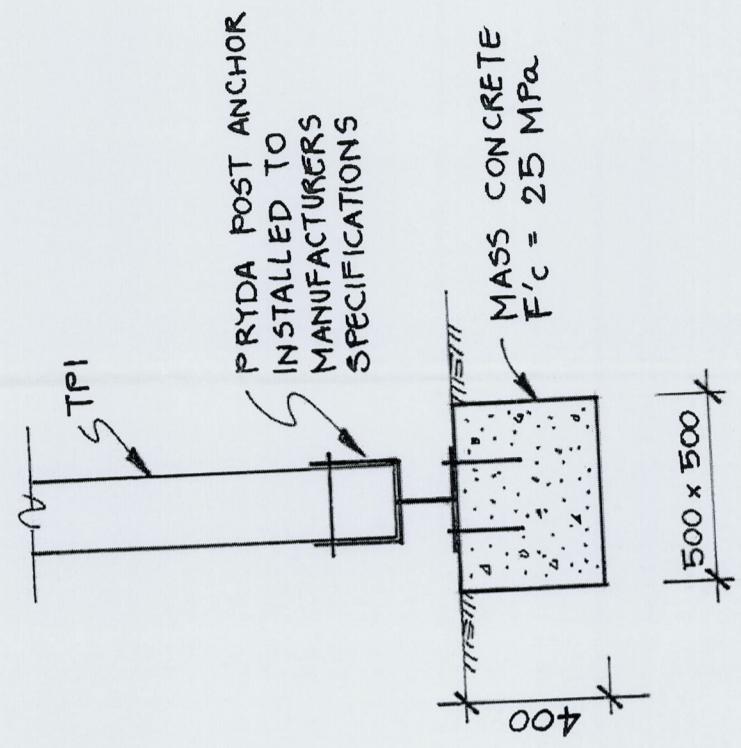
PFI

PFI

PFI

PFI

PFI



PFI DETAIL
1:20

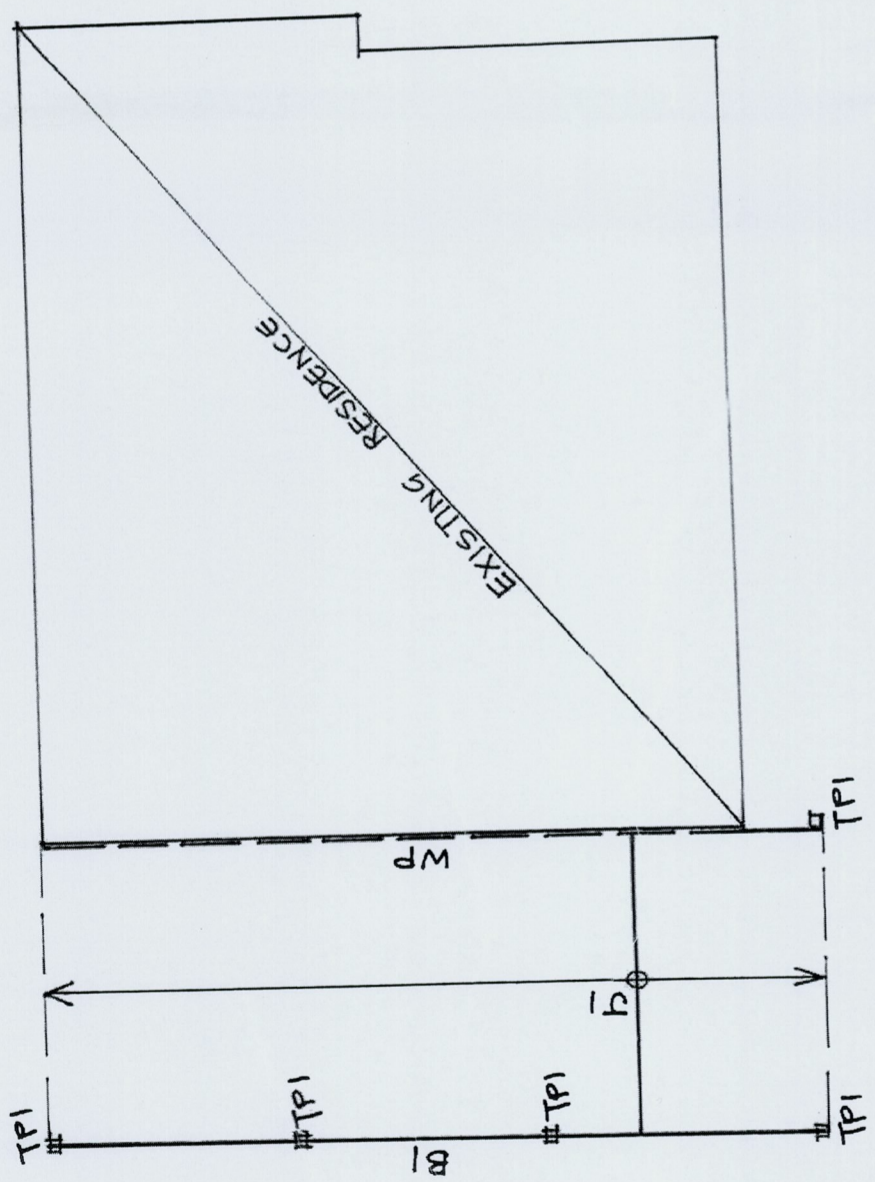
FOOTING PLAN
1:100

IF IN DOUBT ASK

A3	Date:	Rev:	Amendment:	By:	Checked:
					<i>RW</i>
DOCUMENT CERTIFICATION Date: <i>JULY 14</i> Rick G. Wray BE(Civil), CP(Eng), MIE(Aust), NPER. (Director Northern Beaches Consulting Engineers)					Drawing No: S02
NORTHERN BEACHES Consulting Engineers P/L. A.C.N. 076 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2089 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbconsulting.com.au web page: www.nbconsulting.com.au					Job No: 140713
Architect: J.D. EVANS					Drawing Title: VERANDAH FOOTING PLAN
Client: STEVE & SYMONE RIDDLE					Project: 76 QUEENS PDE EAST, NEWPORT
Design: N.C.					Date: JULY 14
Drawn: LFC					Checked: RW

NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.



- J1 : 240x 45 MGP10 H3 TREATED JOISTS AT 450 CTS
- B1 : 290 x70 F7 H3 TREATED BEARER
- WP : 240x 45 MGP10 H3 TREATED FIXED TO BRICKWORK WITH M12-450 EPOXY ANCHORS
- TP1 : 190x 190 F7 LOSP H3 TREATED POST

VERANDAH FLOOR FRAMING PLAN
1:100

Northern Beaches Consulting Engineers Pty Ltd.



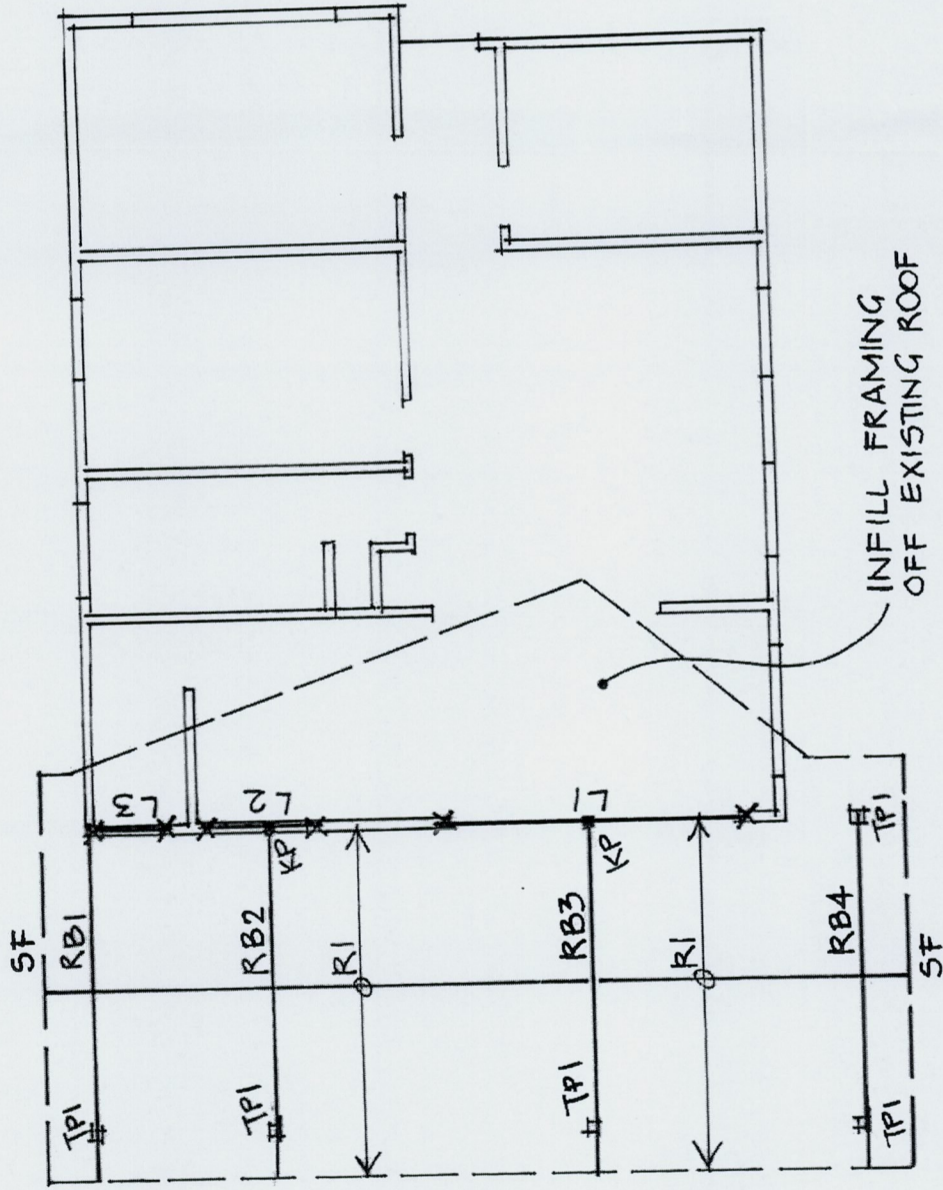
IF IN DOUBT ASK

A3

Date:	Amendment:	Rev:	By:
<p>DOCUMENT CERTIFICATION</p> <p>Date: <u>July 14</u></p> <p><u>Rick G. Wray</u></p> <p>BE (Civil), CPEng, MIEAust., NPER</p> <p>(Director Northern Beaches Consulting Engineers)</p> <p>The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.</p>			
<p>NORTHERN BEACHES Consulting Engineers P/L.</p> <p>A.C.N. 076 121 616 A.B.N. 24 076 121 616</p> <p>Suite 207, 30 FISHER ROAD</p> <p>DEE WHY N.S.W. 2098</p> <p>Ph: (02) 9884 7000 Fax: (02) 9884 7444</p> <p>e-mail: nb@nbconsulting.com.au</p> <p>web page: www.nbconsulting.com.au</p>		<p>Architect: J.D. EVANS</p> <p>Client: STEVE & SYMONE RIDDLE</p>	
<p>Project: 76 QUEENS PDE EAST, NEWPORT</p>		<p>Drawing Title: VERANDAH FLOOR FRAMING PLAN</p>	
Date:	Design:	Drawn:	Checked:
JULY 14	N.C.	LFC	RLW
Job No:	Drawing No:		
140713	S03		

NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
- FOR GENERAL NOTES REFER TO DRAWING NUMBER: 501.



- RB1, RB4 : 240x70 F7 H3 TREATED
- RB2, RB3 : 2/240x45 MGP H3 TREATED
- SF : 190x45 MGP10 H3 TREATED STRUCTURAL FASCIA
- L1 : 2/240x45 MGP10 OR 2/200x45 LVL
- L2 : 2/140x45 MGP10
- RI : 190x45 MGP10 H3 TREATED RAFTERS AT 600CTS
- TP1 : 190x190 F7 LOSP H3 TREATED POST
- KP : 90x90 F7 KING POST

VERANDAH ROOF FRAMING PLAN
1:100

Northern Beaches Consulting Engineers Pty Ltd.



IF IN DOUBT ASK

A3	Date:	Amendment:	Rev:	By:
<p>DOCUMENT CERTIFICATION Date: <u>July 14</u> Rick G. Wray BE(Civil), CPENG, MIEAust., NPER. (Director - Northern Beaches Consulting Engineers) The copyright of this drawing remains with Northern Beaches Consulting Engineers PL.</p>				
<p>NORTHERN BEACHES Consulting Engineers P/L. A.C.N. 076 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbiconsulting.com.au web page: www.nbiconsulting.com.au</p>				
Architect:		Client:		
J.D. EVANS		STEVE & SYMONE RIDDLE		
Project:		Drawing Title:		
76 QUEENS PDE EAST, NEWPORT		VERANDAH ROOF FRAMING PLAN		
Date:	Design:	Checked:	Drawn:	Rev:
JULY 14	N.C.	R44	LFC	
Job No:	Drawing No:			
140713	504			

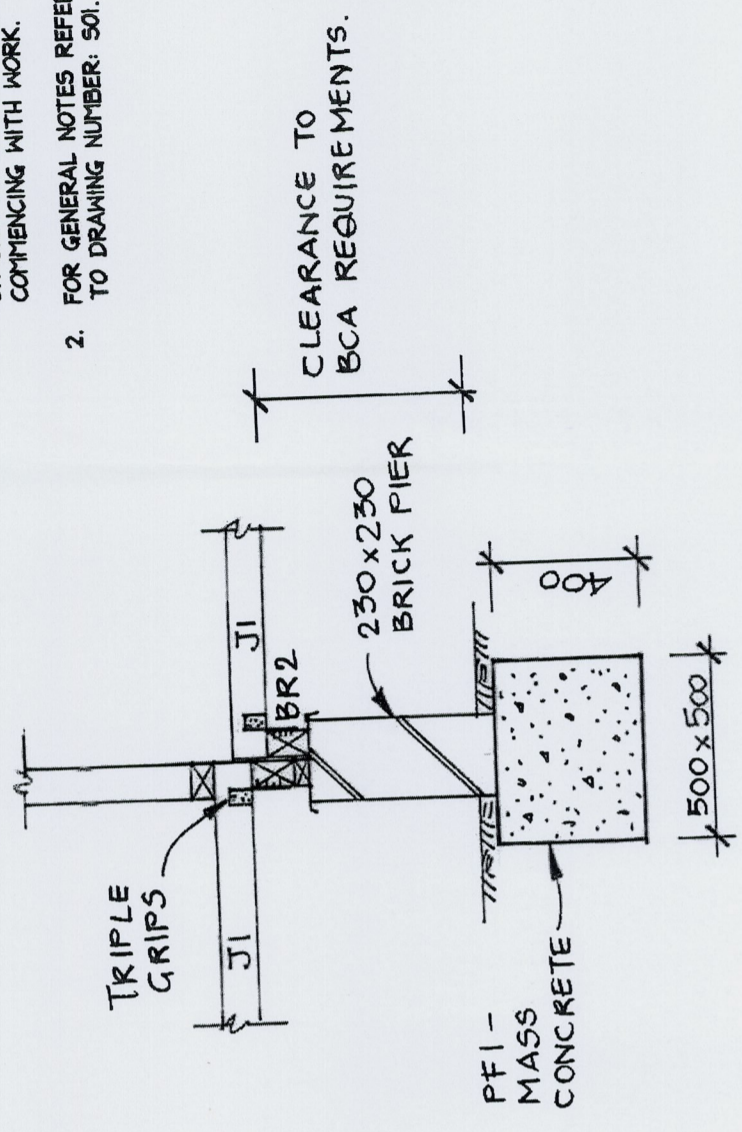
NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: 501.

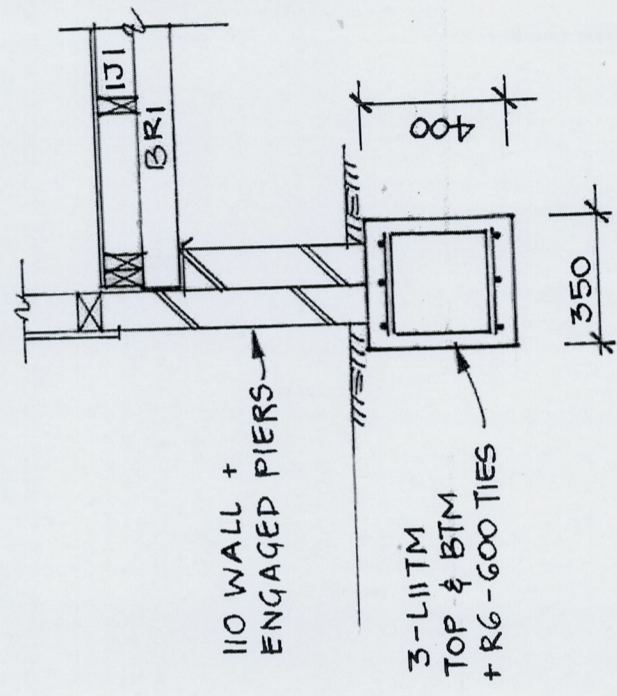
Northern Beaches Consulting Engineers Pty Ltd.



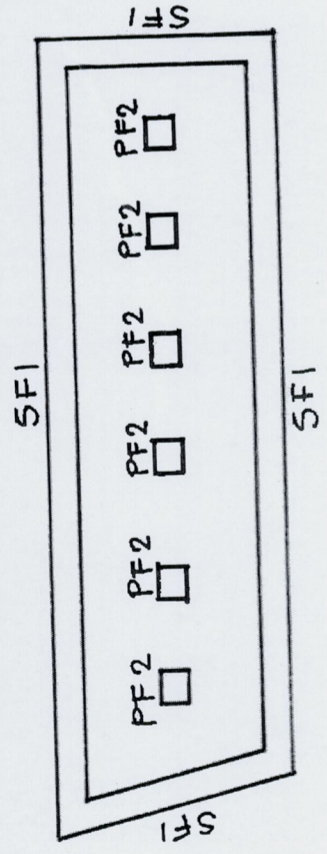
IF IN DOUBT ASK



PF2 DETAIL (AT SETDOWN)
1:20



SF1 DETAIL
1:20



HOME OFFICE FOOTING PLAN

1:100
f/c = 25 MPa

A3	Date:	30/7/14	Rev:	A	Amendment:	Requested retaining walls	By:	A.C.	
	<p>DOCUMENT CERTIFICATION</p> <p>Date: 30/7/14 Rick G. Wray BE(Civil), CP Eng, MIE Aust., NFER (Director Northern Beaches Consulting Engineers PL)</p>								
Architect:		J.D. EVANS		Project:		76 QUEENS PDE EAST, NEWPORT			
Client:		STEVE & SYMONE RIDDLE		Drawing No:		140713			
NORTHERN BEACHES Consulting Engineers P/L		A.C.N. 076 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbconsulting.com.au web page: www.nbconsulting.com.au		Date:		JULY 14		Design:	
				Drawn:		LFC		Checked:	
				Job No:		S05		Rev:	
								RAW	

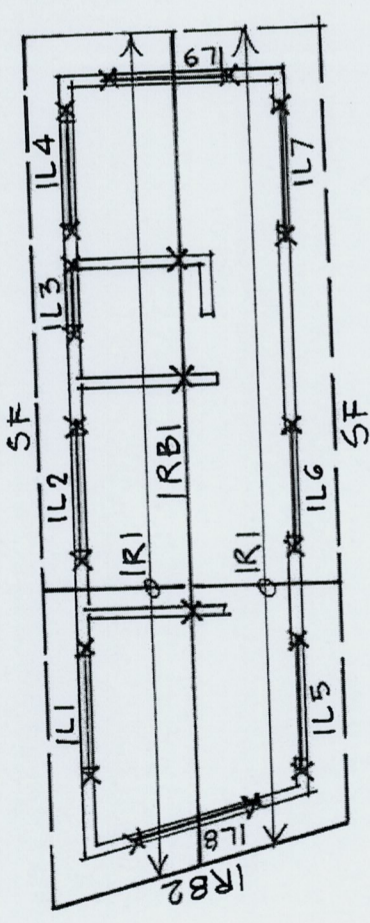
NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

Northern Beaches Consulting Engineers Pty Ltd.



IF IN DOUBT ASK



- RB1 : 2/140x45 MGP 10 H3 TREATED
- RB2 : 140x45 MGP 10 H3 TREATED
- IL1-IL9 : 2/90x45 MGP 10 LINTELS
- IR1 : 90 x 45 MGP 10 H3 TREATED RAFTERS AT 600 CTS OR SOFFIT FULLY LINED
- SF : 140x45 MGP 10 H3 TREATED STRUCTURAL FASCIA

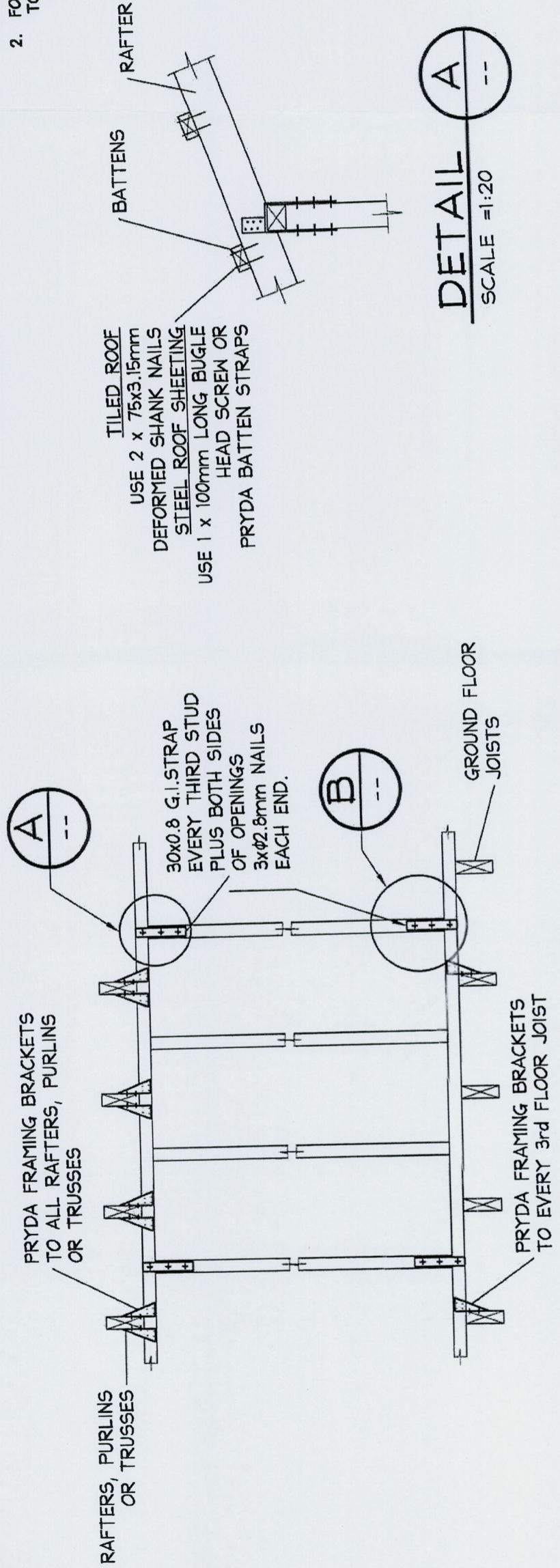
HOME OFFICE ROOF FRAMING PLAN

1:100

A3	Date:	Amendment:	Rev:	By:
<p>DOCUMENT CERTIFICATION</p> <p>Date: <u>14 JULY 14</u> <i>R. Wray</i></p> <p>Rick G. Wray BE(Civil), CPEng, MIEAust., NPER. (Director Northern Beaches Consulting Engineers)</p> <p>The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L</p>				
<p>NORTHERN BEACHES Consulting Engineers P/L. A.C.N. 076 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9994 7000 Fax: (02) 9994 7444 e-mail: nb@nbconsulting.com.au web page : www.nbconsulting.com.au</p>				
<p>Architect: J. D. EVAN S</p>		<p>Client: STEVE & SYMONE RIDDLE</p>		
<p>Project: 76 QUEENS PDE EAST, NEWPORT</p>		<p>Drawing Title: HOME OFFICE ROOF FRAMING PLAN</p>		
Date:	Design:	Drawn:	Checked:	
JULY 14	N. C.	LFC	RLW	
Job No:	Drawing No:			
140713	S07			

NOTES:

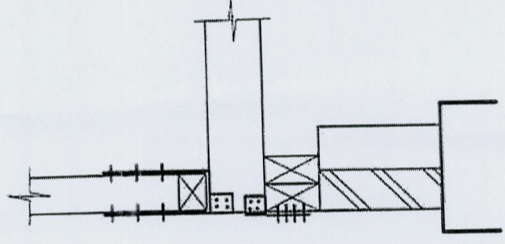
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: 501.



TILED ROOF
USE 2 x 75x3.15mm DEFORMED SHANK NAILS
STEEL ROOF SHEETING
USE 1 x 100mm LONG BUGLE HEAD SCREW OR PRYDA BATTEN STRAPS

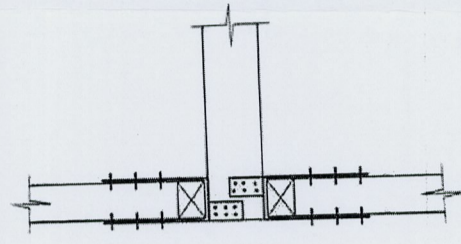
DETAIL A
SCALE = 1:20

TYPICAL TIE DOWN DETAIL
SCALE = 1 : 20



GROUND FLOOR

DETAIL B
SCALE = 1:20



FIRST FLOOR

DETAIL B
SCALE = 1:20

IF IN DOUBT ASK

Northern Beaches Consulting Engineers Pty Ltd.



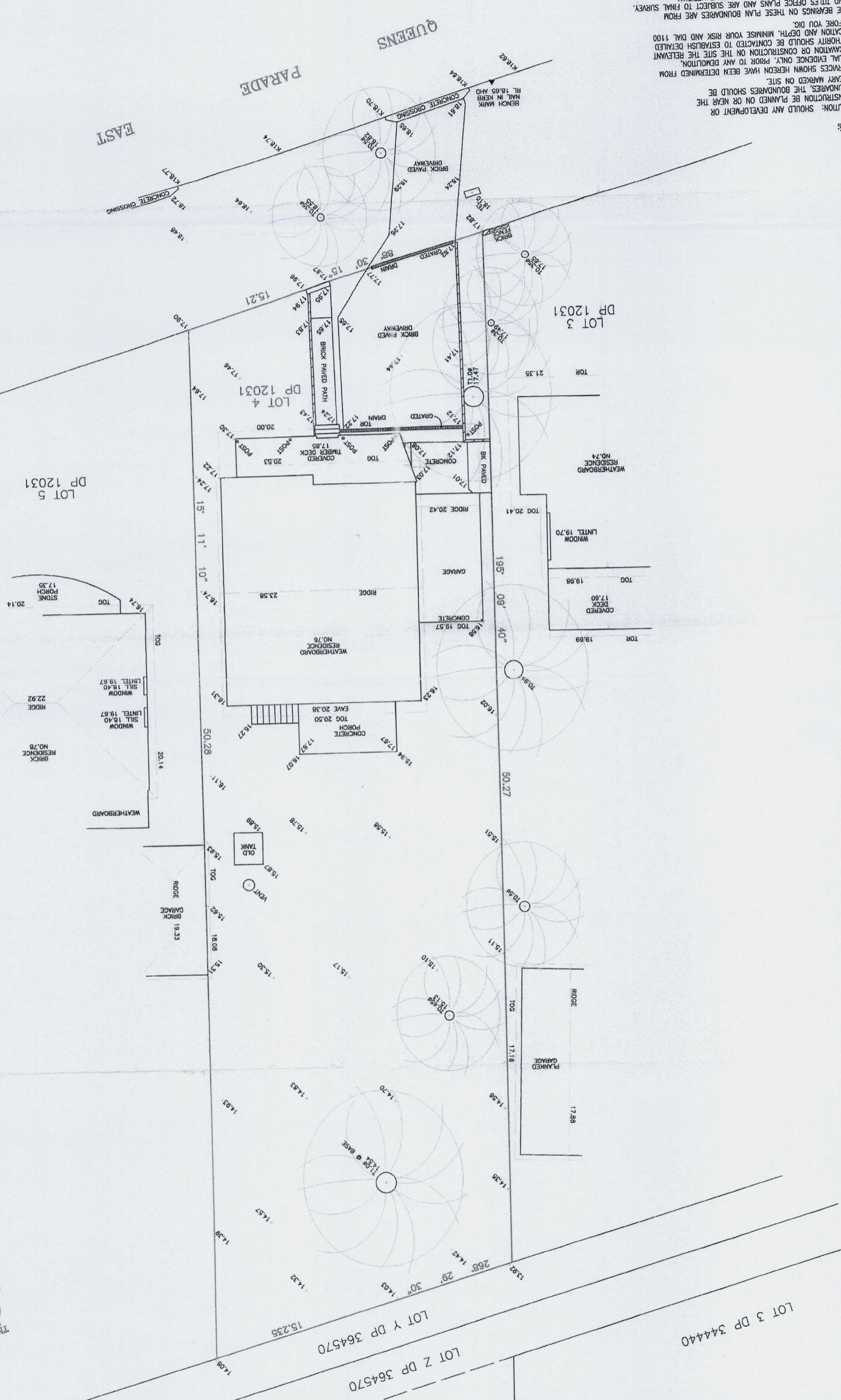
A3	Date:	Rev:	Amendment:	By:	Checked:
					RW
DOCUMENT CERTIFICATION Date: 2 JULY 14 Rick G. Wray BE(Civil), CPEng, MIEAust., NPER. (Director Northern Beaches Consulting Engineers) The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L					Project: 76 QUEENS PDE EAST, NEWPORT Drawing Title: TYPICAL TIE DOWN DETAILS Architect: J.D.EVANS Client: STEVE & SYMONE RIDDLE
Northern Beaches Consulting Engineers P/L A.C.N. 076 121 616 A.B.N. 24 076 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9884 7000 Fax: (02) 9884 7444 e-mail: nb@nbconsulting.com.au web page: www.nbconsulting.com.au		Design: N.C. Drawn: LFC Drawing No: 509	Date: JULY '14 Job No: 140713	Rev: - Rec: -	

LAND & ENGINEERING SURVEYORS
 46 JOHN ST, AVALON 2107
 PHONE : 9918-3358
 MOBILE : 0414183220
 EMAIL : david@dpssurveying.com.au
 DATE : 28 MARCH, 2014
 MY REF : 2496

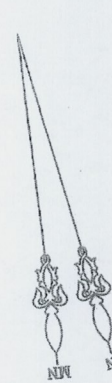
LOT 4 IN D.P. 12031
 AT No.76 QUEENS PDE EAST, NEWPORT.
 SCALE 1:100@A1 DATUM A.H.D.
 SITE AREA = 733.1 M SQ.

PLAN OF

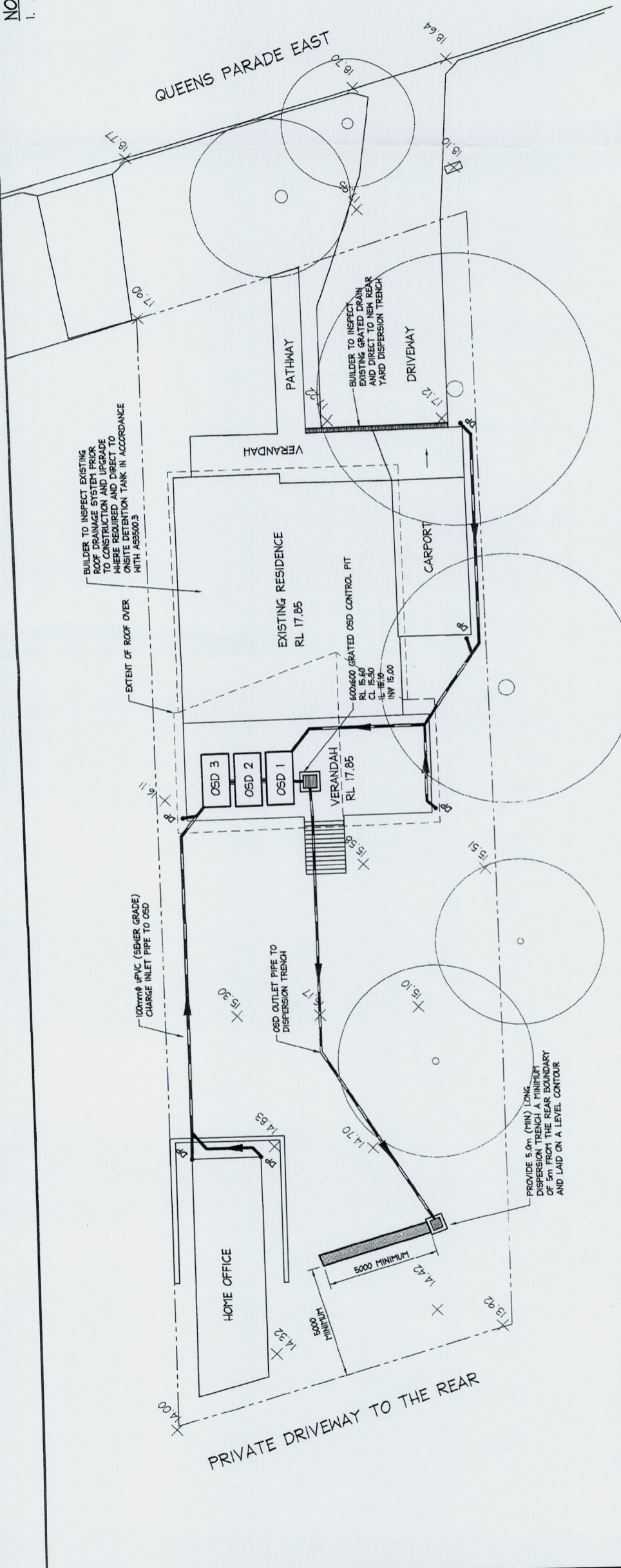
QUEENS



- NOTES:
1. CAUTION: SHOULD ANY DEVELOPMENT OR BOUNDARIES BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
 2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
 3. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND TITLES OFFICE PLANS AND ARE SUBJECT TO FINAL SURVEY. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
 4. W DENOTES WINDOW, D DENOTES DOOR, WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
 5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
 6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
 7. SWM, BRW, BLKRW, LRV, SLRW DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER REMAINING WALL.
 8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD CUTTER.



NOTES:
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.



STORMWATER MANAGEMENT DRAINAGE PLAN

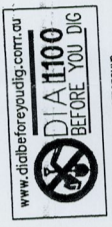
SCALE = 1 : 100

STORMWATER NOTES:

- 1 - ALL PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE.
- 2 - ALL PIPES TO BE uPVC TO AS 1254-2002 UNLESS NOTED OTHERWISE.
- 3 - ALL PIPES TO BE LAYED AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE.
- 4 - ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS. (NO COMPACTION REQUIRED BELOW LANDSCAPING)
- 5 - COVER TO SURFACE FRONT TOP OF PIPE TO BE 300mm MINIMUM. BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMPING AND WATERING IN. TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.
- 6 - ALL DOWN PIPES TO BE 100mm Ø UNLESS NOTED OTHERWISE. CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
- 7 - PROVIDE CLEANING EYES AT ALL DOWNPIPES.
- 8 - ALL PITS TO BE CAST IN SITU OR, IF PRECAST, APPROVED BY ENGINEER. CAST IN SITU PITS TO HAVE 150mm THICK CONCRETE WALLS AND BASE WALLS TO BE REINFORCED WITH 1 N2 TOP THE UNLESS NOTED OTHERWISE. CAST IN SITU PITS GREATER THAN 1000 DEEP TO BE MINIMUM 900x600 AND TO HAVE 150mm THICK CONCRETE WALLS AND BASE. WALLS TO BE REINFORCED WITH N2 AT 300 EACH MAY UNLESS NOTED OTHERWISE.
- 9 - ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
- 10 - ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
- 11 - PRIOR TO COMMENCING ANY SITE WORKS THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES TO APPROVED SEDIMENT AND EROSION CONTROL PLAN, EPA GUIDELINES AND COUNCIL SPECIFICATIONS. ALL MEASURES TO REMAIN IN PLACE UNTIL COMPLETION AND STABILIZATION OF THE SITE TO COUNCIL SATISFACTION.
- 12 - ALL LEVELS SHOWN ARE TO AHD.
- 13 - ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- 14 - ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.
- 15 - ALL WORKS TO BE IN ACCORDANCE WITH AS 3500-2003 NATIONAL PLUMBING DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.
- 16 - UNLESS NOTED OTHERWISE, SUB-SOIL DRAINS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3500.3 ALONGSIDE WALLS THAT IMPEDE THE NATURAL FLOW OF GROUNDWATERS. THIS MAY ALSO INVOLVE TRENCHING INTO THE CLAY OR ROCK SUBGRADE TO DIRECT GROUNDWATER AWAY FROM STRUCTURES.
- 17 - IF NOT INDICATED ON PLANS, PROVIDE LEAF CATCHERS TO ALL DOWNPIPES.
- 18 - CRIFICE PLATE MUST BE INSTALLED PRIOR TO INSTALLATION OF THE ROOF DRAINAGE SYSTEM AND CONNECTION OF THE SITE STORMWATER SYSTEM TO THE ONSITE DETENTION TANK.

ONSITE DETENTION CALCULATIONS ACCORDING TO PITWATER 21

TOTAL SITE AREA	733 m ²
PROPOSED IMPERVIOUS AREA	295 m ² (40 %)
PRE DEVELOPED IMPERVIOUS AREA FROM "PITWATER 21"	235 m ² (32 %)
REQUIRED RAINWATER TANK FROM OSD TANK	0 l
REQUIRED OSD TANK	4,500 l (MIN)
OSD DISCHARGE RATE	2 1/6
ORIFICE	31 mm



NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE TO ANY EXCAVATION OR NEAR THE SITE. DESIGNERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

- UNLAWFUL TO REMOVE ANYTHING FROM ANY UNDERGROUND NETWORK.
 - INCORRECTLY LOCATED NETWORKS.
 - LEAD TO DAMAGE, INTERRUPTION AND CONSEQUENT FINANCIAL LOSSES TO BUSINESS.
 - CAUSE OF UNDERGROUND NETWORKS.
 - WHILE THE DAMAGE IS REPAIRED.
- MANAGE YOUR RISK AND DIAL BEFORE YOU DIG.
 TEL 1100

NOTE:
 ALL DOWN PIPES TO DISCHARGE INTO ONSITE DETENTION (OSD) TANKS IN ACCORDANCE WITH AS 3500.3.

NOTE: CHARGED SYSTEM
 ALL PIPE WORK IN CHARGED SYSTEM TO BE 100mm Ø uPVC PRESSURE OR SENSER GRADE PIPES WITH ALL JOINTS PRESSURE SEALED TO 500mm ABOVE TOP WATER LEVEL OF OSD TANK.

NOTE:
 THIS PLAN IS INDICATIVE ONLY BASED ON THE INFORMATION PROVIDED BY JD EVANS and COMPANY Pty Ltd PDF & DP SURVEYING PDF PLANS

LEGEND

- 100mm Ø DOWNPIPE DISCHARGE TO OSD
- DOWNPIPE WITH SPREADER
- STORMWATER PIPE FLOW DIRECTION
- STORMWATER PIT
- GRATED DRAIN
- GD - EXISTING GRATED DRAIN
- 3 x 2,000 L OSD UNDERDECK* TANKS (BELOW DECK) REFER DETAILS

NOTE: ALL DRAINAGE LINES ARE INDICATIVE ONLY. LOCATION MAY VARY DUE TO CONSTRAINTS.

NOTE:
 STORMWATER DRAININGS DO NOT INCLUDE SUBSOIL AGRICULTURAL DRAINAGE DETAILS FOR D.A. SUBMISSION. NORTHERN BEACHES CONSULTING ENGINEERS PTY LTD MUST BE COMMISSIONED TO INCLUDE THESE DETAILS ONLY WHEN CONSTRUCTION CERTIFICATE AND/OR CONSTRUCTION DOCUMENTATION IS COMPLETE AND PROVIDED.

DATE: July 2014	DESIGN: R.M	DRAWN: R.M	CHECKED: R.M
JOB No: 140713		Drawing No: D01	
Project: ALTERATIONS & ADDITIONS at 76 QUEENS PARADE EAST, NEWPORT		Client: J.D EVANS and COMPANY Pty Ltd	
Drawing Title: PROPOSED CONCEPTUAL STORMWATER DRAINAGE PLAN		Author: Steve & Symone Riddle	
<p>DOCUMENT CERTIFICATION</p> <p>Date: JULY 14</p> <p>By: Rick G. Wray (Director Northern Beaches Consulting Engineers P/L)</p>			
<p>NORTHERN BEACHES Consulting Engineers P/L</p> <p>A.C.N. 076 021 665 A.B.N. 24 061 071 616</p> <p>Suite 207, 30 WILSON ROAD</p> <p>BEACHWOOD VIC 3008</p> <p>Ph: (03) 9884 7000 Fax: (03) 9884 7444</p> <p>e-mail: info@northernbeaches.com.au</p> <p>web page: www.northernbeaches.com.au</p>			
Date: 14.07.2014	Issue: A	ISSUED FOR D.A. SUBMISSION ONLY	
Date:	Rev:	Amendment	

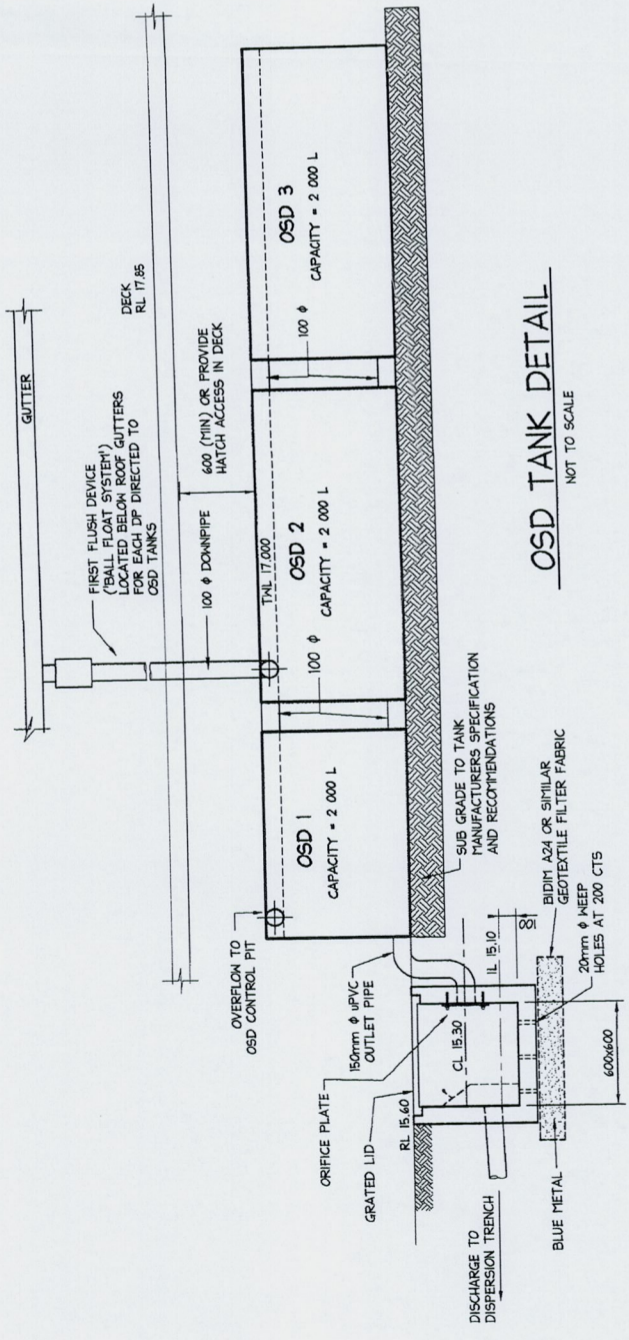
Northern Beaches Consulting Engineers Pty Ltd.

NOTES:
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

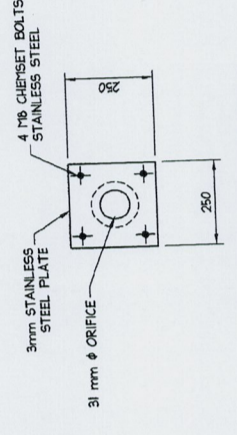
Northern Beaches Consulting Engineers Pty Ltd.

ISSUED FOR D.A. SUBMISSION ONLY

IF IN DOUBT ASK

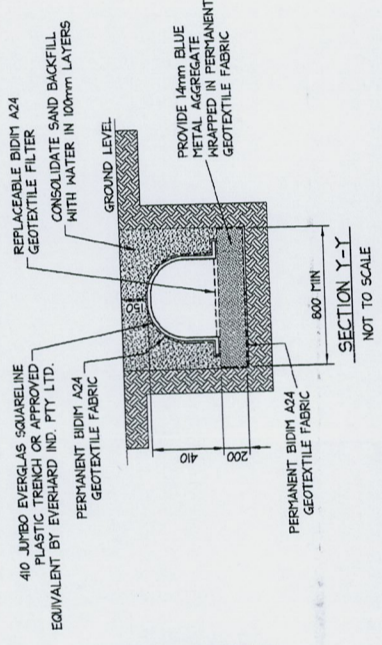


OSD TANK DETAIL
 NOT TO SCALE



ORIFICE PLATE DETAIL
 NOT TO SCALE

NOTE:
 REAR OF ORIFICE PLATE TO BE HYDROSTATICALLY SEALED AGAINST FIT WALL USING SIKAFLEX II FC OR APPROVED EQUIVALENT.



DISPERSION TRENCH LONGITUDINAL SECTION
 NOT TO SCALE

DOCUMENT CERTIFICATION
 Date: July 14
 By: Rick G. McKay, K. Nany
 BE(Ch), CPENG (MEMBER), NEPE
 (Director, Northern Beaches Consulting Engineers)
 The copyright in this drawing remains with Northern Beaches Consulting Engineers Pty Ltd.

Date	Rev	Amendment
14.07.2014	A	ISSUED FOR D.A. SUBMISSION ONLY

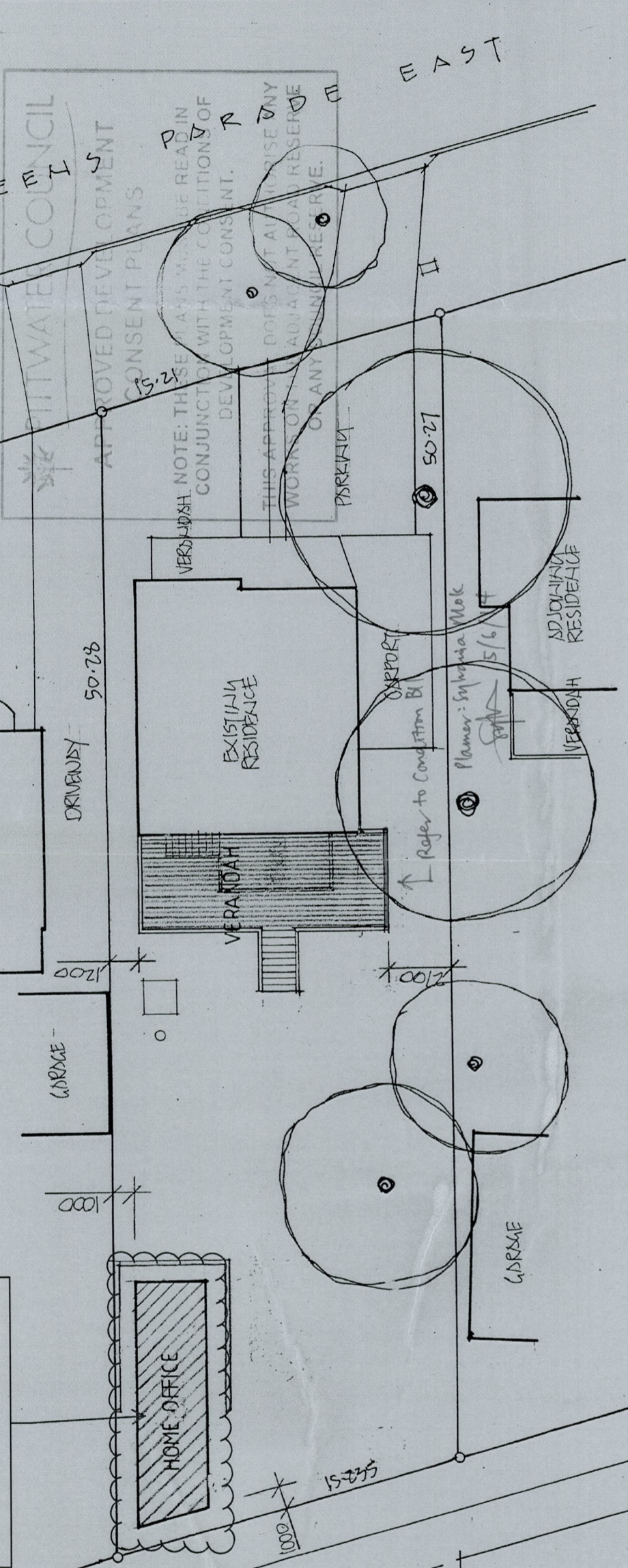
Project:	ALTERATIONS & ADDITIONS at 76 QUEENS PARADE EAST, NEWPORT	Architect:	J.D EVANS and COMPANY Pty Ltd	Checked:	R.M
Date:	July 2014	Design:	R.M	Drawn:	R.M
Job No:	140713	Drawing No:	D02	Rev:	A
Client:	Steve & Symone Riddle	Project Title:	STORMWATER DETAILS & CALCULATIONS		
Architect:	NORTHERN BEACHES Consulting Engineers P/L				
	A.C.N. 075 121 016 A.M. 24.078 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 8947 000 Fax: (02) 8947 144 e-mail: nbe@northernbeaches.com.au web page: www.northernbeaches.com.au				

The detached structure at rear for home office use is not to be used for separate residential purposes, nor is it ever to be modified so as to incorporate cooking facilities.

All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pittwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland. Unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times. In accordance with Pittwater Councils DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained. For trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition. No works are to be carried out in Council's Road Reserve without the written approval of the Council. No skip bins or materials are to be stored on Council's Road Reserve. The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, signage for stormwater drainage services. In particular, the removal of structures, excavation or changes to the ground level, metres of the trunks of trees to be removed, shall not be permitted, and the storage of materials, or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted. NOTE: Trees that are part of an endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$200,000.00. THE DEVELOPER SHALL CHECK AND CONFIRM ALL NECESSARY REQUIREMENTS OF THE THREATENED SPECIES CONSERVATION ACT, 1995. FAILURE TO DO SO MAY RESULT IN A PENALTY UP TO A MAXIMUM OF \$200,000.00. VEGETATION MAY BE REMOVED OR DESTROYED IN ACCORDANCE WITH THE DCP CONTROL B4.22 PRESERVATION OF VEGETATION. VEGETATION REMOVAL OR DESTROYED IN ACCORDANCE WITH THE DCP CONTROL B4.22 PRESERVATION OF VEGETATION. VEGETATION MAY BE REMOVED OR DESTROYED IN ACCORDANCE WITH THE DCP CONTROL B4.22 PRESERVATION OF VEGETATION. VEGETATION MAY BE REMOVED OR DESTROYED IN ACCORDANCE WITH THE DCP CONTROL B4.22 PRESERVATION OF VEGETATION.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the building and foundations are subject to verification by a site survey.
3. All work is to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All structural construction is to be in accordance with the "Timber Handbook" code of practice and the builder to the owner's approval, except for any structural details or design which shall be approved by a Structural Engineer.
5. All electrical and plumbing work is to be installed in accordance with the relevant standards and as directed by local council inspectors.
6. Roof under & sub-soil drainage is to be installed in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner work.
8. Make good and repair all existing finishes damaged by new work, however existing finishes where possible.

STORMWATER DRAINAGE CONNECTION TO COMPLY WITH AS3500 AND COUNCIL DCP



SITE PLAN

LOT 4 IN D.P. 170731

PRIVATE BUILDING CERTIFIERS
 Construction Certificate No: Approved Date:
 14/2556-1 14/05/2015
 Certifying Authority: Wayne Treble
 Accreditation No: BPB 0413

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

DEVELOPMENT CALCULATIONS		
SITE AREA	733.10 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
GROUND FLOOR	106.70	106.70
ROOF	106.70	106.70
DRIVEWAY & PARKING	48.60	48.60
CARPORT	31.55	31.55
FRONT VERANDAH	14.08	14.08
REAR VERANDAH	13.00	46.32
HOME OFFICE	—	34.00
TOTAL HARD SURFACE	213.73 (29.15%)	281.05 (38.34%)

PROJECT
 PROPOSED ALTERATIONS/ADDITIONS
 No. 78 QUEENS PARADE EAST
 NEWPORT N. S. W. 2106
 CLIENT
 STEVE & SYMONE RIDDLE

J.D. EVANS and COMPANY
 DESIGN AND BUILDING CONSULTANTS
 74 RIVIERA AVENUE, AVALON BEACH, 2107
 Phone 9018 9206
 www.jdecco.com.au
 email info@jdecco.com.au

No.	AMENDMENT	DATE

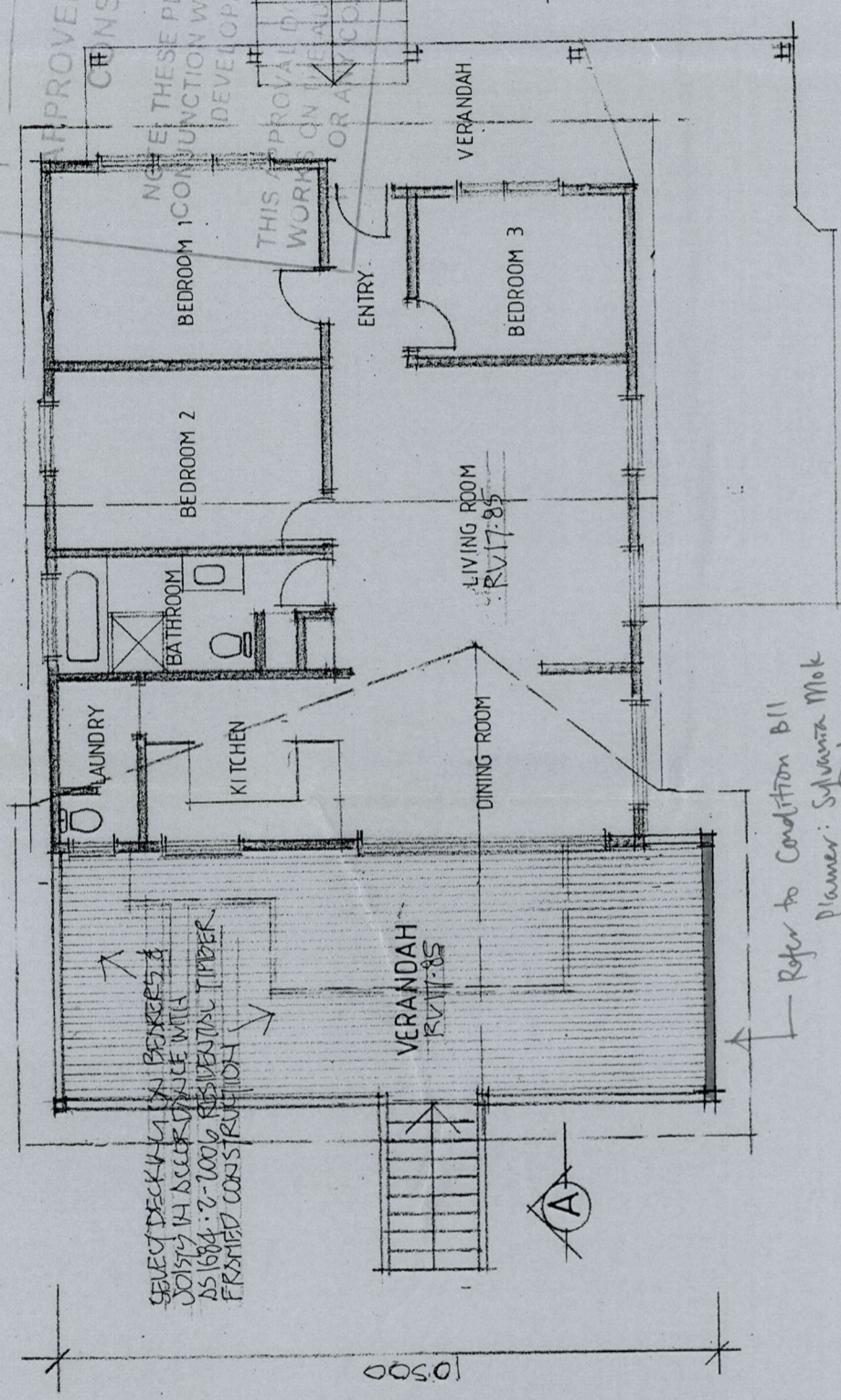
COPYRIGHT DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME, WITHOUT THE WRITTEN PERMISSION OF J.D. EVANS AND COMPANY PTY. LTD.

DATE 20/02/2014 SCALE 1:200
 DRAWN BY JDE CHECKED
 DRAWING No. 1630-1
 ISSUE

All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pittwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland, unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times. In accordance with Pittwater Councils DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction. Adequate measures shall be undertaken to remove clay from vehicles leaving the site as to maintain public roads in a clean condition. No work is to be carried out in Council's Road Reserve without the written approval of the Council. No stock of materials are to be stored on Council's Road Reserve. The developer and contractor will take all measures to prevent damage to the and root systems during site works and construction activities including provision of water to trees, protection of stormwater drainage services. In the event of damage to structures, excavation or removal of trees, the contractor shall be responsible for the replacement of the trunks of trees to be retained, are not permitted, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree is prohibited, is not permitted. NOTE: Trees that are part of an endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Endangered Species Conservation Act 1995. Failure to do so may result in a fine of up to a maximum of \$250,000.00. DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS. DO NOT SCALE OFF THE DRAWING. comply with the requirements AND COMMENCING CONSTRUCTION. ANY DEMOLITION OR CONSTRUCTION OCCUR ON OR NEAR DCP Control B4.22. Preservation of Boundaries and the Boundaries SHOULD BE CLEARLY MARKED ON SITE. Vegetation may result in a fine of up to \$250,000.00. BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary permissions are in place prior to construction. Do not scale the drawing.
2. All dimensions that relate to the building and materials are subject to verification by a site survey.
3. All work is to be in accordance with the Building Code of Australia & in the satisfaction of local council requirements & other authorities.
4. All timber construction is to be in accordance with the "Timber Framing" code.
5. Any structural modification to steel is to be approved and the holder is to be approved, except for minor structural modifications.
6. Roof water and sub-soil drainage to be determined as directed by local council inspectors.
7. All electrical power & light outlets to be determined by an electrician.
8. Make good and repair of existing finished surfaces, where possible.

PITTSWATER COUNCIL
 IMPROVED DEVELOPMENT
 CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT.
 THIS APPROVAL DOES NOT AUTHORISE ANY
 WORKS ON THE ADJACENT ROAD RESERVE,
 OR ANY COUNCIL RESERVE.



FLOOR PLAN

STORMWATER DRAINAGE CONNECTION
 TO COMPLY WITH AS3500 AND COUNCIL DCP

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

PRIVATE BUILDING CERTIFIERS
 Construction Certificate No: Approved Date: 14/05/2015
 14/2556-1
 Certifying Authority: Wayne Treble
 Accreditation No: BPB 0413

DATE: 20/02/2014 SCALE: 1:100
 DRAWN: JDE CHECKED:
 DRAWING No: 1630-2
 ISSUE

PROJECT
 PROPOSED ALTERATIONS/ADDITIONS
 No. 76 QUEENS PARADE EAST,
 NEWPORT N. S. W. 2106
 CLIENT
 STEVE & SYMONE RIDDLE

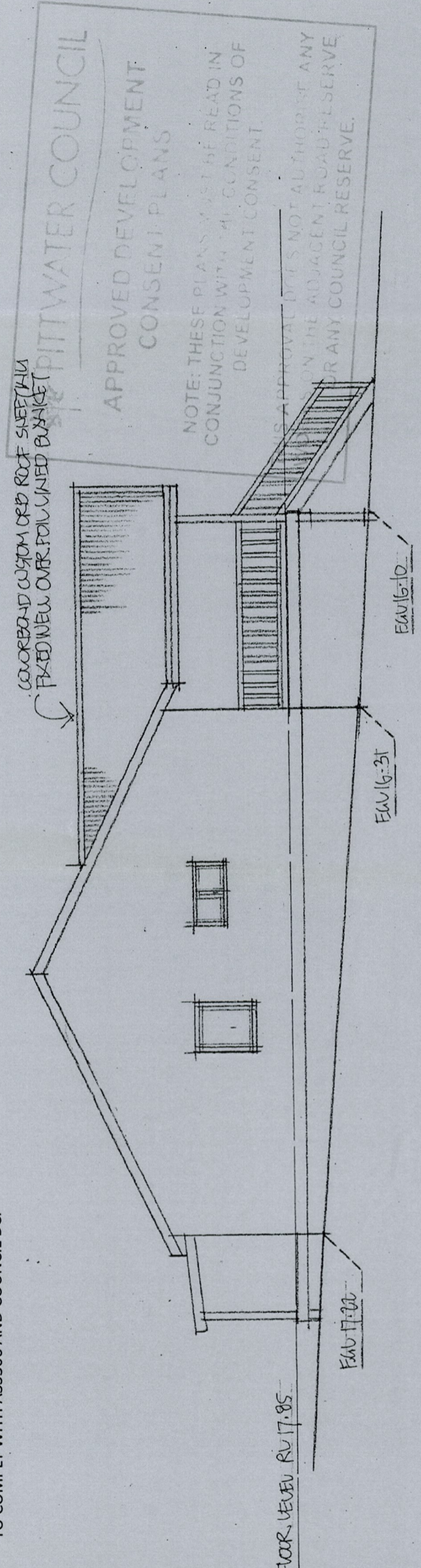
J.D. EVANS and COMPANY
 DESIGN AND BUILDING CONSULTANTS
 74 RIVIERA AVENUE, AVALON BEACH, 2107
 Phone: 9918 9200 mobile: 0418 976 596
 www.jdecco.com.au email: info@jdecco.com.au

No.	AMENDMENT	DATE

COPYRIGHT AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME, WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION OF J.D. EVANS AND COMPANY WILL RESULT IN LEGAL PROCEEDINGS. J.D. EVANS AND COMPANY PTY. LTD. 14 RIVIERA AVE, AVALON BEACH, NSW

**STORMWATER DRAINAGE CONNECTION
TO COMPLY WITH AS3500 AND COUNCIL DCP**

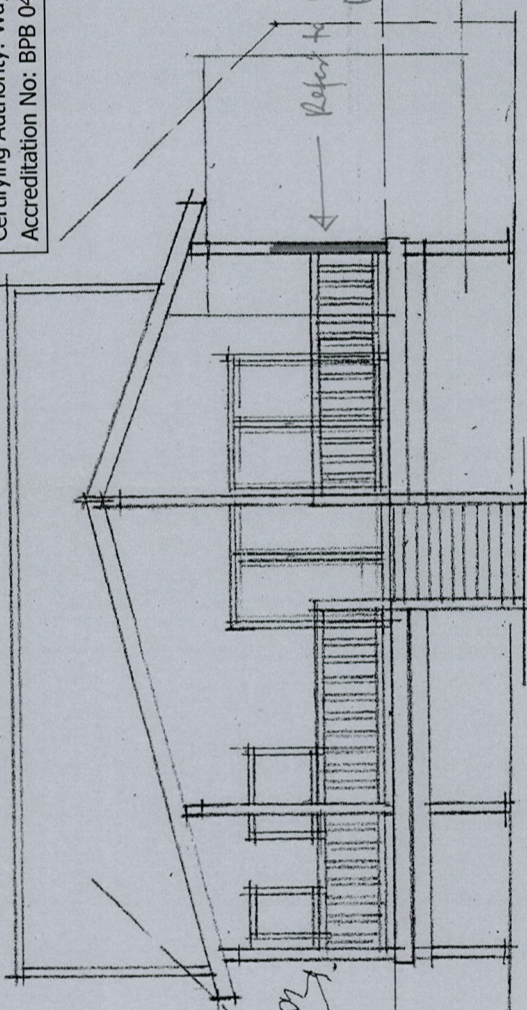
All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pittwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland, unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times. In accordance with Pittwater Councils DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition. No works are to be carried out in Council's Road Reserve without the written approval of the Council. No skip bins or materials are to be stored on Council's Road Reserve. The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted. NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pittwater Council DCP Control B4.22 Preservation of Trees of Bushland Vegetation may result in a penalty up to a maximum of \$20,000.00



EAST ELEVATION

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

PRIVATE BUILDING CERTIFIERS
Construction Certificate No: Approved Date: 14/05/2015
14/25556-1
Certifying Authority: Wayne Treble
Accreditation No: BPB 04113



NORTH ELEVATION

DATE: 20/02/2014 SCALE: 1:100
DRAWN: JOE CHECKED:
DRAWING No: 1630-3
ISSUE

PROJECT:
PROPOSED ALTERATIONS/ADDITIONS
No. 76 QUEENS PARADE EAST
NEWPORT N. S. W. 2106
CLIENT:
STEVE & SYMONE RIDDLE

J.D. EVANS and COMPANY
DESIGN AND BUILDING CONSULTANTS
74 RIVERVIEW AVENUE, AVALON BEACH, 2107
Phone: 9918 9206 mobile 0418 976 596
www.jdecco.com.au email: info@jdecco.com.au

No.	AMENDMENT	DATE

COPYRIGHT DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY ANY PERSON OR ENTITY PRIOR WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
J.D. EVANS and COMPANY
74 RIVERVIEW AVENUE, AVALON BEACH, NSW

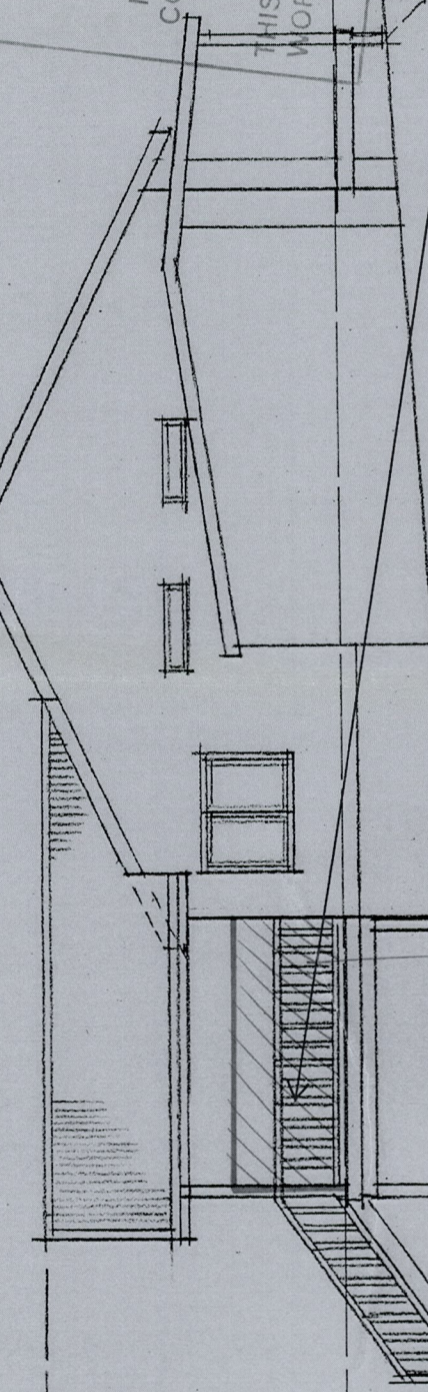
1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawings.
2 All work to be carried out in accordance with the Building Code of Australia (BCA) and the applicable local council requirements & other authorities.
3 All work to be carried out in accordance with the applicable local council requirements & other authorities.
4 All timber construction to be in accordance with the 'Timber Framing' code.
5 Any existing in addition to what is specified will be retained between the owner and the builder to the owner's approval, except for any structural defects or damage which is to be replaced by a Structural Engineer.
6 All water & sub-surface drainage to be disposed of in the approved manner or as detailed by local council inspectors.
7 All water & sub-surface drainage to be disposed of in the approved manner or as detailed by local council inspectors.
8 Works good and repair of existing finishes damaged by new work. Remove existing materials where possible.

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

PRIVATE BUILDING CERTIFIERS
 Construction Certificate No: Approved Date: 14/05/2015
 14/2556-1
 Certifying Authority: Wayne Treble
 Accreditation No: BPB 0413

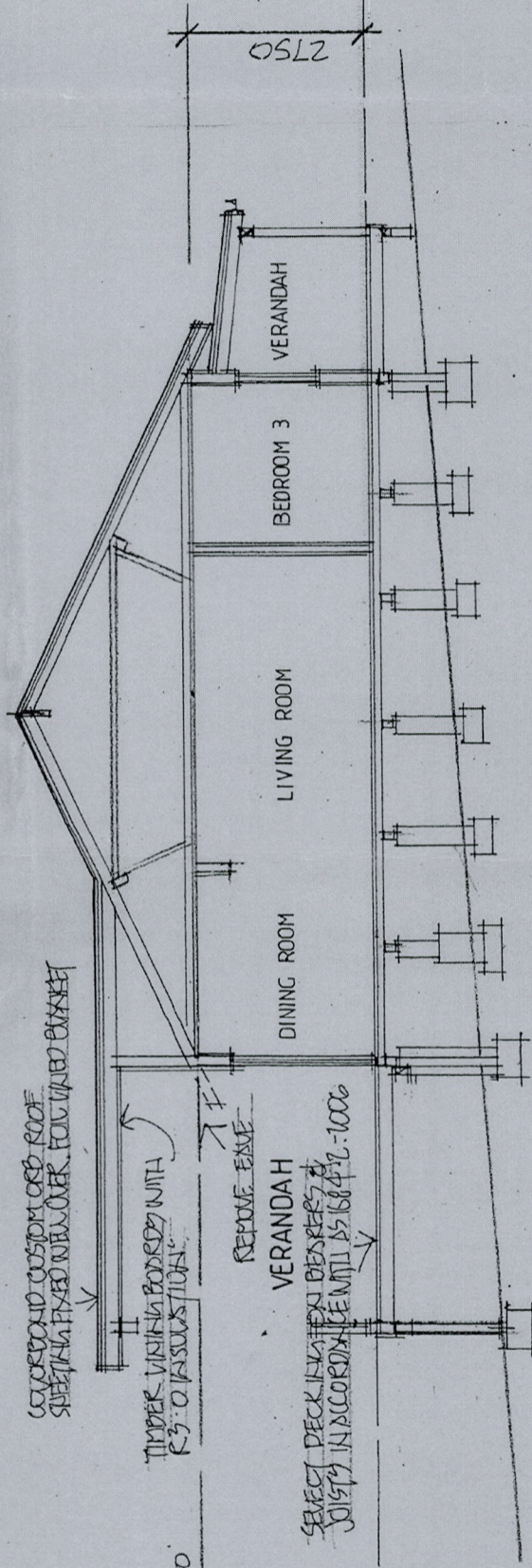
STORMWATER DRAINAGE CONNECTION
 TO COMPLY WITH AS3500 AND COUNCIL DCP
 TO COMPLY WITH AS3500 AND COUNCIL DCP
 TO COMPLY WITH AS3500 AND COUNCIL DCP

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.
 THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE.



This privacy screen is to run the full length of the western elevation of the proposed rear deck / verandah and should consist of a solid translucent screen or perforated panels or trellises which have a maximum of 25% openings, and which are:
 permanent and fixed,
 made of durable materials and, and
 designed and painted or coloured to blend in with the house

WEST ELEVATION



SECTION A - A

All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all works are to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pittwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland, unreserved, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/pen at all times. In accordance with Pittwater Council's DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001. The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction. Adequate measures shall be undertaken to remove play from vehicles leaving the site so as to maintain public roads in a clean condition. No works are to be carried out in Council's Road Reserve without the written approval of the Council. No skip bins or materials are to be stored on Council's Road Reserve. The developer/contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted. NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pittwater Council DCP Control B4.22 Preservation of Trees of Bushland Vegetation may result in a penalty up to a maximum of \$20,000.00.

COPYRIGHT
 ALL RIGHTS RESERVED
 THESE DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME WHOLLY OR IN PART, WITHOUT THE WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
 J.D. EVANS AND COMPANY PTY. LTD.
 74 RIVIERA AVENUE, AVALON BEACH, NSW
 1511 RIVIERA AVE, AVALON BEACH, NSW

1. Builder to check and confirm of necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions are to be in accordance with the Australian Standard AS1100.
 3. All dimensions are to be in accordance with the Australian Standard AS1100.
 4. All dimensions are to be in accordance with the Australian Standard AS1100.
 5. Any dimension in addition to that specified shall be resolved by the owner and the builder in the owner's favour, except for any structural details or design which is to be approved by a Structural Engineer.
 6. New work to be done in accordance with the Australian Standard AS1100.
 7. Make good and make of existing finishes damaged by new work, where suitable materials are available.

DATE 20/02/2014 SCALE 1:100
 DRAWN JDE CHECKED
 DRAWING No. 1630-4
 ISSUE

PROJECT
 PROPOSED ALTERATIONS/ADDITIONS
 No. 76 QUEENS PARADE EAST
 NEWPORT N. S. W. 2106
 CLIENT
 STEVE & SYMONE RIDDLE

J.D. EVANS AND COMPANY
 DESIGN AND BUILDING CONSULTANTS
 74 RIVIERA AVENUE, AVALON BEACH, 2107
 Phone 9918 9206
 mobile 0418 976 596
 www.jdeco.com.au
 email info@jdeco.com.au

STORMWATER DRAINAGE CONNECTION

TO COMPLY WITH AS3500 AND COUNCIL DCP

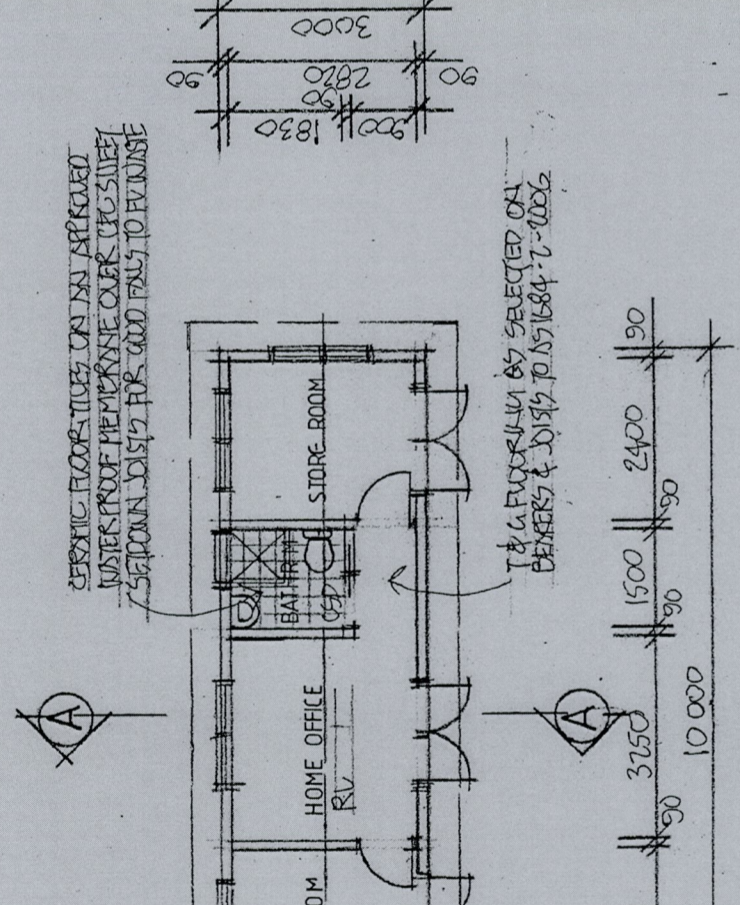
All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Ingravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pitwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland, unstrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times. In accordance with Pitwater Councils DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Councils prior written consent has been obtained, for trees that stand within the approved development areas and removal is approved through an arborist report. For all other trees, removal related to a development application, application must be made to Council's Tree Management Officers. The finished surface materials, including colours and the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601:2001. The Demolition of Structures. Amongst other, the requirements to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales including but not limited to: Protection of site-workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Council's satisfaction. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to not pollute public roads in a way that is a nuisance. No works are to be carried out in Council's Road Reserve without the approval of the Council. No skip bins are to be stored on Council's Road Reserve. The contractor will take all necessary measures to ensure that all construction and root systems do not obstruct or impede drainage activities including provision of water, sewerage and stormwater drainage services. Particular works of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted, and the storage of any vehicle or machinery on the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted.

NOTES:

- LIGHTING OF BATHROOM AND WC TO BE IN ACCORDANCE WITH PART 3.8.4 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 1680.0.
- VENTILATION OF BATHROOM AND WC TO BE IN ACCORDANCE WITH PART 3.8.3.3 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 1680.2.
- THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AMENDMENT 3, PART 3.8.3.3 (TO EITHER OPEN OUTWARDS, SLIDE OR BE REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
- SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE BUILDING CODE OF AUSTRALIA AND AS / NZS 3786 / 1993.
- TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH PART 3.1.3 OF THE BUILDING CODE OF AUSTRALIA.
- SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6 OF THE BUILDING CODE OF AUSTRALIA.
- ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
- ALL GLAZED ASSEMBLIES TO COMPLY WITH AS 2047 AND AS. 1288.
- WATERPROOFING OF ALL WET AREAS TO COMPLY WITH AS 3740-2004

THIS APPROVED DEVELOPMENT WORKS ON THE COUNCIL RESERVE OR ANY COUNCIL RESERVE.

FLOOR PLAN

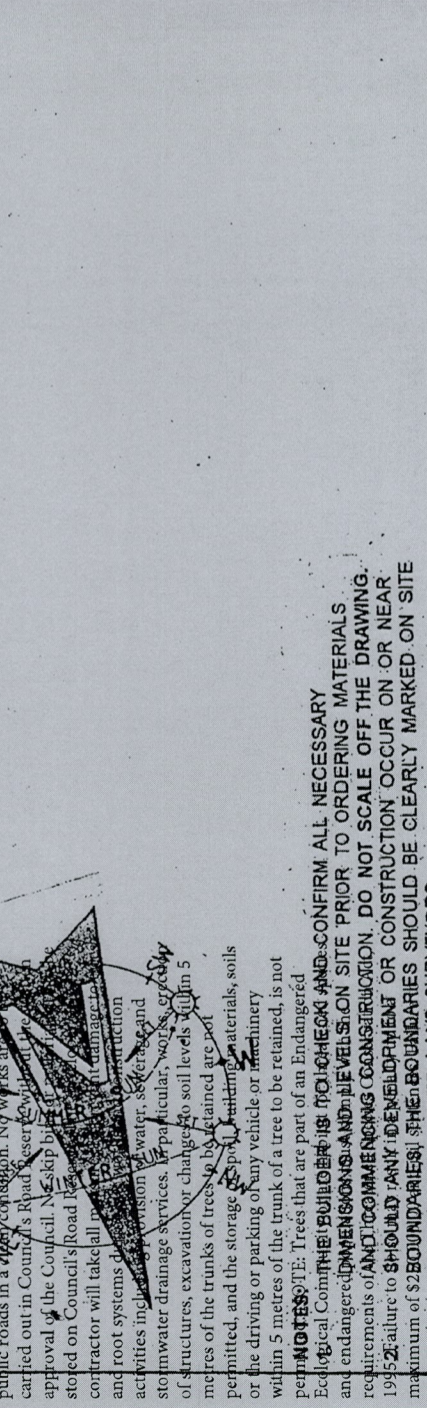


APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE CONSIDERED IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVED DEVELOPMENT WORKS ON THE COUNCIL RESERVE OR ANY COUNCIL RESERVE.

SECTION A-A

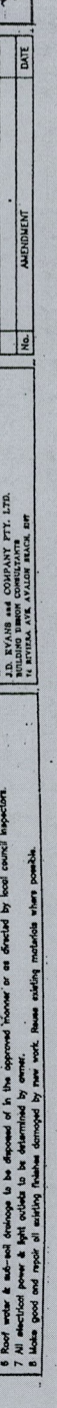


APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE CONSIDERED IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVED DEVELOPMENT WORKS ON THE COUNCIL RESERVE OR ANY COUNCIL RESERVE.

SECTION A-A



APPROVED DEVELOPMENT CONSENT

NOTE: THESE PLANS MUST BE CONSIDERED IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVED DEVELOPMENT WORKS ON THE COUNCIL RESERVE OR ANY COUNCIL RESERVE.

SECTION A-A

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

PRIVATE BUILDING CERTIFIERS
Construction Certificate No: Approved Date: 14/05/2015
14/2556-1
Certifying Authority: Wayne Treble
Accreditation No: BPB 0413

DATE	20/02/2014	SCALE	1:100
DRAWN	JDE	CHECKED	
DRAWING No.	1630-5		

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 76 QUEENS PARADE EAST
NEWPORT N. S. W. 2106
CLIENT
STEVE & SYMONE RIDDLE

J.D. EVANS and COMPANY
DESIGN AND BUILDING CONSULTANTS
74 RIVERA AVENUE, AVALON BEACH 2107
Phone 0918 9206 mobile 0418 976 596
www.jdeco.com.au email info@jdeco.com.au

No.	AMENDMENT	DATE

COPYRIGHT
DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL INFRINGEMENT OF THE COPYRIGHT IN THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF J.D. EVANS AND COMPANY WILL RESULT IN LEGAL PROCEEDINGS.
J.D. EVANS AND COMPANY PTY. LTD.
11 RIVERA AVE. AVALON BEACH NSW

NOTES:

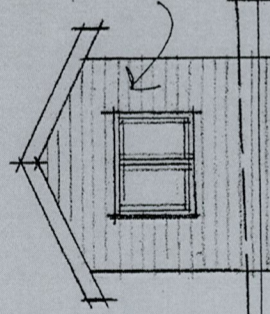
- Verify the site information on drawings against the site information, do not scale the drawing.
- Check the drawings for errors in dimensions and annotations are subject to verification by a suitably qualified person.
- All timber construction to be in accordance with the 'Timber Handbook' book.
- Any detailing in addition to that stipulated in the contract and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
- Any water or soil disposal is to be in accordance with the approved Council's requirements.
- Make good and rectify all existing defects, damaged or removed, before adding materials where possible.

**STORMWATER DRAINAGE CONNECTION
TO COMPLY WITH AS3500 AND COUNCIL DCP**

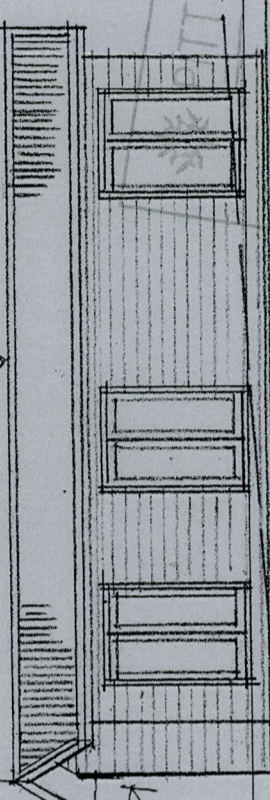
PRIVATE BUILDING CERTIFIERS
Construction Certificate No: Approved Date:
14/2556-1 14/05/2015
Certifying Authority: Wayne Treble
Accreditation No: BPB 0413.

These plans form part of and are to be read in conjunction with the conditions of consent. Please make yourself aware of your legal position. Mandatory inspections are applicable. Received on: 26/06/2014

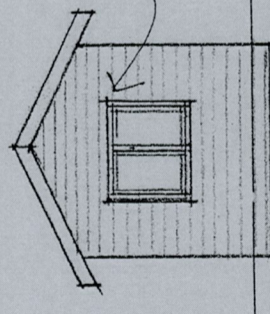
All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pittwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland, unenclosed, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked Hutch/run at all times. In accordance with Pittwater Councils DCP Control of Bushland Vegetation, all existing trees are to be retained in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001. The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Asbestos handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction. Adequate measures shall be undertaken to remove clay from vehicle tyres. ~~Works to be carried out in a clean condition. No works are to be carried out in Council's Road Reserve without the written approval of the Council. No skip bins or materials are to be stored on Council's Road Reserve. The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted. NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pittwater Councils DCP may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pittwater Councils DCP may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pittwater Councils DCP may result in a penalty up to a maximum of \$250,000.00 and jail sentences.~~



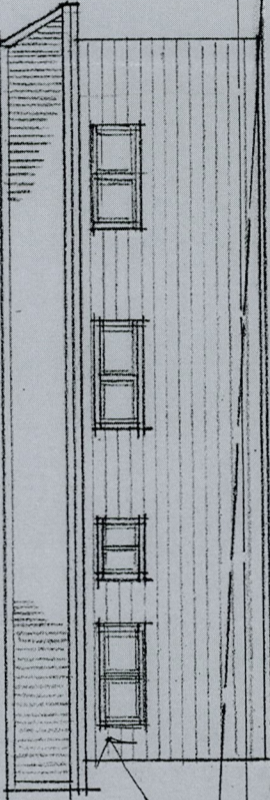
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

PITWATER COUNCIL
APPROVED DEVELOPMENT
CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.
THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUNCIL RESERVE.

COLORBOARD CUSTOM ORB ROOF SHEETING
FIXED NEW OVER POLY URETHANE INSULATION

COLORBOARD CUSTOM ORB ROOF SHEETING
FIXED NEW OVER POLY URETHANE INSULATION

HARDIPUNK CUSTOMARY WITH
SHEATHING & R1.0 INSULATION

HARDIPUNK CUSTOMARY WITH
SHEATHING & R1.0 INSULATION

DATE 20/02/2014	SCALE 1:100
DRAWN JDE	CHECKED
DRAWING No. 1630-6	

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 76 QUEENS PARADE EAST
NEWPORT N. S. W. 2106
CLIENT
STEVE & SYMONE RIDDLE

J.D. EVANS and COMPANY
DESIGN AND BUILDING CONSULTANTS
74 RIVIERA AVENUE, AVALON BEACH, 2107
Phone 9918 9206
www.jdecco.com.au
email info@jdecco.com.au
mobile 0418 976 596



No.	AMENDMENT	DATE

COPYRIGHT DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY ANY PERSON WITHOUT PRIOR WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
J.D. EVANS and COMPANY PTY. LTD.
74 RIVIERA AVE, AVALON BEACH NSW

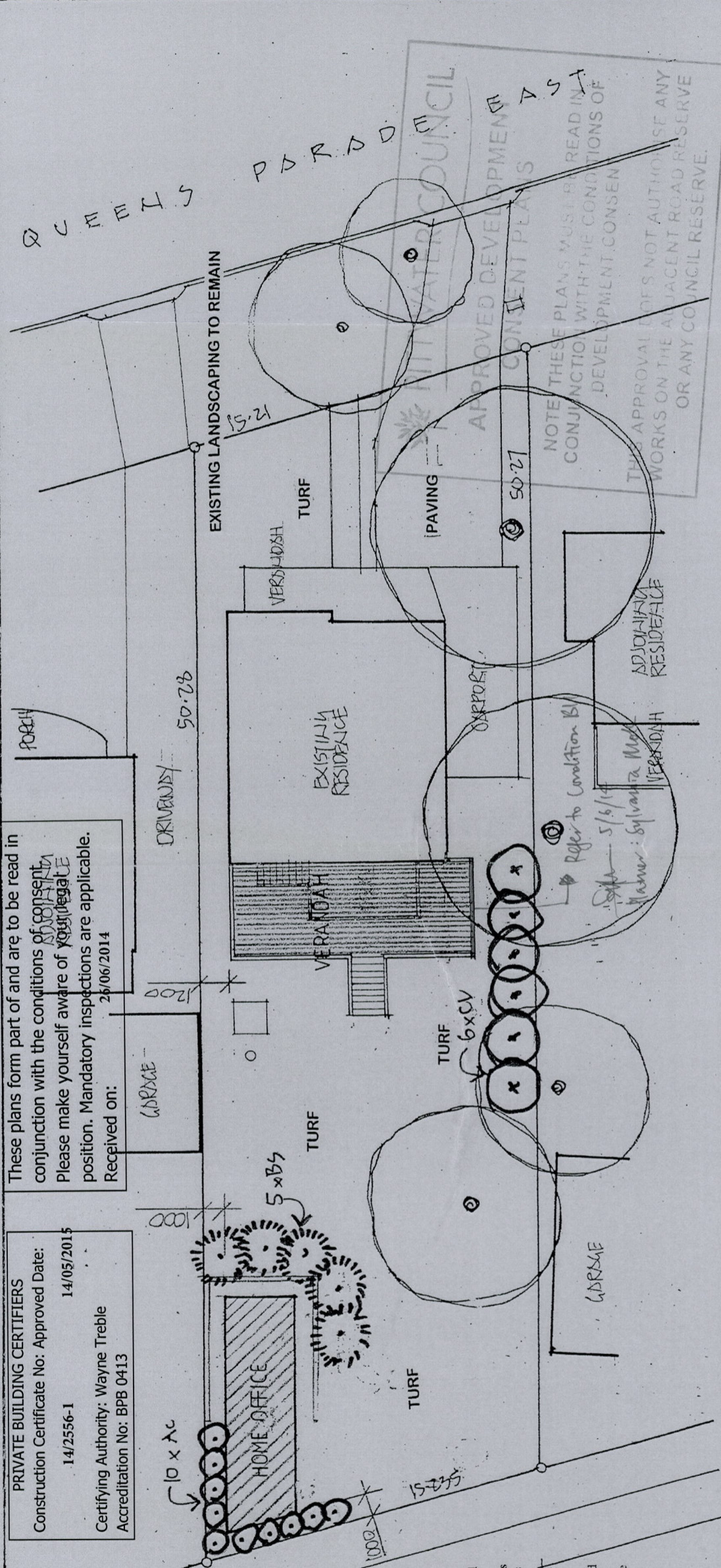
1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
3. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
4. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
5. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
6. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
7. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.
8. All works are to be carried out in accordance with the requirements of the Pittwater Councils DCP.

All works are to be carried out in accordance with the requirements of the Building Code of Australia. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified. No environmental weeds are to be planted on the site. Refer to Pitwater Council website for environmental weed lists. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland. Unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times. In accordance with Pitwater Councils DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers. The finished surface materials, including colours and texture of the proposed rear verandah / deck, shall match the detail and materials of the existing building. However, the detached structure at rear for home office use, shall consist of dark and earthy tones with minimal reflectivity. The use of red, white or light colours is prohibited. Roofs to all structures are to be of dark or mid grey, brown and/or green tones only. No white or light coloured roofs are permitted. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2009. The Demolition of Structures. Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to: Protection of site workers and the general public. Erection of hoardings where appropriate. Ashes and handling and disposal where applicable. Any disused service connections shall be capped off. Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Council's satisfaction. Adequate measures shall be taken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition. No work is to be carried out in Council's Road Reserve without the written approval of the Council. No skips or materials are to be stored on Council's Road Reserve. The development contractor will take all measures to protect construction activities including provision of water, screening, stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted, and the storage of spoil, building materials, soils or the driving or parking of any vehicle, BS machinery within 5 metres of the trunk of a tree to be retained, is not permitted. NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences. Failure to comply with the requirements of the Pitwater Council DCP Control B4.22 Preservation of Trees of Bushland Vegetation may result in a penalty up to a maximum of \$20,000.00.

PRIVATE BUILDING CERTIFIERS
Construction Certificate No: Approved Date:
14/2556-1 14/05/2015

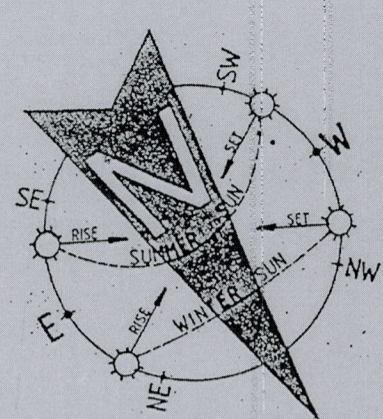
Certifying Authority: Wayne Treble
Accreditation No: BPB 0413

These plans form part of and are to be read in conjunction with the conditions of consent.
Please make yourself aware of your legal position. Mandatory inspections are applicable.
Received on: 26/06/2014



PLANTING SCHEDULE FOR ROLLING HILLS & LOWER SLOPES

BOTANICAL NAME	COMMON NAME	POT SIZE	NO. OFF	HEIGHT	SPREAD
ACMENA SMITHII	LILLI-PILLI	5Ltr	10	2-3	1.0
BANKSIA SPINULOSA CALLISTEMON LINEARIFOLIUM	HAIRPIN BANKSIA NARROW LEAVED BOTTLEBRUSH	5Ltr 5Ltr	5 6	2-3 2-3	2-3 2.5
SCRAMBLERS / SCRAMBLERS KENNEDIA RUBICUNDA VIOLA HEDERACEA	DUSKY CORAL PEA NATIVE VIOLET				



LANDSCAPE CONCEPT PLAN

PROJECT: PROPOSED ALTERATIONS/ADDITIONS
No. 78 QUEENS PARADE EAST
NEWPORT N. S. W. 2106
CLIENT: STEVE & SYMONE RIDDLE

DATE: 20/02/2014 SCALE: 1:200
DRAWN: J.D.E. CHECKED: []
ISSUE: 1630-10

J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERIA AVE. AVALON BEACH, 2107
Phone: (02) 9918 9206 Fax: (02) 9932 2454
Mobile: 042 976 576

STORMWATER DRAINAGE CONNECTION
TO COMPLY WITH AS3500 AND COUNCIL DCP

ALL CIVIL STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEER'S DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS & LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.