

FOR DA/CC APPROVAL
SITING PLANS NOT TO BE USED FOR CONSTRUCTION PURPOSES
SITE SOIL CLASSIFICATION P CLASS SITE, M CLASS SLAB AS PER GEOTECH REPORT 15.12.2020
NATURAL GAS YES
BUSH FIRE PRONE AREA NSW - RFS CONFIRMED IT IS IN A FIRE PRONE AREA OF B.A.L. - 29
SEWER MAIN POSITION FRONT OF DWELLING TO THE STREET
OVERHEAD POWERLINE PROTECTION WORKS TO BE PERFORMED BY LOCAL SUPPLY AUTHORITY
SURFACE PICKUPS TO BE PROVIDED WHERE REQUIRED. TO BE CONFIRMED ON SITE BY PLUMBER
POSITION OF STORMWATER DRAINAGE LINES AND DOWNPIPES INDICATED ARE APPROXIMATE ONLY. TO BE CONFIRMED ONSITE
90mm DIAMETER PVC DOWNPIEPES - CHARGED SYSTEM
INSULATION SARKING THROUGHOUT R VALUE TO EXTERNAL WALLS AS PER BASIX COMMITMENTS R VALUE TO CEILING AS PER BASIX COMMITMENTS
NBN NBN CONNECTION AS PER ESTATE REQUIREMENT
METER BOX LOCATION OF METER BOX TO BE DETERMINED BY ELECTRICIAN ON SITE DURING CONSTRUCTION STAGE

HAZARD NOTE:
LANDSLIDE RISK LAND AREA A - SLOPE <5



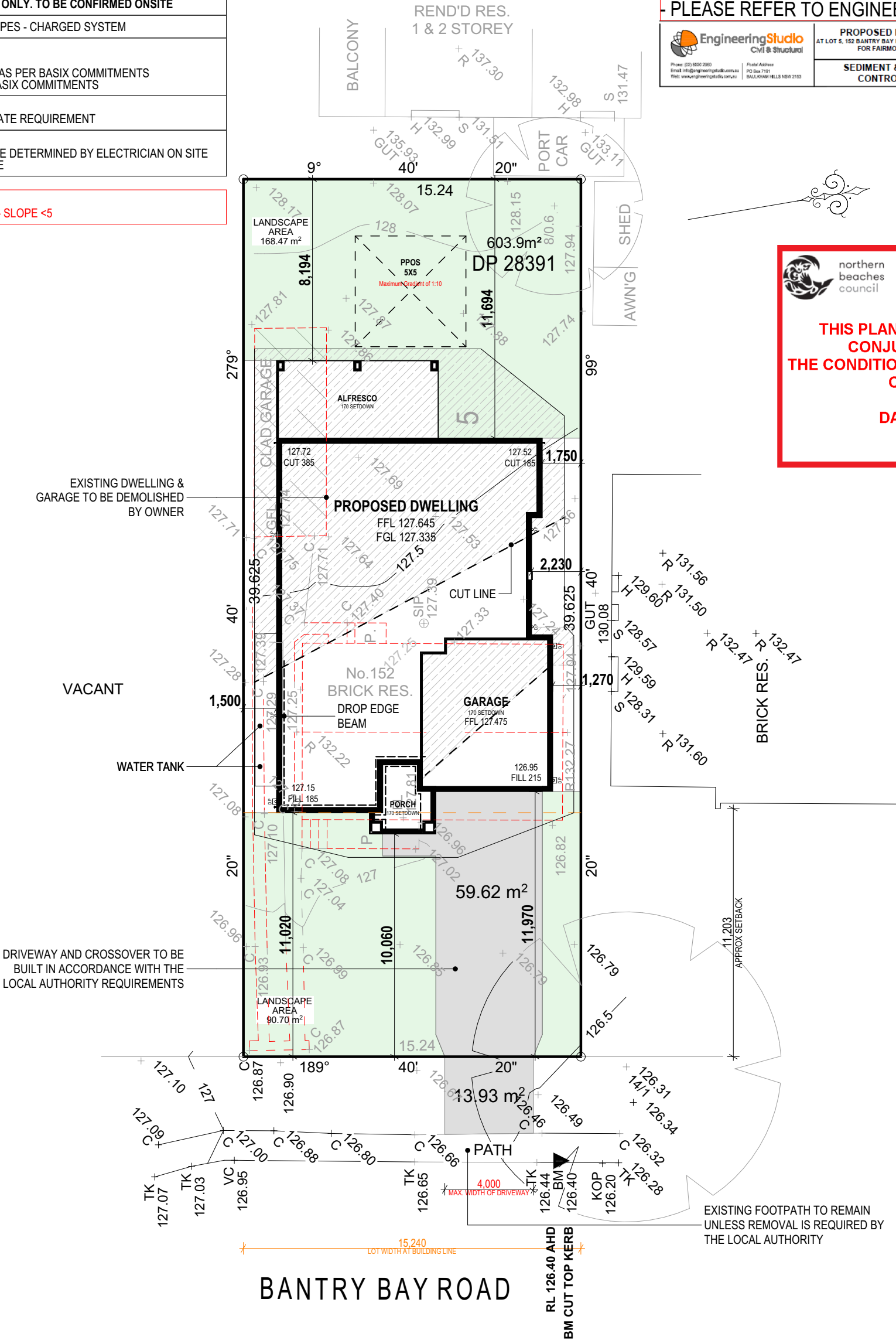
SURVEY LEGEND
BM - BENCH MARK
C - CONCRETE
ELEC - ELECTRICITY KIOSK
GB - GARDEN BED
GR - GRATE (PIT)
H - WINDOW HEADER
HYD - HYDRANT
KOP - KERB OUTLET POINT
LNT - KERB INLET PIT LINTEL
LP - LIGHT POLE
PC - PRAM CROSSING
S - WINDOW SILL
SIP - SEWER INSPECTION POINT
SMH - SEWER MANHOLE
SV - STOP VALVE
TEL - TELECOMMUNICATIONS PIT
TK - TOP KERB
VC - VEHICLE CROSSING
WM - WATER METER
5/0.3 - TREE 5m SPREAD 0.3m TRUNK

LOT 5, 152 BANTRY BAY ROAD, FRENCHS FORREST NSW DP 28391 NORTHERN BEACHES	
Area Calculations	
Room Name	Area
ALFRESCO	26.06
FIRST FLOOR	138.72
GARAGE	39.98
GROUND FLOOR	154.83
PORTICO	7.05
	366.64 m ²

SITE DEVELOPMENT CALCULATION			
Warringah Development Control Plan 2011 as amended 28 February 2020		LAND SIZE: 603.9m ² LOT WIDTH: 15.24m	
DA/CC	REQUIREMENT	ACTUAL	COMPLIANCE
FSR	0.55:1	0.46:1	YES
SITE COVER	N/A	N/A	N/A
LANDSCAPED AREA	40% 241.56m ²	42.9% 259.20m ²	YES
POS	75m ²	124.87m ²	YES
PPOS	4x6m 24m ²	5x5m 25m ²	YES

DRAFTING NOTES:
- PLEASE REFER TO ENGINEER'S HYDRAULIC PLANS

 Civil & Structural Phone: (02) 9200 2960 Email: info@engineeringstudio.com.au Web: www.engineeringstudio.com.au	PROPOSED RESIDENCE AT LOT 5, 152 BANTRY BAY ROAD, FRENCHS FORREST FOR FAIRMONT HOMES		JOB NUMBER: 210365	DWG NUMBER: C01.01
	SEDIMENT & EROSION CONTROL PLAN		DESIGNED BY: F.L.	DATE: APRIL 2021
			DRAWN BY: J.J.H.	SCALE: 1:200 U.N.D.



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/2461



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1/79 Lasso Road, Gregory Hills NSW 2557
02 4601 1981

DOUBLE STOREY DWELLING CLIENT SITING PLAN APPROVAL	
Signed	_____
Date	_____
GENERAL NOTES - TENDER DOCUMENT SHALL TAKE PREFERENCE TO THESE DRAWINGS - SCALING PLANS IS NOT RECOMMENDED - IN CASE OF DISCREPANCIES NOTIFY FAIRMONT HOMES NSW IMMEDIATELY	

LOCATION	LOT 5, 152 BANTRY BAY ROAD, FRENCHS FORREST NSW
DP	28391
CLIENT	GARY BAYRAMIAN & LENA NAZARIAN
JOB NUMBER	1876
LGA	NORTHERN BEACHES

Site Plan	
BELLEVUE 36	FRENCH PROVINCIAL
SHEET NO:	APPROVAL- 2
SCALE:	1:200 @ A3
DATE	Monday, 7 February 2022

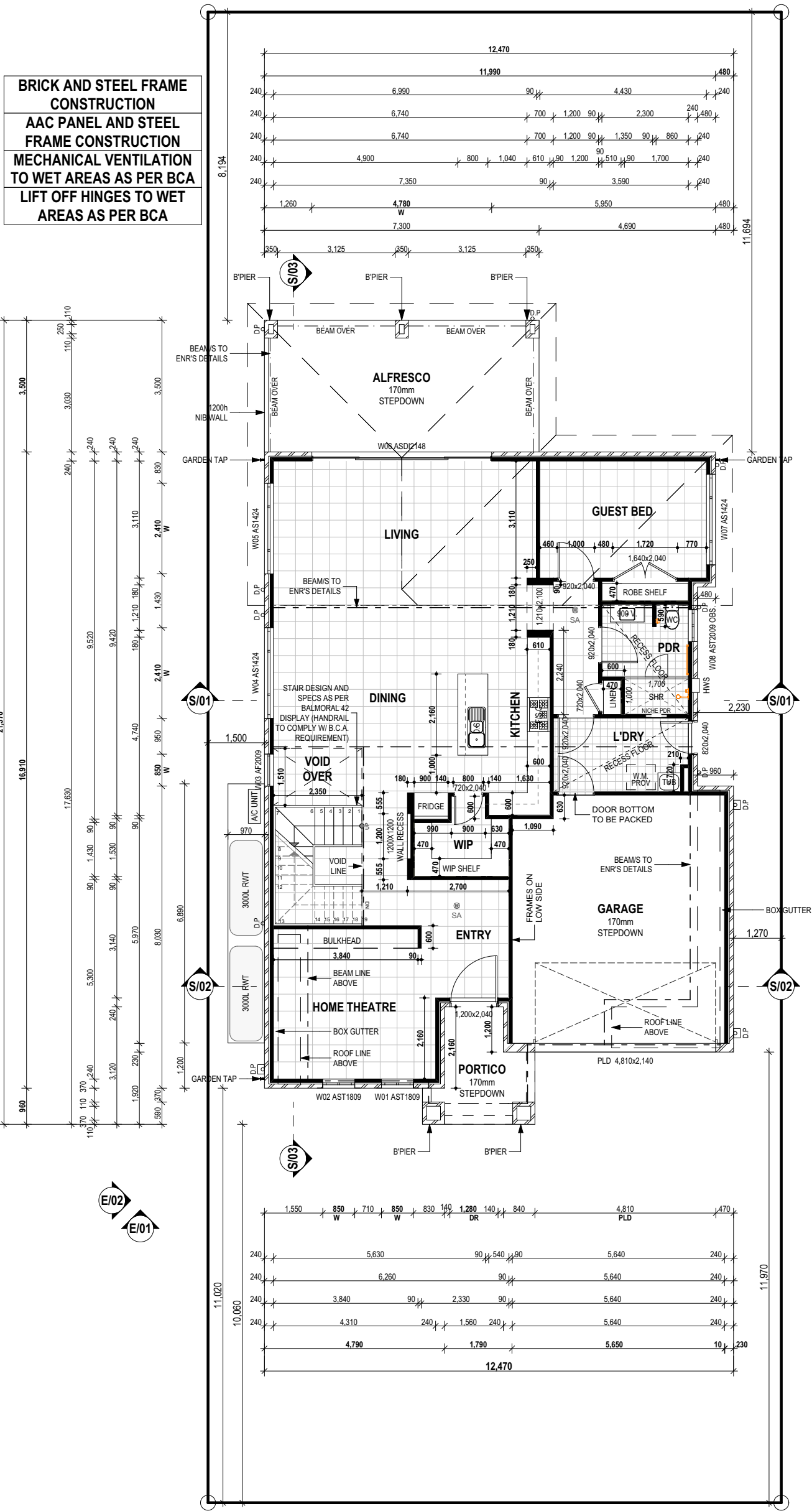
DATE - DESCRIPTION - INITIAL
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14/10/21 - OVERALL BUILDING/ CEILING HT. AMEND - SC
24/11/21 - FACADE WINDOWS AMENDMENT - AL



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Room Name	Area
ALFRESCO	26.06
FIRST FLOOR	138.72
GARAGE	39.98
GROUND FLOOR	154.83
PORTICO	7.05
366.64 m²	

NOTES:
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.) LOCATION.
REFER TO ENGINEERS PLANS AND SPECIFICATIONS FOR ALL STEEL BEAMS.
REFER TO TRUSS MANUFACTURERS PLANS AND SPECIFICATIONS FOR ALL TIMBER FRAME WORKS.
REFER TO A/C INSTALLERS AND/OR MANUFACTURERS SPECIFICATIONS AND DETAILS FOR A/C DUCT POSITION.

DOUBLE STOREY DWELLING CLIENT SITING PLAN APPROVAL

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LOCATION LOT 5, 152 BANTRY BAY ROAD,

FRENCHS FORREST NSW

DP 28391
CLIENT GARY BAYRAMIAN &
LENA NAZARIAN
JOB NUMBER 1876

LGA NORTHERN BEACHES

Ground Floor Plan

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 7

SCALE: 1:125 @ A3

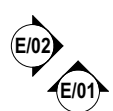
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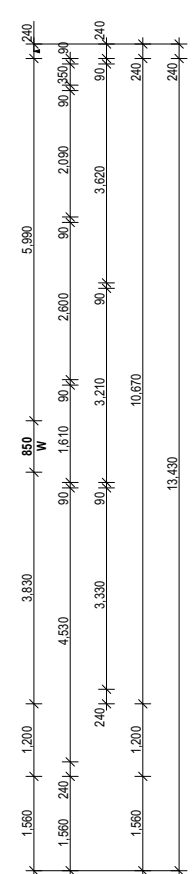
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DP 28391
CLIENT GARY BAYRAMIAN &
LENA NAZARIAN
JOB NUMBER 1876

DATE Monday, 7 February 2022

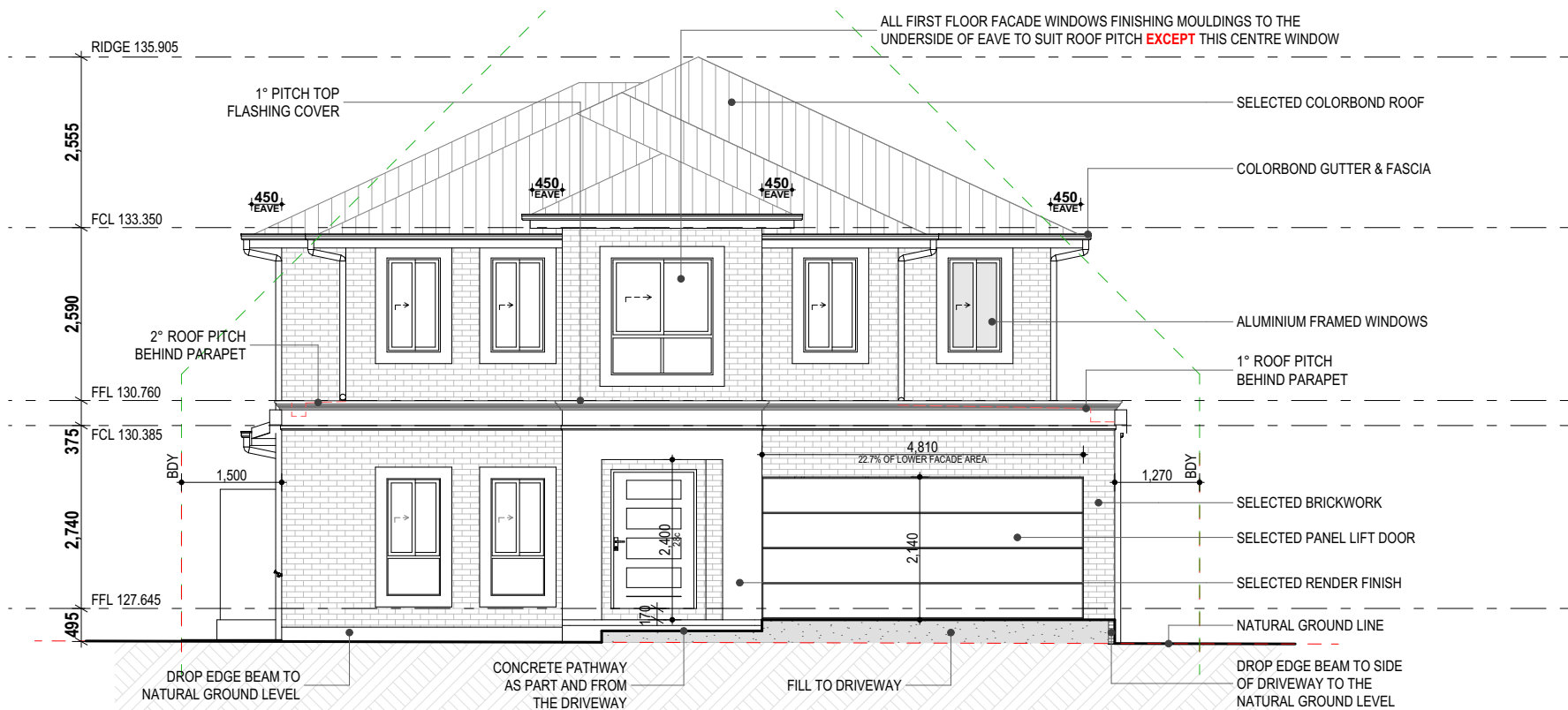


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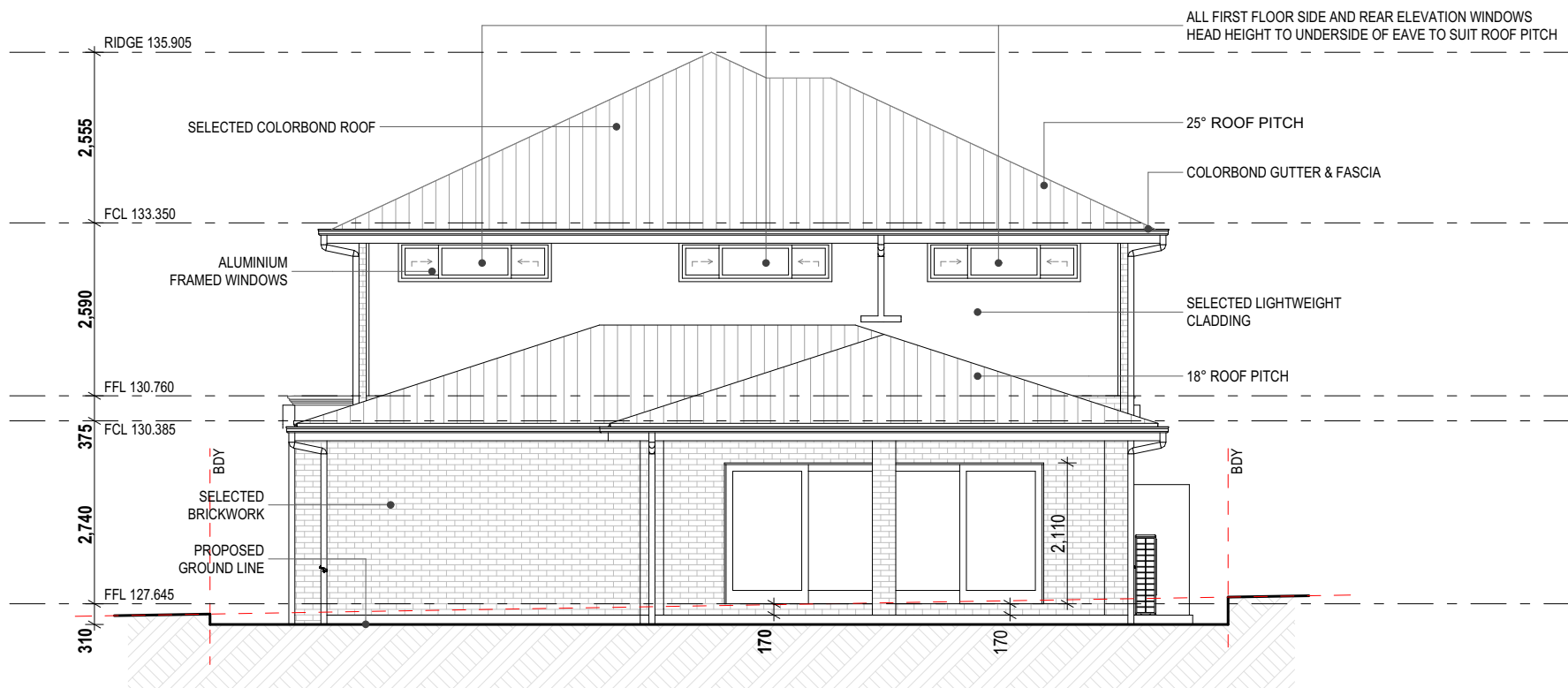
NOTE: ALL FIRST FLOOR BEDROOM WINDOWS WITH A SILL
HEIGHT LESS THAN 1700mm FROM THE FFL
REQUIRE THE OPENING TO BE RESTRICTED TO A MAX OF 125mm
IN ACCORDANCE WITH THE BCA.

ALL WINDOW HEAD HEIGHTS TO BE @ 2140mm FROM FL. U.N.O.



E/01 ELEVATION 01

1:100



E/03 ELEVATION 03

1:100

DOUBLE STOREY DWELLING
CLIENT SITING PLAN APPROVAL

Signed _____
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IMMEDIATELY

LOCATION LOT 5, 152 BANTRY BAY ROAD,

FRENCHS FORREST NSW

DP 28391
CLIENT GARY BAYRAMIAN &
LENA NAZARIAN
JOB NUMBER 1876

LGA NORTHERN BEACHES

Elevations

BELLEVUE 36 FRENCH PROVINCAL

SHEET NO: APPROVAL- 9

SCALE: 1:100 @ A3

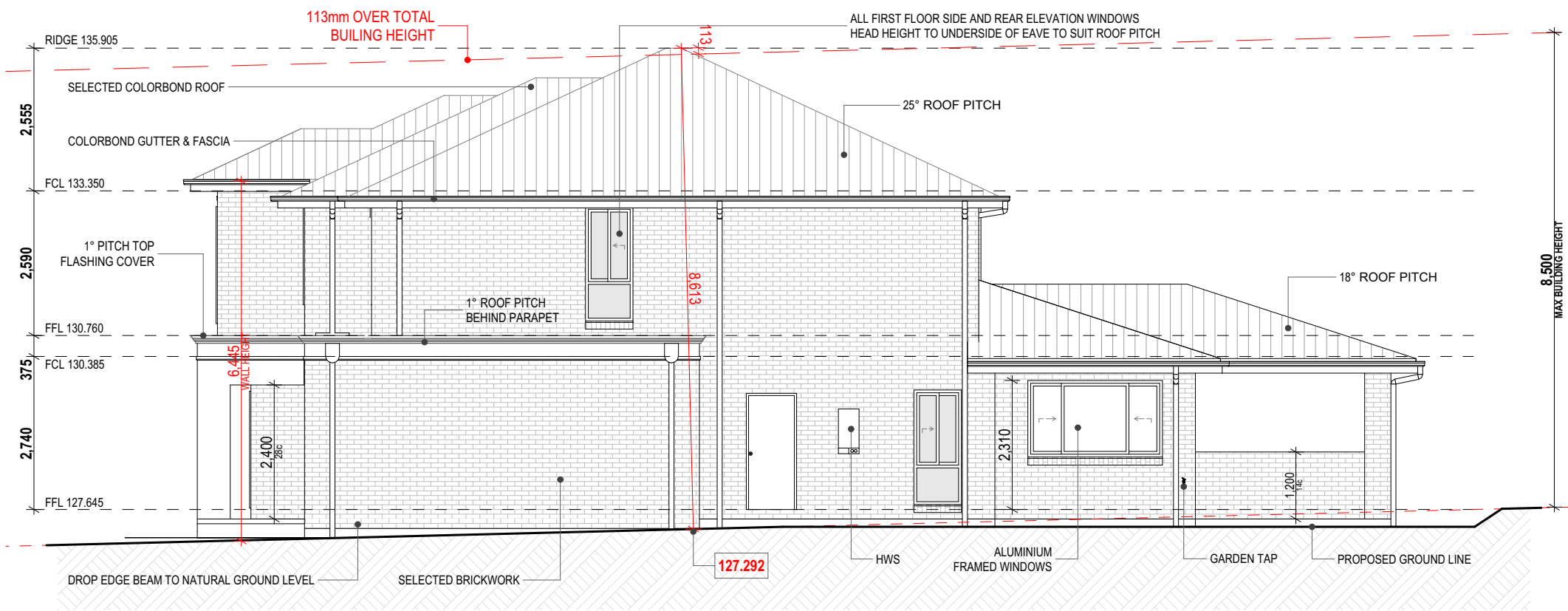
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NOTE: ALL FIRST FLOOR BEDROOM WINDOWS WITH A SILL HEIGHT LESS THAN 1700mm FROM THE FFL REQUIRE THE OPENING TO BE RESTRICTED TO A MAX OF 125mm IN ACCORDANCE WITH THE BCA.

ALL WINDOW HEAD HEIGHTS TO BE @ 2140mm FROM FL. U.N.O.



E/04 ELEVATION 04

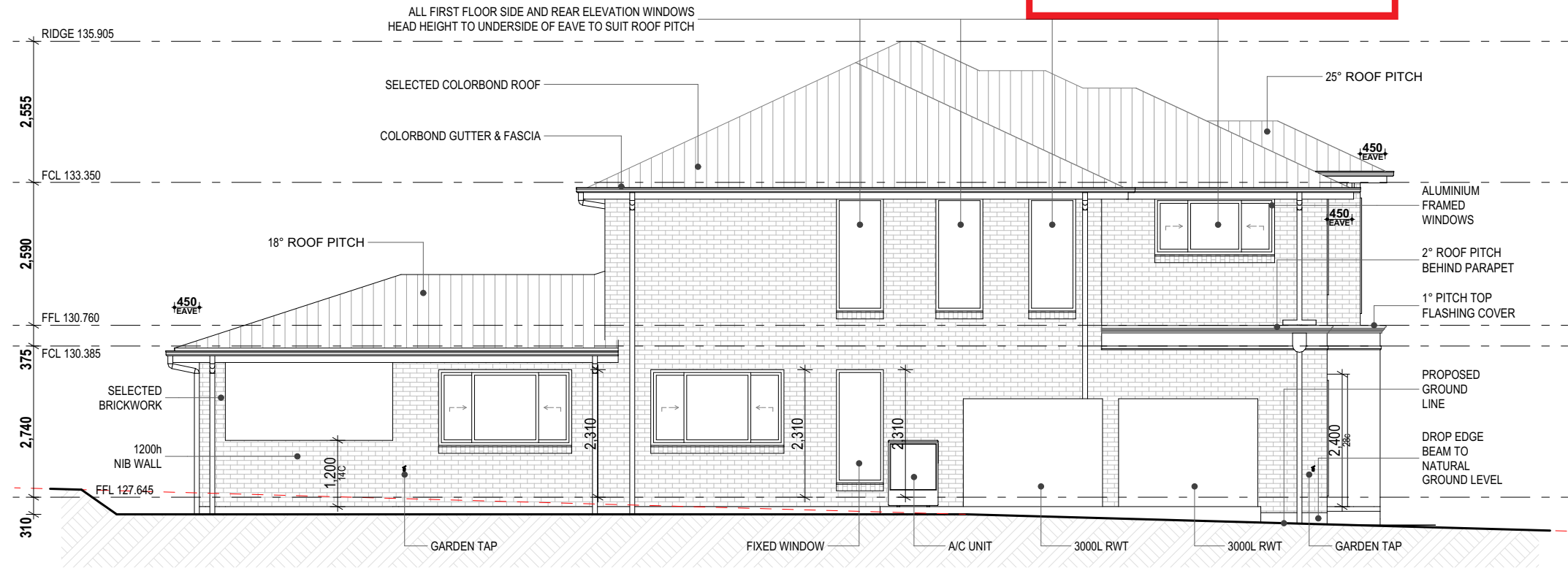
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E/02 ELEVATION 02

1:100



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DOUBLE STOREY DWELLING
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LOCATION LOT 5, 152 BANTRY BAY ROAD,
FRENCHS FORREST NSW
DP 28391
CLIENT GARY BAYRAMIAN &
LENA NAZARIAN
JOB NUMBER 1876
LGA NORTHERN BEACHES

Elevations

BELLEVUE 36 FRENCH PROVINCAL
SHEET NO: APPROVAL- 10
SCALE: 1:100 @ A3
DATE Monday, 7 February 2022

DATE	DESCRIPTION	INITIAL
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CODE KEY
CSD= CAVITY SLIDING DOOR
LOH=LIFT OF HINGE DOORS
DG= DOUBLE GLASS (REFER TO TENDER)
OBS= OBSCURE GLAZING AS SELECTED
RD= ROBE DOOR
MR=MIRROR
SP=SPECIALY MADE
SQ SET= SQUARE SET OPEINING
SHR= SHOWER LOCATION
AA= ALUMINIUM AWNING WINDOW
AS= ALUMINIUM SLIDING WINDOW
ASDI= ALUMINIUM SLIDING DOOR
ASSD= ALUMINIUM STACKER DOOR
CR= OPEN CORNER (NO POST)
EXT= EXTERNAL DOOR **(CLEAR GLAZING U.N.O.)**



1:100



1:100

ALL FIRST FLOOR FACADE WINDOWS FINISHING MOULDINGS TO THE UNDERSIDE OF EAVE TO SUIT ROOF PITCH EXCEPT THIS CENTRE WINDOW	ALL FIRST FLOOR SIDE AND REAR ELEVATIONS WINDOW HEAD HEIGHTS TO UNDERSIDE OF EAVE TO SUIT ROOF PITCH
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Window List					
Window Code	Height	Width	Head height	Surface Area	Quantity
W01 AST1809	1,800	850	1,970	1.53	1
W02 AST1809	1,800	850	1,970	1.53	1
W03 AF2009	2,050	850	2,310	1.74	1
W04 AS1424	1,370	2,410	2,310	3.30	1
W05 AS1424	1,370	2,410	2,310	3.30	1
W06 ASDI2148	2,110	4,780	2,110	10.09	1
W07 AS1424	1,370	2,410	2,310	3.30	1
W08 AST2009 OBS.	2,050	850	2,140	1.74	1
W09 AS1509 OBS.	1,460	850	2,160	1.24	1
W10 AS1509	1,460	850	2,160	1.24	1
W11 AST1816	1,800	1,570	2,160	2.83	1
W12 AS1509	1,460	850	2,160	1.24	1
W13 AS1509	1,460	850	2,160	1.24	1
W14 AA1022	1,030	2,170	2,310	2.24	1
W15 AF2009	2,050	850	2,310	1.74	1
W16 AF2009	2,050	850	2,310	1.74	1
W17 AF2009	2,050	850	2,310	1.74	1
W18 AA0623 CUS.	600	2,290	2,310	1.37	1
W19 AA0623 CUS.	600	2,290	2,310	1.37	1
W20 AA0623 CUS.	600	2,290	2,310	1.37	1
W21 AST2009 OBS.	2,050	850	2,310	1.74	1
				47.63 m²	21

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1
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Franchise Forecast 1976 - 51 Franchise Forecast 1976



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DOUBLE STOREY DWELLING
CLIENT SITING PLAN APPROVAL

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LOCATION LOT 5, 152 BANTRY BAY ROAD,

FRENCHS FORREST NSW

DP 28391
CLIENT CATHEDRAL MOUNTAIN

CLIENT GARY BAYRAMIAN &
LENA NAZARIAN

JOB NUMBER 1876

LGA NORTHERN BEA

Sections

BELLEVUE 36 FRENCH PROVINCIAL

SHEET NO: APPROVAL- 11

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