

CONSTRUCTION CERTIFICATE

issued under the Environmental Planning and
Assessment Act 1979

Section 109C (1) (b), 81A (2) and 81A (4)

COUNCIL: Pittwater

CONSTRUCTION CERTIFICATE NO: 2003/265

APPLICANT

Name Dr David Miller
Address PO Box 39, Glenbrook NSW 2773
Contact No: (telephone/fax) 9997 6454

OWNER

Name Dr David Miller
Address PO Box 39, Glenbrook NSW 2773
Contact No: (telephone/fax) 9997 6454

SUBJECT LAND

Address 10 Hollywood Road, Newport
Lot No: 11 DP: 17825

DESCRIPTION OF DEVELOPMENT

Type of Work ☒ Building work ☐ Subdivision work
Description Carport and access driveway

Insight Development Consultants Pty Limited

C O U N C I L
C O P Y

DEVELOPMENT CONSENT

Development Consent No: **NO 443/03**
Date of Determination **7 August 2003**

BUILDING CODE OF AUSTRALIA

Building Classification **10a**

BUILDER or OWNER/BUILDER **Mattonelle Developments Pty Ltd**
Contractor License No./Permit **No: 5984C**
No. in case of Owner Builder

\$ VALUE OF WORK

Building/Subdivision **\$20,000.00**

DATE C.C APPLICATION RECEIVED

Date Received **30 October 2003**

DETERMINATION

Decision **Approved**
Date of Decision **13 November 2003**

ATTACHMENTS **Nil**

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications
Reference

1. Architectural Details, Reference No. 473-01, 02, 03 & 04, prepared by J D Evans & Company Pty Ltd, dated 30 June 2003.
2. Structural Details, Reference No. 2113-S1, prepared by D O'Brien Engineering Services Pty Ltd, dated September 2003 and Structural Details for proposed Carport, Reference No. 1, endorsed by David J Hall, Chartered Professional Engineer, dated 27 June 2000.
3. Driveway Design Certification, Reference No. cd2113, issued by D O'Brien Engineering Services Pty Ltd, dated 3 October 2003.
4. Copy of Pittwater Council's receipt for application for Access Driveway levels.

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CERTIFICATE

Certificate Final

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the land Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Insight Development Consultants Pty. Limited

Name of Accredited Certifier Tom Bowden

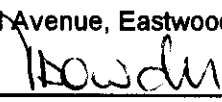
Registration No 93

Contact No (02) 9889 4770

Address 7 Kingsford Avenue, Eastwood NSW 2122

SIGNED

DATE


13 NOV 2003

D. O'BRIEN ENGINEERING SERVICES PTY. LTD.
Structural Engineers

A.C.N. 000 526 876

Suite 6/319 Condamine St

MANLY VALE 2093

Post to: P.O. Box 326

MANLY 1855

Phone: (02) 9907 6947

Fax: (02) 9907 6948

Mobile: 0412 971 107

Dr Millar
10 Hollywood Rd
Newport NSW 2106

Ref: cd2113
3/10/03

Dear Dr Millar,

RE: 10 Hollywood Rd Newport
Certification for New Driveway

The details of the proposed new concrete driveway and carport at 10 Hollywood Rd Newport are shown on the architects drawings, reference number 473/1-3, by J D Evans and Co. The new driveway and carport slab will be below the existing roadway level with the new crossing and falls to Councils standards,

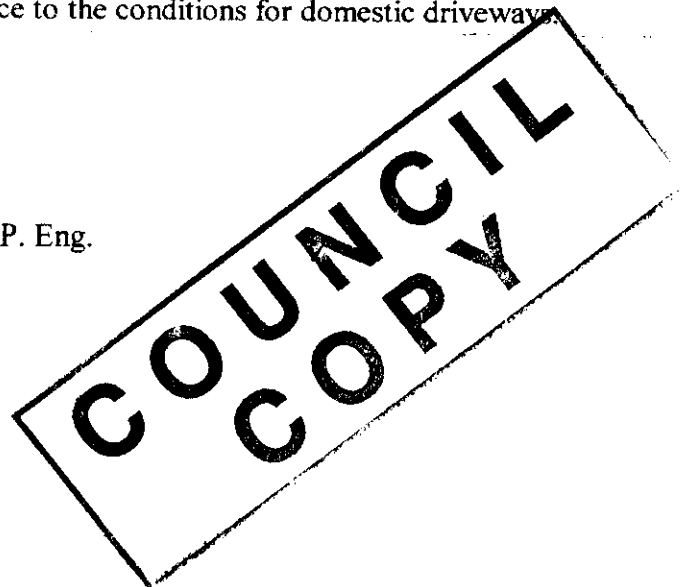
The engineering details for the driveway and carport are shown on drawing number 2113/S1 and the design details are in accordance with the relevant clauses of the Australian Standards including AS 3600 (Concrete Code) and AS 1170.1 (Loading Code).

The proposed driveway and carport slab for 10 Hollywood Rd Newport satisfy the requirements of Council's document DCP No. E3 "Driveways and Internal Roadways" and AS2890.1-1993, with specific reference to the conditions for domestic driveways.

Yours sincerely



Dermot J. O'Brien, B.E., M.I.E. Aust., C.P. Eng.



Pittwater Council

OFFICIAL RECEIPT

10/11/2003 Receipt No 128764

To INSIGHT DEVELOPMENTS

DAVID MILLER
PO BOX 39
ELENBROOK NSW 2773

Applic Reference	Amount
GL Re ESTR-Eng	\$132.00
1 X 10 HOLLYWOOD RD, NEWP	

Total: \$132.00

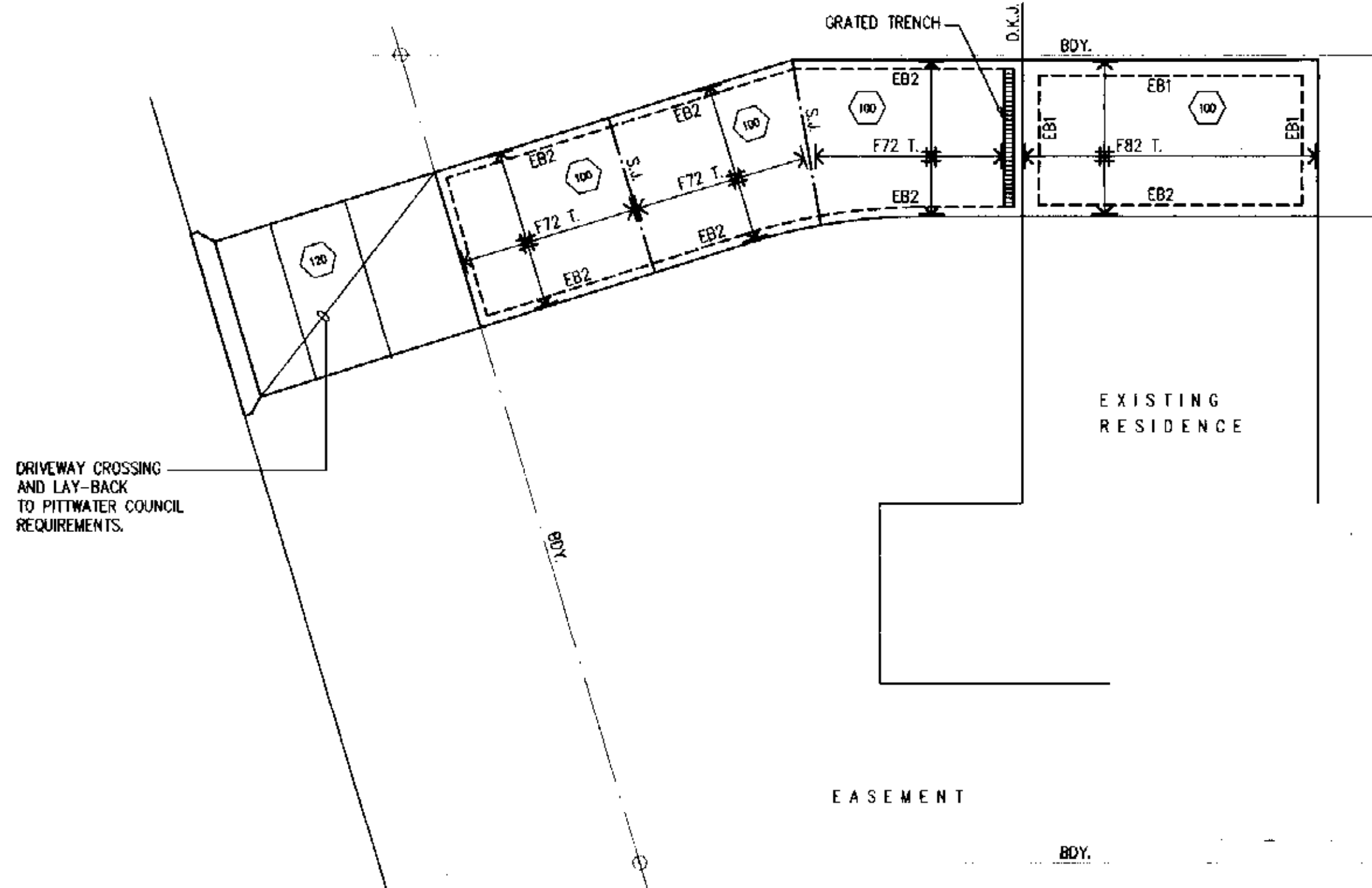
Amounts Tendered

Cash	\$0.00
Cheque	\$132.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$132.00
Rounding	\$0.00
Change	\$0.00
Nett	\$132.00

Printed 10/11/2003 2:09:43

Cashier EKilrc

**COUNCIL
COPY**



DRIVEWAY CROSSING AND LAY-BACK TO PITTSWATER COUNCIL REQUIREMENTS.

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.C. No. 2003/265

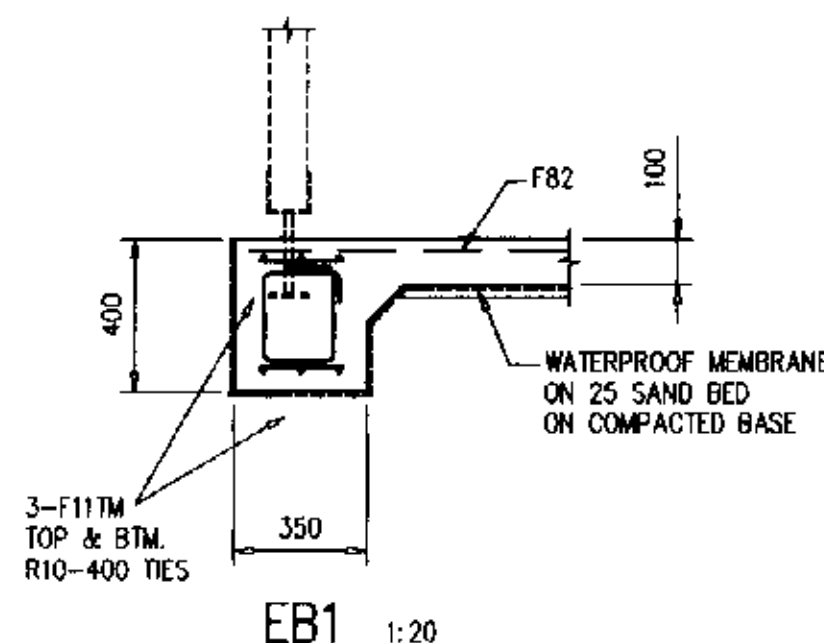
PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

WARNING

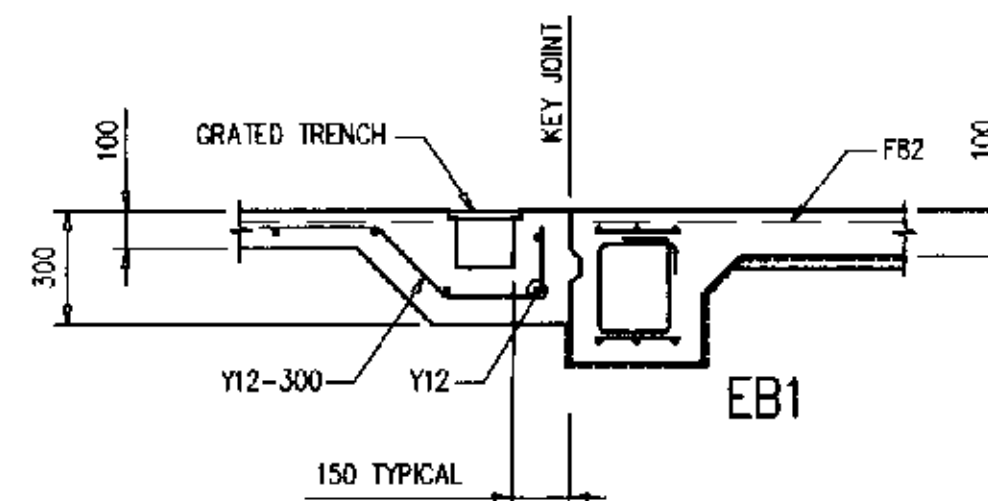
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Dial Before You Dig 1100

CARPORT & DRIVEWAY PLAN 1:100

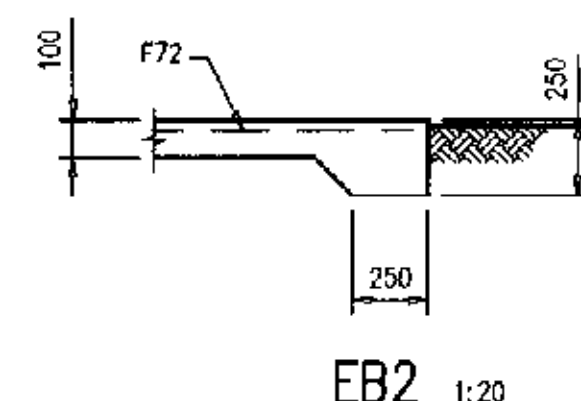
100 DENOTES SLAB THICKNESS
D.K.J. - DOWELED KEY JOINT
S.J. - SAWCUT JOINT



EB1 1:20



GRATED TRENCH DETAIL 1:20



EB2 1:20

PLAN OR DOCUMENT ORIGINATOR
I am a certified STRUCTURAL ENGINEER
I hold the following qualifications: BE, MPE, Eng.
Further I am appropriately qualified to verify this component of the project.
I hereby state that, these plans or details comply with the provisions of development consent, the provisions of the Building Code of Australia and/or relevant building industry standards.
Signature: [Signature] Date: 28.9.03

GENERAL NOTES

GENERAL

- Structural drawings are based on and shall be read in conjunction with all approved Architectural drawings, specifications, and other written instructions as may issued during the course of the contract. Dimensions shall be taken from the Architectural drawings or the actual work. The builder must verify all dimensions on site before commencing any work.
- Lines and locations of existing work is shown on the drawings as indicative only. The builder is to check and refer any discrepancies to the engineer. The adequacy of the existing structures is not covered in these drawings U.N.O.
- Only certified design details and certified drawings for the proposed new work shall be used for construction on site.
- The details shown on the drawings cover the extent of the new structural work. Existing work is not included, unless noted, in the new work.
- The construction shall follow the member sizing and design intent as shown on the drawings.
- All work shall be in accordance with The Building Code of Australia, current relevant S.A.A. Codes and those of all Statutory Authorities having jurisdiction over the work.
- Substitutions, where necessary, shall be approved by the Engineer, and allowed for by the builder in his tender.
- Approval given on shop drawings covers structural detail only and does not include dimensions and setout.
- During construction, the structure shall be maintained in a safe and stable condition and shall not be overstressed. If the work shown on the drawings is to be built in stages, refer to the engineer for advice on adequacy of the staged works, be used for construction on site.

FOUNDATIONS

- Foundation materials are to be approved for the following safe bearing pressures prior to placement of concrete.

Strip Footings	kPa	Pad Footings	kPa
Piers	kPa	Floor Slabs	200 kPa
Edge Beams to Slabs	200 kPa	Ribs to Slabs	200 kPa
- Site classification in accordance with A.S.2870 is
- U.N.O. reinforcement for strip footings and to beams and ribs to slabs on ground shall be lapped full width at corners and intersections and 500mm of splices, and shall be carried continuously through any intersecting pad footing.

CONCRETE

- All workmanship, materials and testing shall comply with A.S.3600.
- Concrete shall have the following properties and shall attain the specified strength (N) at 28 days.

Location	N	Slump (mm)	Aggregate Size (mm)	F _c (MPa)
CARPORT SLAB & DRIVE		80	20	25

- Unless otherwise shown, clear concrete cover to all reinforcement shall be as follows.

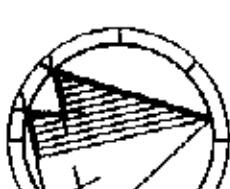
Structural Member	Clear concrete cover (mm) for concrete cast			
	Exposure Classification	Formed and Shuttered	Formed and Exposed	Not formed

- Where noted, encased steelwork shall have 50mm concrete cover with FGW41, 20 cover.
- Cover shall be maintained by the use of approved spacers or chairs of 800mm maximum c/c. Pipes, conduits etc., are not to be placed in cover concrete. Provide 100mm square advanced metal pads under chairs in contact with the ground or membrane.
- All slabs and supporting beams shall be poured together and pre-camber to beams and slabs shall be provided as specified.
- Reinforcement notation is as follows:
R - structural grade plain bars to A.S.1302 f_{yk} = 250MPa
Y - deformed bar to A.S.1302 Grade 400Y f_{yk} = 400MPa
F - hard drawn wire fabric to A.S.1304 f_{yk} = 450MPa
Fabric is to be supplied in flat sheets only, and placed with edge wires located at the specified cover. Rectangular mesh is to be placed with main wires closest to concrete surface.
- Reinforcement splices and construction joints shall not be relocated or added without the Engineers approval. Splices in reinforcement are to develop the full strength of the bar being spliced and standard hooks and caps (A.S.3600) shall be adopted U.N.O. Reinforcement shall be securely tied at all laps and intersections with 1.25mm annealed wire.
- Formwork used for structural members shall comply with A.S.1509 and stripping of formwork shall comply with Table 4.2 of A.S.1509.
- Concrete shall be separated from supporting masonry by 2 layers of bituminous felt or approved equivalent.
- Masonry shall not be built off supporting concrete until all props and formwork have been removed and the concrete has gained the specified strength (N).

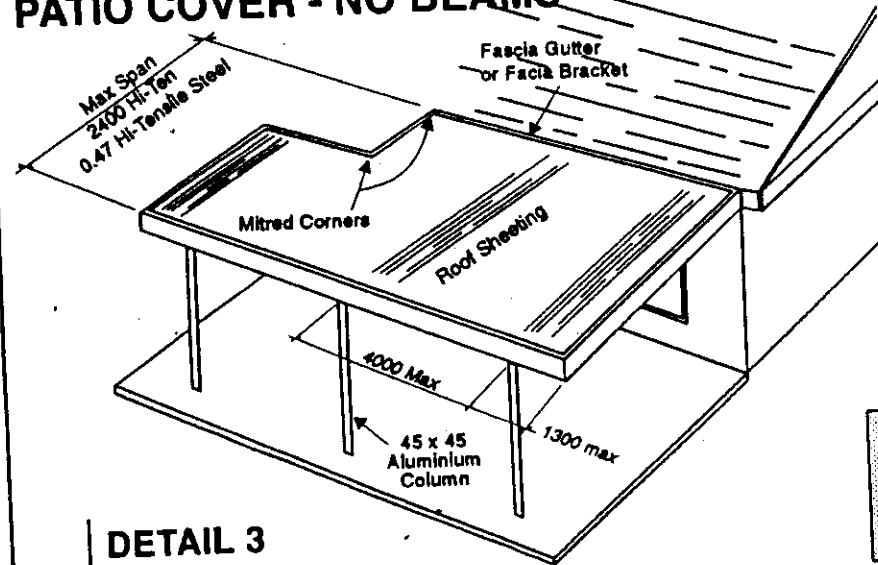
TIMBER

- All work shall conform to A.S.1720 and A.S.1684.
- All timber members not nominated shall conform to the requirements of A.S.1684.

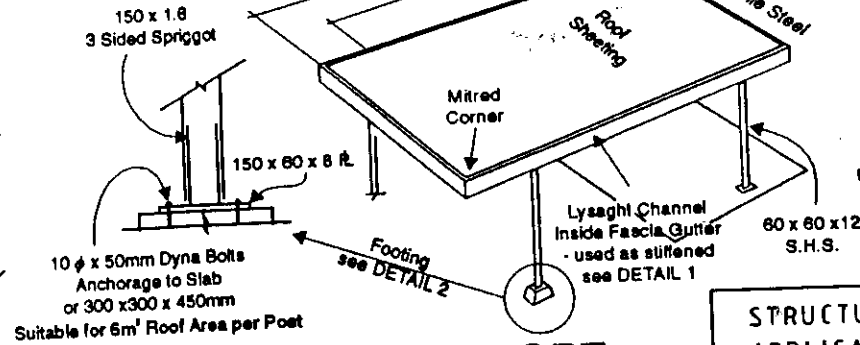
COUNCIL COPY

			 ORIENTATION	D O'BRIEN ENGINEERING SERVICES PTY. LTD. A.C.N. 000 526 876 6/319 CONDOMINE ST. MANLY VALE NSW 2093 PH: (02) 9907 6947 FAX: (02) 9907 6948 P.O. BOX 326 MANLY 2095	PROJECT	NEW CARPORT AND DRIVEWAY	TITLE CARPORT & DRIVEWAY SLAB PLAN AND DETAILS				
					LOCATION	10 HOLLYWOOD ROAD NEWPORT NSW 2106	DESIGNED				
					SCALE				DATE	DRG. No.	REV
					AS NOTED				SEPT. '03	2113-S1	
REV	DATE	DISCRIPTION									

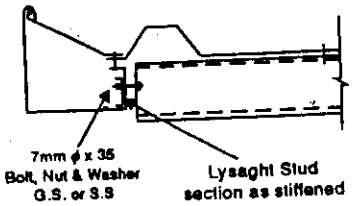
ATTACHED CARPORT OR PATIO COVER - NO BEAMS



DETAIL 2



DETAIL 1

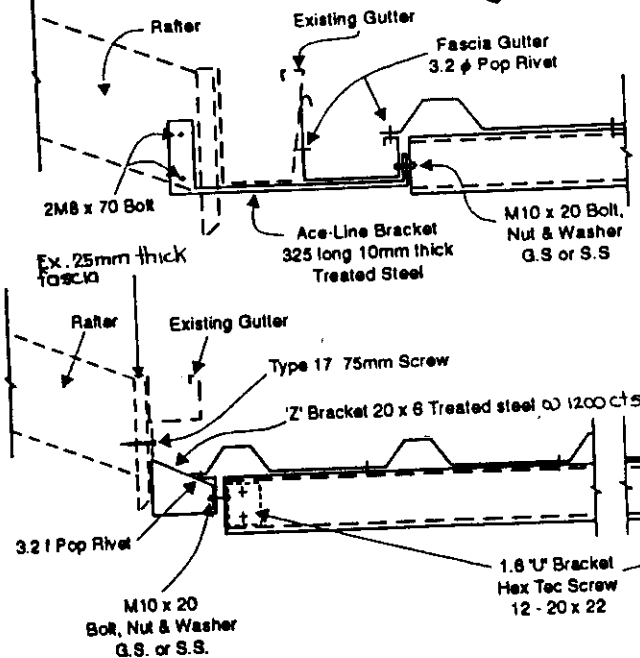


STEEL CARPORT

NOTE: * Free Standing
Max Roof Level 3m
* Attached to Dwelling
Max Roof Level 3.5m

STRUCTURAL DETAILS ARE APPLICABLE FOR WIND CLASSIFICATION N1 (W28) AND N2 (W33) AS DEFINED IN AS 4055 LOADING CODE COMPLIES TO AS CLAUSE 48.1.1 OF AS 1170

DETAIL 3



TYPICAL SECTION THRU' ROOFING

See DETAIL 3 for alternative

M10 x 20 Bolt & Nut G.S.

1.6 'U' Bracket 60 x 48 x 65

M10 x 50 Dyna Bolt x 45mm Embedment

Existing Building

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.C. No. 2003/265...
PLEASE NOTE: The stamp of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

	Span Max		
Steel Beams	B1	B2	B1 with Tie Rods
70 x 50 x 1.2	4000	3500	
C15015	6000	5600	7000
C15024	7000	6500	8000
C20024	8000	7500	9000
Sheetting	Span		
Handek 0.47	2300		
Longspan 0.47	3000		

David J. Hall
MIEAust CPEng
Chartered Professional Engineer
Membership No. 267012
The Institution of Engineers, Australia

COUNCIL
DRAWING N° 1
M. Craft Home Improvements
Cnr Mt Western Hwy & Russell St, Emu Plains
Attached Patio Cover/Carport
- Beam & No Beam
Free Standing Carport
* NOT TO SCALE

INSIGHT DEVELOPMENT
CONSULTANTS PTY LTD

CONSENT NO. NO443103 DATE 7/1/03

CONSTRUCTION CERT. NO. 2853/265

CONSTRUCTION
CERTIFICATE PLANS

13 NOV 2003

T. Bowden Accreditation No. 93

2 STRATCO



AUSTRAL



Colorbond

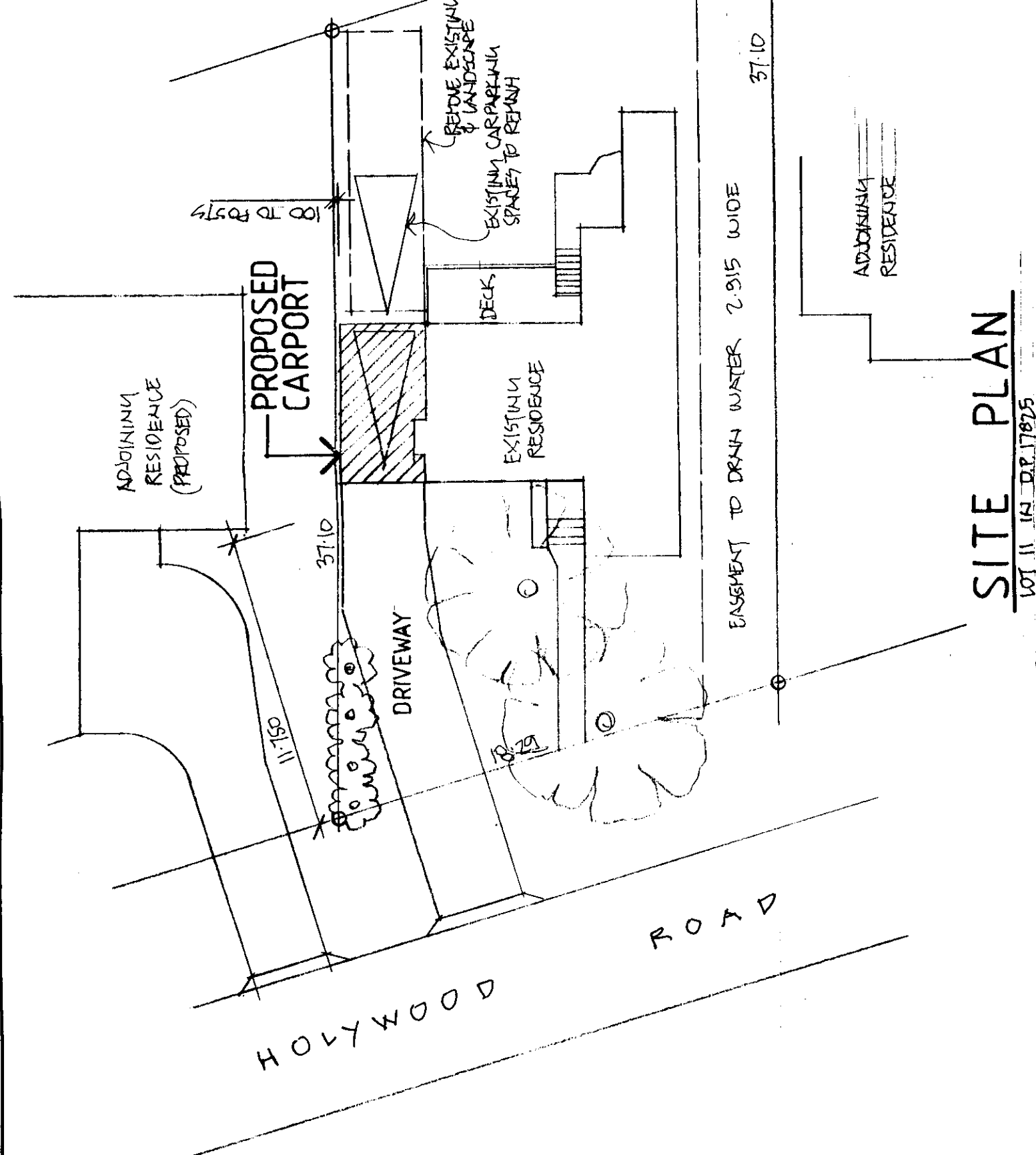


PILKINGTON

WARNING

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9 Dial Before You Dig 1100



SITE PLAN

LOT 11 IN DP 17825

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	N/A	N/A	
ROOF AREA	99	99	
SITE COVERED BY BUILDING	209 (38%)	194 (35%)	
LANDSCAPING AREA	346	361	
SITE AREA	555	NOT APPLICABLE	

J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 916 9206 Fax (02) 9973 2454
Mobile 041 976 396

NO.	DATE	REVISION
1	11/01/03	ISSUE

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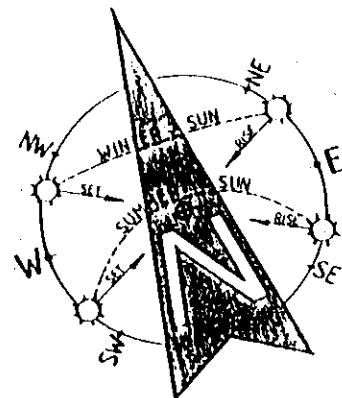
1. Builder to check and confirm all necessary dimensions and levels on site prior to ordering materials and commencing construction. DO NOT SCALE OFF THE DRAWING.
2. All dimensions are given in millimetres unless otherwise stated.
3. All work is to be done in accordance with the Building Code of Australia and the relevant standards.
4. All work is to be done in accordance with the relevant standards.
5. All work is to be done in accordance with the relevant standards.
6. All work is to be done in accordance with the relevant standards.
7. All work is to be done in accordance with the relevant standards.
8. All work is to be done in accordance with the relevant standards.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY
DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS
AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

DATE 30/06/03 SCALE 1:200
DRAWN JDE
CHECKED
ISSUE

PROJECT
PROPOSED CARPORT & DRIVEWAY
No. 16 HOLLYWOOD ROAD
NEWPORT N.S.W. 2106
CLIENT
Dr DAVID MILLER

DRAWING NO.
473-01

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J.D. STARRS AND COMPANY, PVT. LTD.
SINGAPORE
100, ROBINSON ROAD, SINGAPORE

[illegible]

W. D. EVANS and COMPANY PTY. LTD.

J.D. LAVINO AND ASSOCIATES
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 0483 976 596

**PROJECT
PROPOSED CARPORT & DRIVEWAY**

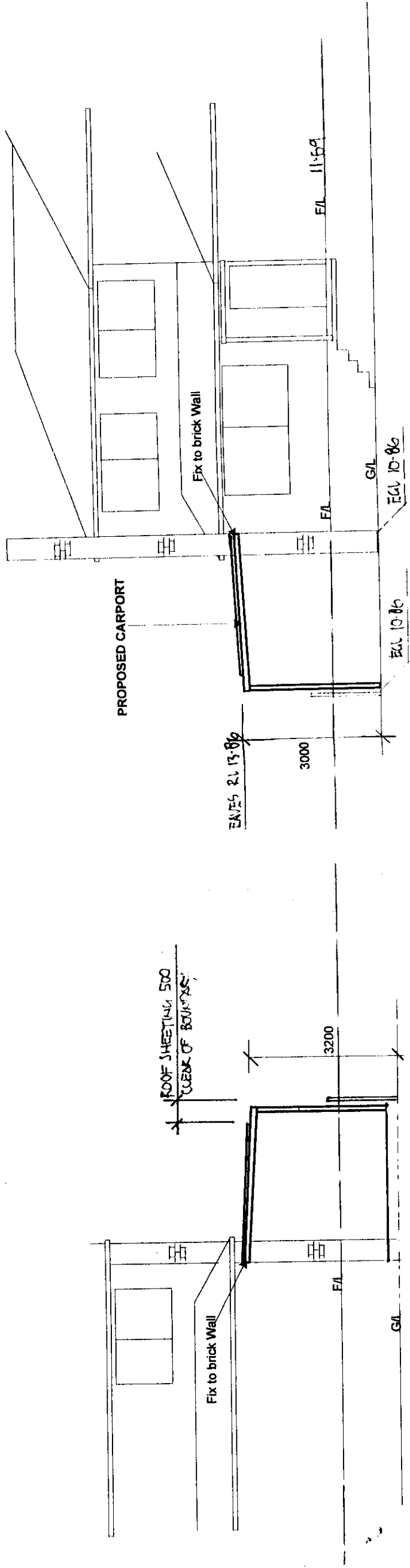
**No. 10 HOLLYWOOD ROAD
NEWPORT N. S. W. 2106**

Dr DAVID MILLER

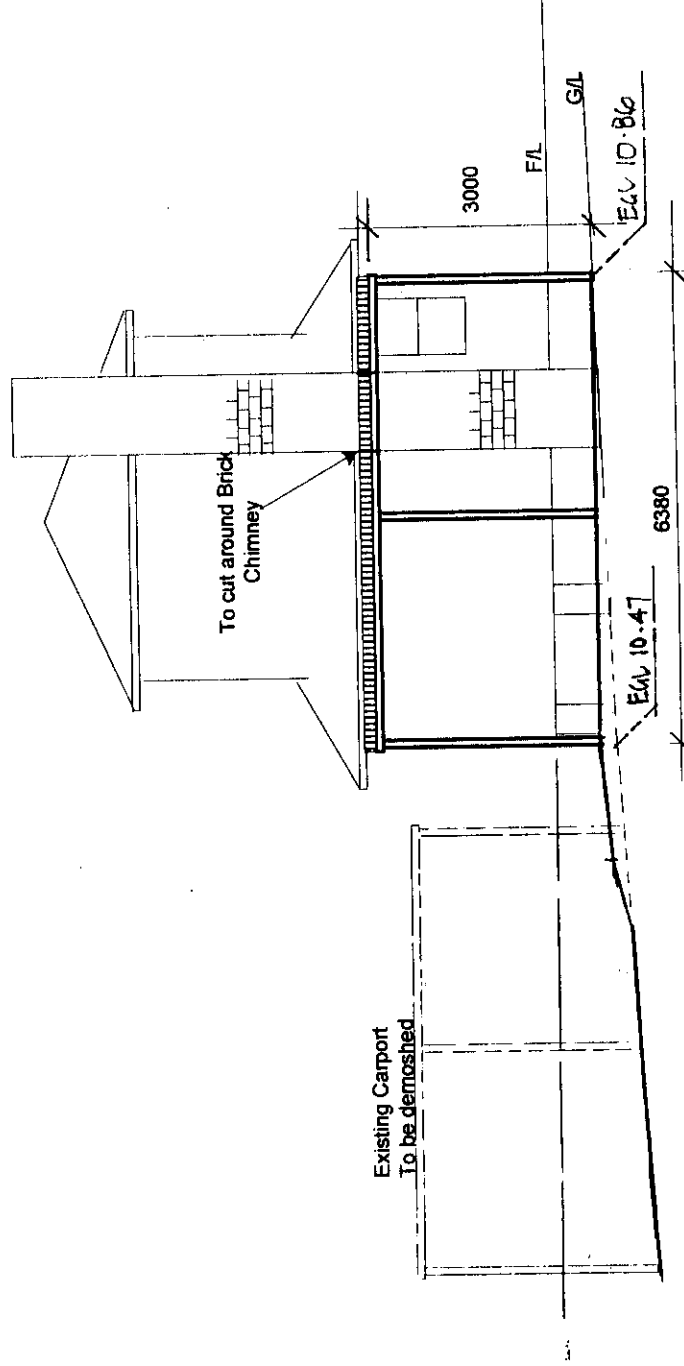
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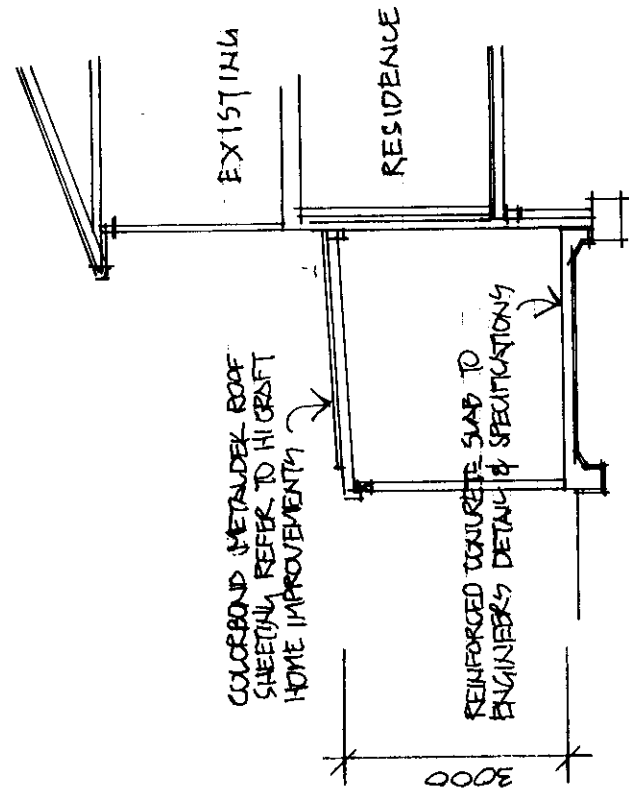
ISSUE



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

SECTION A - A

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

1. Builder to check and confirm all necessary dimensions and levels on site prior to ordering materials and commencing construction. Do not scale off the drawing.

2. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.

3. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.

4. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.

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J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE. AVALON BEACH, 2107
Phone 021 9918 9206 Fax (02) 9973 2434
Mobile 041 976 596

PROJECT
PROPOSED CARPORT & DRIVEWAY
No. 10 HOLLYWOOD ROAD
NEWPORT N.S.W. 2106
CLIENT
Dr DAVID MILLER

DATE 30/06/03 **SCALE** 1:100
DRAWN JOE **CHECKED**
DRAWING No. 473-03 **ISSUE**

