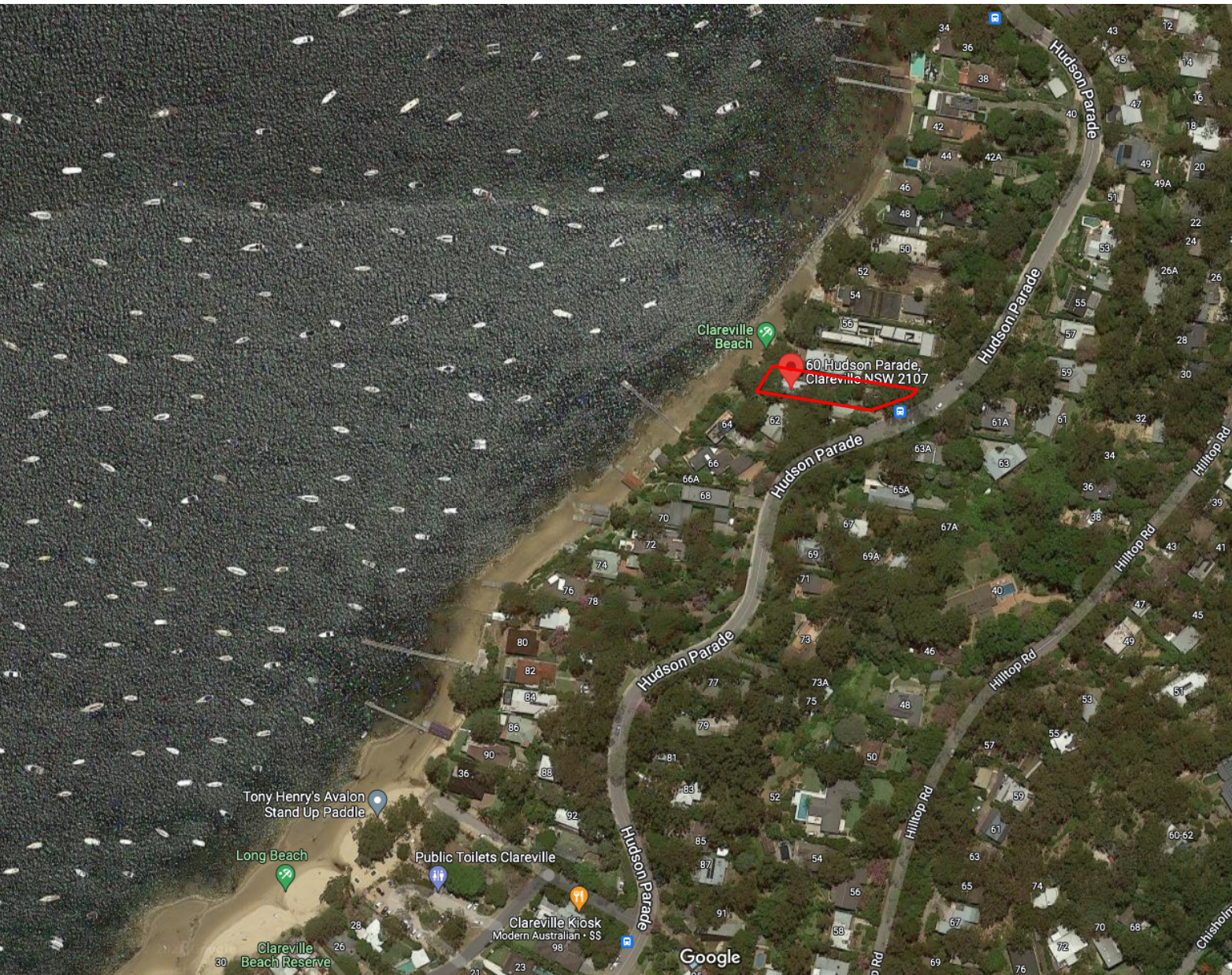


LOCATION MAP
NTS



LOCATION MAP
NTS

60 HUDSON PRD, AVALON BEACH, NSW 2170
ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ARCHITECTURAL DRAWING LIST

DWG NO.	TITLE
DA_000	COVER SHEET
DA_001	BASIX COMMITMENTS
DA_002	SITE ANALYSIS PLAN
DA_003	SITE PLAN
DA_004	DEMOLITION PLANS _ LOWER GROUND + GROUND FLOOR
DA_005	DEMOLITION PLANS _ LEVEL 01 + ROOF
DA_100	PROPOSED LOWER GROUND FLOOR PLAN
DA_101	PROPOSED GROUND FLOOR PLAN
DA_102	PROPOSED FIRST FLOOR PLAN
DA_103	PROPOSED ROOF PLAN
DA_112	CUT AND FILL PLAN
DA_200	EAST + WEST ELEVATIONS
DA_201	NORTH + SOUTH ELEVATIONS
DA_210	LONGITUDINAL SECTION
DA_211	CROSS SECTIONS
DA_301	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_302	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_600	SCHEDULE OF COLOURS AND MATERIALS

NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
COVER SHEET

Job Number:
2130

Scale:
NTS

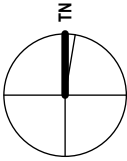
Plot Date:
27/9/22

Drawing Status:
DA

Drawing No:
DA_000

Drawn By:
LR

Revision:
A



BASIX INCLUSIONS FOR ALTERATIONS AND ADDITIONS TO EXISTING DWELLING AS PER CERTIFICATE A470828:

STORMWATER TANK

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 2056 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.

THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

POOL AND SPA

THE SWIMMING POOL MUST BE OUTDOORS.

THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 75 KILOLITRES.

THE SWIMMING POOL MUST HAVE A POOL COVER.

THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.

THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: SOLAR (ELECTRIC BOOSTED).

HOT WATER

THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT: ELECTRIC STORAGE PLUS PHOTOVOLTAIC SYSTEM.

THE APPLICANT MUST INSTALL A PHOTOVOLTAIC SYSTEM WITH A CAPACITY TO GENERATE AT LEAST 2.9 PEAK KILOWATTS OF ELECTRICITY AS PART OF THE DEVELOPMENT. THE APPLICANT MUST CONNECT THIS SYSTEM TO THE DEVELOPMENT'S ELECTRICAL SYSTEM.

CONSTRUCTION

THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOOR(S), WALLS, AND CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M2, B) INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete panel/plasterboard (concrete: 200 mm)	R1.35 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
flat ceiling, flat roof: concrete/bare internal	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

WINDOWS AND GLAZED DOORS

THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR.

THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR:

EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR, HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGCs MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFRc) CONDITIONS.

FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500 MM ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400 MM ABOVE THE SILL.

PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35.

PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50 MM.

OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT AND DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOOR, AS SPECIFIED IN THE 'OVERSHADOWING' COLUMN IN THE TABLE BELOW.

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
WLG.1	W	6.2	13.5	6.5	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
WLG.2	N	7.9	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
WLG.6	N	4.1	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
WLG.7	W	2.2	7.2	2	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1.6, W1.7	N	7.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W1.8	N	3.1	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W1.9	N	5.8	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W1.10	E	2.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W1.11,1.12	S	5.3	0	0	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W1.13	W	1.25	4.5	2	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.5	N	1.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.6	W	3.1	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.7	N	4.8	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.8	E	1.5	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.9	N	1.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.10	N	7	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.11	E	3.8	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.12	E	2.9	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W213,14,15	S	8.5	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.21	N	10.1	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.22	N	8.6	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.23	N	10.1	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3.1 32 33	W	17	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3.4	E	11.6	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3.5	E	2.7	2.7	1.2	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.1	W	2	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.2	N	3.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.3	W	2.8	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.4,W4.5	N	1.9	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.6	N	4.7	0	0	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.7	N	3.7	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.8	N	2.4	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.9	S	3.24	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
WLG.5	E	6.1	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W2.16	W	2.2	2.8	2	none	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3.6	N	2.7	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W3.7	W	2.6	0	0	eave/verandah/pergola/balcony >=750 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
W4.10	W	3.5	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)
WR.3,4,5	N	5	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single toned, (or U-value: 5.67, SHGC: 0.49)

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	0.8	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.3	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

NOTES

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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY



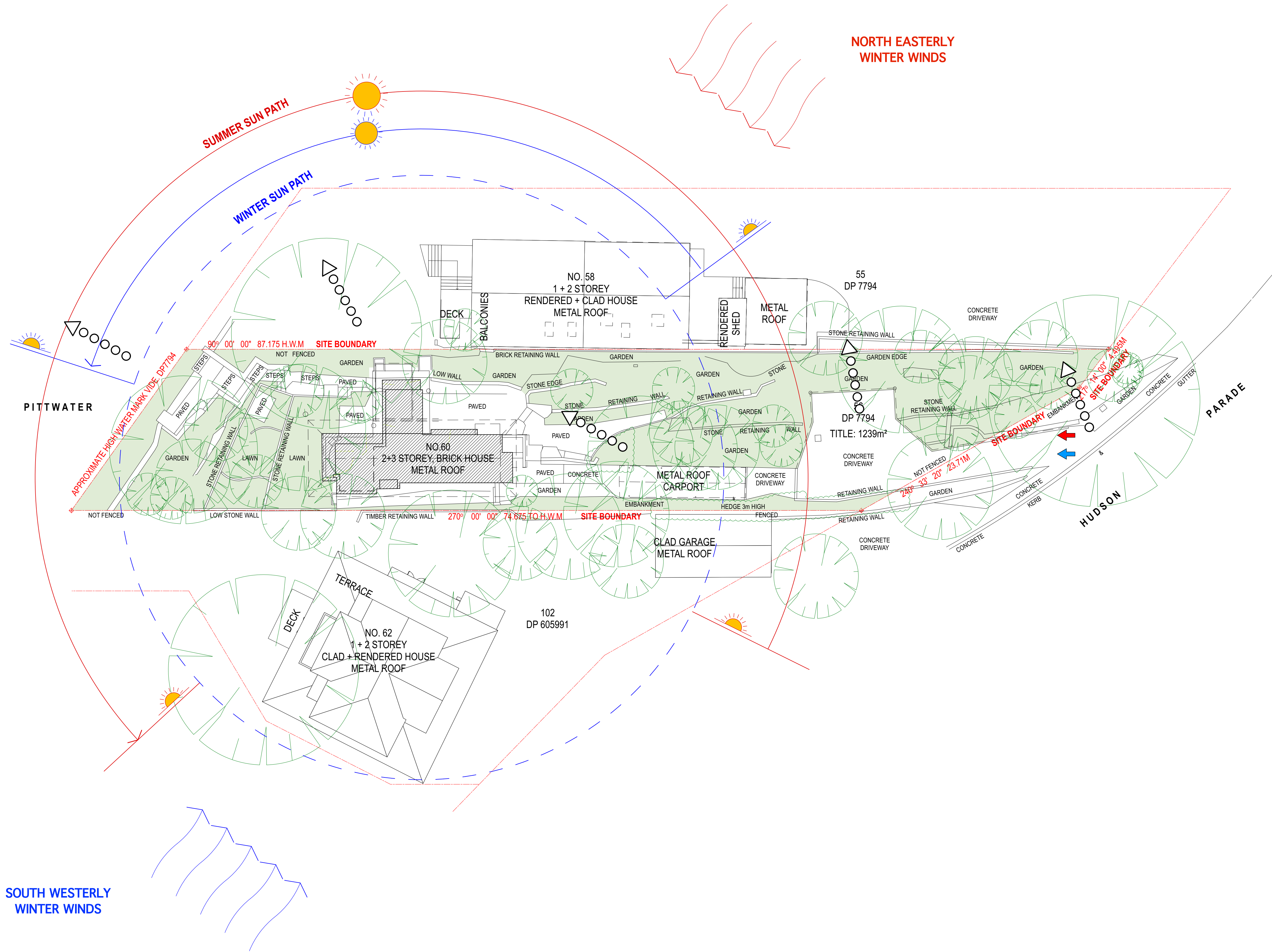
Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
BASIX COMMITMENTS

Job Number:
2130
Scale:
NTS
Plot Date:
27/9/22

Drawing Status:
DA
Drawing No:
DA_001
Drawn By:
LR
Revision:
A



1m 5m 10m 22m

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LEGEND / KEY

EXISTING LANDSCAPED AREA

EXISTING DEVELOPMENT

BOUNDARY

DRIVEWAY ACCESS

PEDESTRIAN ACCESS

◁○○○○○ VIEWS



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE ANALYSIS PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
27/9/22

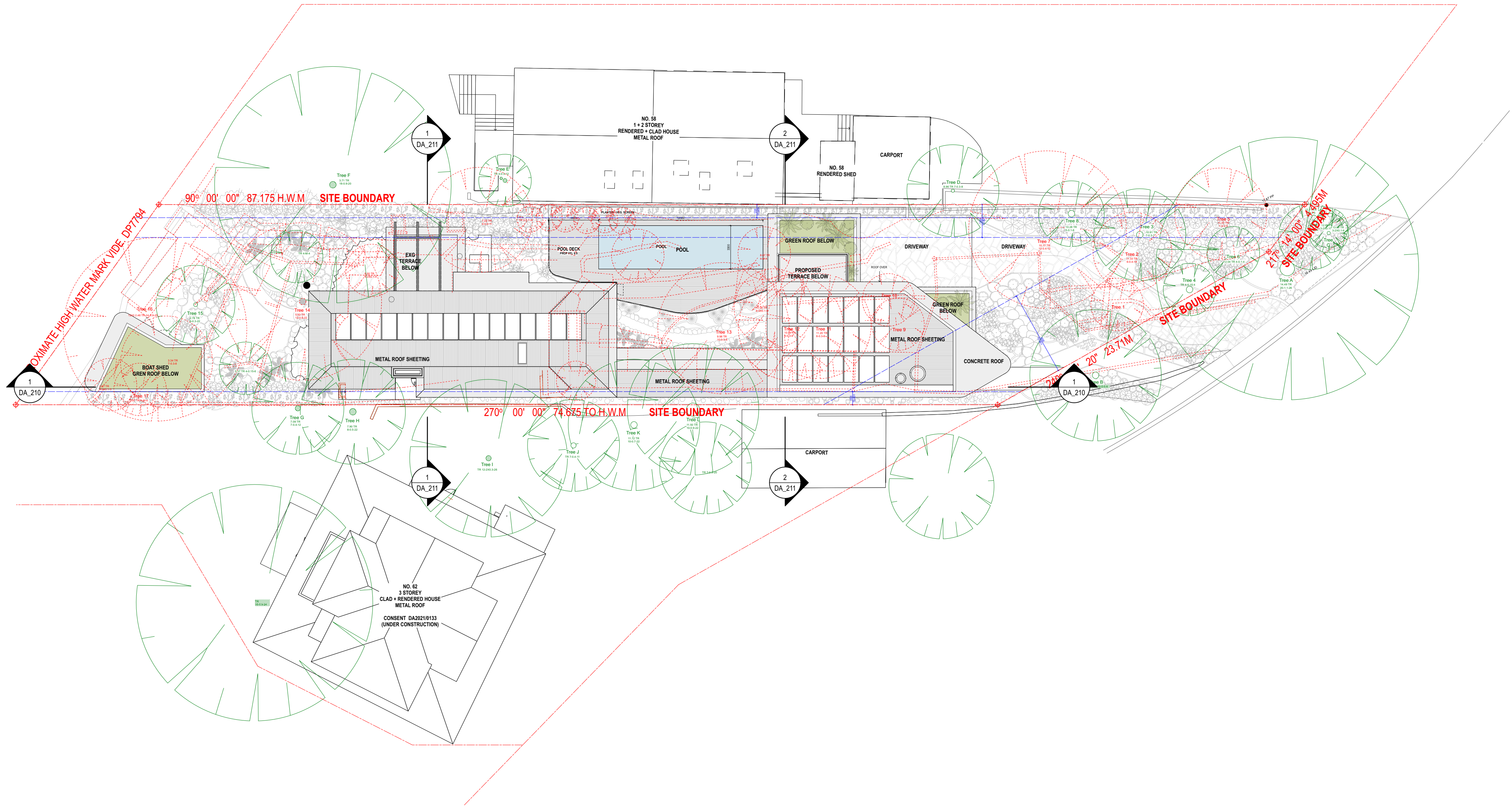
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Drawing No:
DA_002

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



NOTES
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Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

- LEGEND / KEY
- DEMOLISHED
 - SETBACK
 - DEMOLISHED TREE
 - EXISTING TREE

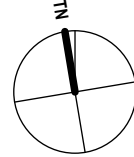


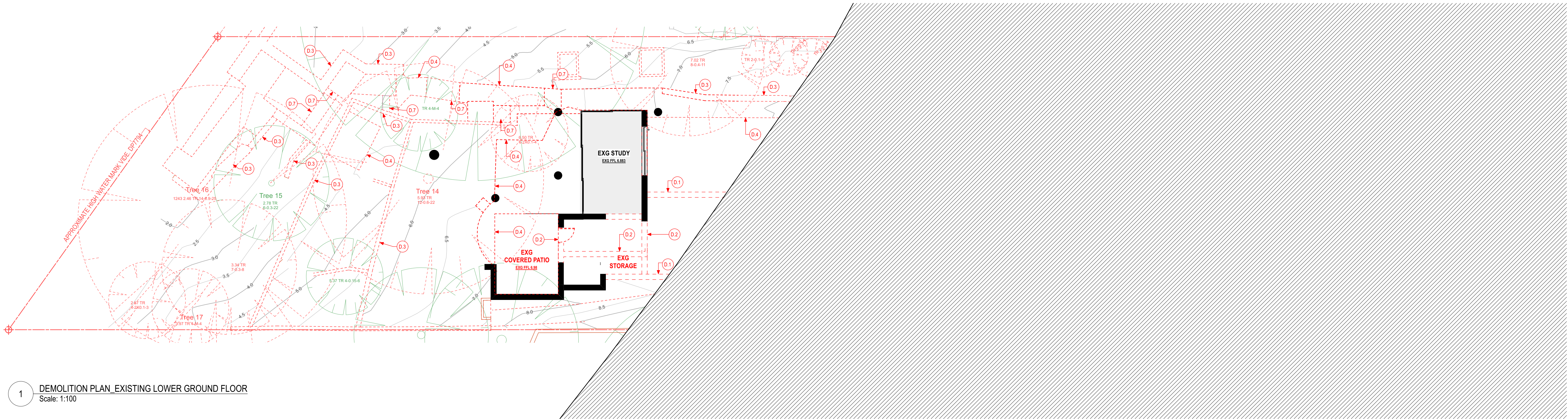
Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE PLAN

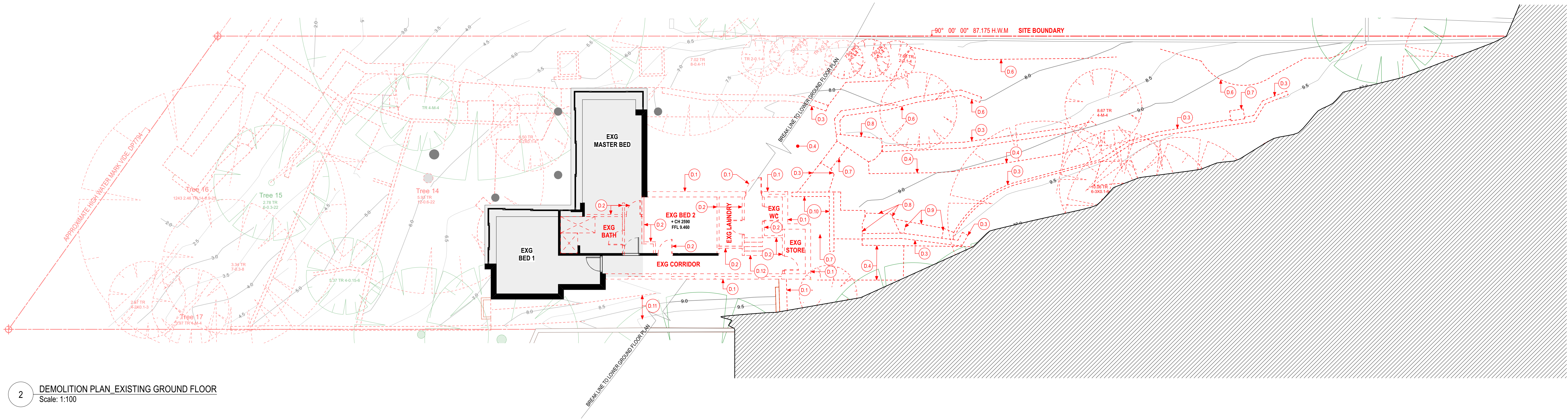
Job Number:
2130
Scale:
1:200
Plot Date:
27/9/22

Drawing Status:
DA
Drawing No:
DA_003
Drawn By:
LR
Revision:
A





1 DEMOLITION PLAN_EXISTING LOWER GROUND FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING GROUND FLOOR
Scale: 1:100

DEMOLITION NOTES

1. DEMOLISH EXG EXTERNAL WALL AND ALL OPENINGS. EXTENT AS SHOWN ON DEMOLITION PLAN
2. DEMOLISH EXG INTERNAL WALL AND ALL OPENINGS. EXTENT AS SHOWN ON DEMOLITION PLAN
3. DEMOLISH EXG RETAINING WALL
4. DEMOLISH EXG PAVED TERRACED EXISTING PAVED LANDSCAPING
5. N/A
6. DEMOLISH EXG LOW HEIGHT GARDEN EDGE
7. DEMOLISH EXG EXTERNAL STAIRS
8. EXCAVATE EXISTING ROCK
9. DEMOLISH EXG BBQ AND ALL HOUSING
10. DEMOLISH EXG LOW HEIGHT WALL
11. DEMOLISH EXG DISH DRAIN
12. DEMOLISH EXG INTERNAL STAIR



NOTES

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LEGEND / KEY

	EXISTING WALL
	DEMOLISHED WALL



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

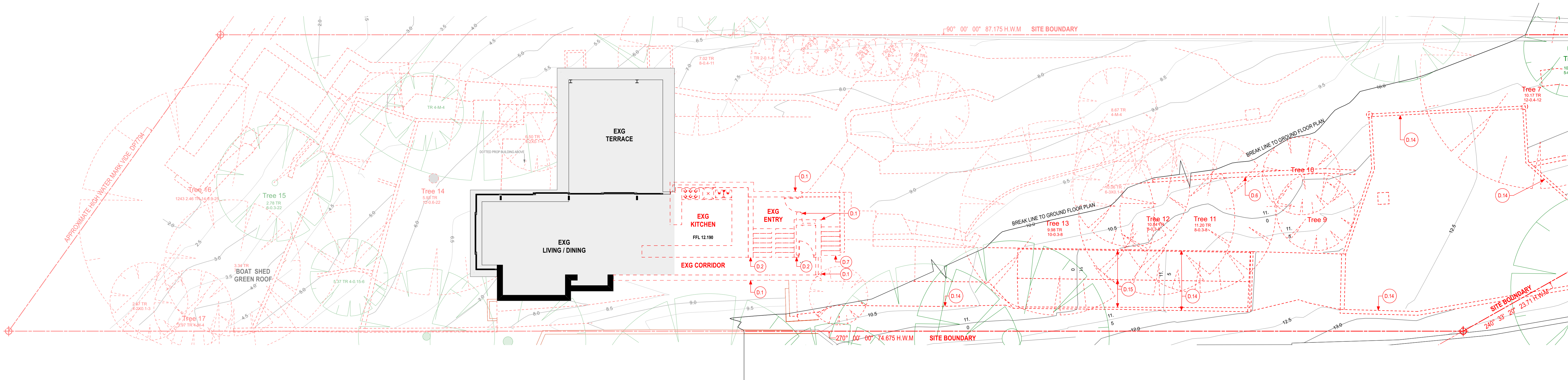
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
DEMOLITION PLANS - LOWER GROUND + GROUND

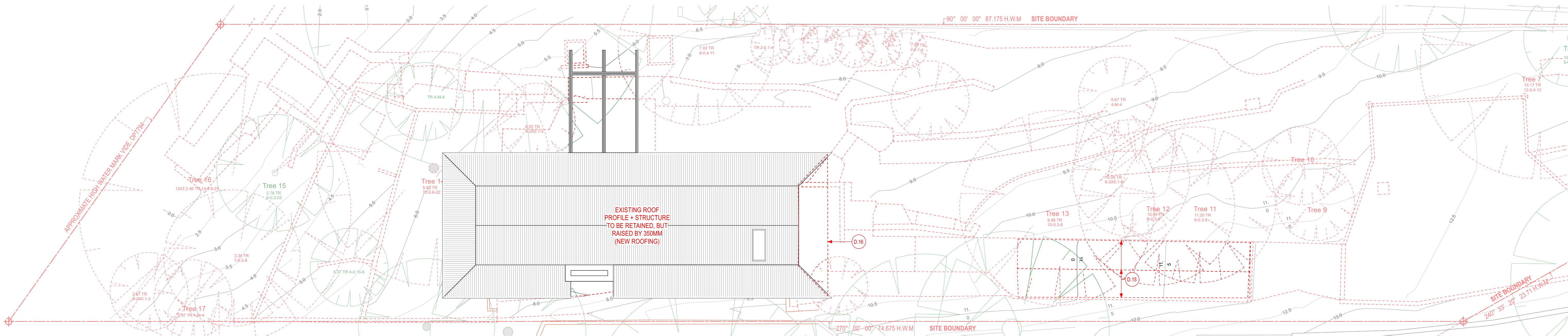
Job Number:
2130
Scale:
1:100
Plot Date:
27/9/22

Drawing Status:
DA
Drawing No:
DA_004
Drawn By:
LR
Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



1 DEMOLITION PLAN_EXISTING FIRST FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING ROOF PLAN
Scale: 1:100

DEMOLITION NOTES

1. DEMOLISH EXG EXTERNAL WALL AND ALL OPENINGS. EXTENT AS SHOWN ON DEMOLITION PLAN
2. DEMOLISH EXG INTERNAL WALL AND ALL OPENINGS. EXTENT AS SHOWN ON DEMOLITION PLAN
3. N/A
4. N/A
5. N/A
6. DEMOLISH EXG LOW HEIGHT GARDEN EDGE
7. DEMOLISH EXG EXTERNAL STAIRS
8. N/A
9. N/A
10. N/A
11. N/A
12. N/A
13. N/A
14. DEMOLISH EXG CONCRETE DRIVEWAY AND PATH
15. DEMOLISH EXG CARPORT ROOF STRUCTURE
16. DEMOLISH PORTION OF METAL ROOF TO EXTEND



NOTES

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LEGEND / KEY

- EXISTING WALL
- DEMOLISHED WALL



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
DEMOLITION PLANS - LEVEL 01 + ROOF

Job Number:

2130

Scale:

1:100

Plot Date:

27/9/22

Drawing Status:

DA

Drawing No:

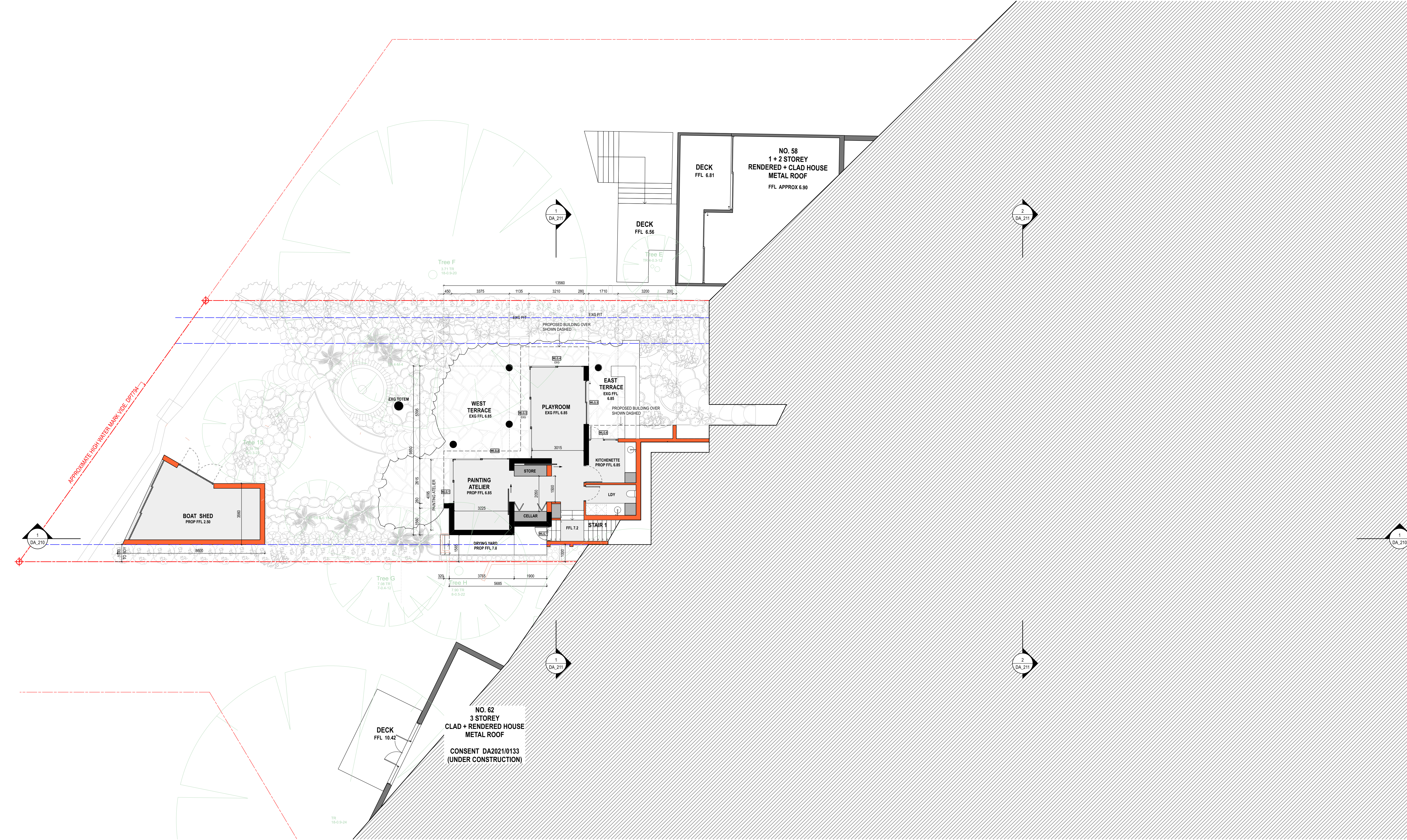
DA_005

Drawn By:

LR

Revision:

A



5m 1m 2m 5m 10m

NOTES

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LEGEND / KEY

EXISTING WALL

NEW WALL

EXISTING TREE

AWN
BDY
BAL 1.2...
BLK 1.2...
BRK 1.2...
BG
BF
BR
BY
CLA 1.2...
CONC 1.2...
DP
EXG

AWNING
BOUNDARY
BALUSTRADE TYPE 1.2...
BLOCKWORK TYPE 1.2...
BRICKWORK TYPE 1.2...
BOX GUTTER
BIFOLDING
BRICK FINISH
BALCONY
CLADDING TYPE 1.2...
CONCRETE FINISH TYPE 1.2...
DOWNPIPE
EXISTING

EG
FAC
FB1.2...
FC
FFL
FNC1.2...
FNCIP
FP
GDR
GTP
HP
HR1.2...
LP

EAVES GUTTER
FASCIA
FACE BRICK TYPE 1.2...
FIBRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
FIXED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB
MRS
PAR
PF
PT
RWH
RWT
SCM1.2...
SKL
SL
STC
T
TD

MAILBOX
METAL ROOF SHEETING
PARAPET
PAINT FINISH
PLANTER
RAINWATER HEAD
RAINWATER TANK
SCREEN TYPE 1.2...
SKYLIGHT
SLIDING
STONE CLADDING
TIMBER
TIMBER DOOR

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
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TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

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TIMBER POST
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TIMBER FRAMED WINDOW

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TIMBER POST
TREE
TIMBER FRAMED WINDOW

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TIMBER POST
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TIMBER FRAMED WINDOW

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TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
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TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
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TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
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TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
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TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED LOWER GROUND FLOOR PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

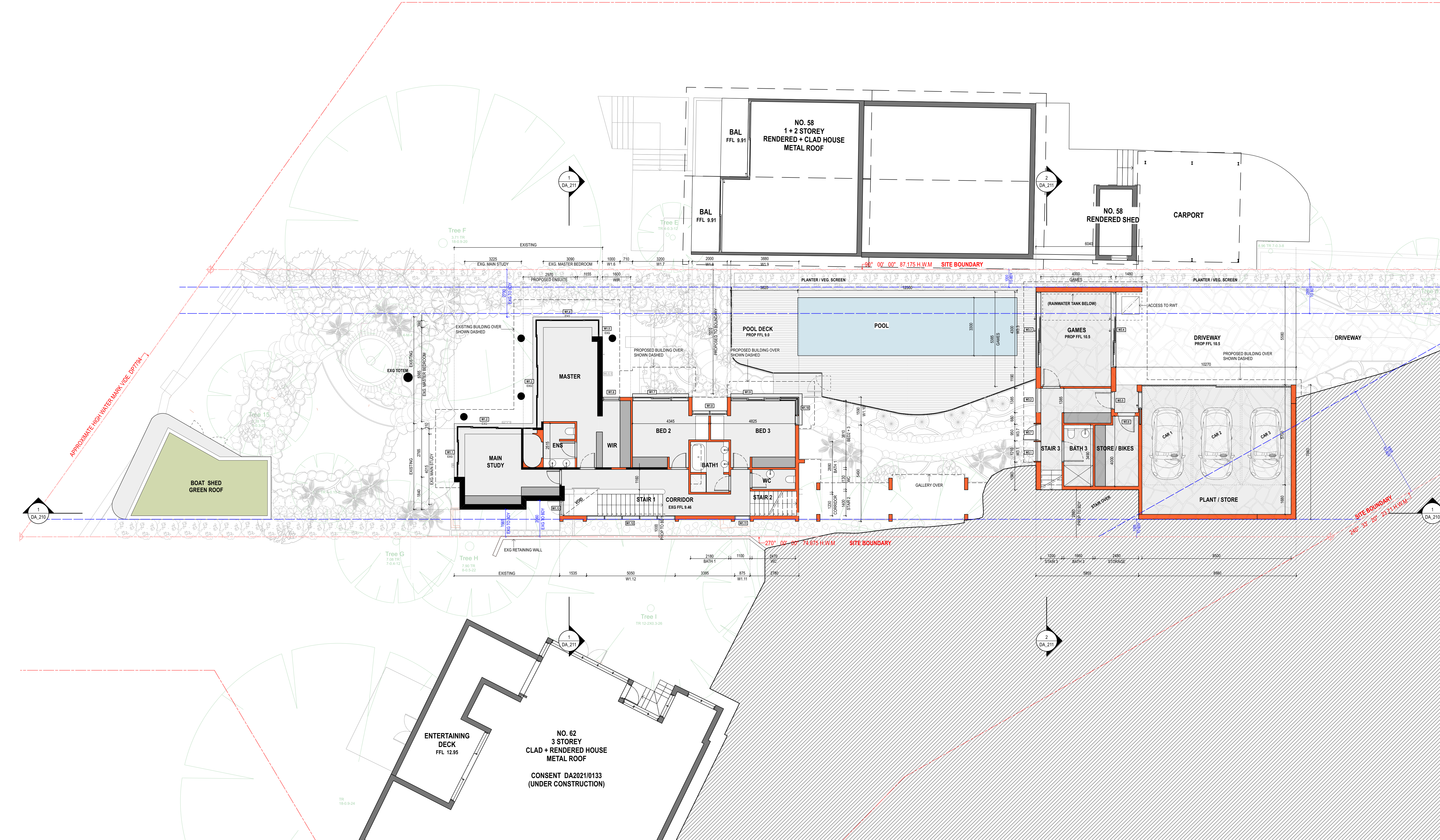
Drawing Status:
DA

Drawing No:
DA_100

Drawn By:
LR

Revision:
A

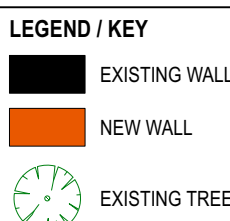
nominated architect: Dominic Bennett 7365 (NSW)



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION



AWN
BDY
BAL 1.2...
BLK 1.2...
BRK 1.2...
BG
BF
BR
BY
CLA 1.2...
CONC 1.2...
DP
EXG

AWNING
BOUNDARY
BALUSTRADE TYPE 1.2...
BLOCKWORK TYPE 1.2...
BRICKWORK TYPE 1.2...
BOX GUTTER
BIFOLDING
BRICK FINISH
BALCONY
CLADDING TYPE 1.2...
CONCRETE FINISH TYPE 1.2...
DOWNPIPE
EXISTING

EG
FAC
FB1.2...
FC
FFL
FNC1.2...
FNCIP
FP
GDR
GTP
HP
HR1.2...
LP

EAVES GUTTER
FASCIA
FACE BRICK TYPE 1.2...
FIBRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
FIXED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB
MRS
PAR
PF
PT
RWH
RWT
SCM1.2...
SKL
SL
STC
T
TD

MAILBOX
METAL ROOF SHEETING
PARAPET
PAINT FINISH
PLANTER
RAINWATER HEAD
RAINWATER TANK
SCREEN TYPE 1.2...
SKYLIGHT
SLIDING
STONE CLADDING
TIMBER
TIMBER DOOR

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED GROUND FLOOR PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

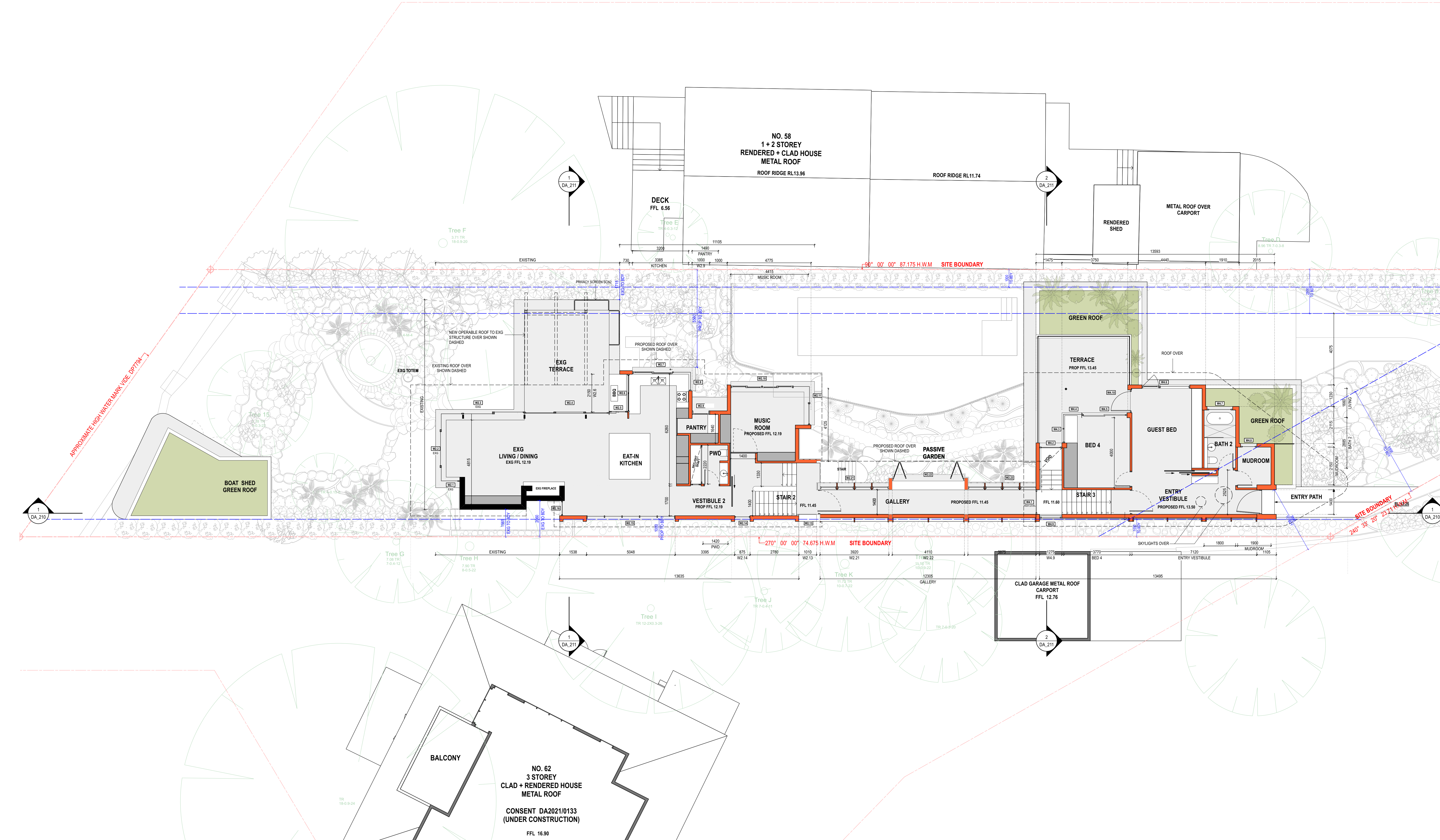
Drawing Status:
DA

Drawing No:
DA_101

Drawn By:
LR

Revision:
A

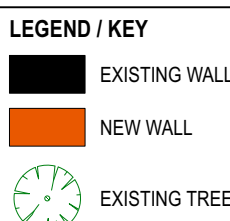
nominated architect: Dominic Bennett 7365 (NSW)



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION



AWN
BDY
BLK 1.2...
BLK 1.2...
BRK 1.2...
BG
BR
BY
CLA 1.2...
CONC 1.2...
DP
EXG

AWNING
BOUNDARY
BALUSTRADE TYPE 1.2...
BLOCKWORK TYPE 1.2...
BRICKWORK TYPE 1.2...
BOX GUTTER
BIFOLDING
BRICK FINISH
BALCONY
CLADDING TYPE 1.2...
CONCRETE FINISH TYPE 1.2...
DOWNPIPE
EXISTING

EG
FAC
FB1.2...
FC
FFL
FNC1.2...
FNC1P
FP
GDR
GTP
HP
HR1.2...
LP

EAVES GUTTER
FASCIA
FACE BRICK TYPE 1.2...
FIBRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
FIXED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB
MRS
PAR
PF
PT
RWH
RWT
SCM1.2...
SKL
SL
STC
T
TD

MAILBOX
METAL ROOF SHEETING
PARAPET
PAINT FINISH
PLANTER
RAINWATER HEAD
RAINWATER TANK
SCREEN TYPE 1.2...
SKYLIGHT
SLIDING
STONE CLADDING
TIMBER
TIMBER DOOR

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED FIRST FLOOR PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

Drawing Status:
DA

Drawing No:
DA_102

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

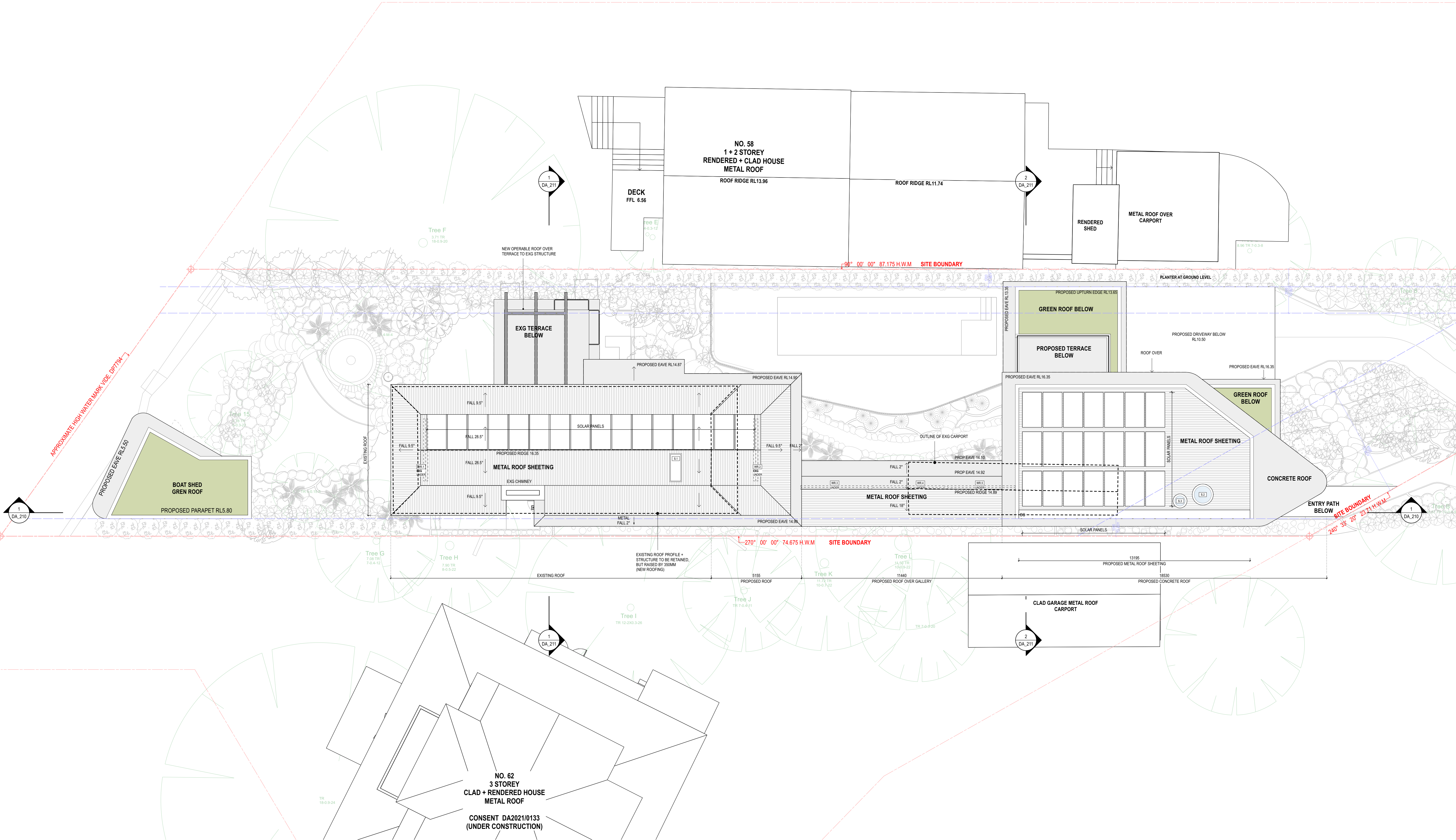
Drawing Status:
DA

Drawing No:
DA_102

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY	
AWN	AWNING
BDY	BOUNDARY
BAL 1.2...	BALUSTRADE TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...
BRK 1.2...	BRICKWORK TYPE 1.2...
BG	BOX GUTTER
BF	BI-FOLDING
BR	BRICK FINISH
BY	BALCONY
CLA 1.2...	CLADDING TYPE 1.2...
CONC 1.2...	CONCRETE FINISH TYPE 1.2...
DP	DOWNPIPE
EXG	EXISTING
EG	EAVES GUTTER
FAC	FASCIA
FB1.2...	FACE BRICK TYPE 1.2...
FC	FIBRE CEMENT CLADDING
FFL	FINISHED FLOOR LEVEL
FNC1.2...	FENCE TYPE 1.2...
FNCIP	POOL FENCE
FP	FIXED PANEL
GDR	GARAGE DOOR
GTP	POOL GATE
HP	HIGH POINT
HR1.2...	HANDRAIL TYPE 1.2...
LP	LOW POINT

MB	MAILBOX	TP	TIMBER POST
MRS	METAL ROOF SHEETING	TR	TREE
PAR	PARAPET	TW	TIMBER FRAMED WINDOW
PF	PAINT FINISH		
PT	PLANTER		
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
STC	STONE CLADDING		
T	TIMBER		
TD	TIMBER DOOR		



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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED ROOF PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

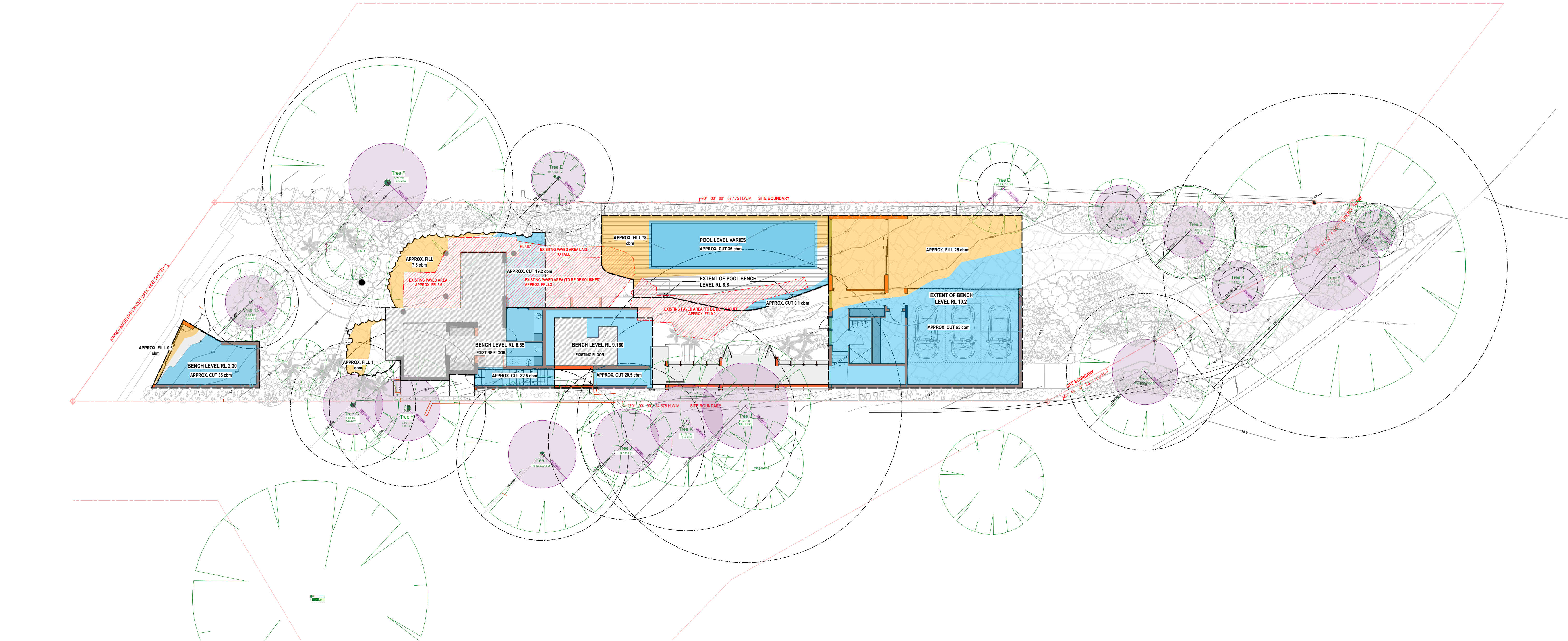
Drawing Status:
DA

Drawing No:
DA_103

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY	
	PROPOSED CUT
	PROPOSED FILL
	EXISTING PAVED AREA TO BE REMOVED
	EXISTING FLOOR LEVEL TO BE RETAINED
	TPZ
	SRZ



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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CUT AND FILL PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

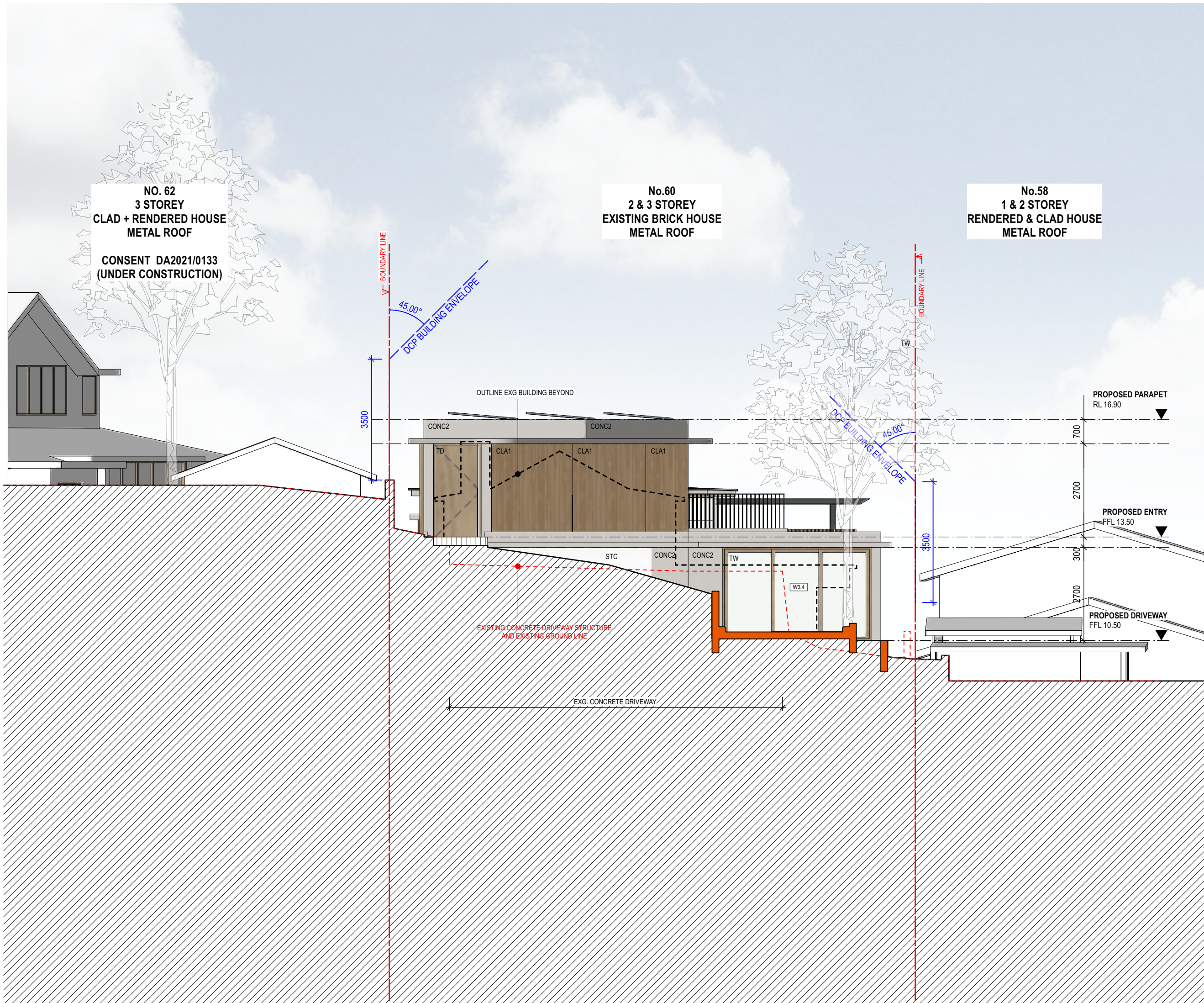
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DA

Drawing No:
DA_112

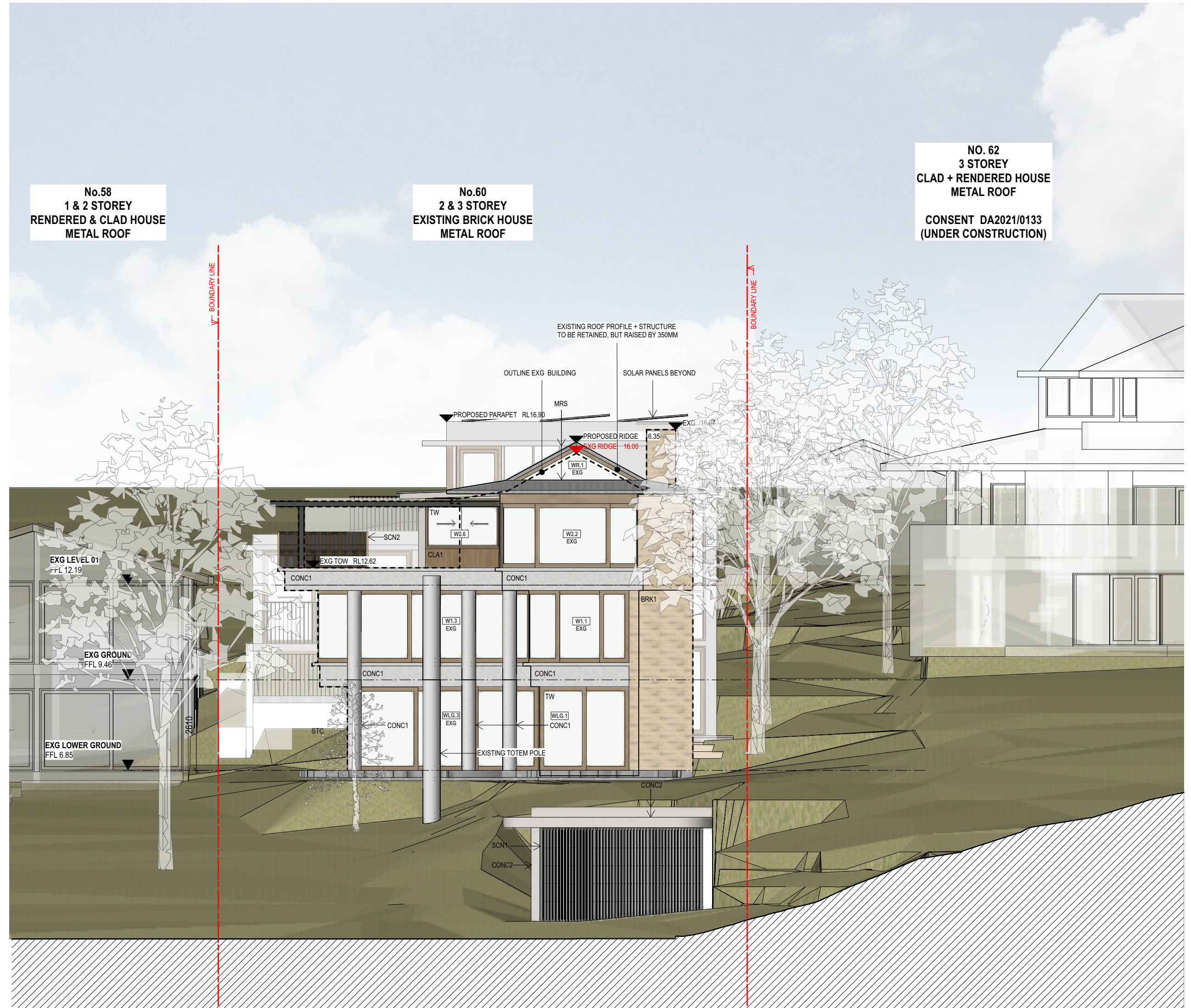
Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



1 East Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY			
AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC1.2...	FENCE TYPE 1.2...
BF	BI-FOLDING	FNCIP	POOL FENCE
BR	BRICK FINISH	FP	FIXED PANEL
BY	BALCONY	GDR	GARAGE DOOR
CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT
DP	DOWNPIPE	HR1.2...	HANDRAIL TYPE 1.2...
EXG	EXISTING	LP	LOW POINT
MB	MAILBOX	MB	MAILBOX
MRS	METAL ROOF SHEETING	PAR	PARAPET
PF	PAINT FINISH	PF	PAINT FINISH
PT	PLANTER	RWH	RAINWATER HEAD
RWT	RAINWATER TANK	SCM1.2...	SCREEN TYPE 1.2...
SKL	SKYLIGHT	SKL	SKYLIGHT
SL	SLIDING	SL	SLIDING
STC	STONE CLADDING	STC	STONE CLADDING
T	TIMBER	T	TIMBER
TD	TIMBER DOOR	TD	TIMBER DOOR
TP	TIMBER POST	TP	TIMBER POST
TR	TREE	TR	TREE
TW	TIMBER FRAMED WINDOW	TW	TIMBER FRAMED WINDOW



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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
EAST + WEST ELEVATIONS

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

Drawing Status:
DA

Drawing No:
DA 200

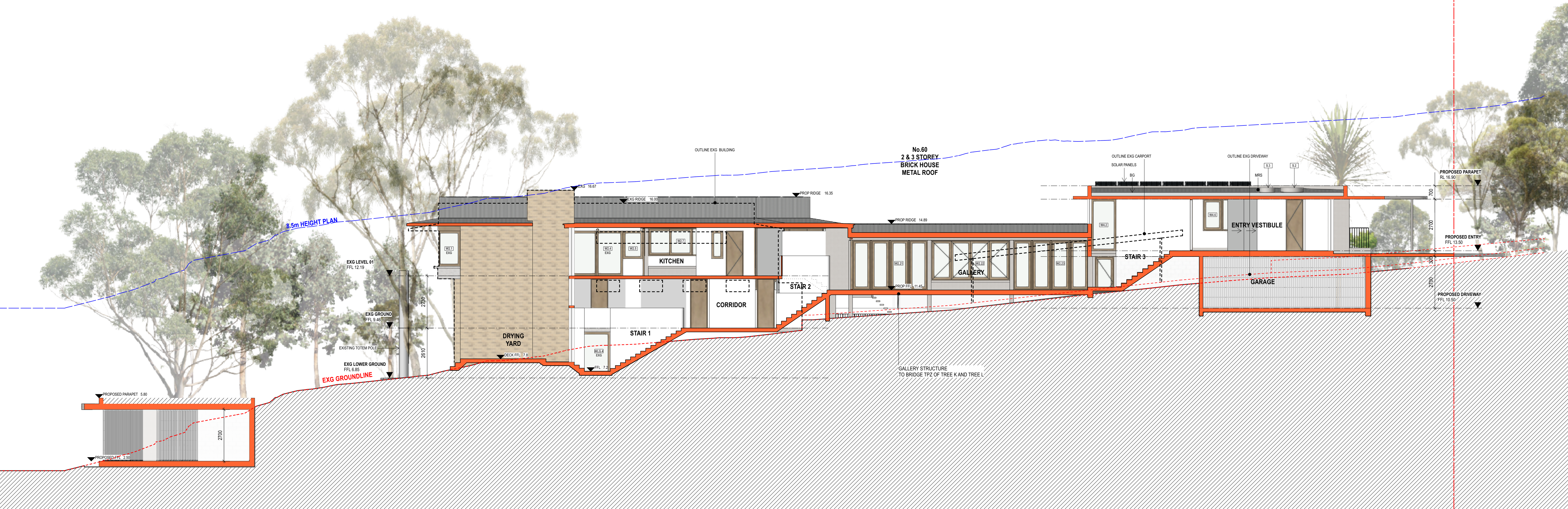
Revision:
A

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)

ANGLED BOUNDARY LINE



1 SECTION A
Scale: 1:100



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN
BDY
BAL 1.2...
BLK 1.2...
BRK 1.2...
BG
BF
BR
BY
CLA 1.2...
CONC 1.2...
DP
EXG

AWNING
BOUNDARY
BALUSTRADE TYPE 1.2...
BLOCKWORK TYPE 1.2...
BRICKWORK TYPE 1.2...
BOX GUTTER
BIFOLDING
BRICK FINISH
BALCONY
CLADDING TYPE 1.2...
CONCRETE FINISH TYPE 1.2...
DOWNPIPE
EXISTING

EG
FAC
FB1.2...
FC
FFL
FNC1.2...
FNCIP
FP
GDR
GTP
HP
HR1.2...
LP

EAVES GUTTER
FASCIA
FACE BRICK TYPE 1.2...
FIBRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
FIXED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB
MRS
PAR
PF
PT
RWH
RWT
SCM1.2...
SKL
SL
STC
T
TD

MAILBOX
METAL ROOF SHEETING
PARAPET
PAINT FINISH
PLANTER
RAINWATER HEAD
RAINWATER TANK
SCREEN TYPE 1.2...
SKYLIGHT
SLIDING
STONE CLADDING
TIMBER
TIMBER DOOR

TP
TR
TW

TIMBER POST
TREE
TIMBER FRAMED WINDOW



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
LONGITUDINAL SECTION

Job Number:
2130

Scale:
1:100

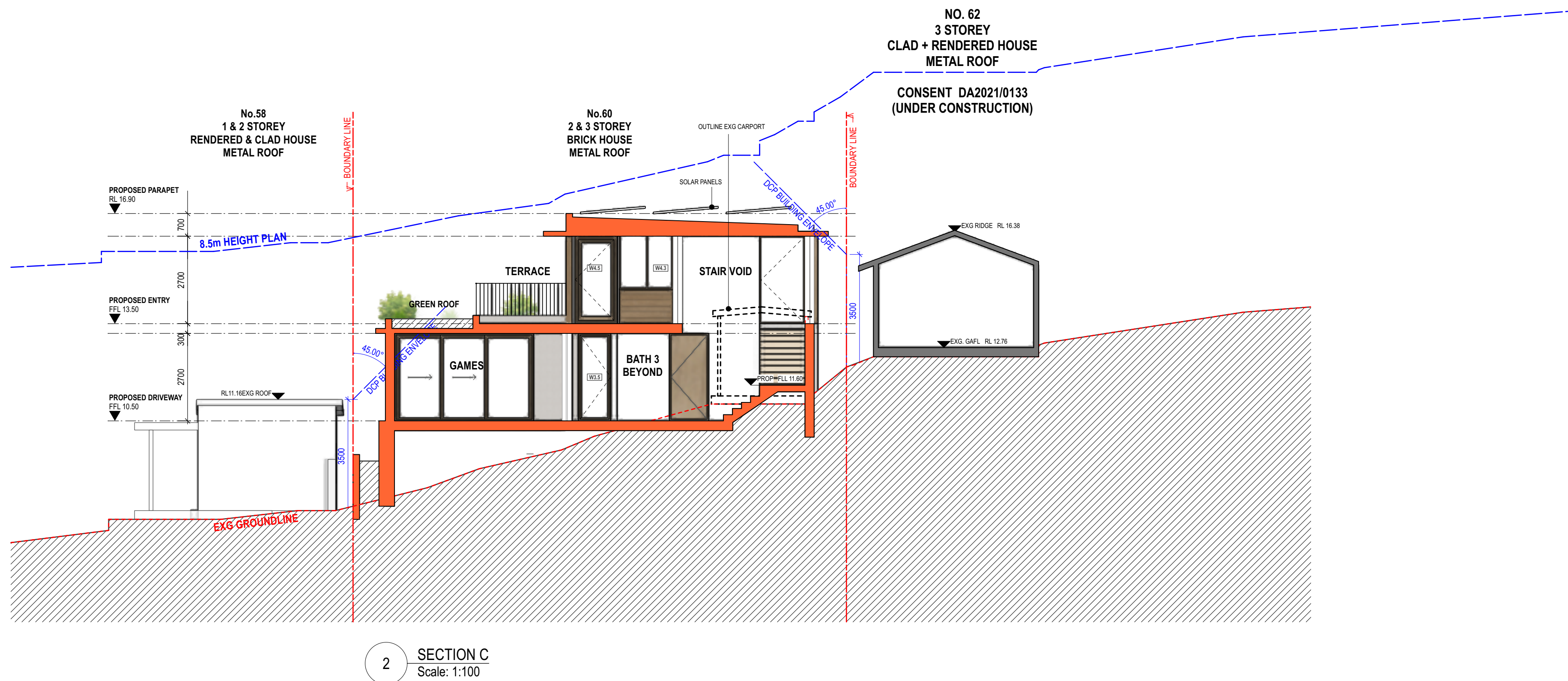
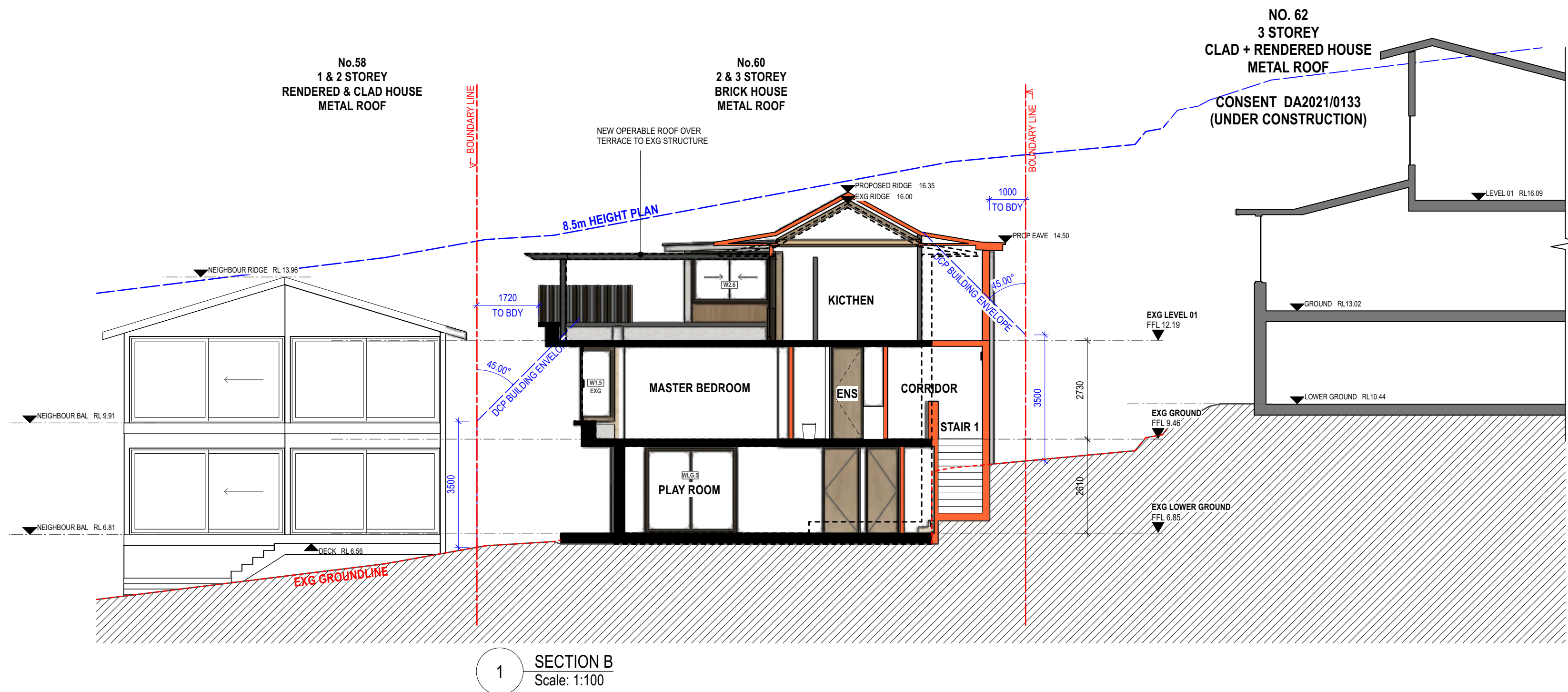
Plot Date:
27/9/22

Drawing Status:
DA

Drawing No:
DA 210

Drawn By:
LR

Revision:
A

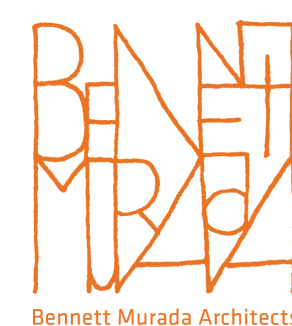


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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY							
AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	TP	TIMBER POST
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TR	TREE
BAL 1.2...	BALUSTRADE TYPE 1.2...	FBI 2...	FACE BRICK TYPE 1.2...	PAR	PARAPET	TW	TIMBER FRAMED WINDOW
BLK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING	PF	PAINT FINISH		
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER		
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BF	BI-FOLDING	FNC/P	POOL FENCE	RWT	RAINWATER TANK		
BR	BRICK FINISH	FP	FIXED PANEL	SCM 1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	GDR	GARAGE DOOR	SKL	SKYLIGHT		
CLA 1.2...	CLADDING TYPE 1.2...	GT/P	POOL GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	STC	STONE CLADDING		
DP	DOWNPIPE	HR 1.2...	HANDRAIL TYPE 1.2...	T	TIMBER		
EXG	EXISTING	LP	LOW POINT	TD	TIMBER DOOR		



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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CROSS SECTIONS

Job Number:
2130

Scale:
1:100

Plot Date:
27/9/22

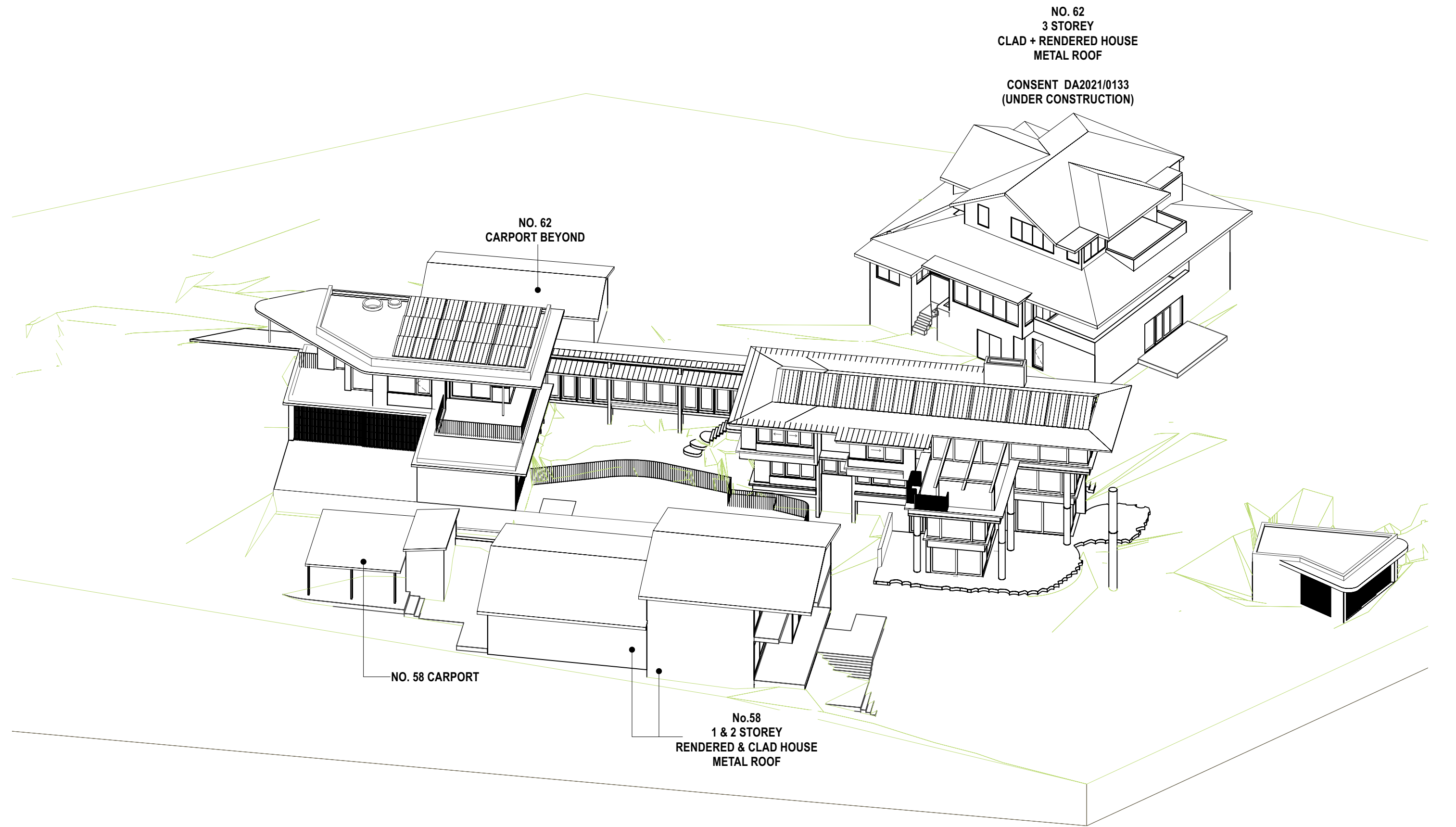
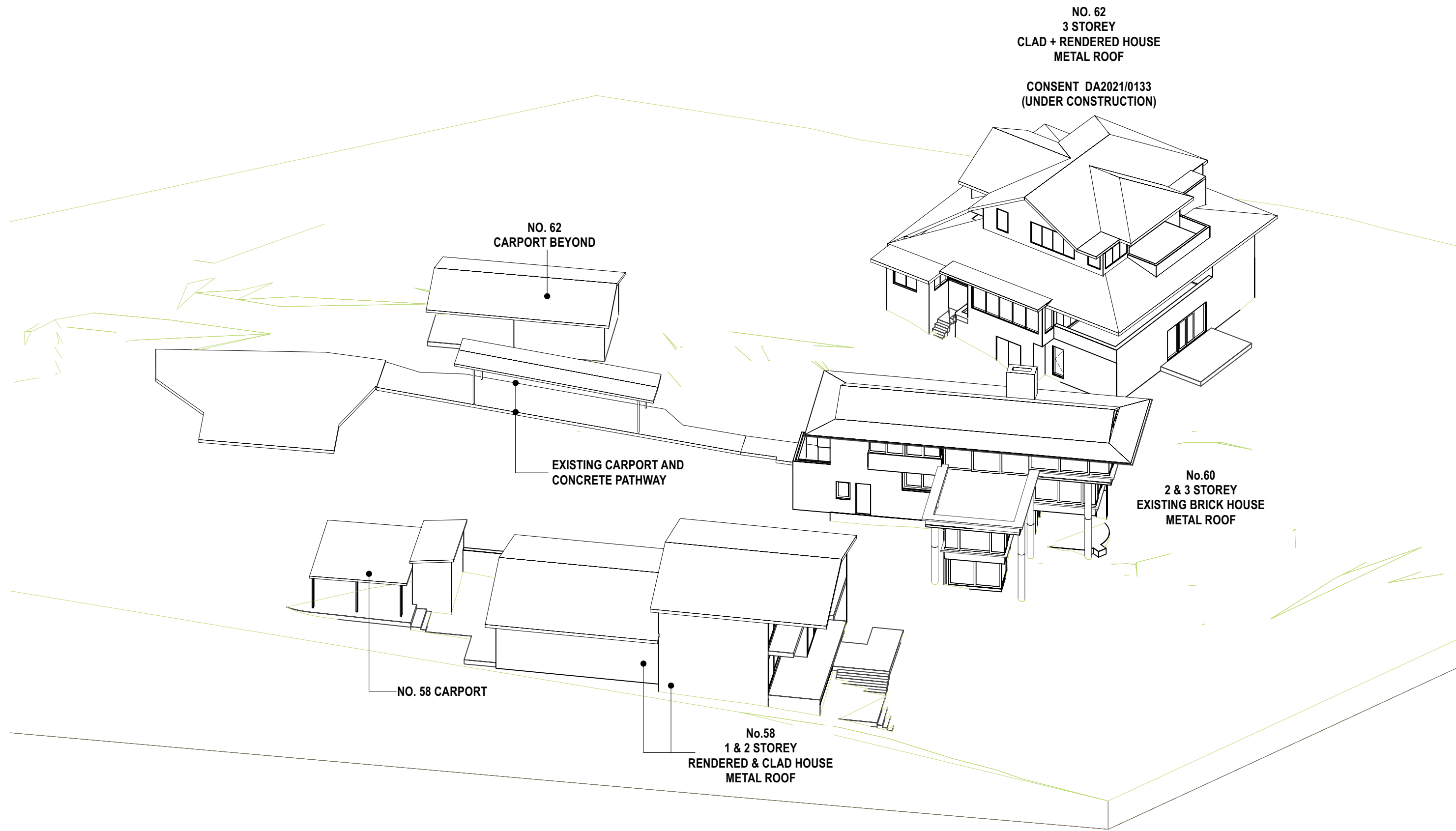
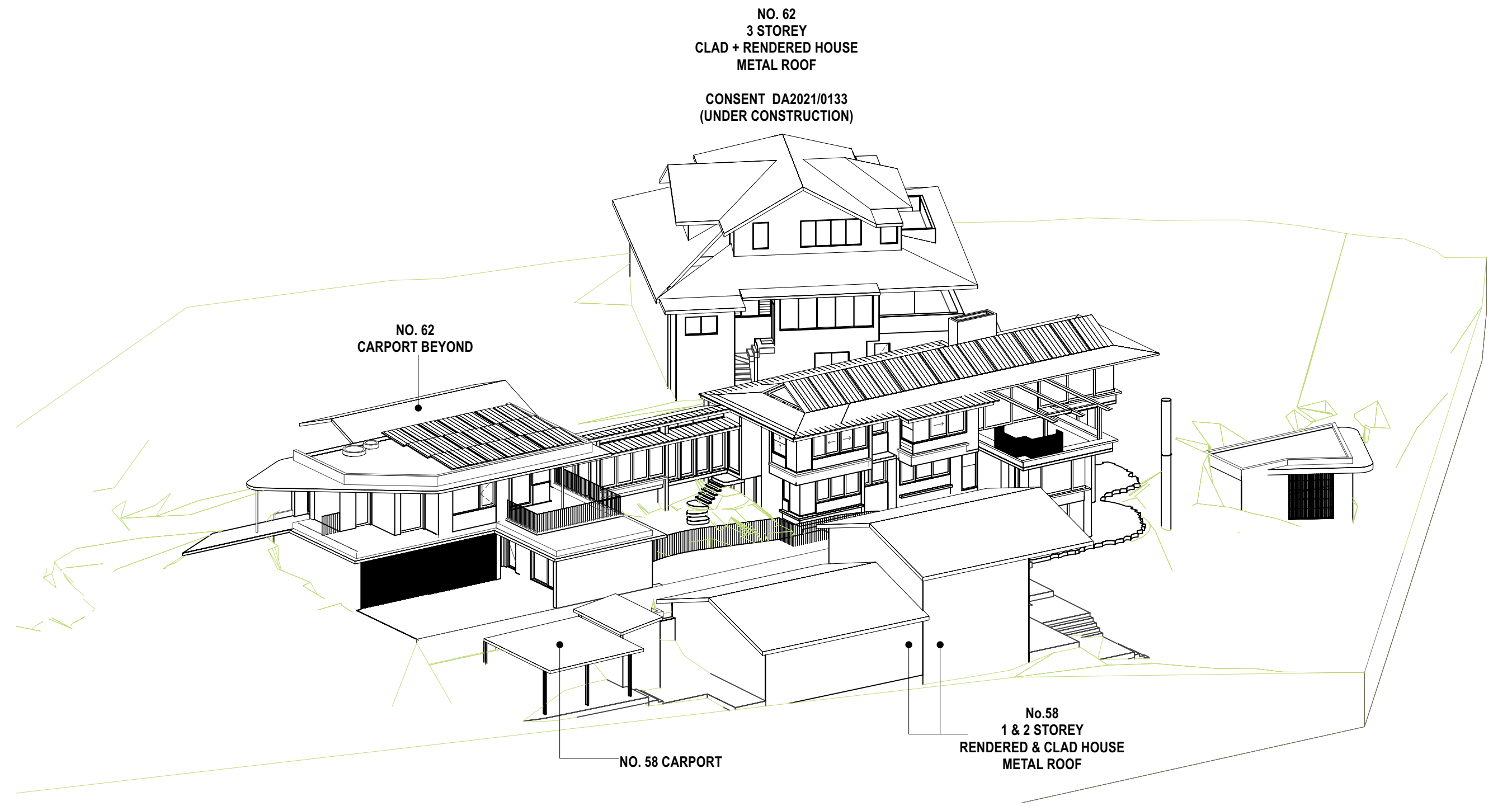
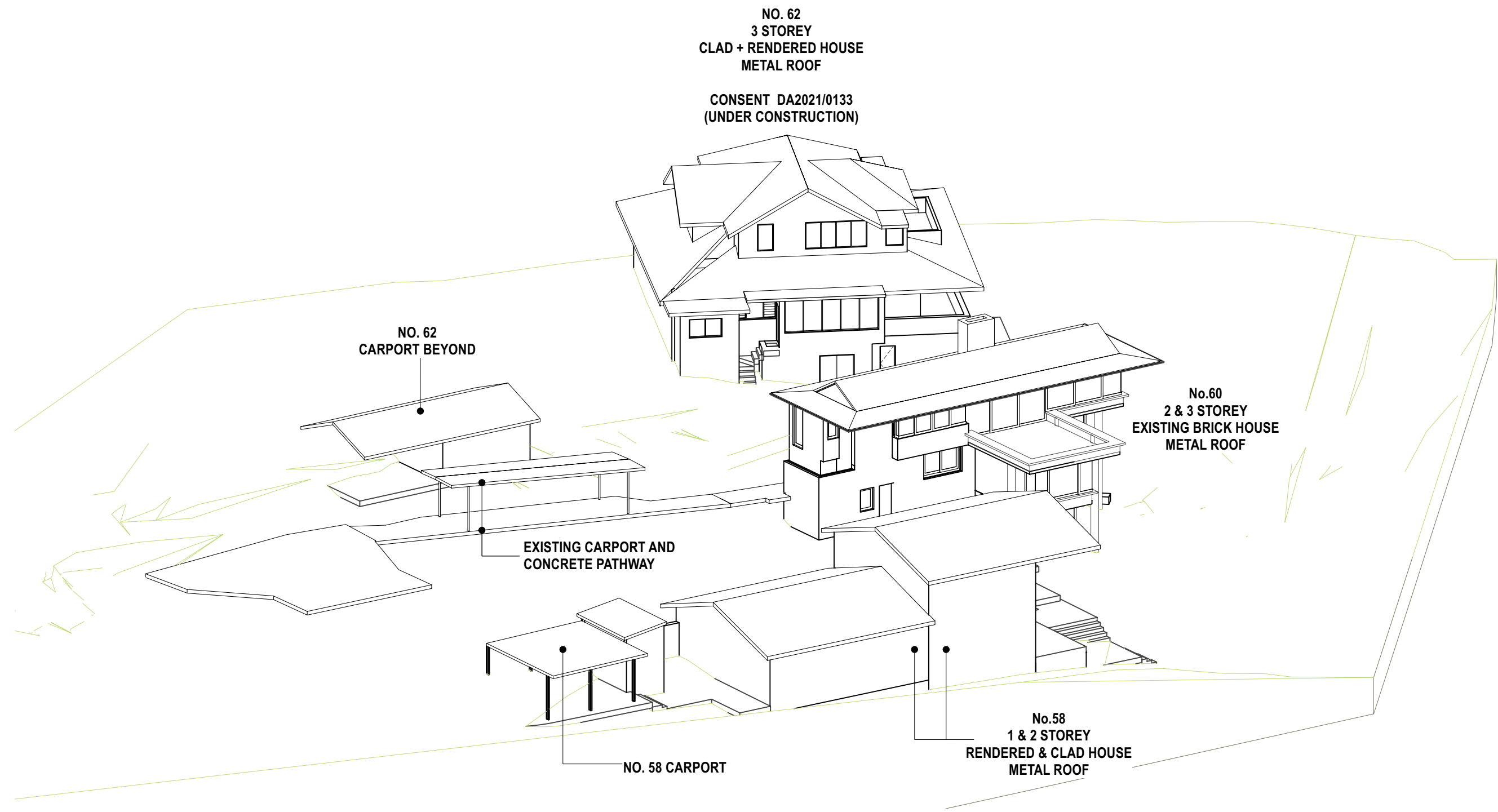
Drawing Status:
DA

Drawing No:
DA 211

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130

Scale:
NTS

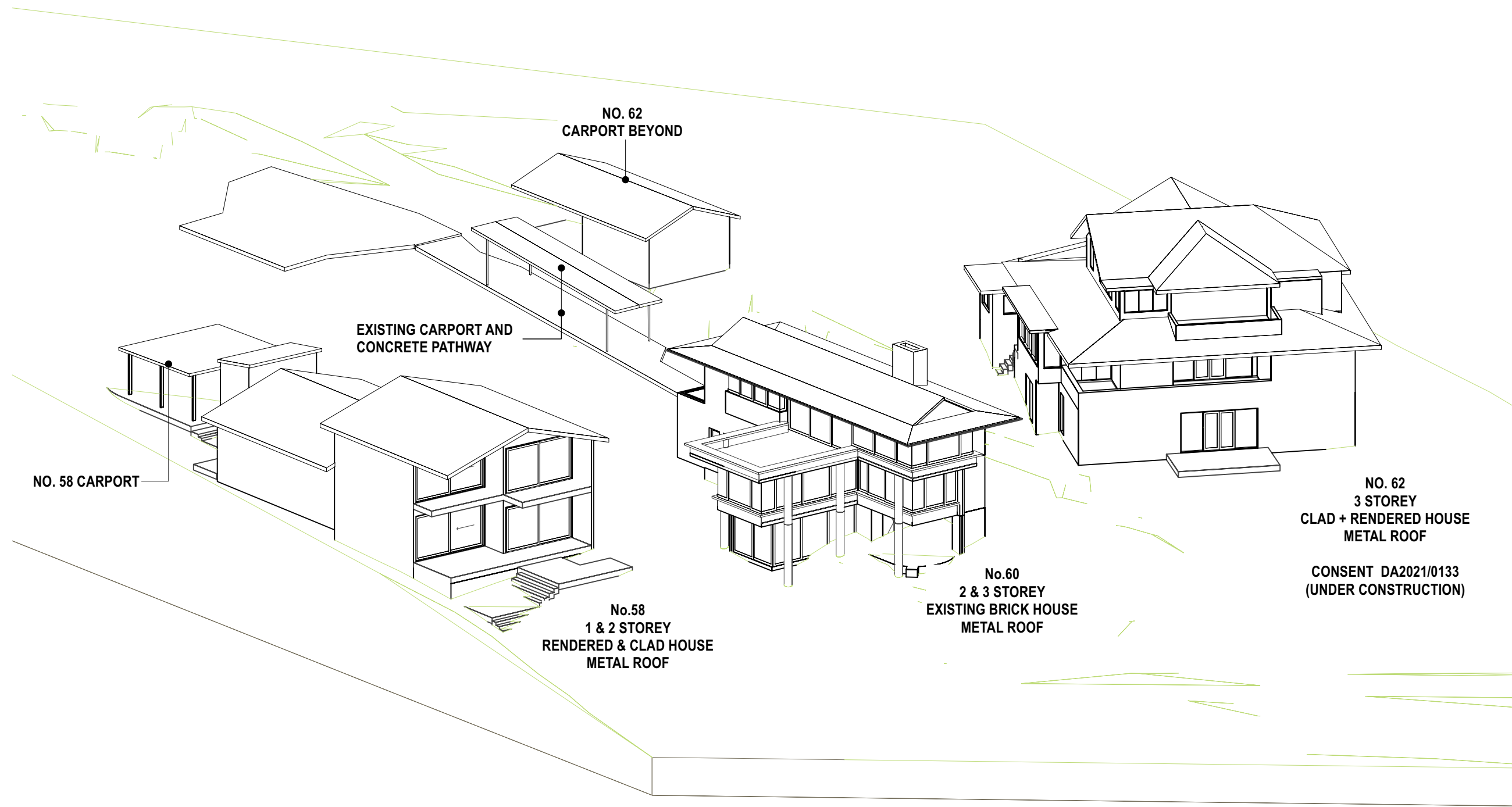
Plot Date:
27/9/22

Drawing Status:
DA

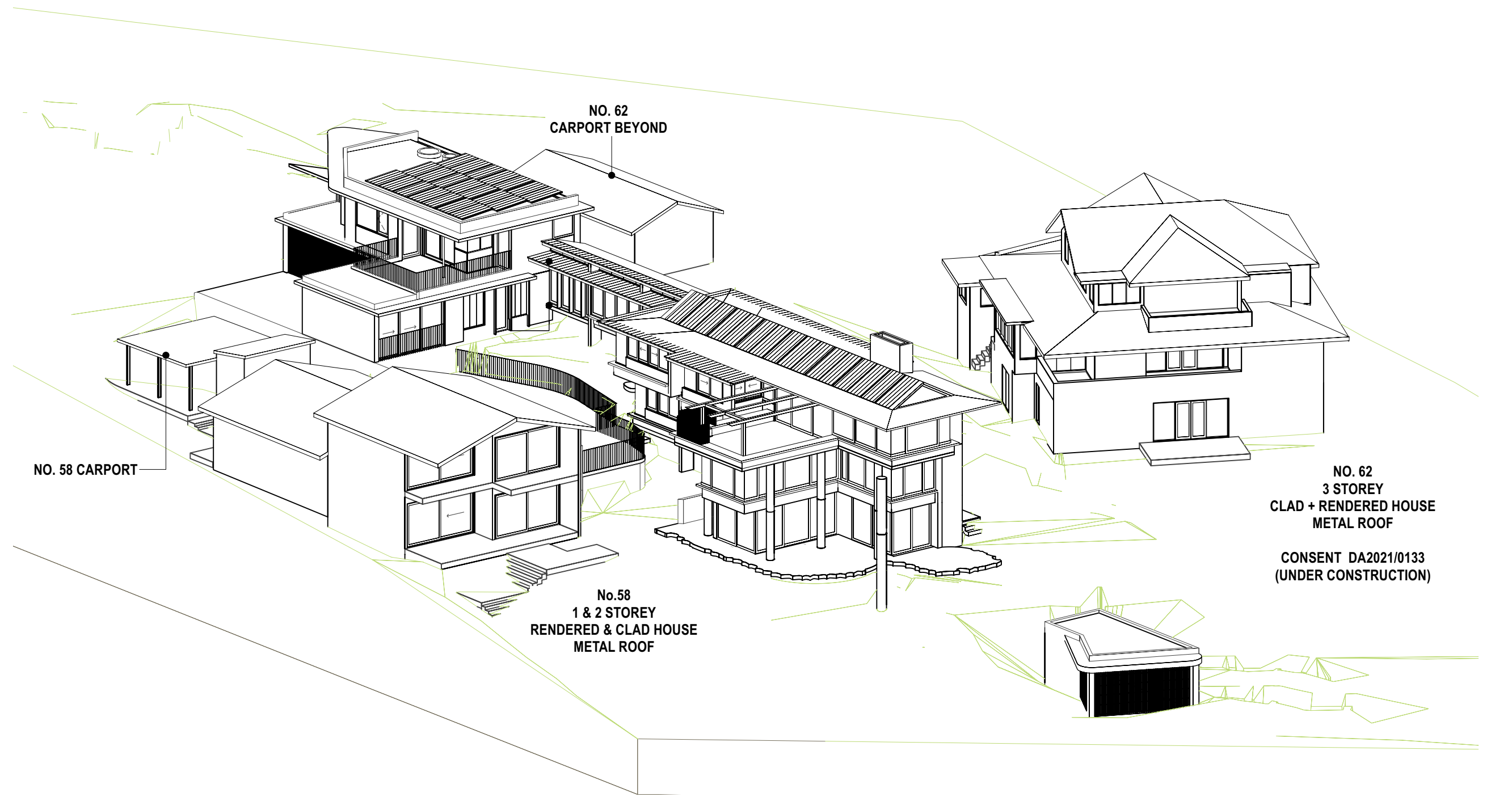
Drawing No:
DA_301

Drawn By:
AH

Revision:
A



1 3PM - JUNE 21 - EXISTING
Scale: NTS



2 3PM - JUNE 21 - PROPOSED
Scale: NTS

NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY
Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130
Scale:
NTS
Plot Date:
27/9/22
Drawing Status:
DA
Drawing No:
DA_302
Drawn By:
AH
Revision:
A
nominated architect: Dominic Bennett 7365 (NSW)



BRK1_ EXISTING BRICKWORK



CONC1 _ EXISTING CONCRETE



MRS1 _ METAL ROOF SHEETING



CLA1 _ TIMBER CLADDING



SCN 1 _ TIMBER SCREENS



TM + GL1 _ TIMBER WINDOWS + CLEAR GLASS



TM + GL2 _ TIMBER WINDOWS + PRIVACY GLASS



CONC2 _ NEW OFF-FORM CONCRETE

NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	27/9/22	AH	DEVELOPMENT APPLICATION

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SCHEDULES OF COLOURS AND MATERIALS

Job Number:
2130

Scale:
NTS

Plot Date:
27/9/22

Drawing Status:
DA

Drawing No:
DA_500

Drawn By:
LR

Revision:
A

nominated architect: Dominic Bennett 7365 (NSW)