

 **northern  
beaches  
council**

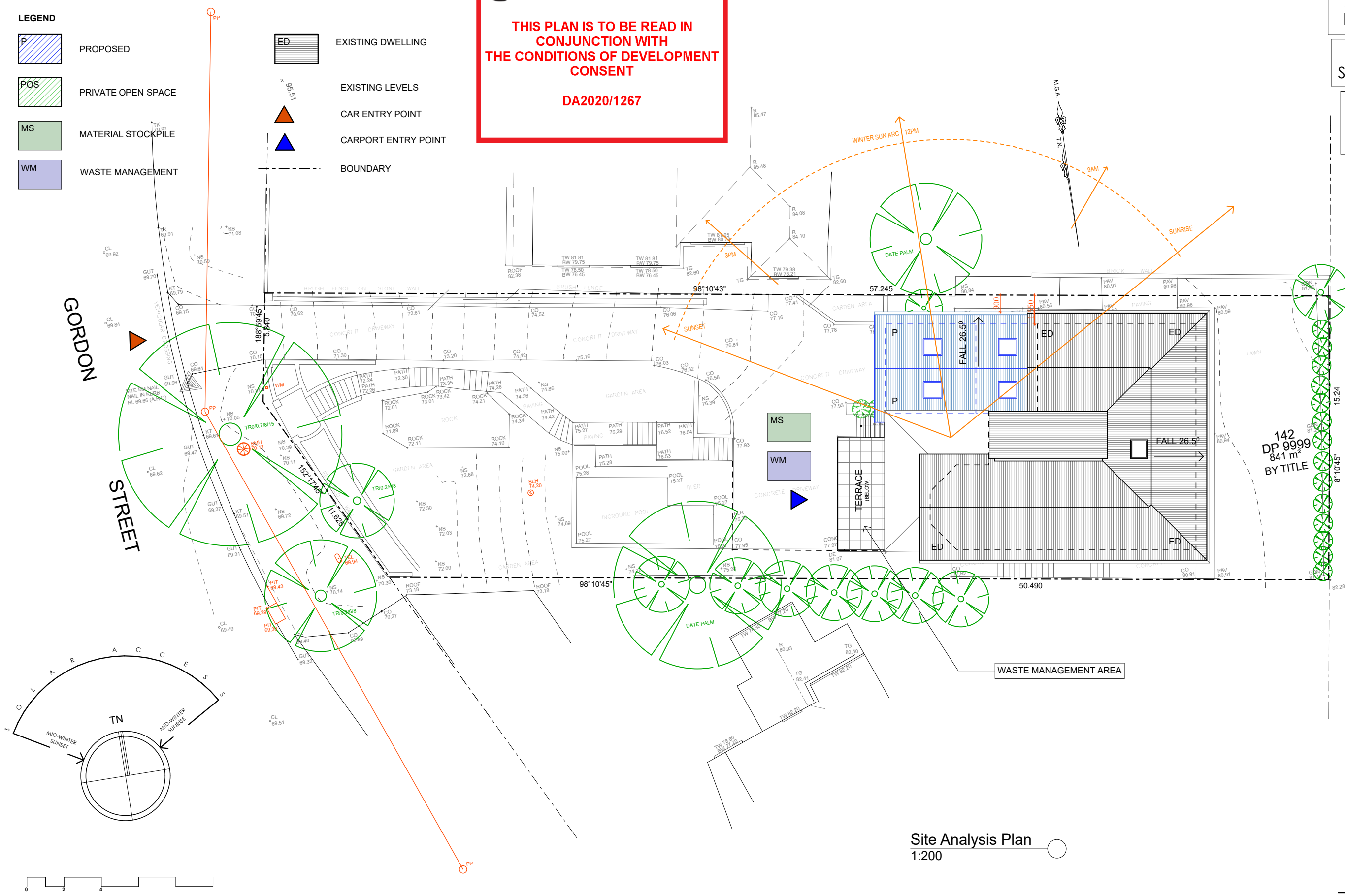
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/1267**

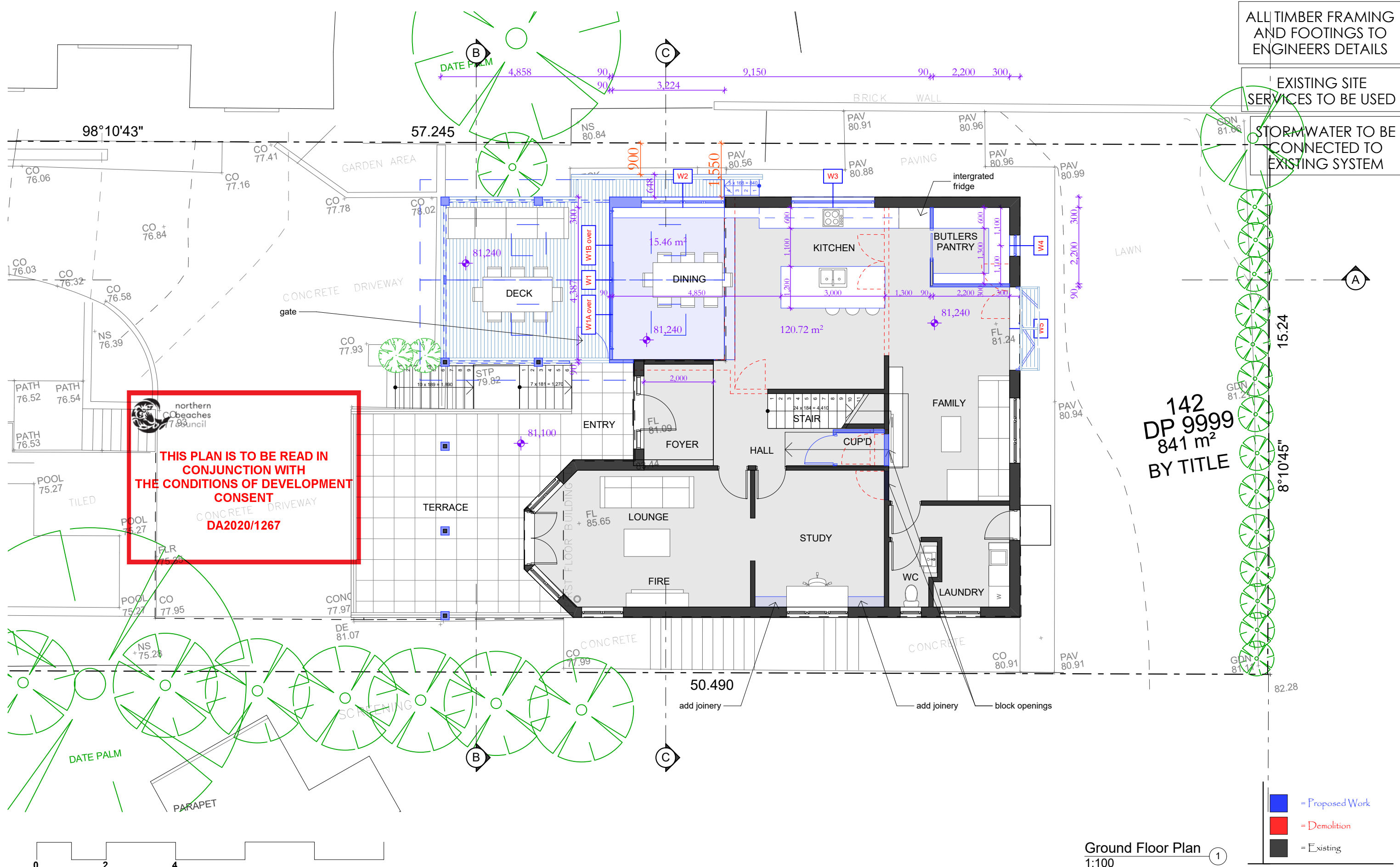
ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED

STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



| Date : | Issue : | Description : | The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. | <b>SHARPE BUILDING SOLUTIONS PTY LTD</b><br>LIC 183687C | Project : Alterations & Additions<br>DA<br>6 Gordon St, Clontarf<br>Lot 142 in DP 9999 - 842.2m2<br>Client : Private Residence<br>Drawing : - <b>Site, Site Analysis &amp; Waste Management Plan</b> | Drawn/Designed : TS / PB<br>Project Number : <b>2035</b><br>Drawing No. : <b>DA3</b> | Date : 241120<br>Scale : 1:200 @ A3<br>Issue : |
|--------|---------|---------------|---|---|--|--|--|
|        |         |               |   |   |  |  |  |



ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED

STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM

142  
DP 9999  
841 m²  
BY TITLE

■ = Proposed Work  
■ = Demolition  
■ = Existing

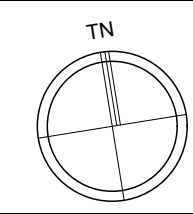
Ground Floor Plan 1  
1:100

| Date : | Issue : | Description : |
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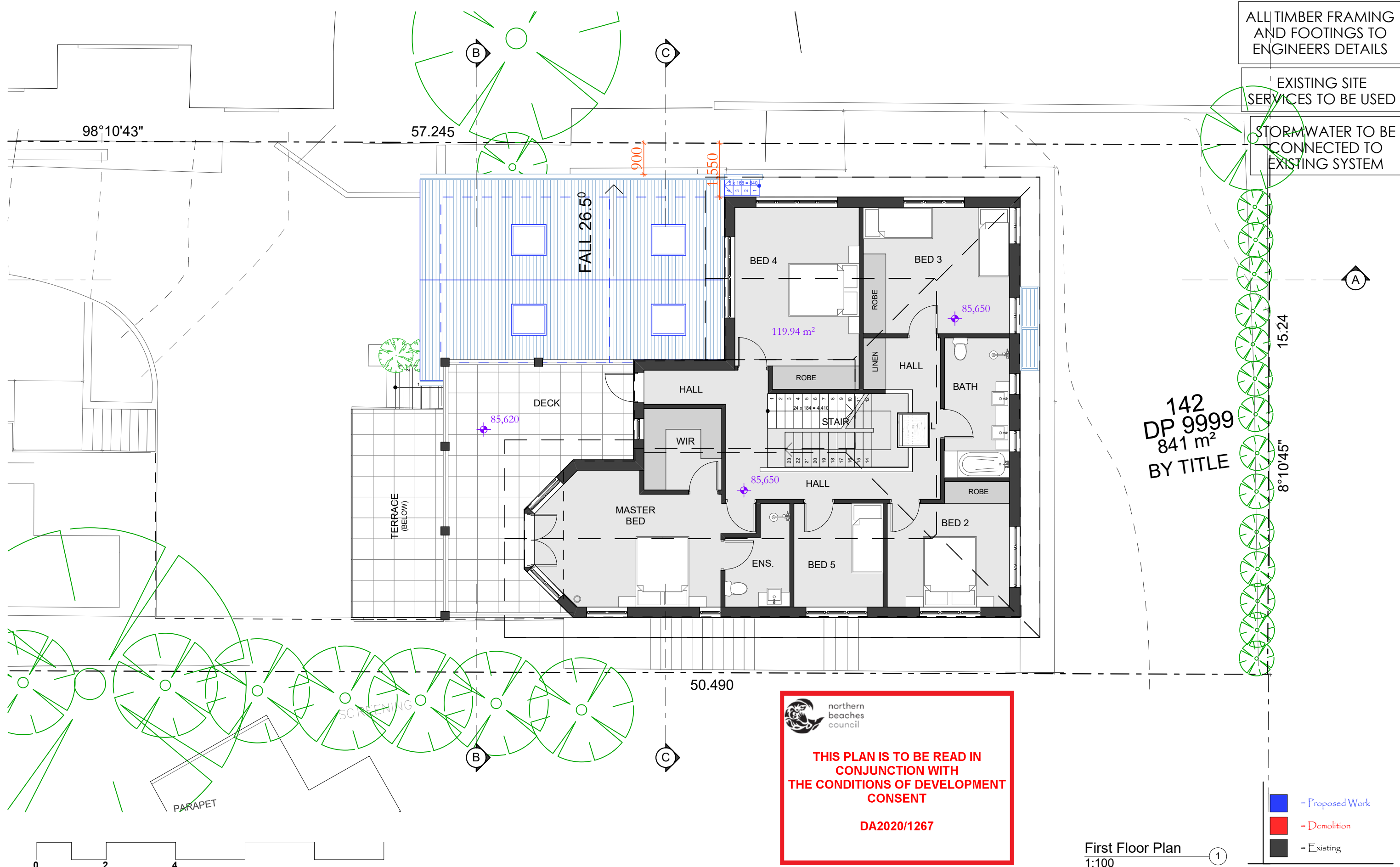
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**SHARPE**  
BUILDING  
SOLUTIONS PTY LTD  
LIC 183687C

Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - **Ground Floor Plan**



|                          |                    |
|--------------------------|--------------------|
| Drawn/Designed : TS / PB | Date : 241120      |
| Project Number : 2035    | Scale : 1:100 @ A3 |
| Drawing No. : <b>DA6</b> | Issue :            |

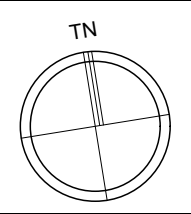


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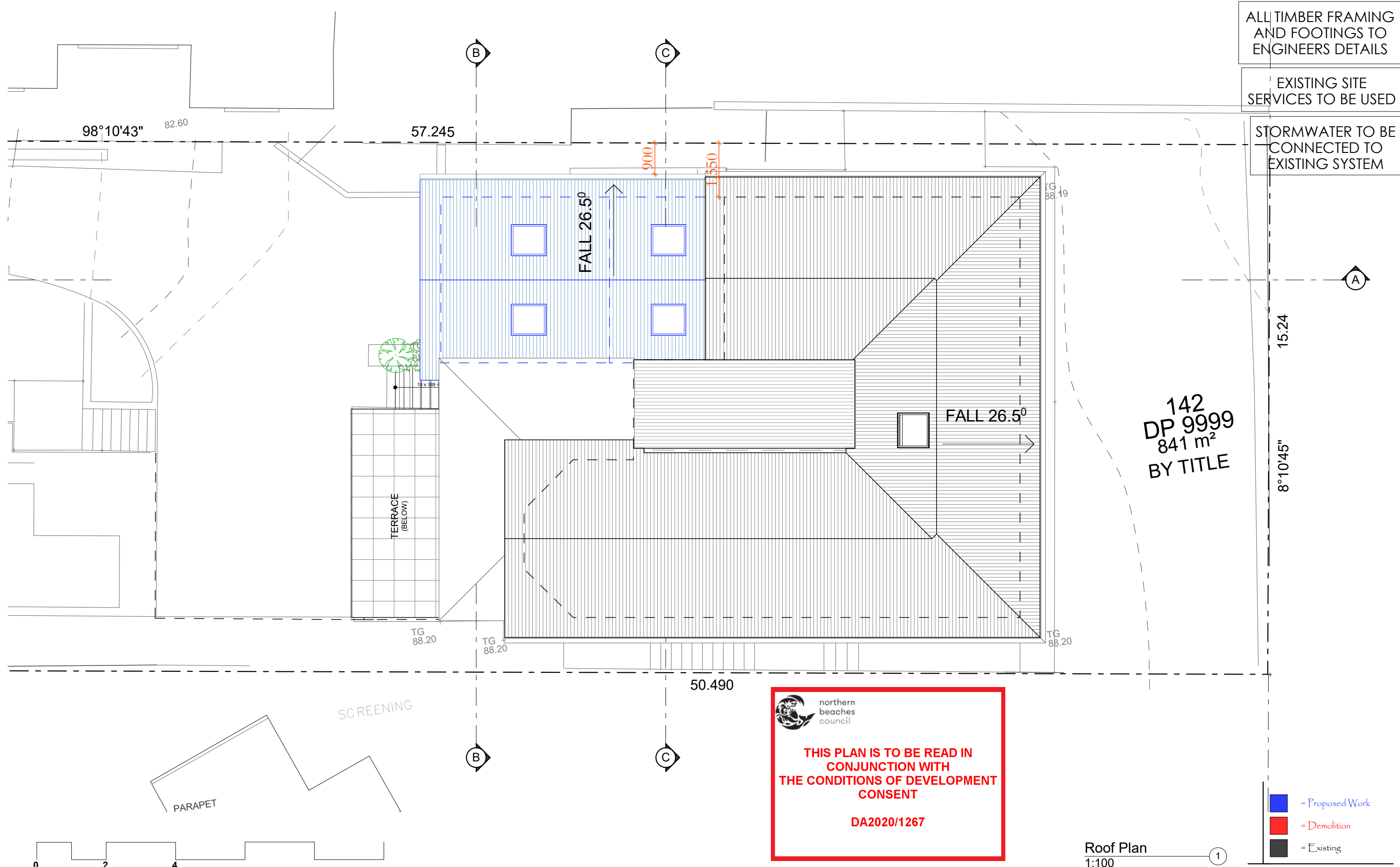
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**SHARPE**  
**BUILDING**  
**SOLUTIONS** PTY LTD  
LIC 183687C

Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - **First Floor Plan**



|                              |                    |
|------------------------------|--------------------|
| Drawn/Designed : TS / PB     | Date : 241120      |
| Project Number : <b>2035</b> | Scale : 1:100 @ A3 |
| Drawing No. : <b>DA7</b>     | Issue :            |



ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED


STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM


142  
DP 9999  
841 m<sup>2</sup>  
BY TITLE


 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2020/1267**

 = Proposed Work

 = Demolition

 = Existing

**Roof Plan**  
1:100

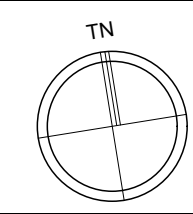
| Date : | Issue : | Description : |
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**SHARPE**  
**BUILDING**  
**SOLUTIONS** PTY LTD

LIC 183687C

Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - **Roof Plan**



Drawn/Designed : TS / PB

Project Number : **2035**

Drawing No. : **DA8**

Date : 241120

Scale : 1:100 @ A3

Issue :



ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED

STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1267

- LEGEND
- CR

UPVC

RA

PG

PW

SK

SC
- timber framed roof with Colorbond cladding

UPVC window

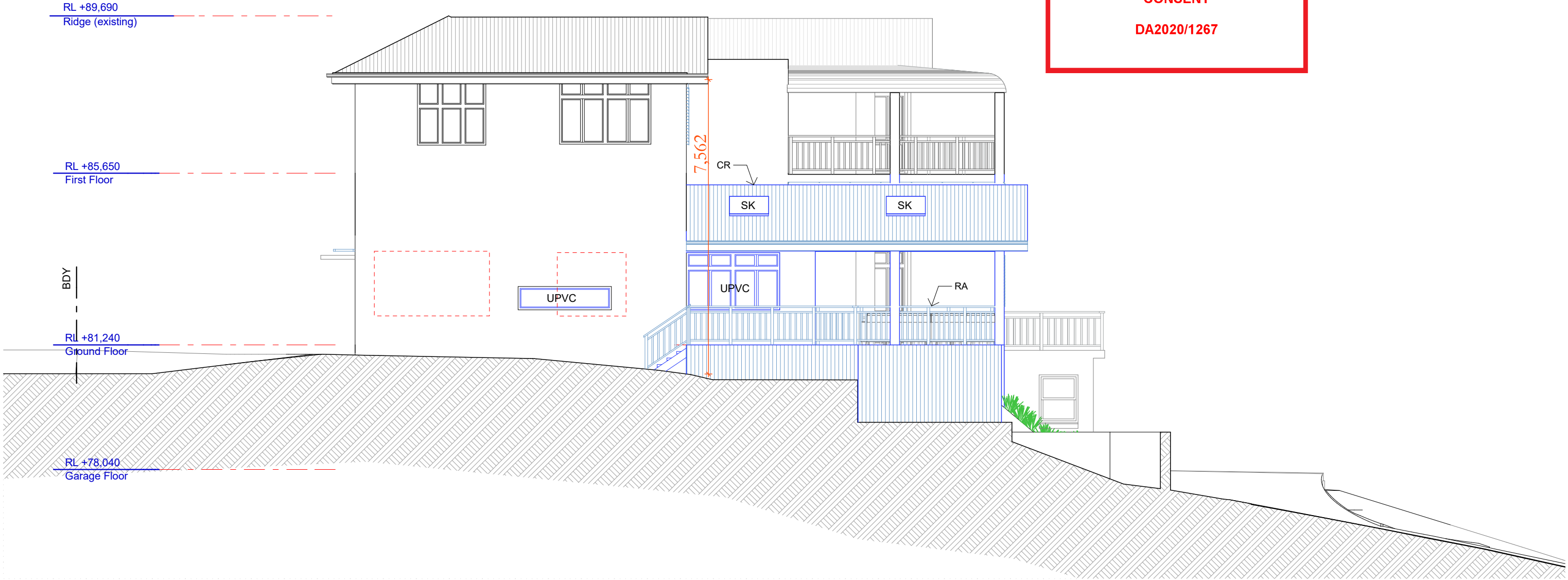
rail to BCA/NCC

pergola

painted wall

skylight

screen



North Elevation  
1:100

- = Proposed Work
- = Demolition
- = Existing



|        |         |               |
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| Date : | Issue : | Description : |

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**SHARPE**  
BUILDING  
SOLUTIONS PTY LTD

LIC 183687C

Project :  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client :  
Private Residence  
Drawing : - Elevations, N

Drawn/Designed : TS / PB

Project Number : 2035

Drawing No. : DA9

Date : 241120

Scale : 1:100 @ A3

Issue :



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1267

LEGEND

- CR

UPVC

RA

PG

PW

SK

SC
- timber framed roof with Colorbond cladding

UPVC window

rail to BCA/NCC

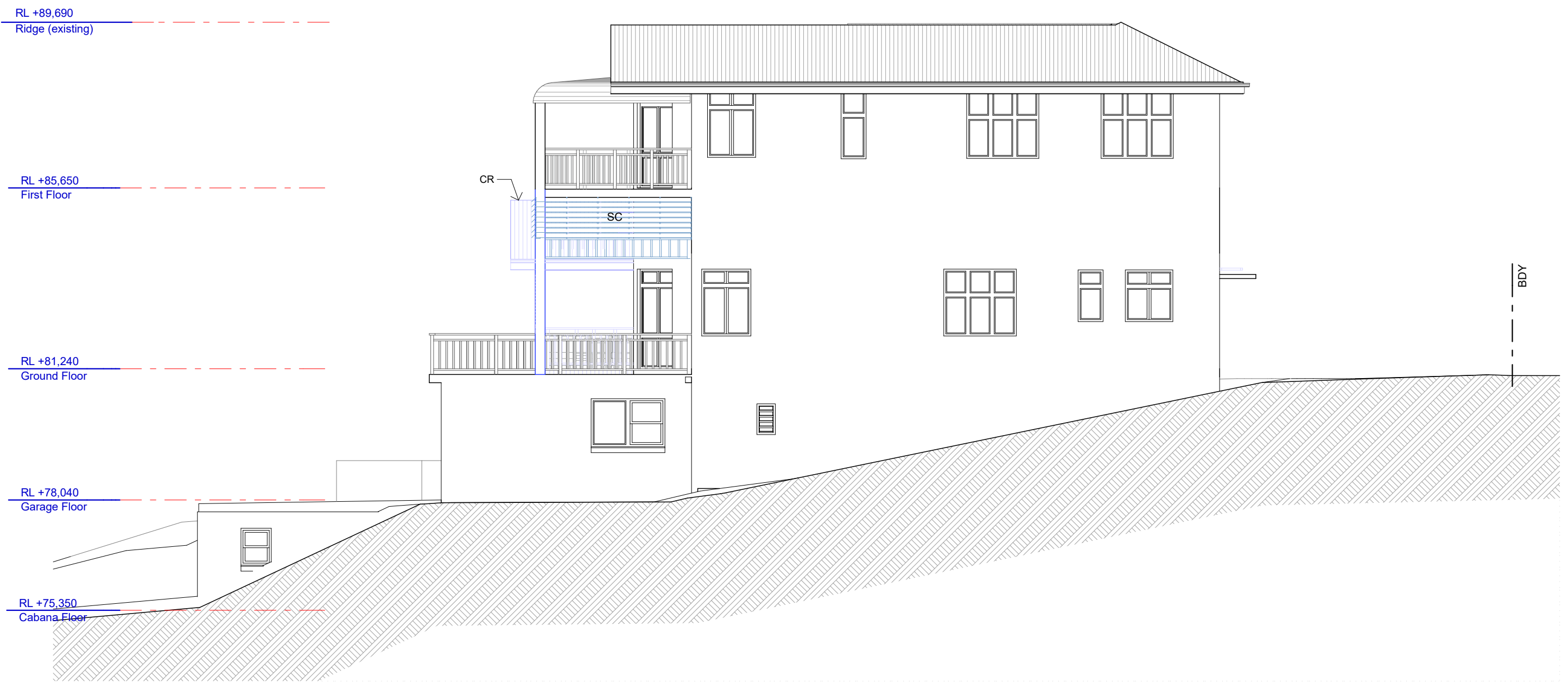
pergola

painted wall

skylight

screen

- ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS
- EXISTING SITE  
SERVICES TO BE USED
- STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



South Elevation  
1:100

- = Proposed Work
- = Demolition
- = Existing



|        |         |               |
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| Date : | Issue : | Description : |

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LIC 183687C

Project :

DA

6 Gordon St, Clontarf

Lot 142 in DP 9999 - 842.2m2

Client :

Private Residence

Drawing : - Elevations, S

Drawn/Designed : TS / PB

Project Number : 2035

Drawing No. : DA10

Date : 241120

Scale : 1:100 @ A3

Issue :



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1267

- LEGEND
- CR

UPVC

RA

PG

PW

SK

SC

timber framed roof with Colorbond cladding

UPVC window

rail to BCA/NCC

pergola

painted wall

skylight

screen

- ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS
- EXISTING SITE  
SERVICES TO BE USED
- STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



East Elevation  
1:100

West Elevation  
1:100

- = Proposed Work
- = Demolition
- = Existing



|        |         |               |
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| Date : | Issue : | Description : |

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**SHARPE**  
BUILDING  
SOLUTIONS PTY LTD

LIC 183687C




Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - Elevations, E, W

Drawn/Designed : TS / PB  
Project Number : 2035  
Drawing No. : DA11  
Date : 241120  
Scale : 1:100 @ A3  
Issue :



STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



-  = Proposed Work
-  = Demolition
-  = Existing

|        |         | The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. | <br>LIC 183687C | Project : Alterations & Additions<br>DA<br>6 Gordon St, Clontarf<br>Lot 142 in DP 9999 - 842.2m2 | Drawn/Designed : TS / PB<br><br>Date : 241120   |
|--------|---------|---|--|--|---|
|        |         |   |  | Client : Private Residence   | Project Number : 2035<br><br>Scale : 1:100 @ A3 |
|        |         |   |  | Drawing : - Sections A-A   | Drawing No. : DA12<br><br>Issue :               |
| Date : | Issue : | Description :   |  |  |   |
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THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1267

ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED




STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM

RL +89,690  
Ridge (existing)

RL +85,650  
First Floor

RL +81,240  
Ground Floor



 = Proposed Work  
 = Demolition  
 = Existing



|        |         |               |
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| Date : | Issue : | Description : |

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Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - Sections B-B

Drawn/Designed : TS / PB

Project Number : 2035

Drawing No. : DA13

Date : 241120

Scale : 1:100 @ A3

Issue :

ALL TIMBER FRAMING  
AND FOOTINGS TO  
ENGINEERS DETAILS

EXISTING SITE  
SERVICES TO BE USED

STORMWATER TO BE  
CONNECTED TO  
EXISTING SYSTEM



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/1267

RL +89,690  
Ridge (existing)

RL +85,650  
First Floor

RL +81,240  
Ground Floor



Section C-C  
1:100

■ = Proposed Work  
■ = Demolition  
■ = Existing



|        |         |               |
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| Date : | Issue : | Description : |

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Project : Alterations & Additions  
DA  
6 Gordon St, Clontarf  
Lot 142 in DP 9999 - 842.2m2  
Client : Private Residence  
Drawing : - Sections C-C

Drawn/Designed : TS / PB  
Project Number : 2035  
Drawing No. : DA14  
Date : 241120  
Scale : 1:100 @ A3  
Issue :