

PROPOSED SENIORS HOUSING

6 DWELLINGS, BASEMENT CARPARKING & ASSOCIATED LANDSCAPING

54 BARDO RD, NEWPORT, NSW 2106



DRAWING LIST

| Drawing No. | Drawing Name | Current Revision | Current Revision Date |
|-------------|----------------------------|------------------|-----------------------|
| DA001 | COVER PAGE | N | 13/10/21 |
| DA002 | DEMOLITION PLAN | H | 13/10/21 |
| DA003 | SITE ANALYSIS | J | 13/10/21 |
| DA005 | SITE PLAN | J | 13/10/21 |
| DA006 | BASEMENT PLAN | R | 13/10/21 |
| DA007 | GROUND FLOOR PLAN | T | 13/10/21 |
| DA008 | LEVEL 1 PLAN | Q | 13/10/21 |
| DA009 | ROOF PLAN | K | 13/10/21 |
| DA010 | NORTH & WEST ELEVATIONS | L | 13/10/21 |
| DA011 | SOUTH & EAST ELEVATIONS | K | 13/10/21 |
| DA012 | SECTION AA & BB | J | 13/10/21 |
| DA013 | SECTION CC & DD | J | 13/10/21 |
| DA014 | LANDSCAPE CALCULATION PLAN | M | 13/10/21 |
| DA015 | DEEP SOIL PLAN | L | 13/10/21 |
| DA016 | GFA CALCULATIONS | K | 13/10/21 |
| DA017 | SHADOW DIAGRAMS | I | 13/10/21 |
| DA018 | SOLAR DIAGRAMS | I | 13/10/21 |
| DA019 | WINDOW SCHEDULE | G | 13/10/21 |
| DA022 | HEIGHT PLANE DIAGRAM | A | 13/10/21 |

| UNIT NUMBER | ROOM TYPE | AREA | POS/BALCONY AREA (m ²) |
|-------------|-----------|----------------------|------------------------------------|
| G01 | 2 BED | 93 m ² | 50.6 |
| G02 | 3 BED | 114.1 m ² | 143.6 |
| G03 | 3 BED | 118.9 m ² | 80.2 |
| G04 | 2 BED | 111.8 m ² | 78.8 |
| 101 | 2 BED | 97.2 m ² | 10.3 |
| 102 | 3 BED | 118.9 m ² | 12.8 |

YIELD

| | |
|------------------|-----------------------|
| GROUND FLOOR GFA | 472.95m ² |
| LEVEL 1 GFA | 239.29m ² |
| TOTAL GFA | 712.24m ² |
| SITE AREA | 1226.32m ² |
| FSR | 0.580:1 |

| No. | Date | Description |
|-----|----------|--|
| N | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| M | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| L | 01/04/21 | ISSUED FOR APPROVAL |
| K | 16/03/21 | ISSUED FOR APPROVAL |
| J | 03/09/20 | ISSUED FOR APPROVAL |
| I | 01/09/20 | ISSUED FOR COORDINATION |
| H | 31/08/20 | ISSUED FOR COORDINATION |
| G | 24/08/20 | ISSUED FOR COORDINATION |
| F | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
| E | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| D | 18/08/20 | ISSUED FOR COORDINATION |
| C | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| B | 24/07/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

GILES TRIBE Level 1, 1 Chandos ST, LEONARDS NSW 2065
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 Giles Tribe Pty Ltd ABN 60 001259 507
 Nominated Architects: Mark G Brodley (5823) Stuart D Hill (6456)

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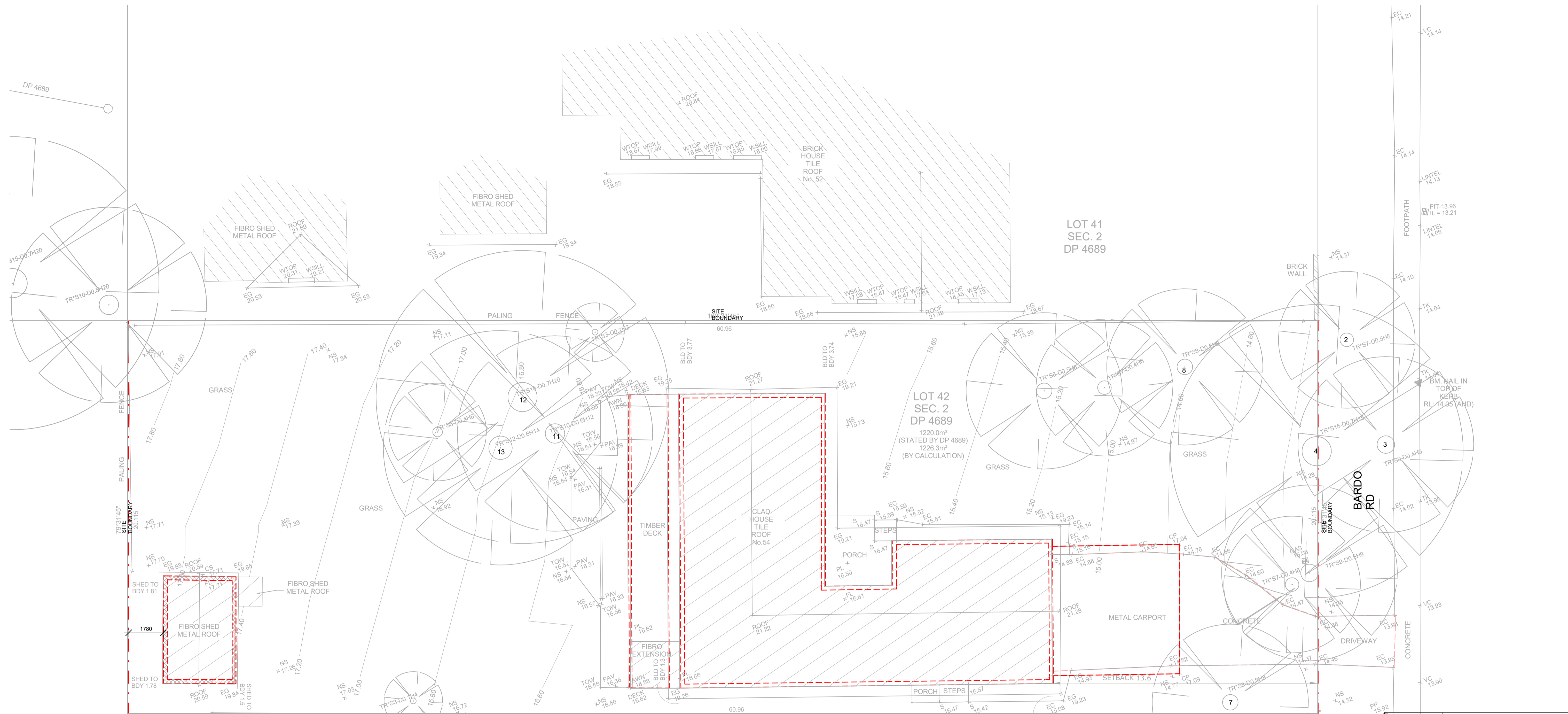
Client: **Built Property**

Project: **54 BARDO ROAD NEWPORT 2106 NSW**

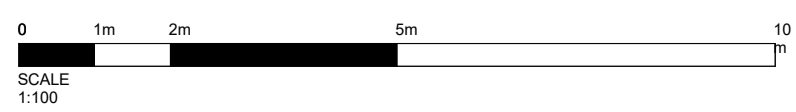
Drawing: **COVER PAGE**

Status: **FOR S4.55 APPROVAL**

Scale: A Job No. 20055 Drawing No. DA001 N Rev
 Sheet 1 Date: 01/25/07
 Drawn: YL Review: VY



1 DEMOLITION PLAN
DA002 1 : 100



| No. | Date | Description |
|-----|----------|---|
| H | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| G | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| F | 03/09/20 | ISSUED FOR APPROVAL |
| E | 01/09/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

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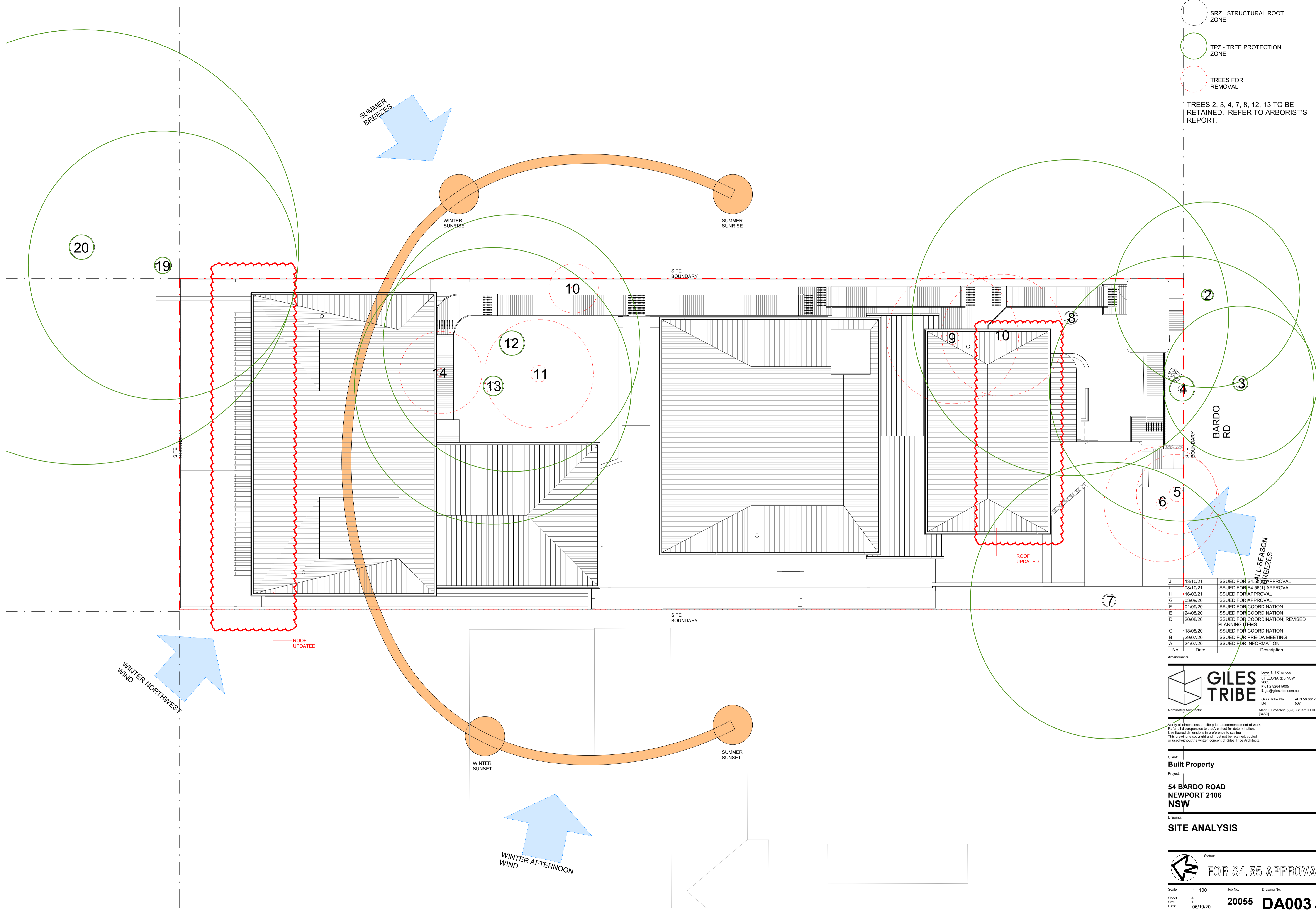
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Project: 54 BARDO ROAD NEWPORT 2106 NSW

DEMOLITION PLAN

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A 20055 DA002 H
 Date: 06/19/20 Drawn: YL Review: VY

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SRZ - STRUCTURAL ROOT ZONE
 TPZ - TREE PROTECTION ZONE
 TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.

| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55 APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| H | 16/03/21 | ISSUED FOR APPROVAL |
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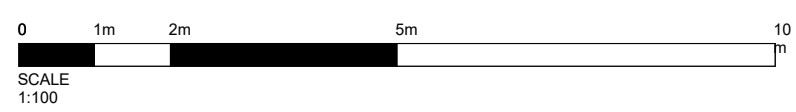
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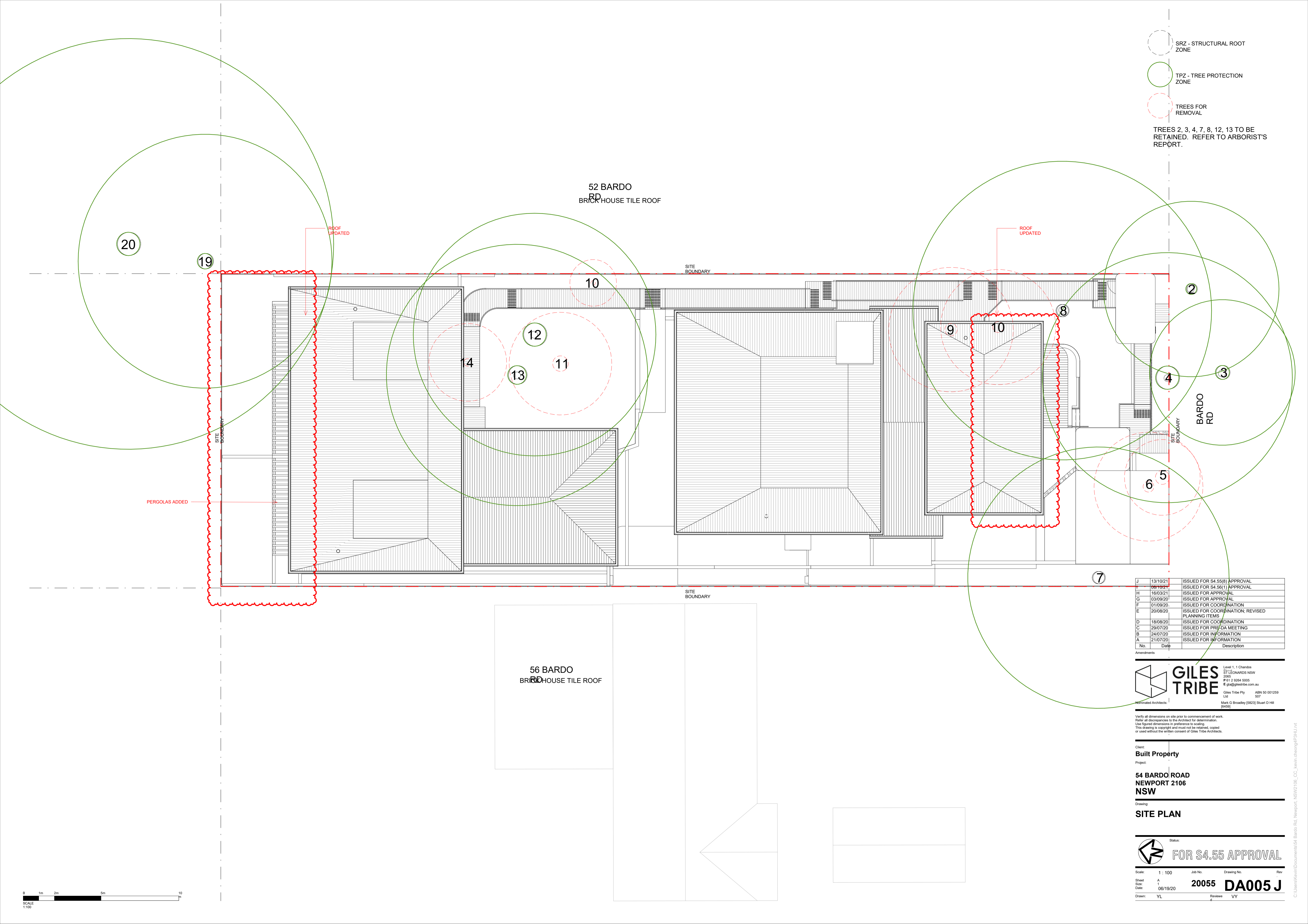
SITE ANALYSIS

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A Date: 06/19/20 20055 DA003 J
 Drawn: YL Review: VY



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 TREES FOR REMOVAL
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| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
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 Nominated Architects

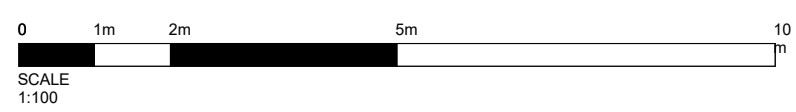
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Client:
Built Property
 Project:
**54 BARDO ROAD
 NEWPORT 2106
 NSW**

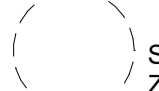


Drawing:
SITE PLAN

Status:
FOR S4.55 APPROVAL

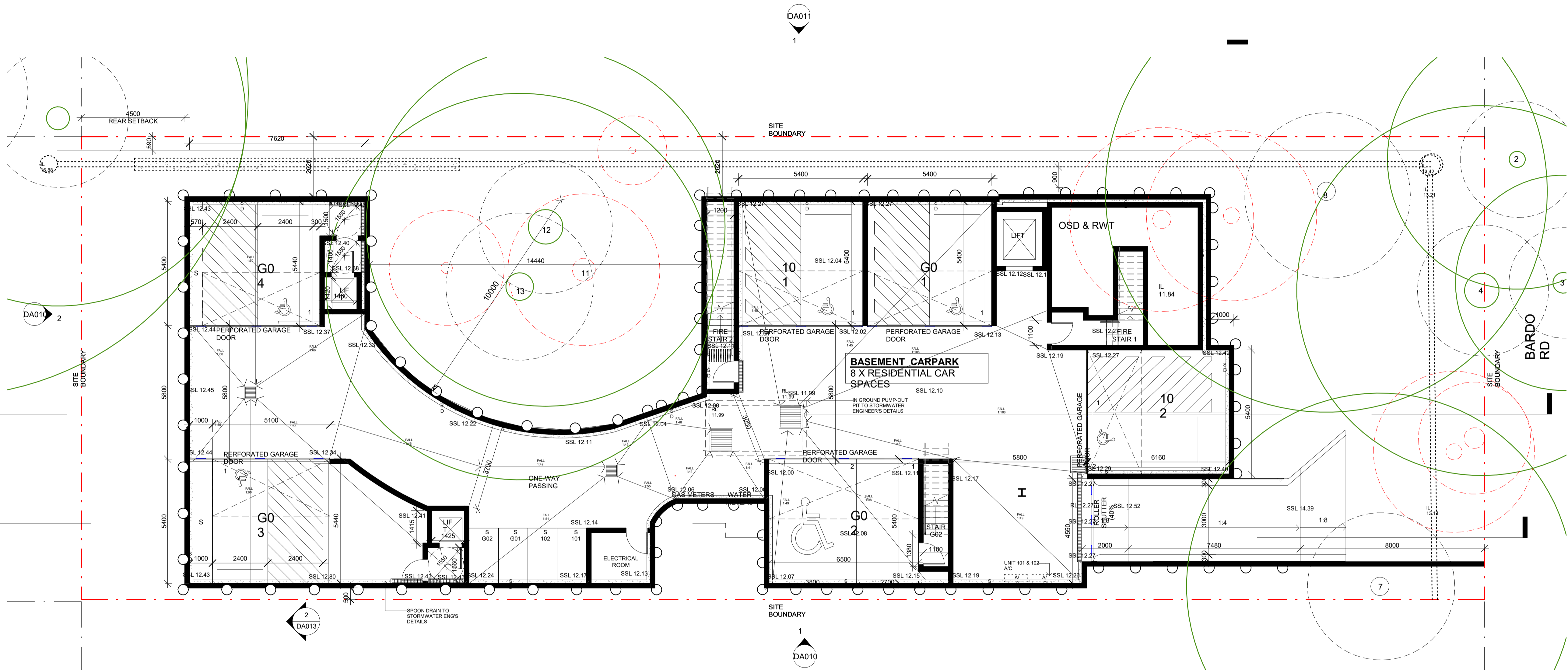
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 Sheet A
 Date: 06/19/20 **20055 DA005 J**
 Drawn: YL Review: VY



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-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



1 BASEMENT PLAN
1 : 100

| No. | Date | Description |
|-----|----------|--|
| R | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| Q | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| P | 01/04/21 | ISSUED FOR APPROVAL |
| O | 15/03/21 | ISSUED FOR APPROVAL |
| N | 03/09/20 | ISSUED FOR APPROVAL |
| M | 01/09/20 | ISSUED FOR COORDINATION |
| L | 31/08/20 | ISSUED FOR COORDINATION |
| K | 24/08/20 | ISSUED FOR COORDINATION; BASEMENT AMENDED |
| J | 24/08/20 | ISSUED FOR COORDINATION |
| I | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| H | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| G | 18/08/20 | ISSUED FOR COORDINATION |
| F | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| E | 24/07/20 | ISSUED FOR INFORMATION |
| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

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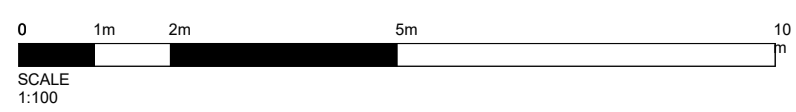
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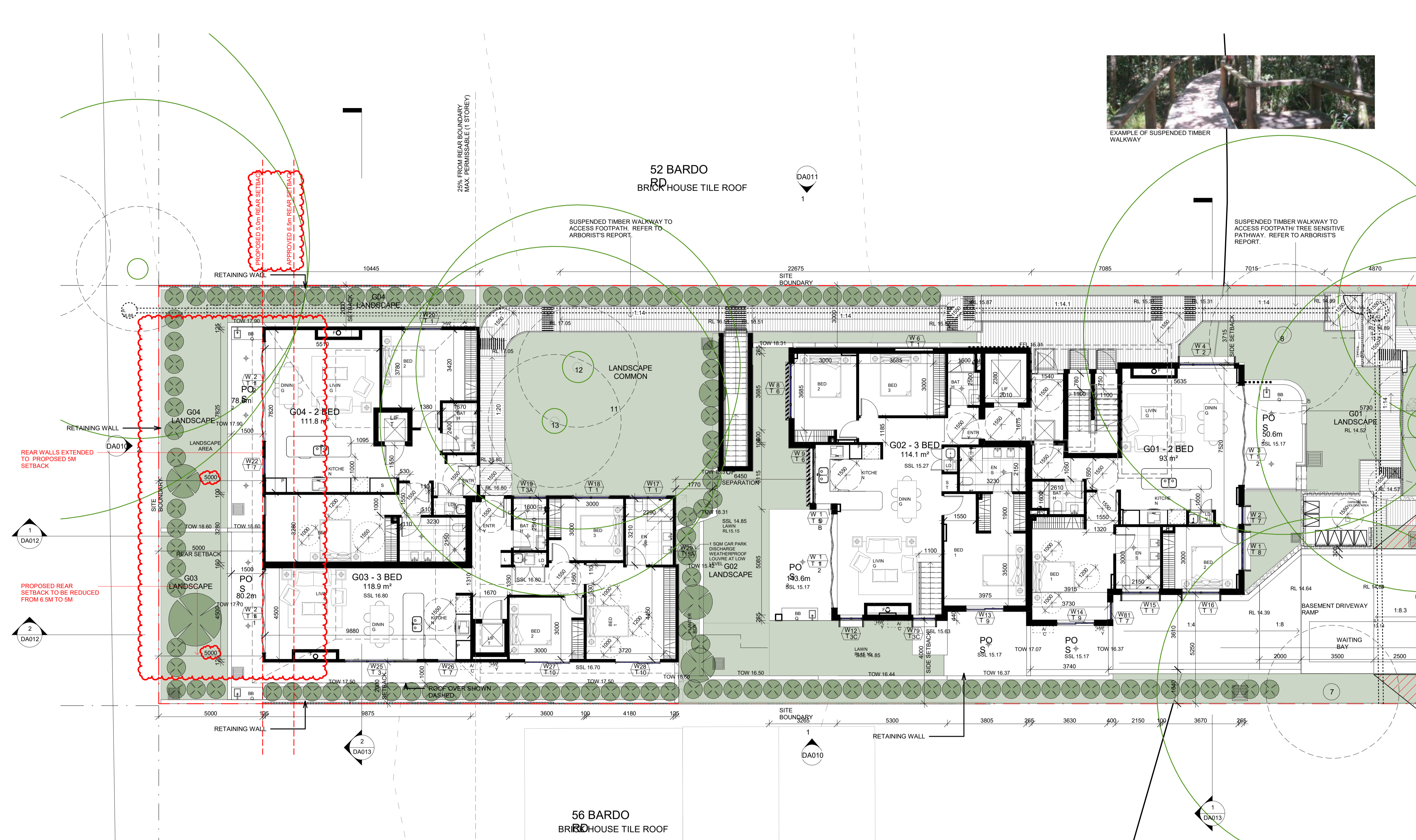
Drawing: **BASEMENT PLAN**

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
Sheet: A Date: 08/04/21 20055 DA006 R
Drawn: Author Author Review: Checker

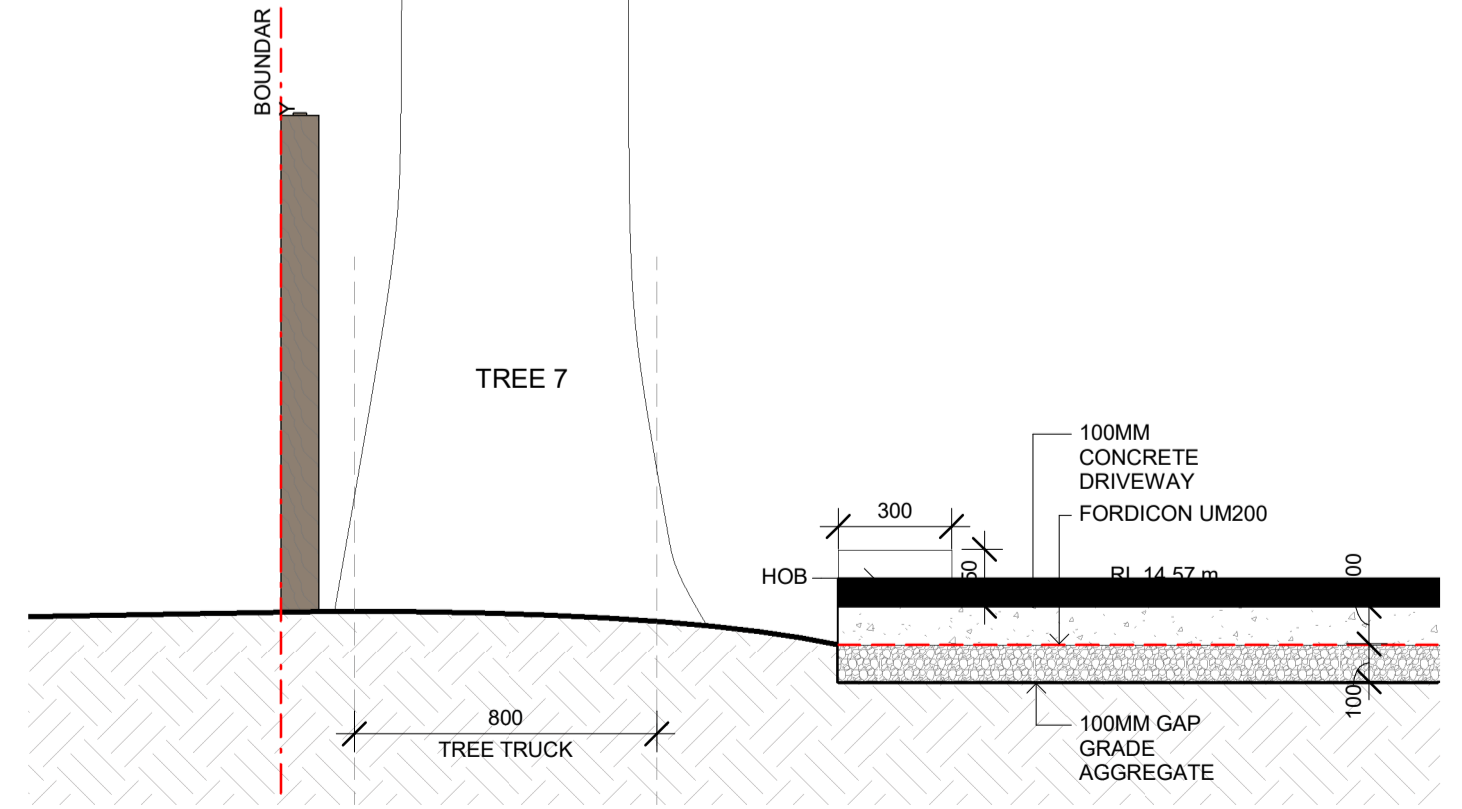


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 - TPZ - TREE PROTECTION ZONE
 - TREES FOR REMOVAL
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1
DA007
GROUND FLOOR PLAN
1:100



2
DA007
DRIVEWAY DETAIL SECTION
1:20

| No. | Date | Description |
|-----|----------|--|
| T | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| S | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| R | 14/05/21 | ISSUED FOR APPROVAL |
| Q | 01/04/21 | ISSUED FOR APPROVAL |
| P | 11/03/21 | ISSUED FOR APPROVAL |
| O | 03/08/20 | ISSUED FOR APPROVAL |
| N | 02/09/20 | ISSUED FOR COORDINATION; ARBORIST INPUT |
| M | 01/09/20 | ISSUED FOR COORDINATION |
| L | 31/08/20 | ISSUED FOR COORDINATION |
| K | 24/08/20 | ISSUED FOR COORDINATION; BASEMENT AMENDED |
| J | 24/08/20 | ISSUED FOR COORDINATION |
| I | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| H | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| G | 18/08/20 | ISSUED FOR COORDINATION |
| F | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| E | 24/07/20 | ISSUED FOR INFORMATION |
| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

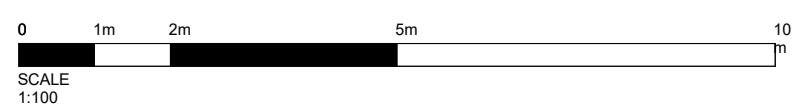
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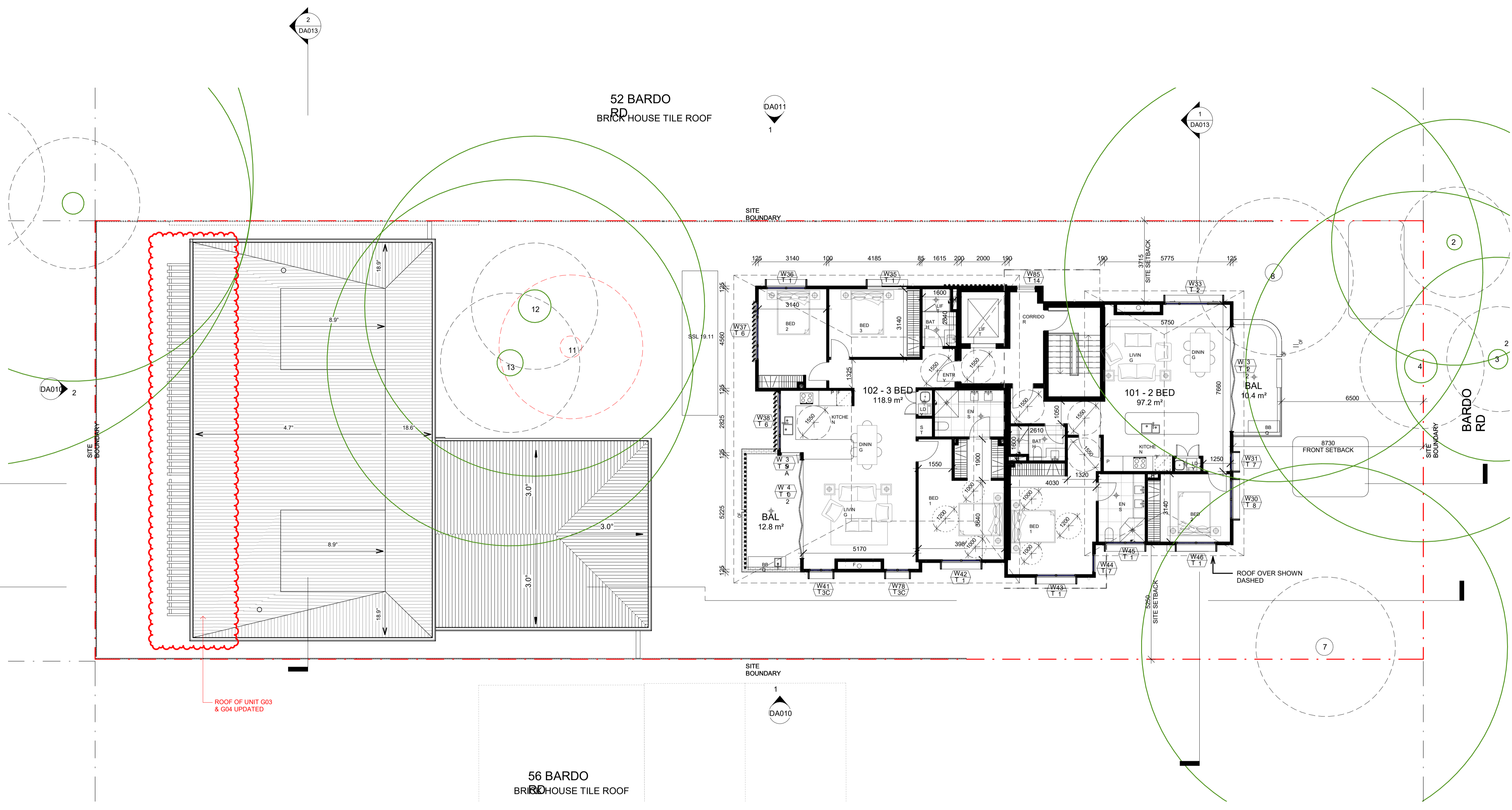
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| Scale: | As indicated | Job No. | Drawing No. | Rev |
|--------|--------------|--------------|----------------|-----|
| Sheet: | A | | | |
| Size: | 1 | | | |
| Date: | 08/04/21 | 20055 | DA007 T | |
| Drawn: | Author | Review: | Checker | |



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-  SRZ - STRUCTURAL ROOT ZONE
 -  TPZ - TREE PROTECTION ZONE
 -  TREES FOR REMOVAL
- TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



1 LEVEL 1 PLAN
SCALE 1:100

| No. | Date | Description |
|-----|----------|--|
| Q | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| P | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| O | 01/04/21 | ISSUED FOR APPROVAL |
| N | 16/03/21 | ISSUED FOR APPROVAL |
| M | 03/09/20 | ISSUED FOR APPROVAL |
| L | 01/09/20 | ISSUED FOR COORDINATION |
| K | 31/08/20 | ISSUED FOR COORDINATION |
| J | 24/08/20 | ISSUED FOR COORDINATION, BASEMENT AMENDED |
| I | 21/08/20 | ISSUED FOR COORDINATION, ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
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| E | 24/07/20 | ISSUED FOR INFORMATION |
| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION, INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

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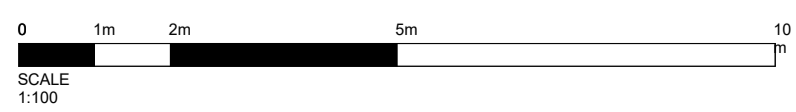
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Project: **54 BARDO ROAD NEWPORT 2106**


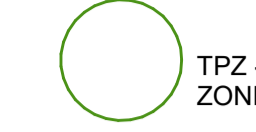

Drawing: **LEVEL 1 PLAN**

Status: **FOR S4.55 APPROVAL**

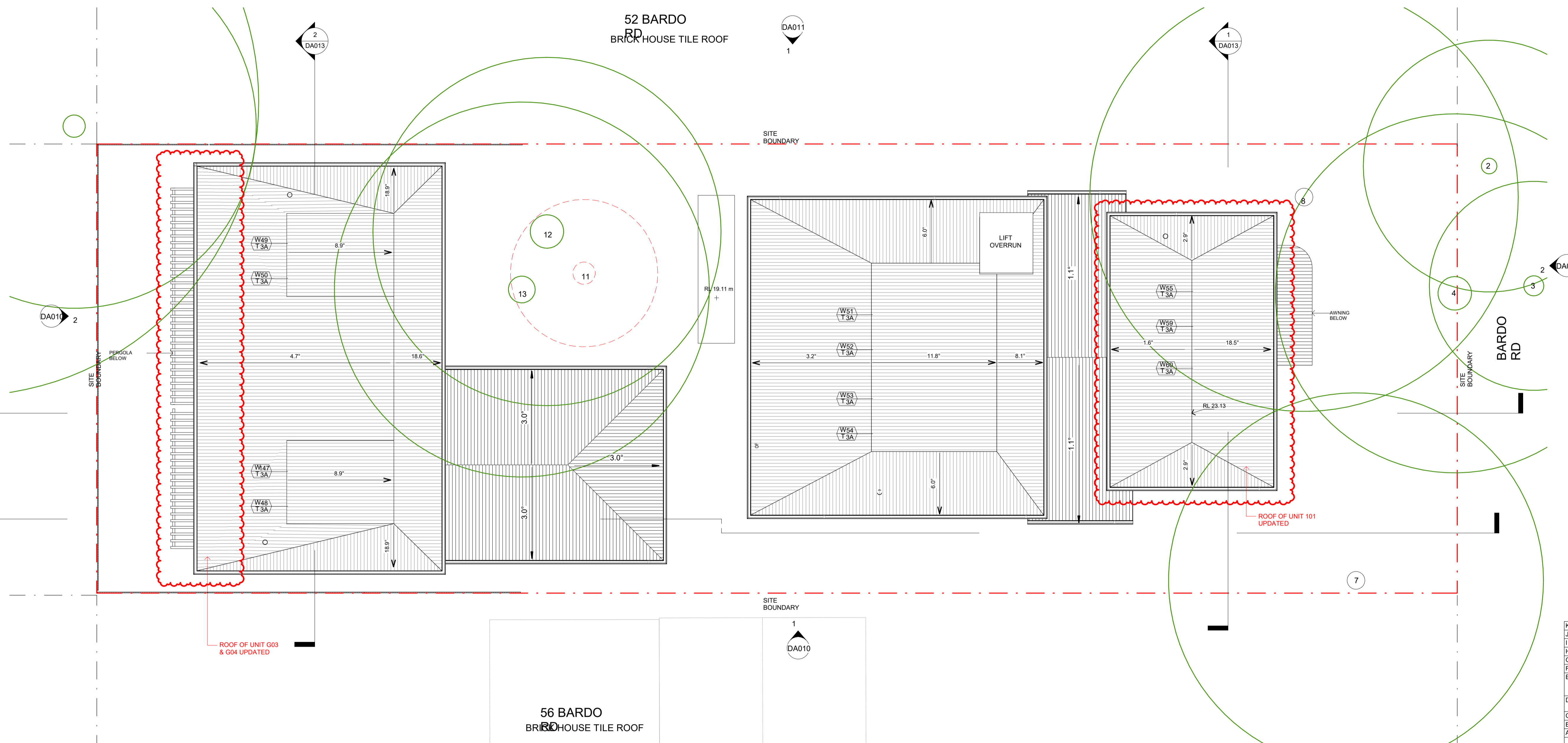
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Sheet: A
Date: 08/04/21 **20055 DA008 Q**
Drawn: Author Reviewed: Checker



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-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

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1 ROOF PLAN
1 : 100

| No. | Date | Description |
|-----|----------|--|
| K | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| J | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
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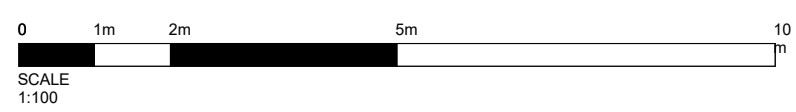
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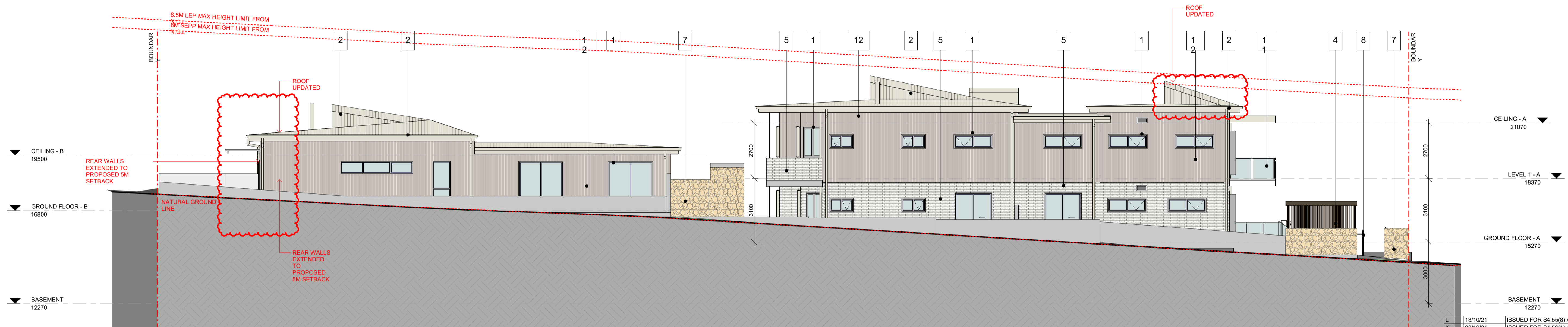
Status: **FOR S4.55 APPROVAL**

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 Sheet A Drawing No. 20055 DA009 K
 Date: 08/04/21
 Drawn: Author Author
 Checked: Checker

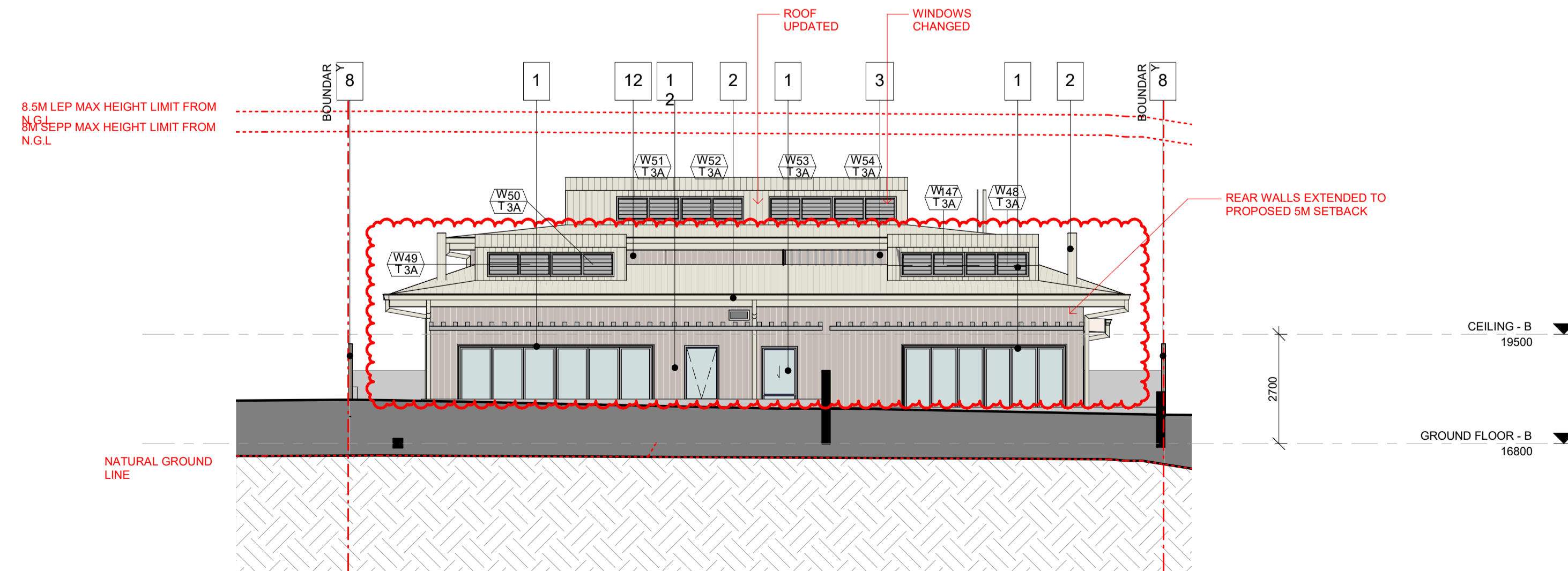


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- 1 ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS POWDERCOATED
DURALLOY ANOTEC - SILVER GREY MATT (27251272) OR SIMILAR
- 2 METAL DECK ROOF, GUTTER, DOWNPIPE
COLORBOND SURFMIST OR SIMILAR
- 3 ALUMINIUM PRIVACY SLATS
FIXED ALUMINIUM PRIVACY SCREENS
- 4 INTERPON POWDERCOAT
COLOUR - ANODIC BRONZE (GY114A) OR SIMILAR
- 5 PGH BRICKS -
-MORADA CENIZA KINEAR 287X90X48MM
- 6 ENTRANCE DOOR
DULUX PAINT RENDER COLOUR - PIPE CLAY (S16A1) OR
- 7 PLANTER BOX, RETAINING WALL
SANDSTON E
- 8 FENCE
EXTERNAL TIMBER-LOOK FENCING
- 9 SOFFIT
TIMBER-LOOK PANEL- URBANLINE SELEKTA CLAD (DARK CEDAR) OR SIMILAR
- 10 ENTRANCE PAVERS
BLUESTONE TILES
- 11 FRAMELESS GLASS BALUSTRADE
- 12 SCYON AXON CLADDING



1 WEST ELEVATION
DA010 1:100



2 NORTH ELEVATION
DA010 1:100

| No. | Date | Description |
|-----|----------|--|
| L | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| K | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
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| I | 03/09/20 | ISSUED FOR APPROVAL |
| H | 01/09/20 | ISSUED FOR COORDINATION |
| G | 31/08/20 | ISSUED FOR COORDINATION |
| F | 24/08/20 | ISSUED FOR COORDINATION |
| E | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| D | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE
 Level 1, 1 Chandos
 ST LEONARDS NSW
 2065
 P 61 2 9264 5005
 E gtr@gilestribearch.com.au
 Giles Tribe Pty Ltd
 ABN 50 001259 507
 Mark G Brodley (5823) Stuart D Hill (6458)

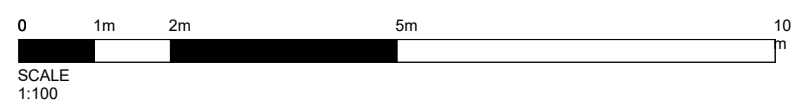
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Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

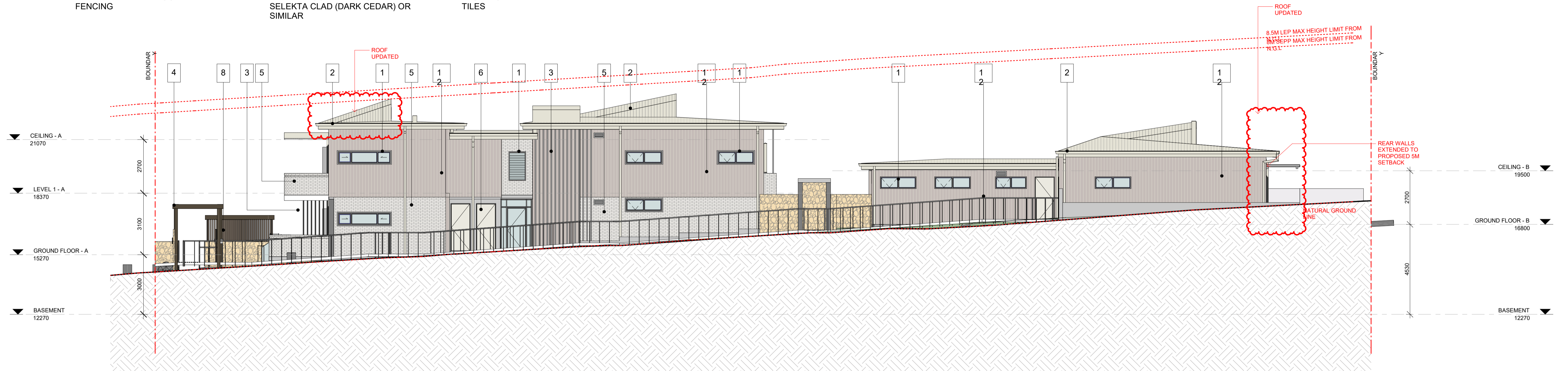
NORTH & WEST ELEVATIONS

Status: **FOR S4.55 APPROVAL**

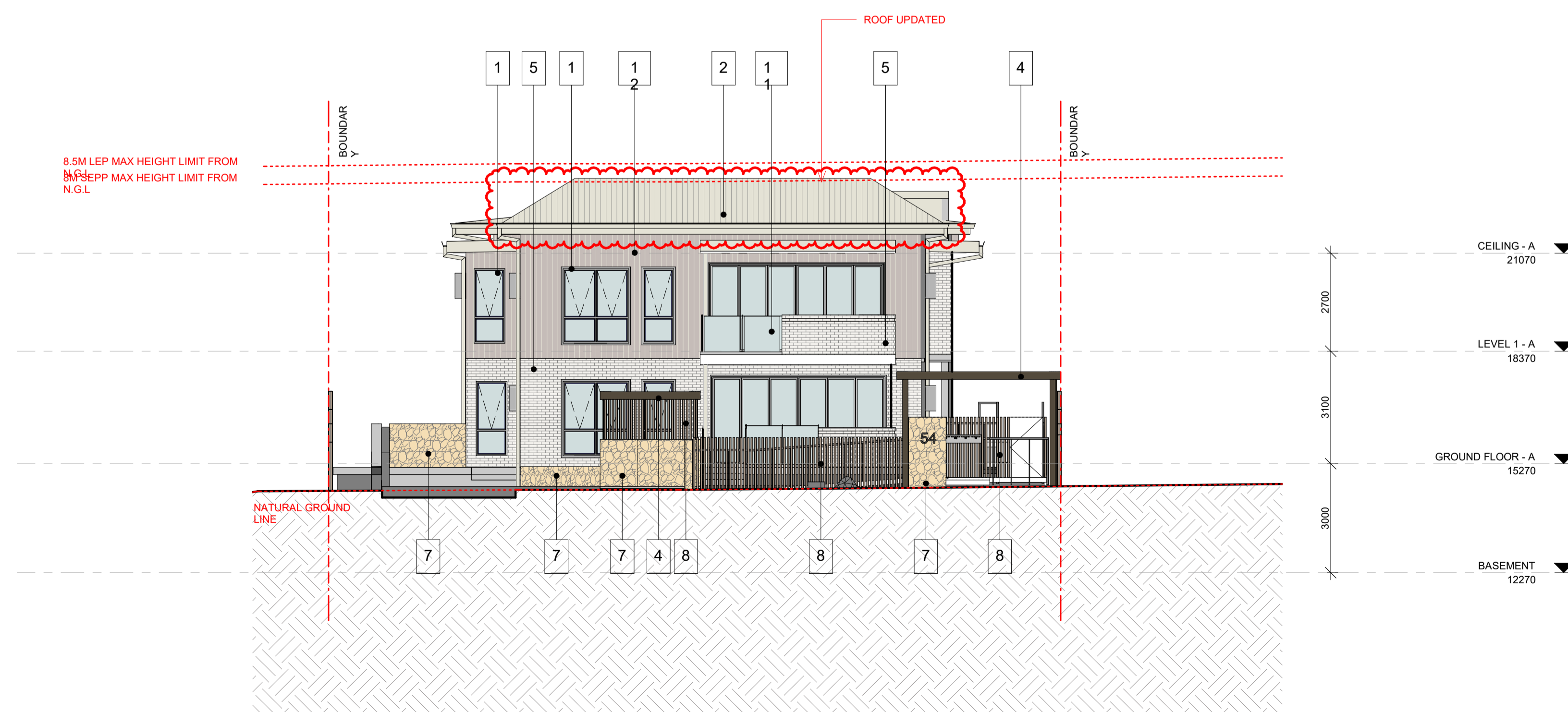
Scale: 1:100 Job No. Drawing No. Rev
 Sheet A
 Date: 06/19/20 **20055 DA010 L**
 Drawn: YL Review: VY



- 1 ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS POWDERCOATED
DURALLOY ANOTEC - SILVER GREY MATT (27251272) OR SIMILAR
- 2 METAL DECK ROOF, GUTTER, DOWNPIPE
COLORBOND SURFMIST OR SIMILAR
- 3 ALUMINIUM PRIVACY SLATS
FIXED ALUMINIUM PRIVACY SCREENS
- 4 INTERPON POWDERCOAT
COLOUR - ANODIC BRONZE (GY114A) OR SIMILAR
- 5 PGH BRICKS -
-MORADA CENIZA KINEAR 287X90X48MM
- 6 ENTRANCE DOOR
DULUX PAINT RENDER COLOUR - PIPE CLAY (S16A1) OR
- 7 PLANTER BOX, RETAINING WALL
SANDSTON E
- 8 FENCE
EXTERNAL TIMBER-LOOK FENCING
- 9 SOFFIT
TIMBER-LOOK PANEL- URBANLINE SELEKTA CLAD (DARK CEDAR) OR SIMILAR
- 10 ENTRANCE PAVERS
BLUESTONE TILES
- 11 FRAMELESS GLASS BALUSTRADE
- 12 SCYON AXON CLADDING



1 EAST ELEVATION
DA011 1: 100



2 SOUTH ELEVATION
DA011 1: 100

| No. | Date | Description |
|-----|----------|--|
| K | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
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Amendments

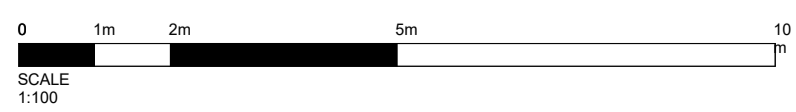
GILES TRIBE Level 1.1 Chandos
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E gtr@gilestribearch.com.au
Giles Tribe Pty Ltd ABN 60 001259
507
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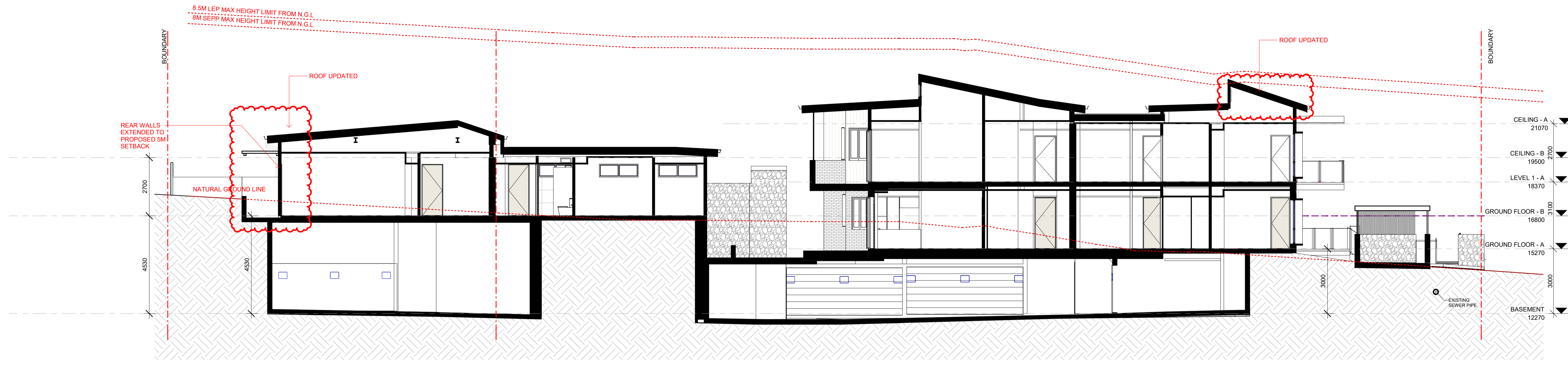
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Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**
Drawing: **SOUTH & EAST ELEVATIONS**

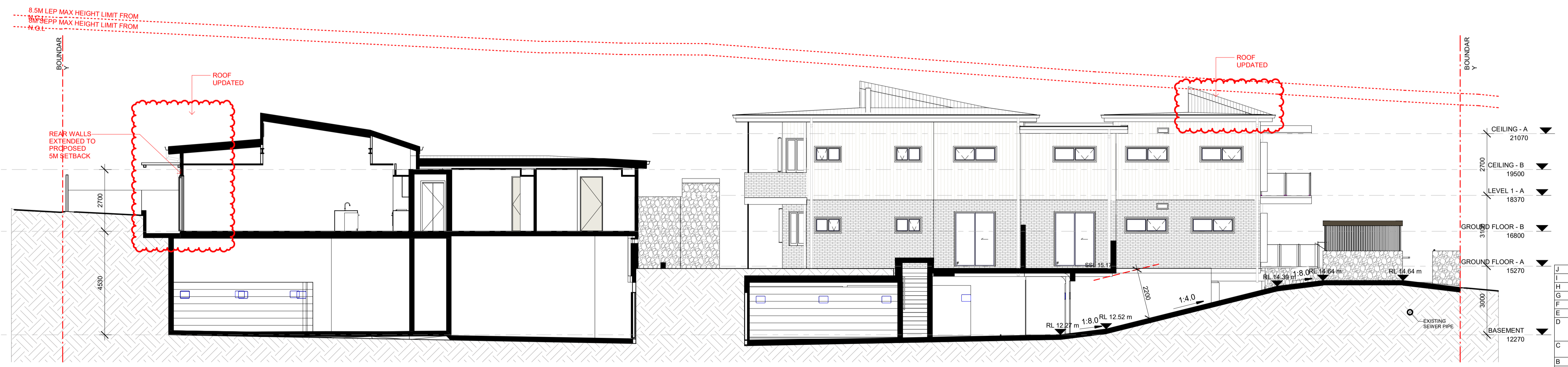
Status: **FOR S4.55 APPROVAL**

Scale: 1: 100 Job No. Drawing No. Rev
Sheet A 20055 DA011 K
Date: 06/19/20
Drawn: YL Review: VY





1 SECTION AA
DA012 1:100



2 SECTION BB
DA012 1:100

| No. | Date | Description |
|-----|----------|--|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
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P 61 2 9264 5005 E gtr@gilestribearchitects.com.au
Giles Tribe Pty Ltd ABN 60 001259 507
Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6458)

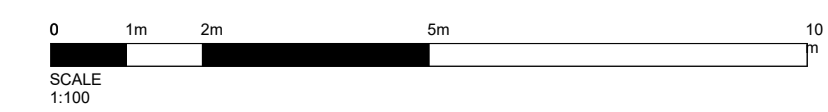
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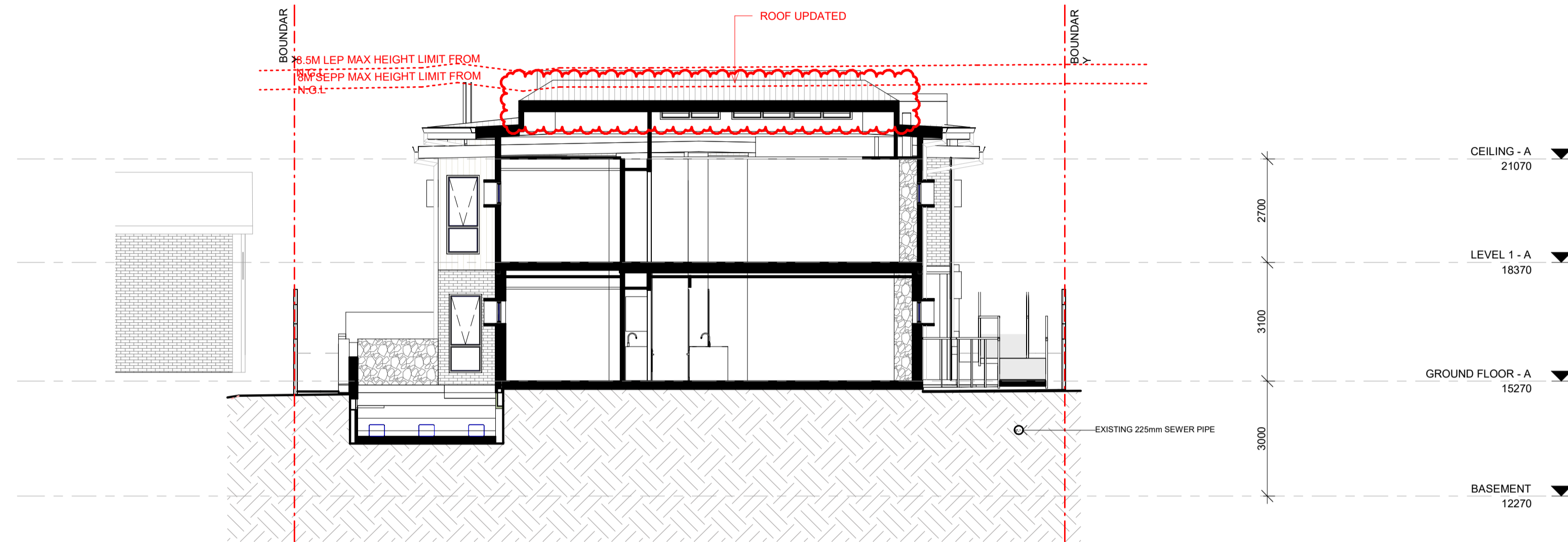
Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawing: **SECTION AA & BB**

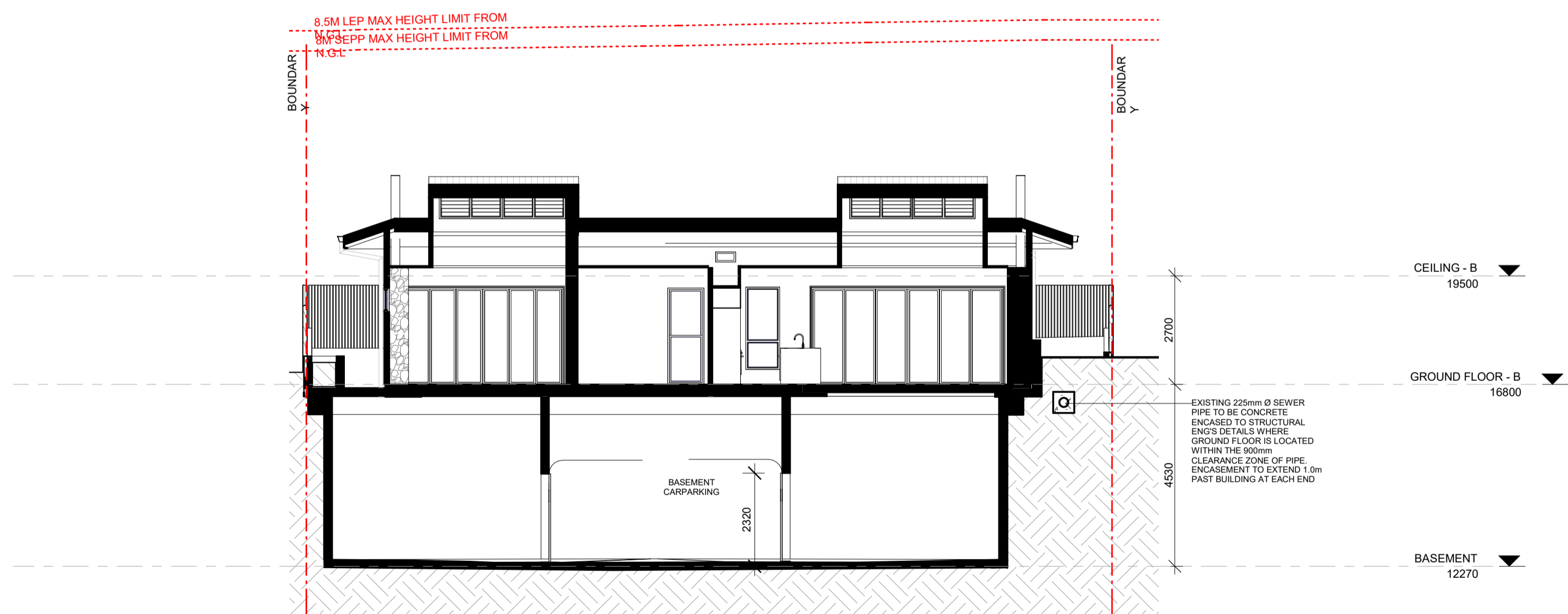
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Scale: 1:100 Job No. Drawing No. Rev
Sheet A 20055 DA012 J
Date: 06/19/20
Drawn: YL Review: VY





1 SECTION CC
DA013 1:100



2 SECTION DD
DA013 1:100

| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
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Amendments

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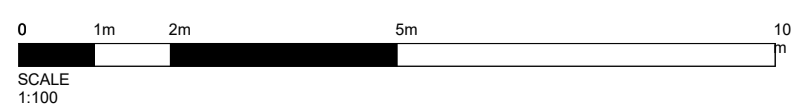
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Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**




Drawing: **SECTION CC & DD**

Status: **FOR S4.55 APPROVAL**

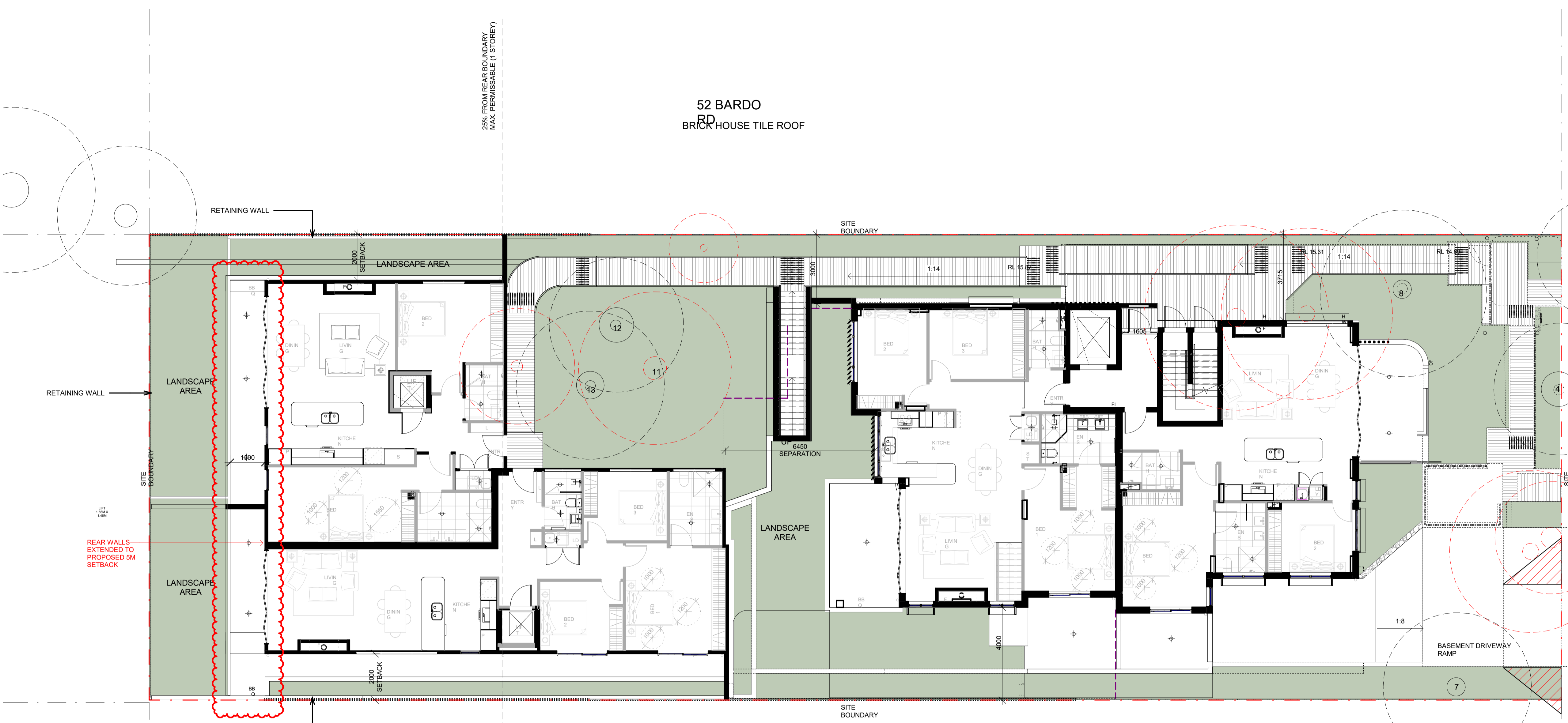
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|--------|----------|--------------|----------------|-----|
| Sheet: | A | | | |
| Date: | 06/19/20 | 20055 | DA013 J | |
| Drawn: | YL | Reviewed: | VY | |



LANDSCAPING AREA
 (392.70 m² = 32.02%)
REQUIREMENT: 30% OF SITE AREA
 (1226.32m² X 0.3 = 367.90 m²)

-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



52 BARDO
 BRICK HOUSE TILE ROOF

56 BARDO
 BRICK HOUSE TILE ROOF

| No. | Date | Description |
|-----|----------|--|
| M | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
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GILES TRIBE Level 1, 1 Chandos Street, NEWPORT NSW 2065
 P 61 2 9264 5005 E gtr@gilestribearchitects.com.au
 Giles Tribe Pty Ltd ABN 50 001259 507
 Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6455)

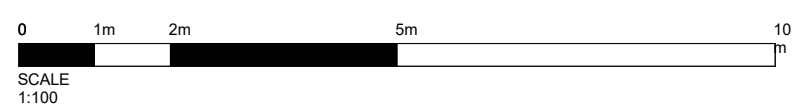
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Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

LANDSCAPE CALCULATION PLAN

Status: **FOR S4.55 APPROVAL**

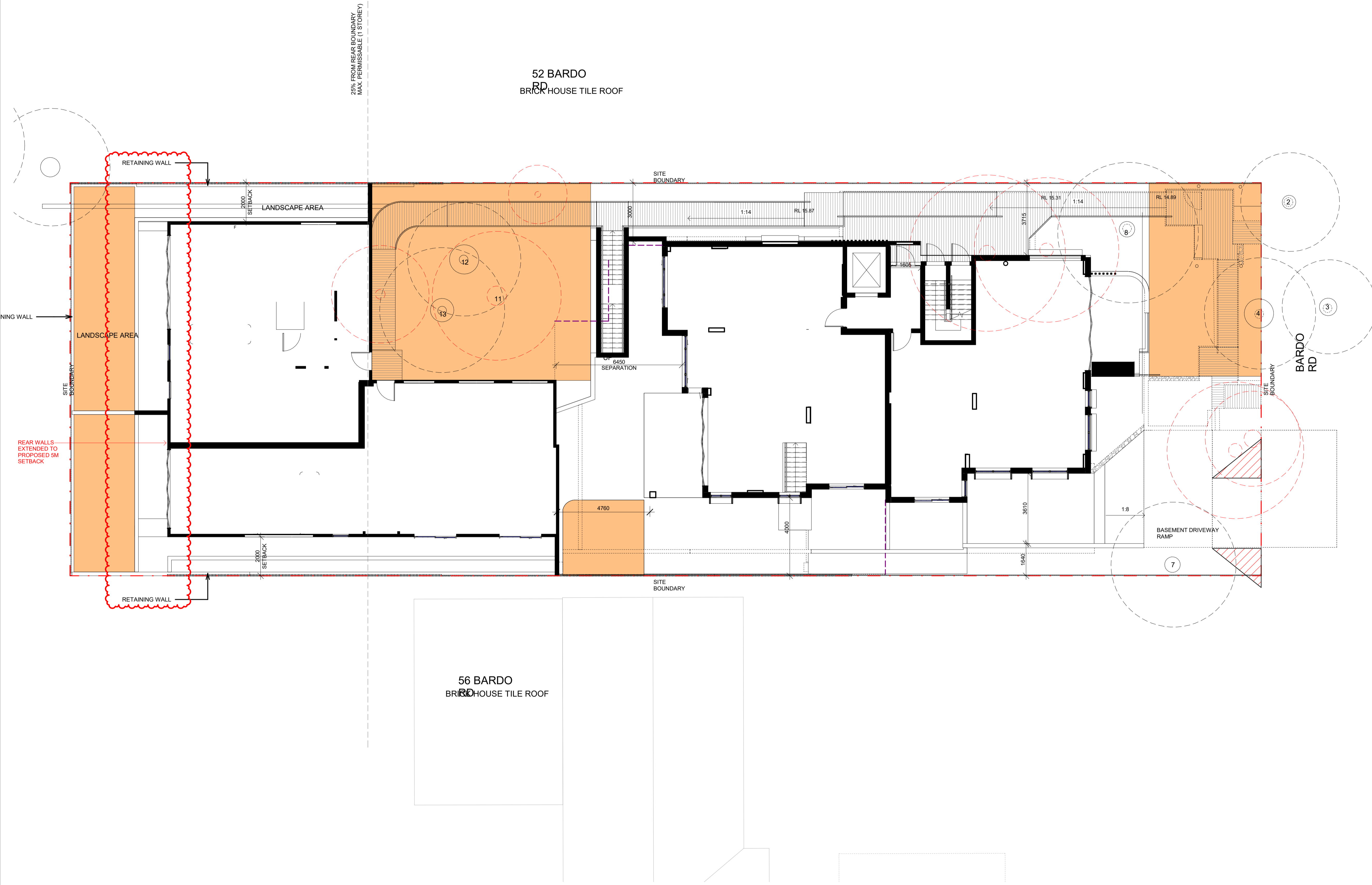
Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet: A Date: 06/19/20 20055 DA014 M
 Drawn: Author Review: Checker



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DEEP SOIL AREA
 FRONT: 56.79m² (23.0%)
 REAR: 189.97m² (77.0%)
 TOTAL: 246.76m² = 20.12% OF SITE AREA

REQUIREMENT: 15% OF SITE AREA
 1226.32m² X 0.15 = 183.94m²



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 P 61 2 9264 5005
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 Giles Tribe Pty Ltd ABN 50 001259
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 Nominated Architects: Mark G Brodley (5823) Stuart D Hill (6455)

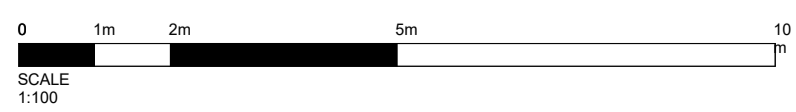
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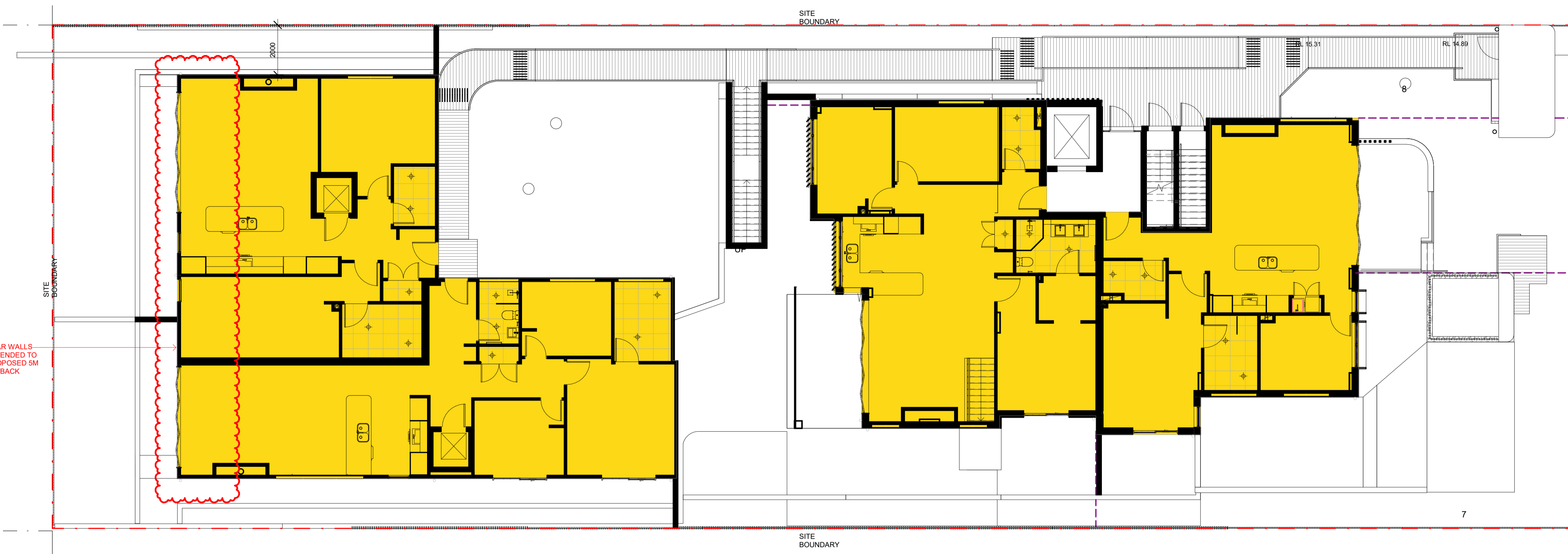
Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

DEEP SOIL PLAN

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet: A
 Size: 1
 Date: 07/22/20 **20055 DA015 L**
 Drawn: Author Review: d Checker

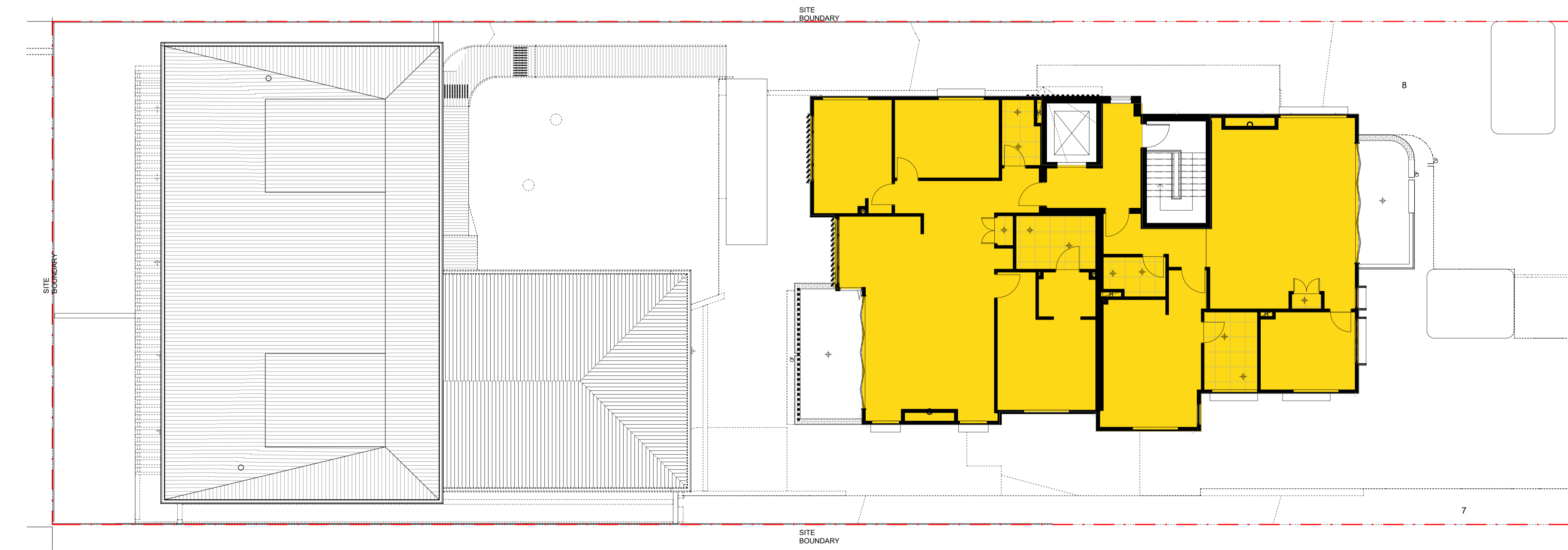




1 GFA - GROUND FLOOR
DA016 1:100

| | |
|------------------|-----------------------|
| GROUND FLOOR GFA | 472.95m ² |
| LEVEL 1 GFA | 239.29m ² |
| TOTAL GFA | 712.24m ² |
| SITE AREA | 1226.32m ² |
| FSR | 0.580:1 |

GFA CALCULATION UPDATED



2 GFA - LEVEL 1
DA016 1:100

| No. | Date | Description |
|-----|----------|--|
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ABN 60 001259 507
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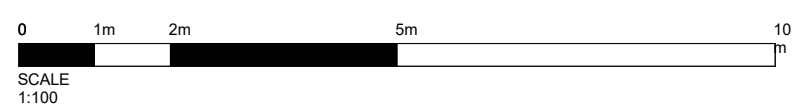
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Project: **54 BARDO ROAD NEWPORT 2106 NSW**

GFA CALCULATIONS

Status: **FOR S4.55 APPROVAL**

| | | | | | | |
|--------|----------|---------|---------|-------------|---------|-----|
| Scale: | 1 : 100 | Job No. | 20055 | Drawing No. | DA016 K | Rev |
| Sheet: | A | Author | Checker | | | |
| Date: | 06/19/20 | | | | | |

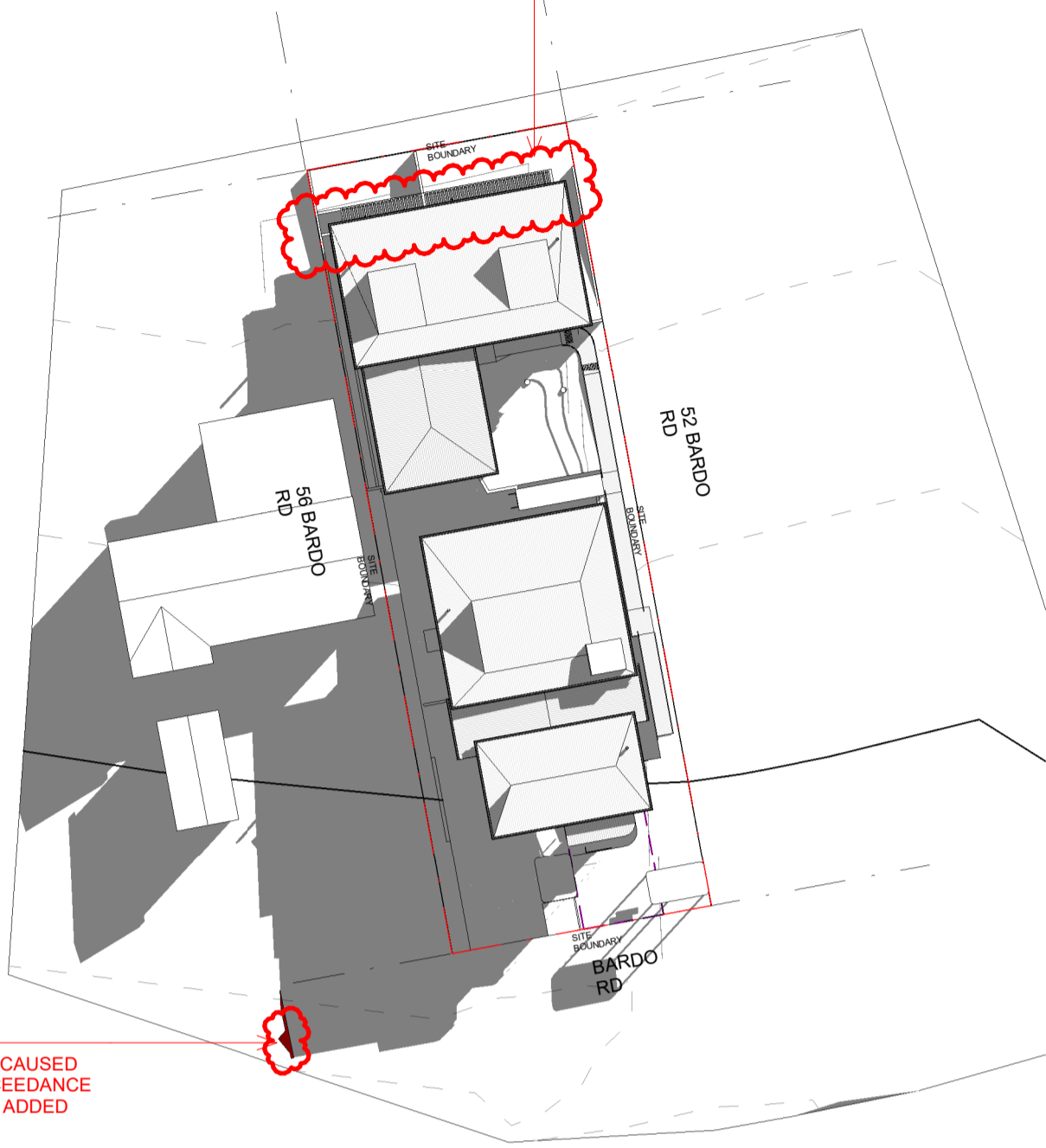


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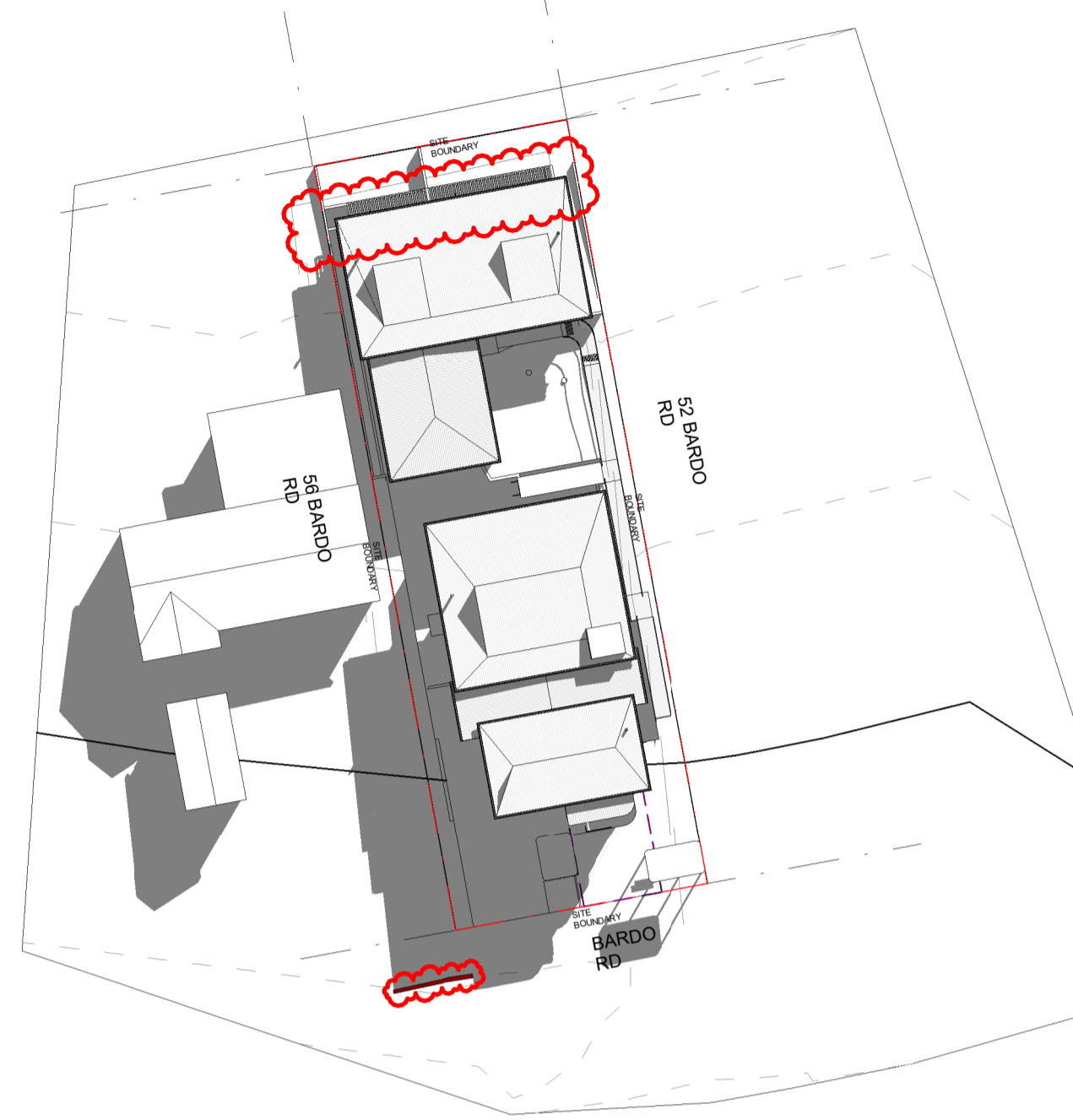
ADDITIONAL OVERSHADOW CAUSED BY HEIGHT EXCEEDANCE

SHADOW DIAGRAMS REVISED DUE TO REAR ROOF EXTENDED

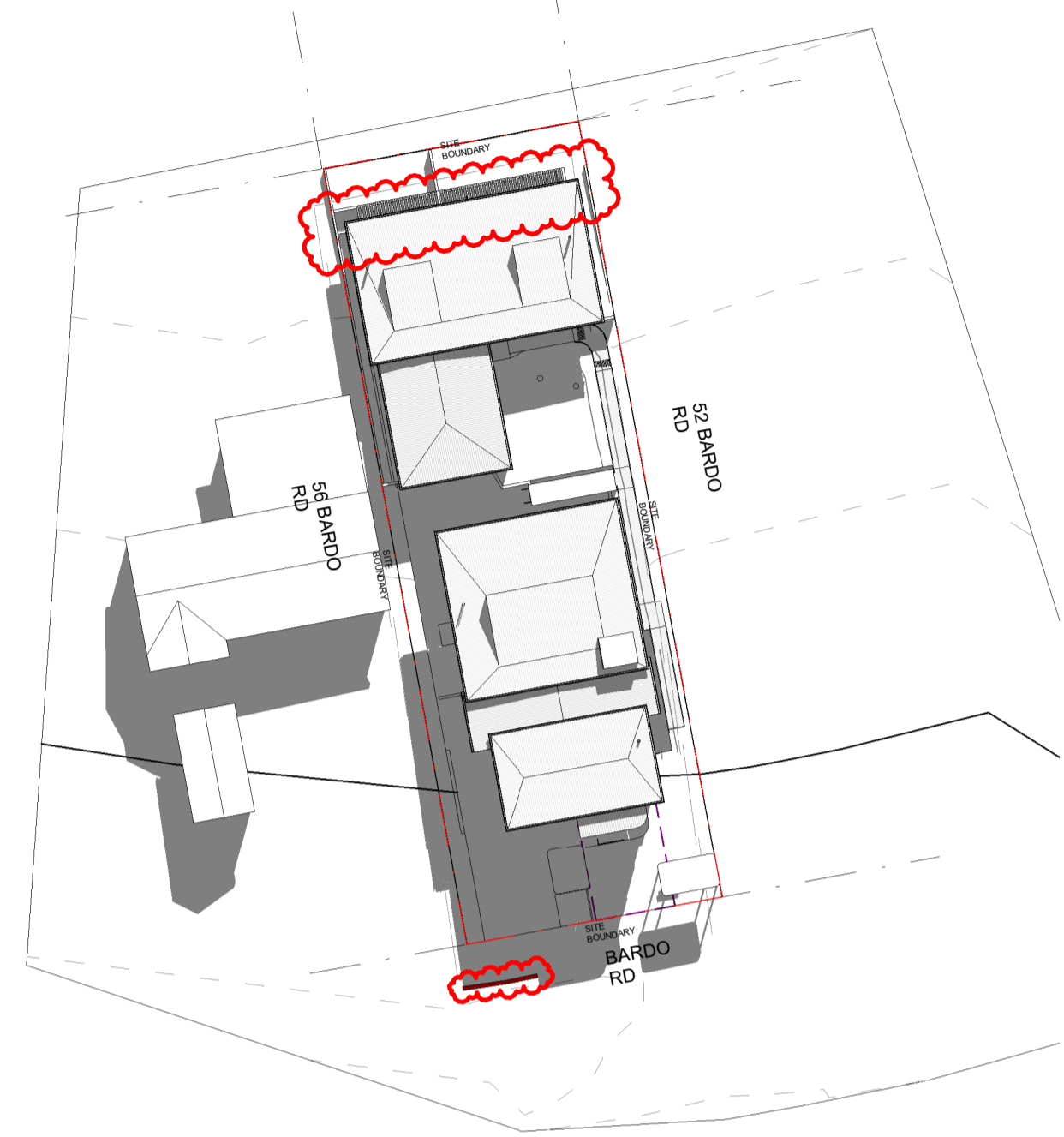
ADDITIONAL OVERSHADOW CAUSED BY HEIGHT EXCEEDANCE SHOWN IN RED ADDED



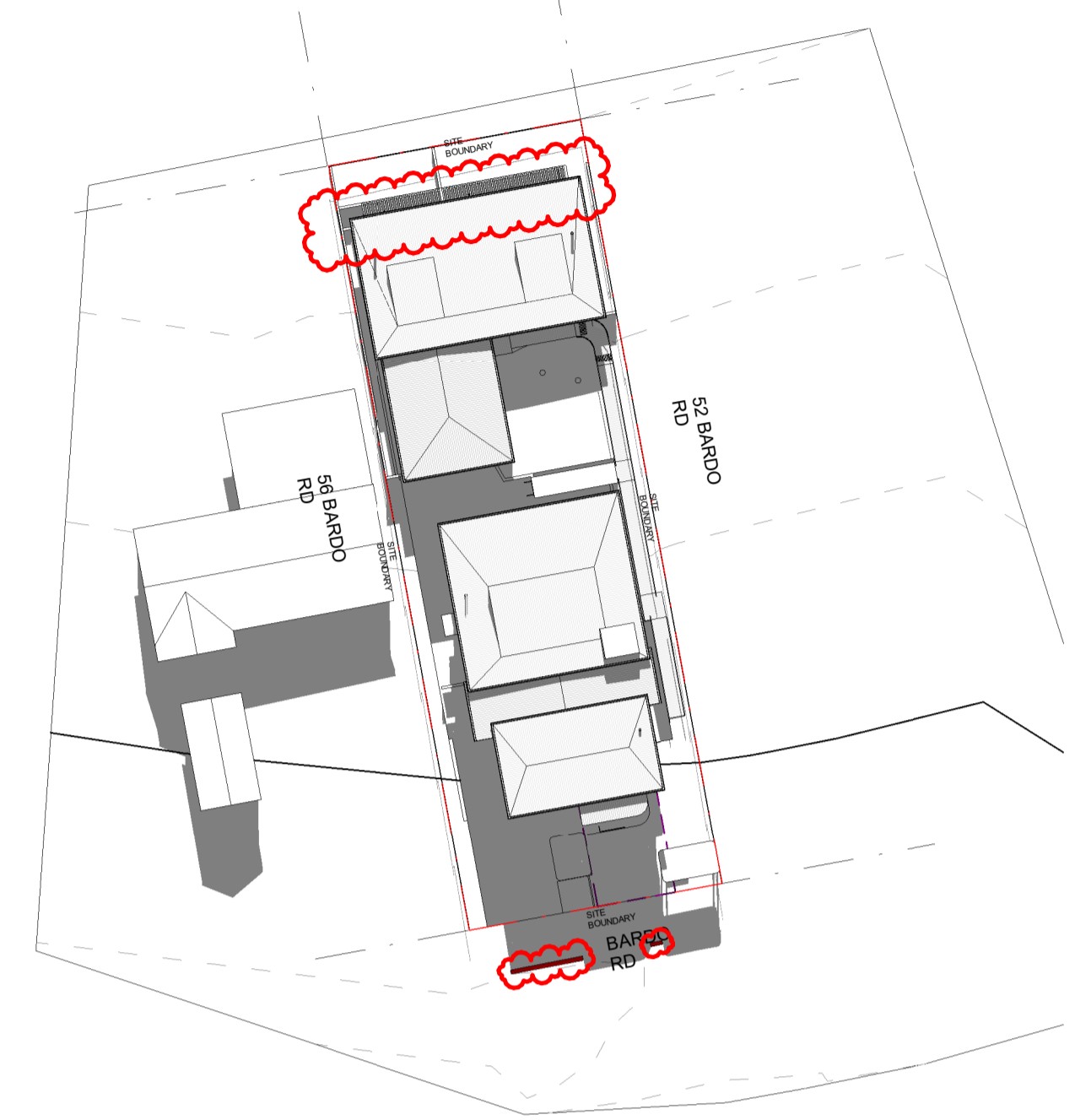
1 SHADOW - JUNE 21 9AM
DA017 1:500



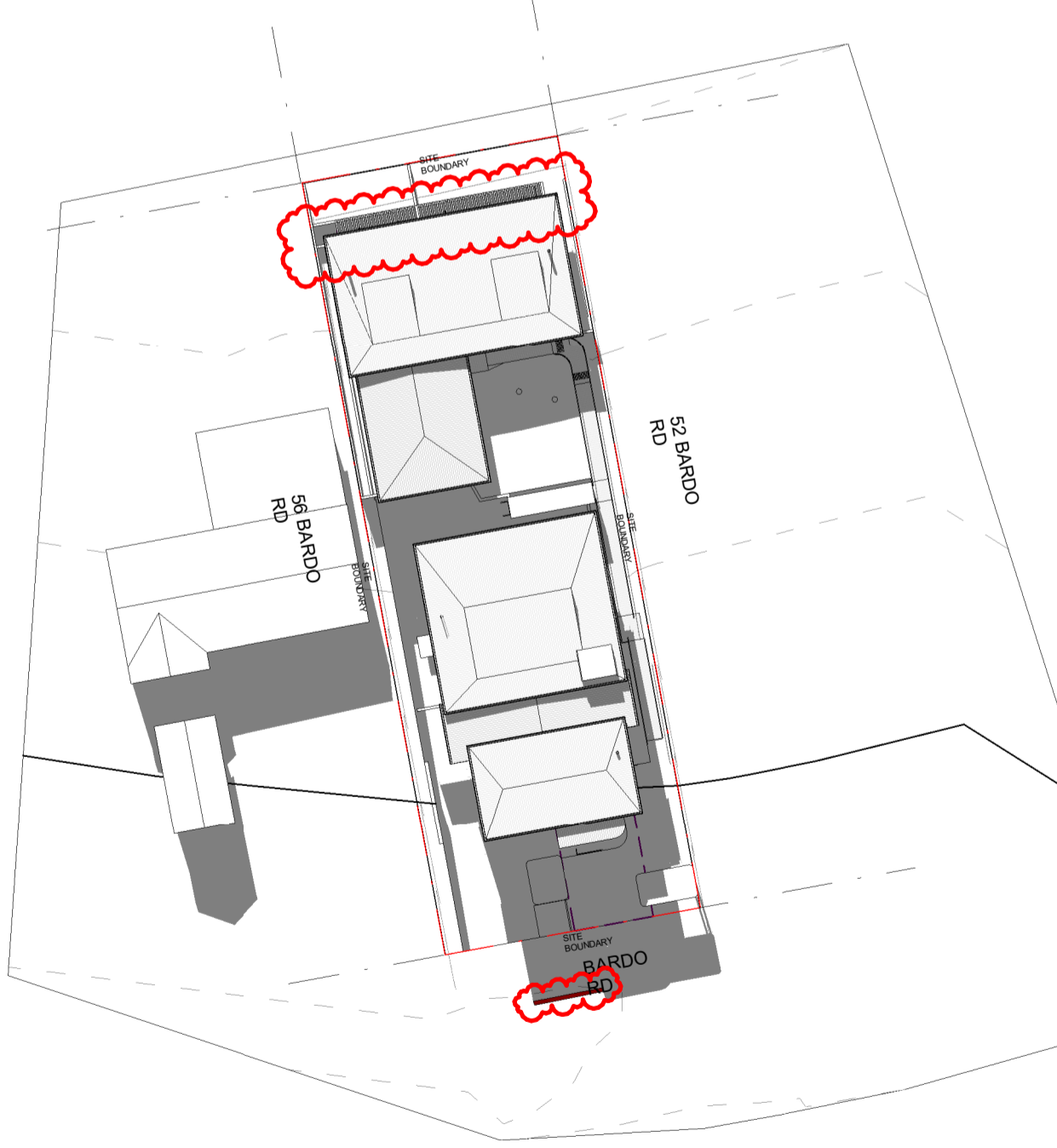
2 SHADOW - JUNE 21 10AM
DA017 1:500



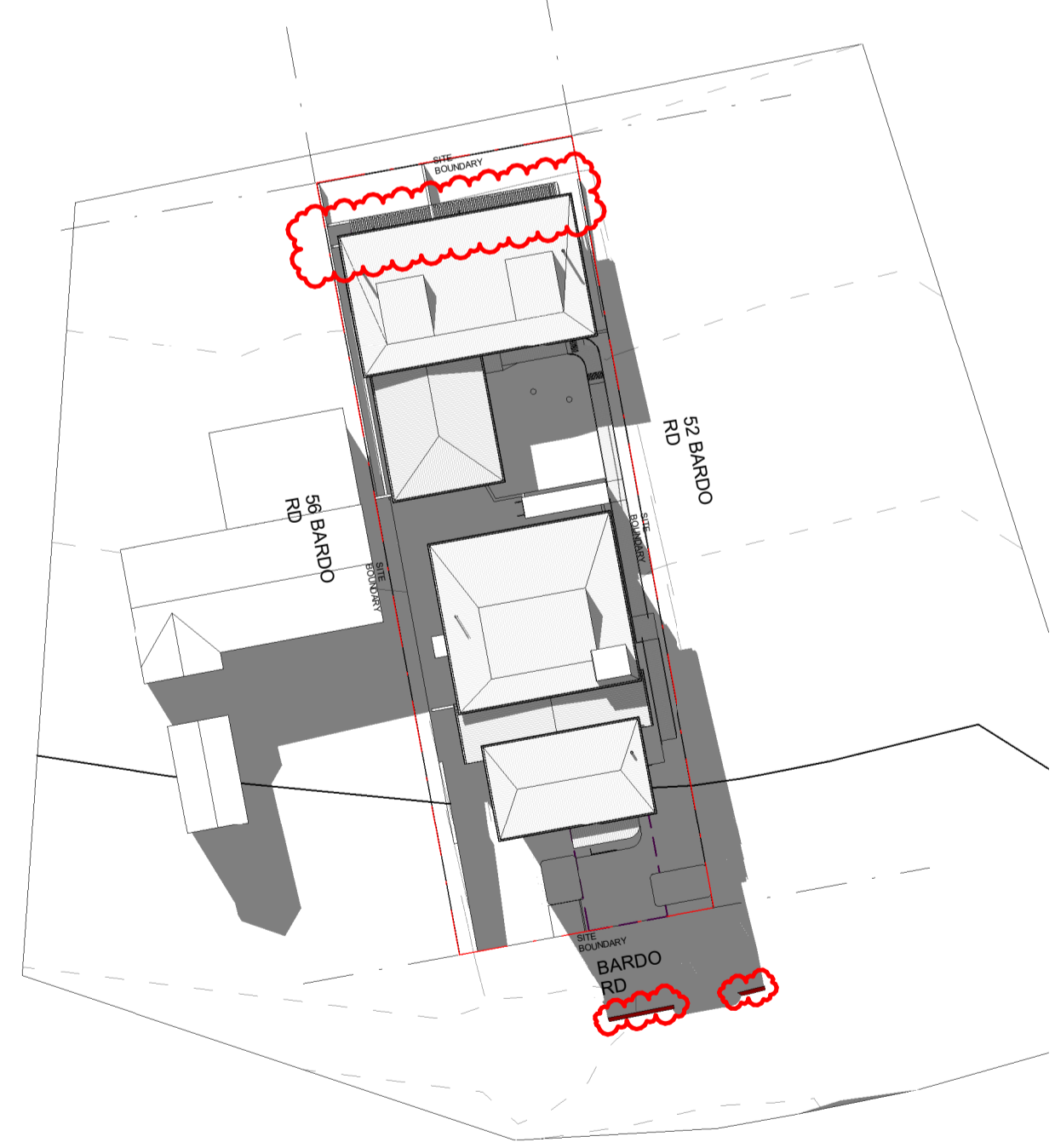
3 SHADOW - JUNE 21 11AM
DA017 1:500



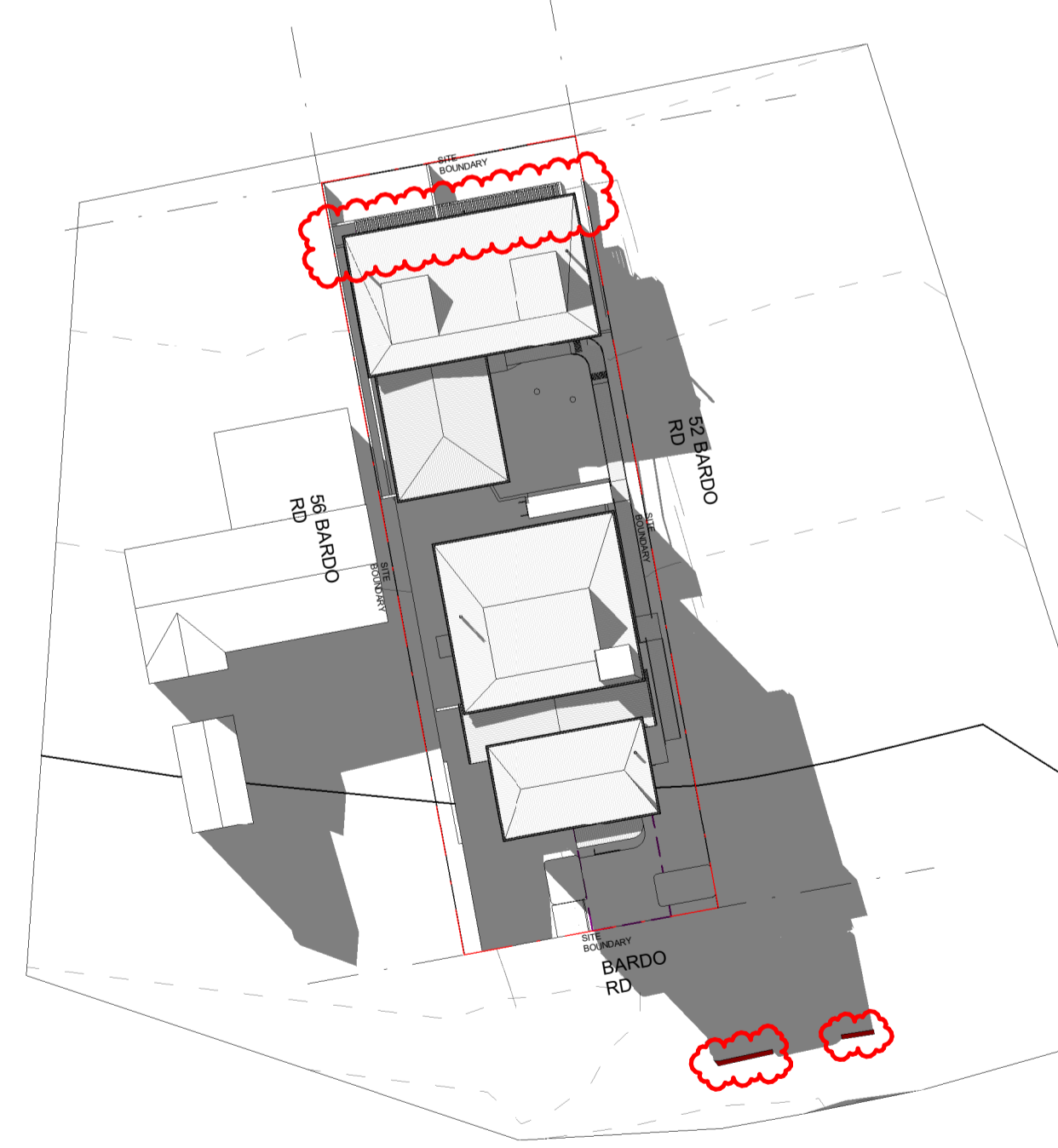
4 SHADOW - JUNE 21 12PM
DA017 1:500



5 SHADOW - JUNE 21 1PM
DA017 1:500



6 SHADOW - JUNE 21 2PM
DA017 1:500



7 SHADOW - JUNE 21 3PM
DA017 1:500

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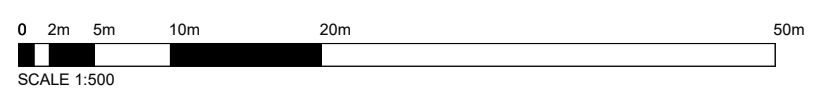
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Project: **54 BARDO ROAD NEWPORT 2106 NSW**

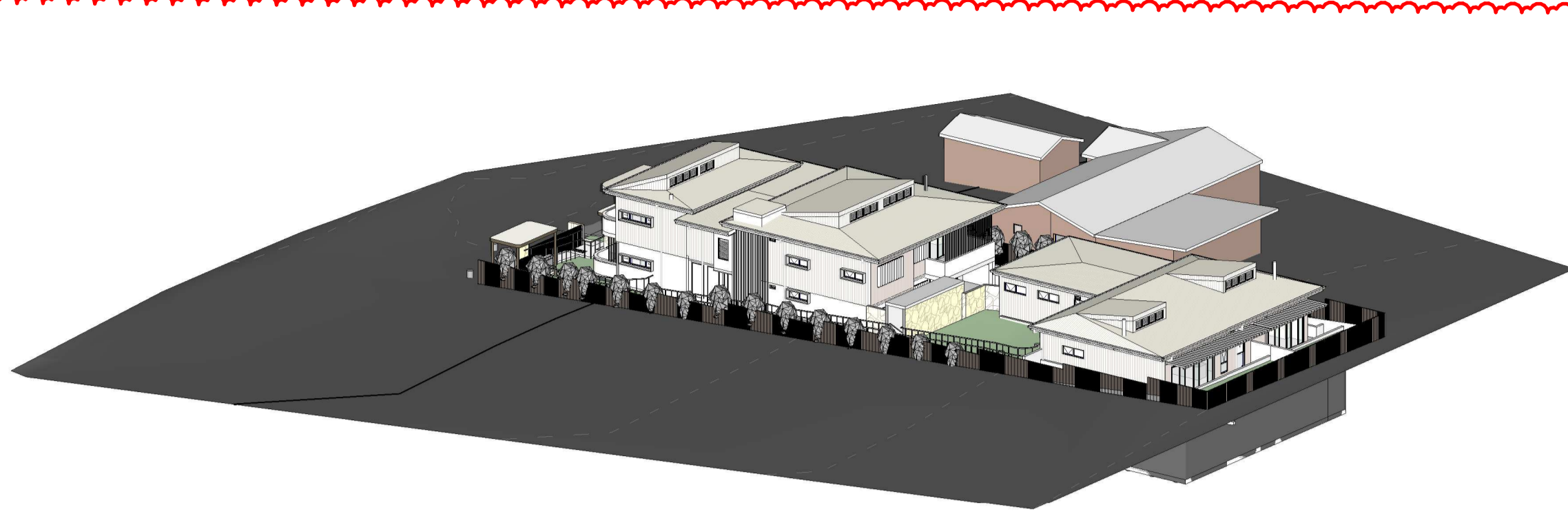
SHADOW DIAGRAMS

Status: **FOR S4.55 APPROVAL**

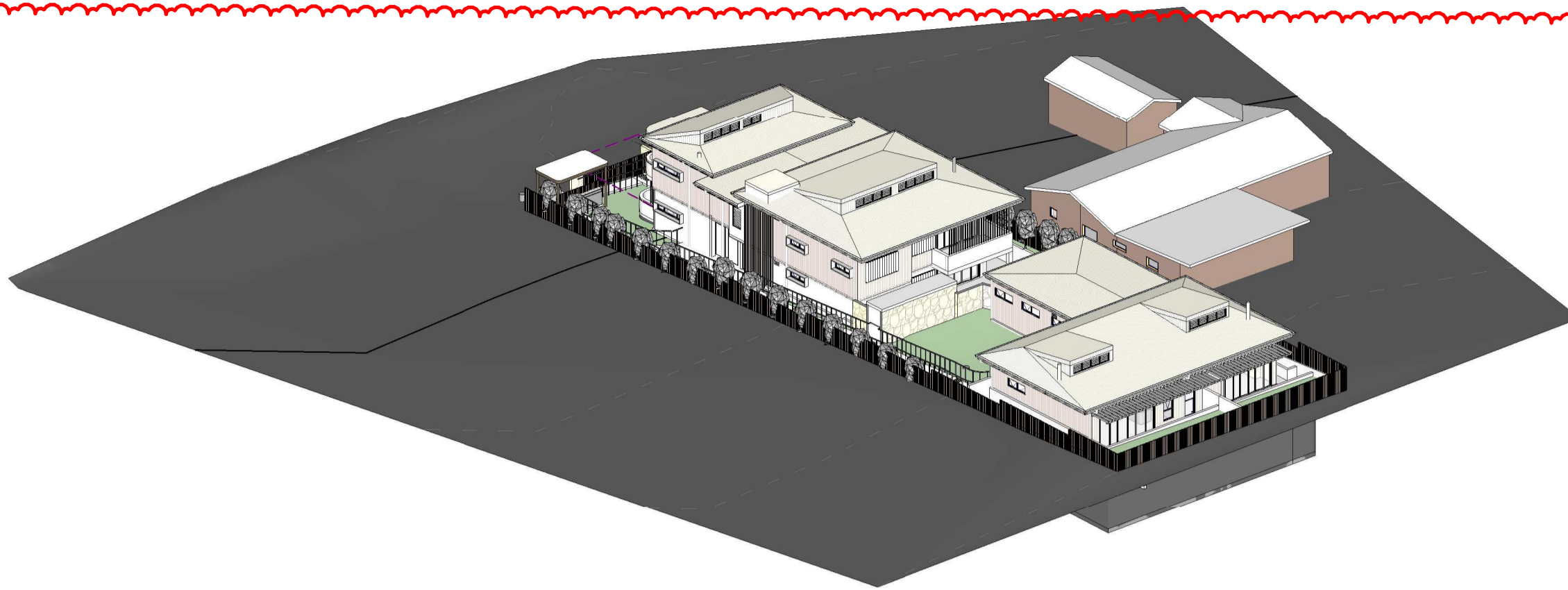
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Sheet: A Date: 06/19/20 20055 DA0171
Drawn: YL Review: VY



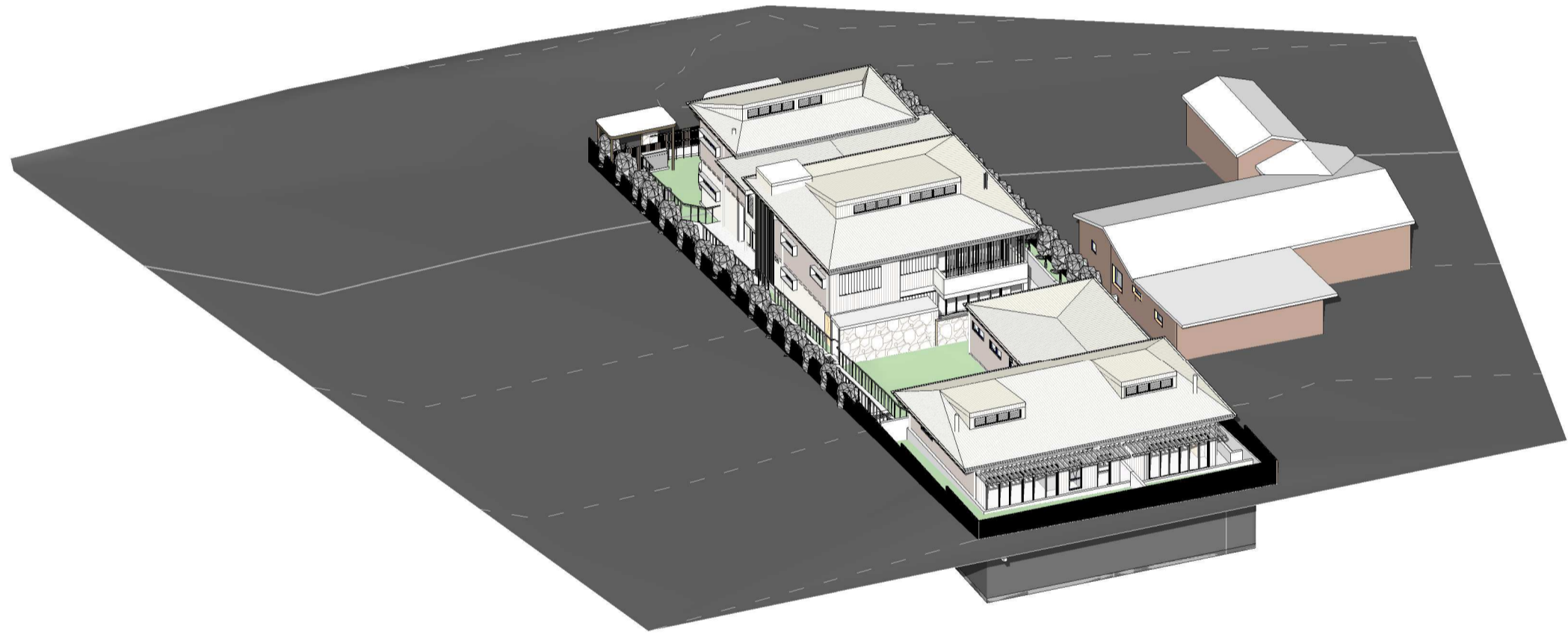
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1 SOLAR - JUNE 21 9AM
DA018



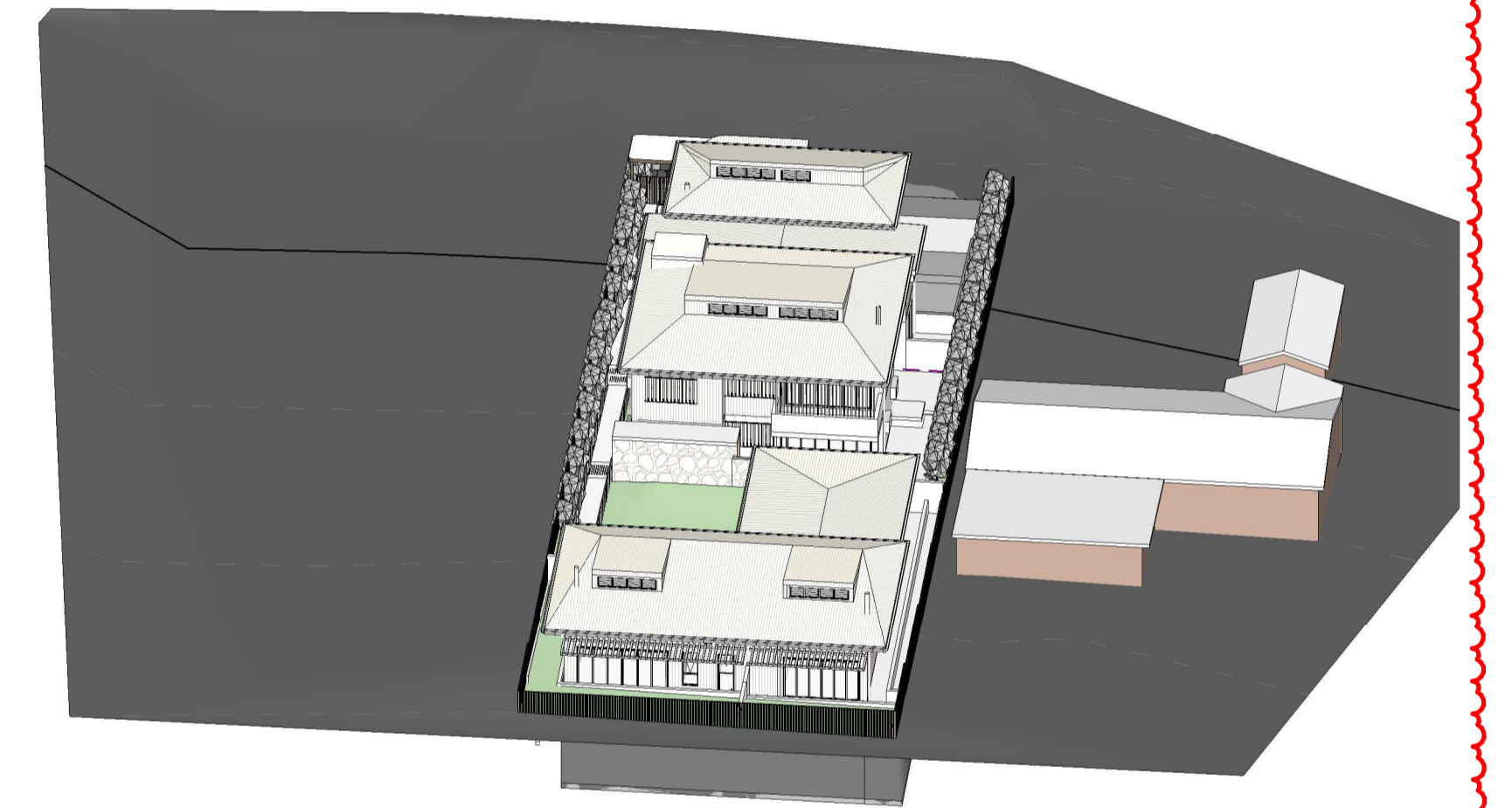
2 SOLAR - JUNE 21 10AM
DA018



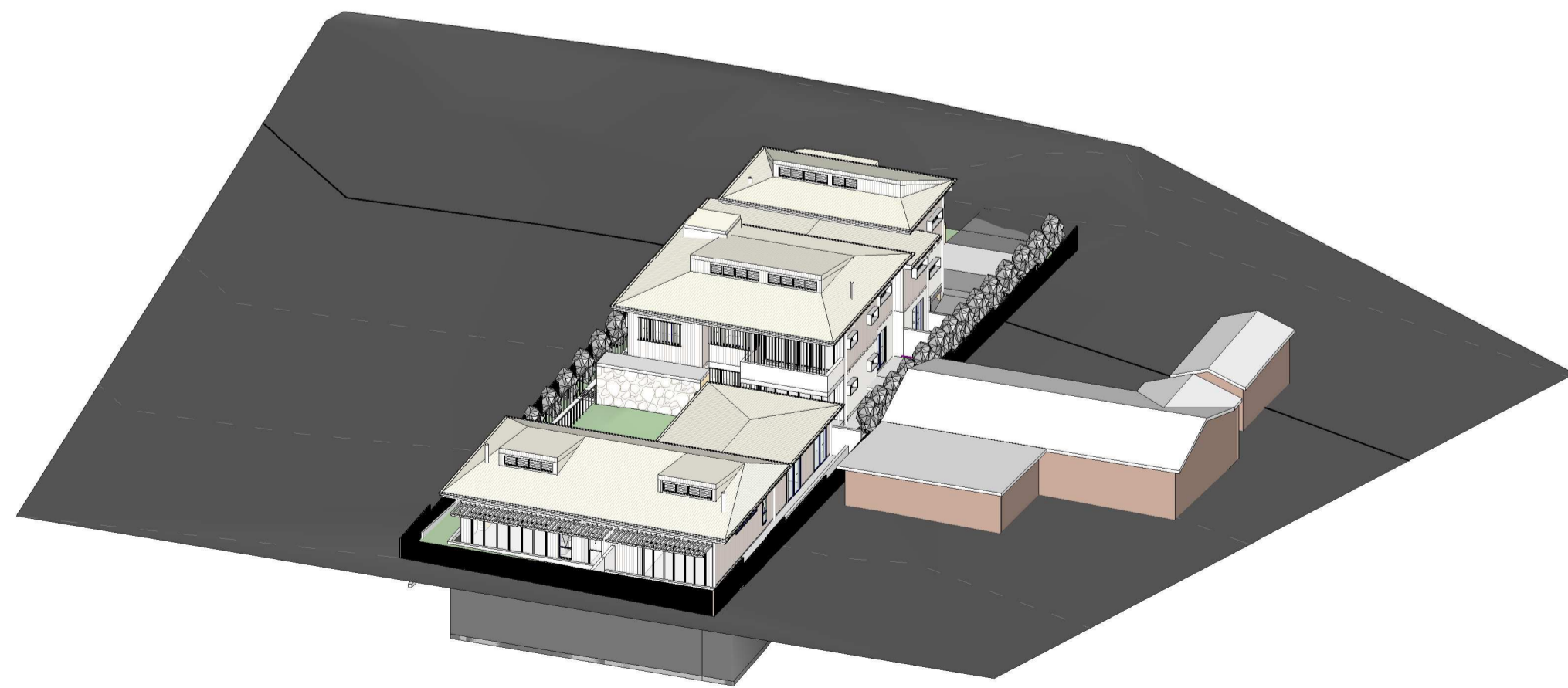
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DA018



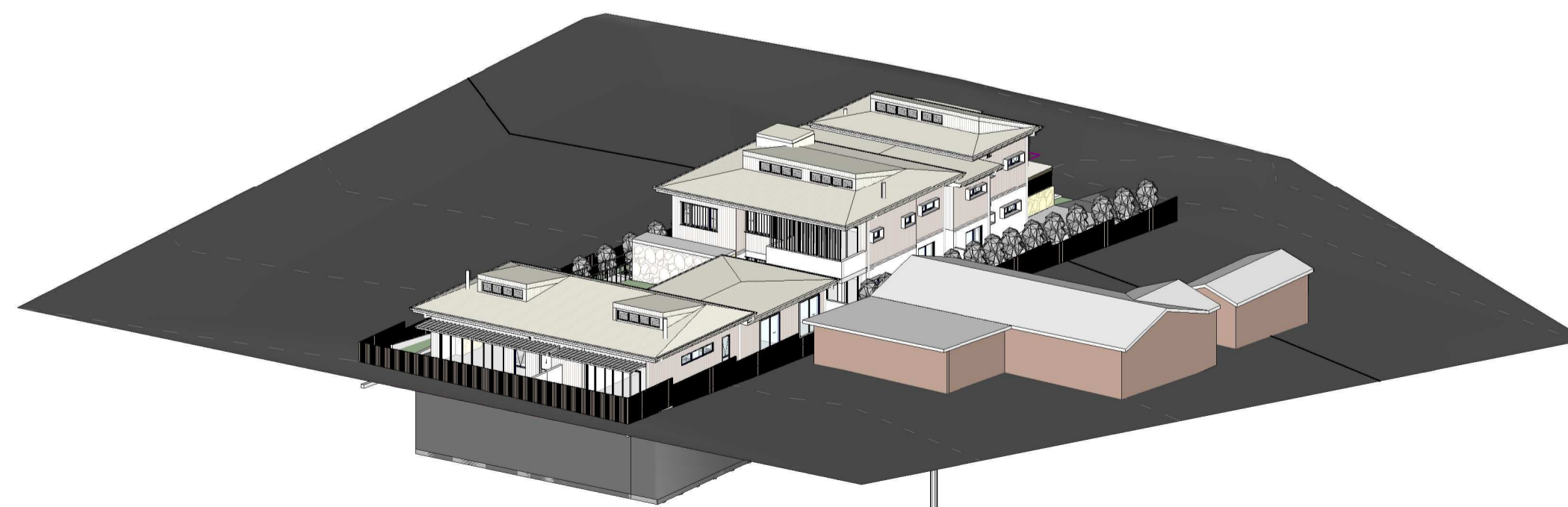
4 SOLAR - JUNE 21 12PM
DA018



5 SOLAR - JUNE 21 1PM
DA018



6 SOLAR - JUNE 21 2PM
DA018



7 SOLAR - JUNE 21 3PM
DA018

SOLAR DIAGRAMS
REVISED

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| F | 03/09/20 | ISSUED FOR APPROVAL |
| E | 01/09/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE
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ST LEONARDS NSW
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E gtr@gilestribearchitects.com.au
Giles Tribe Pty Ltd
ABN 50 001259
507
Mark G Brookley (S23) Stuart D Hill
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Client: **Built Property**
Project:

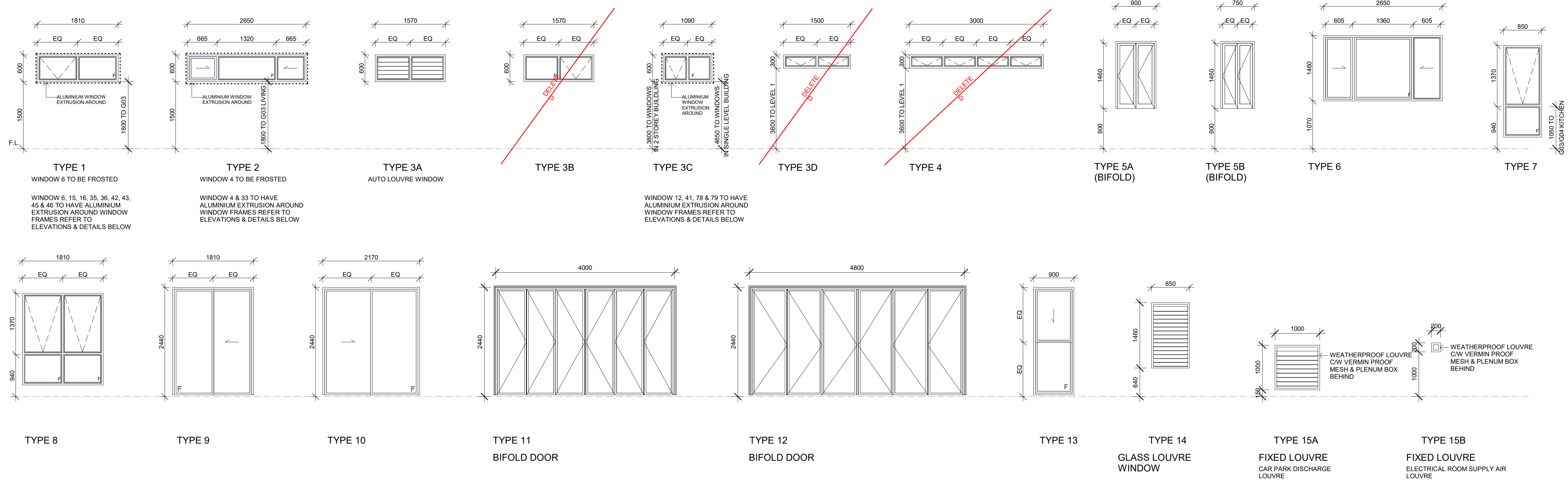
**54 BARDO ROAD
NEWPORT 2106
NSW**

Drawing: **SOLAR DIAGRAMS**

Status: **FOR S4.55 APPROVAL**

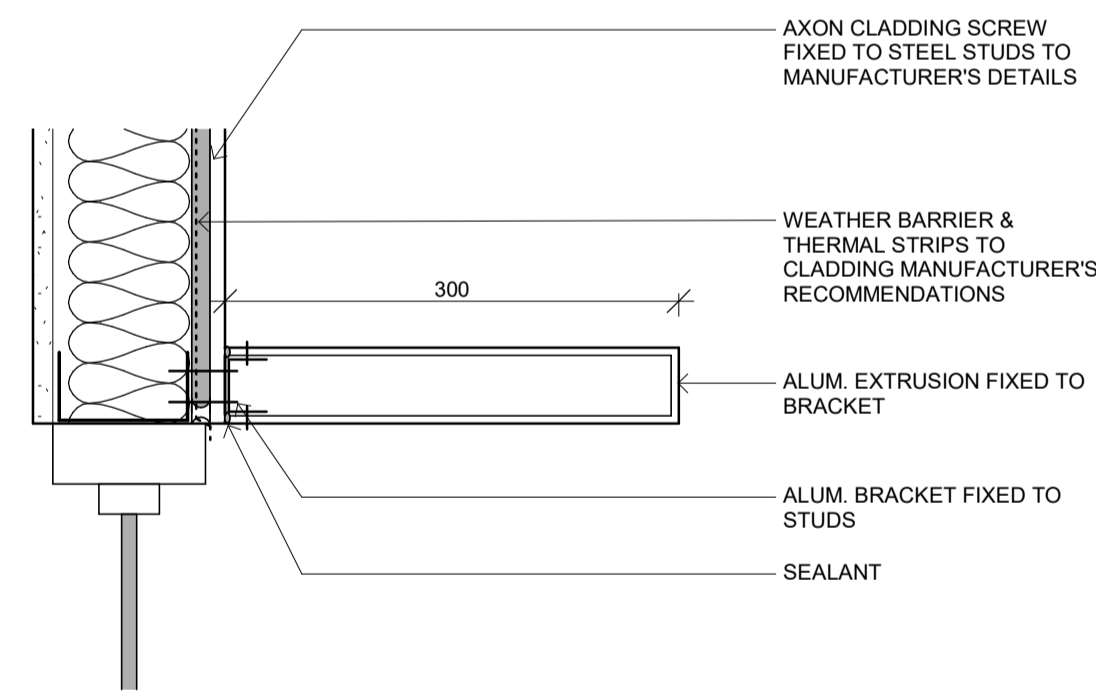
Scale: A Job No. Drawing No. Rev
Sheet: 1 Date: 06/19/20 20055 DA0181
Drawn: YL Review: VY

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LEGEND
F FIXED
F.L FLOOR
LEVEL

WINDOW SCHEDULE



1 WINDOW EXTRUSION DETAILS
DA019 1:5

| G | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
|-----|----------|--|
| F | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| E | 16/03/21 | ISSUED FOR APPROVAL |
| D | 03/09/20 | ISSUED FOR APPROVAL |
| C | 01/09/20 | ISSUED FOR COORDINATION |
| B | 24/08/20 | ISSUED FOR COORDINATION |
| A | 21/08/20 | ISSUED FOR COORDINATION, ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
| No. | Date | Description |

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Giles Tribe Pty Ltd
ABN 60 001259 507
Nominated Architects: Mark G Brookley (5823) Stuart D Hill (6456)

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Client:
Built Property
Project:
**54 BARDO ROAD
NEWPORT 2106
NSW**

WINDOW SCHEDULE

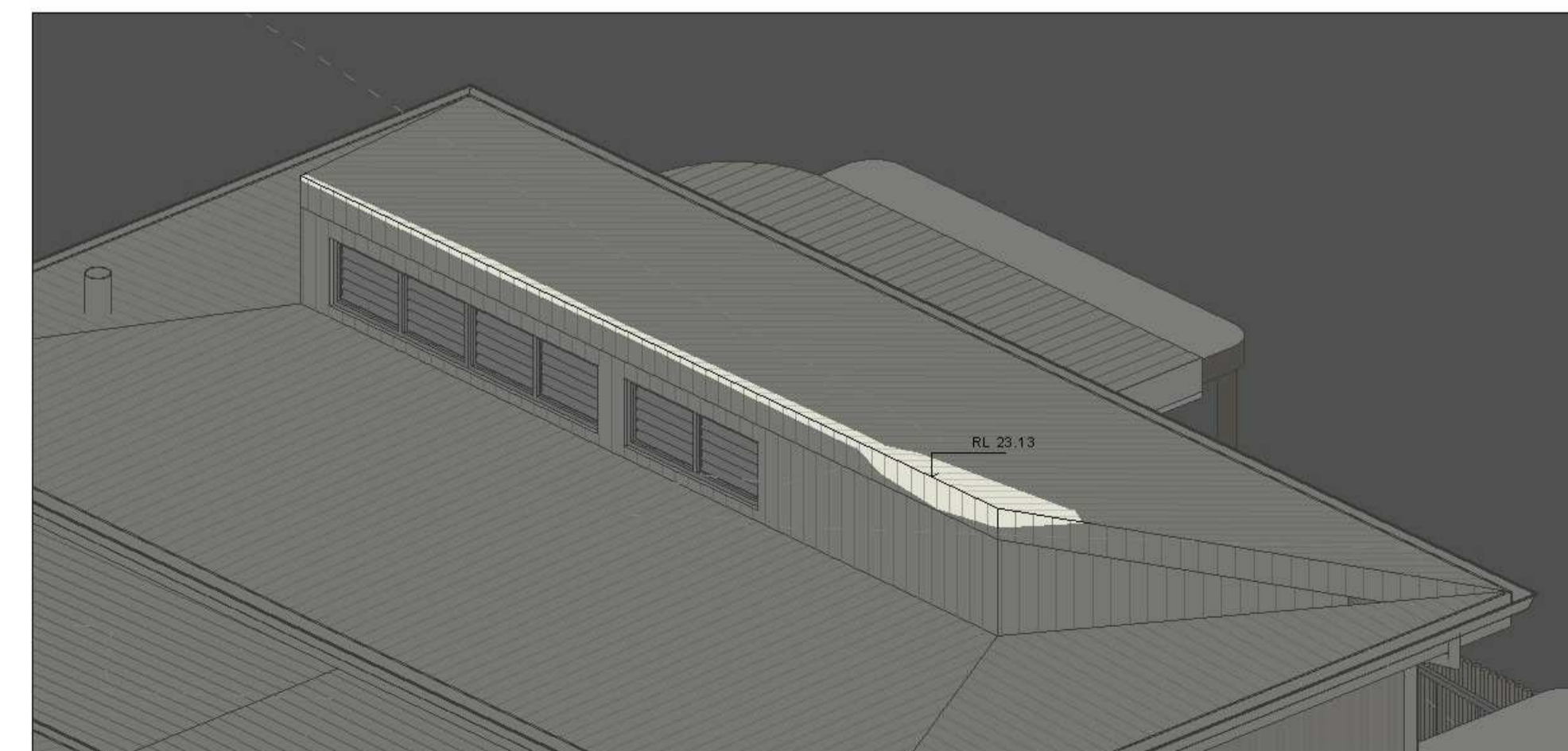
Status:
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| | | | | |
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| Scale: | As indicated | Job No. | Drawing No. | Rev |
| Sheet: | A | 20055 DA019 G | | |
| Size: | 1 | | | |
| Date: | 08/20/20 | Drawn: | YL | Reviewed: |
| | | | | VY |

8M HEIGHT PLANE



1 HEIGHT PLANE DIAGRAM 01



2 HEIGHT PLANE DIAGRAM 02

SCALE 1:100

| No. | Date | Description |
|-----|----------|------------------------------|
| A | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |

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 Mark G Brookley (5823) Stuart D Hill (6452)

Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106**

Drawing: **HEIGHT PLANE DIAGRAM**

Status: **FOR S4.55 APPROVAL**

| Sheet | Job No. | Drawing No. | Rev |
|-------|----------|-------------|---------|
| A | 20055 | DA022 | A |
| Date: | 10/15/21 | Author | Checker |

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PROPOSED SENIORS HOUSING

6 DWELLINGS, BASEMENT CARPARKING & ASSOCIATED LANDSCAPING

54 BARDO RD, NEWPORT, NSW 2106



DRAWING LIST

| Drawing No. | Drawing Name | Current Revision | Current Revision Date |
|-------------|----------------------------|------------------|-----------------------|
| DA001 | COVER PAGE | N | 13/10/21 |
| DA002 | DEMOLITION PLAN | H | 13/10/21 |
| DA003 | SITE ANALYSIS | J | 13/10/21 |
| DA005 | SITE PLAN | J | 13/10/21 |
| DA006 | BASEMENT PLAN | R | 13/10/21 |
| DA007 | GROUND FLOOR PLAN | T | 13/10/21 |
| DA008 | LEVEL 1 PLAN | Q | 13/10/21 |
| DA009 | ROOF PLAN | K | 13/10/21 |
| DA010 | NORTH & WEST ELEVATIONS | L | 13/10/21 |
| DA011 | SOUTH & EAST ELEVATIONS | K | 13/10/21 |
| DA012 | SECTION AA & BB | J | 13/10/21 |
| DA013 | SECTION CC & DD | J | 13/10/21 |
| DA014 | LANDSCAPE CALCULATION PLAN | M | 13/10/21 |
| DA015 | DEEP SOIL PLAN | L | 13/10/21 |
| DA016 | GFA CALCULATIONS | K | 13/10/21 |
| DA017 | SHADOW DIAGRAMS | I | 13/10/21 |
| DA018 | SOLAR DIAGRAMS | I | 13/10/21 |
| DA019 | WINDOW SCHEDULE | G | 13/10/21 |
| DA022 | HEIGHT PLANE DIAGRAM | A | 13/10/21 |

| UNIT NUMBER | ROOM TYPE | AREA | POS/BALCONY AREA (m ²) |
|-------------|-----------|----------------------|------------------------------------|
| G01 | 2 BED | 93 m ² | 50.6 |
| G02 | 3 BED | 114.1 m ² | 143.6 |
| G03 | 3 BED | 118.9 m ² | 80.2 |
| G04 | 2 BED | 111.8 m ² | 78.8 |
| 101 | 2 BED | 97.2 m ² | 10.3 |
| 102 | 3 BED | 118.9 m ² | 12.8 |

YIELD

| | |
|------------------|-----------------------|
| GROUND FLOOR GFA | 472.95m ² |
| LEVEL 1 GFA | 239.29m ² |
| TOTAL GFA | 712.24m ² |
| SITE AREA | 1226.32m ² |
| FSR | 0.580:1 |

| | | |
|---|----------|--|
| N | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| M | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| L | 01/04/21 | ISSUED FOR APPROVAL |
| K | 16/03/21 | ISSUED FOR APPROVAL |
| J | 03/09/20 | ISSUED FOR APPROVAL |
| I | 01/09/20 | ISSUED FOR COORDINATION |
| H | 31/08/20 | ISSUED FOR COORDINATION |
| G | 24/08/20 | ISSUED FOR COORDINATION |
| F | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
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| D | 18/08/20 | ISSUED FOR COORDINATION |
| C | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| B | 24/07/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

| No. | Date | Description |
|------------|------|-------------|
| Amendments | | |

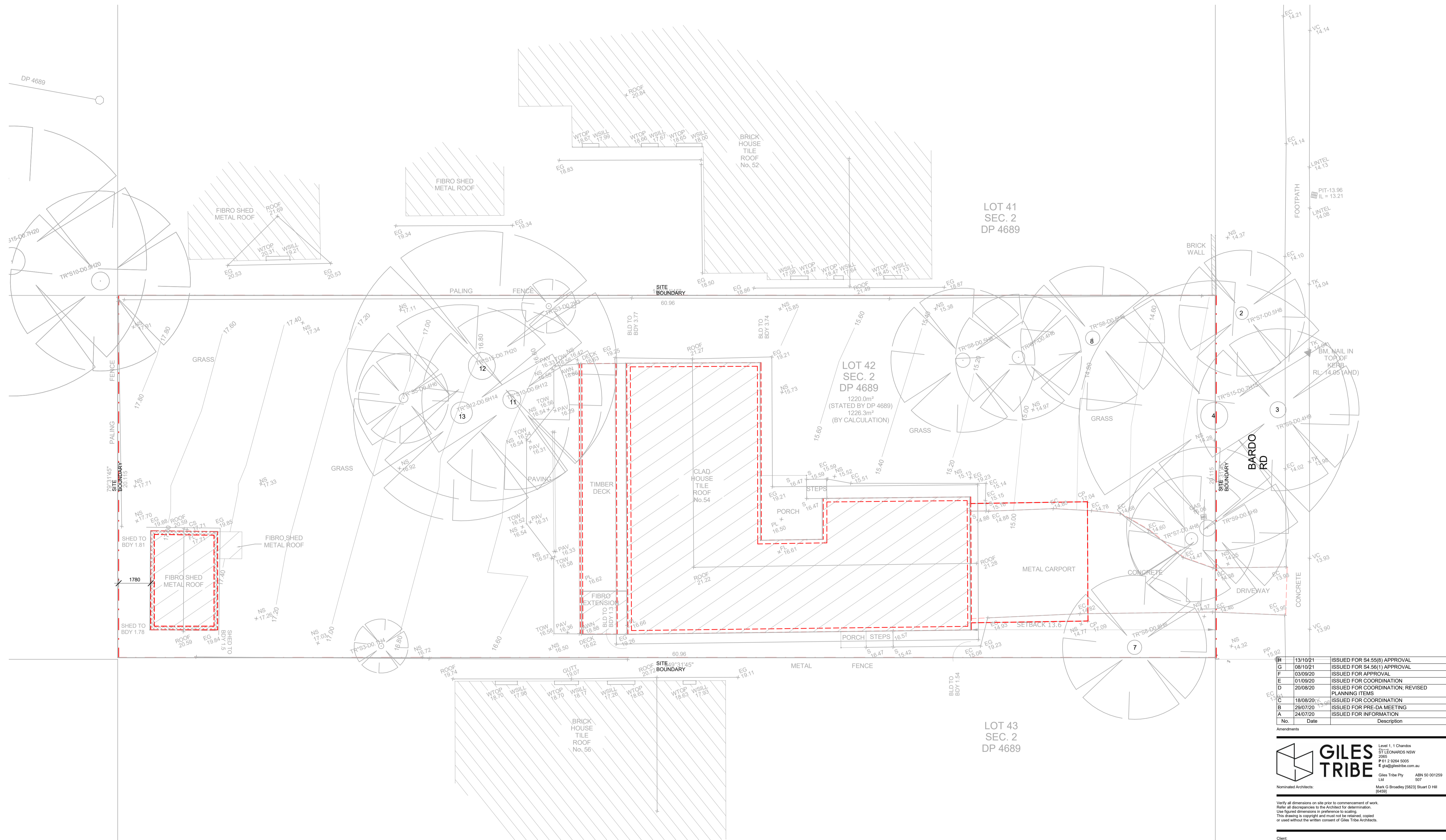
GILES TRIBE Level 1, 1 Chandos ST, LEONARDS NSW 2065
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Giles Tribe Pty Ltd ABN 60 001259 507
Mark G Brodley (5823) Stuart D Hill (6450)

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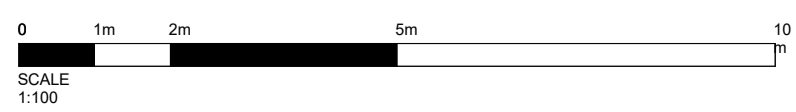
Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawn: YL
Scale: A
Date: 01/25/07
Job No.: 20055
Drawing No.: DA001 N
Rev: VY

Status: **FOR S4.55 APPROVAL**



1 DEMOLITION PLAN
DA002 1 : 100



| No. | Date | Description |
|-----|----------|---|
| H | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| G | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| F | 03/09/20 | ISSUED FOR APPROVAL |
| E | 01/09/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

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 Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6456)

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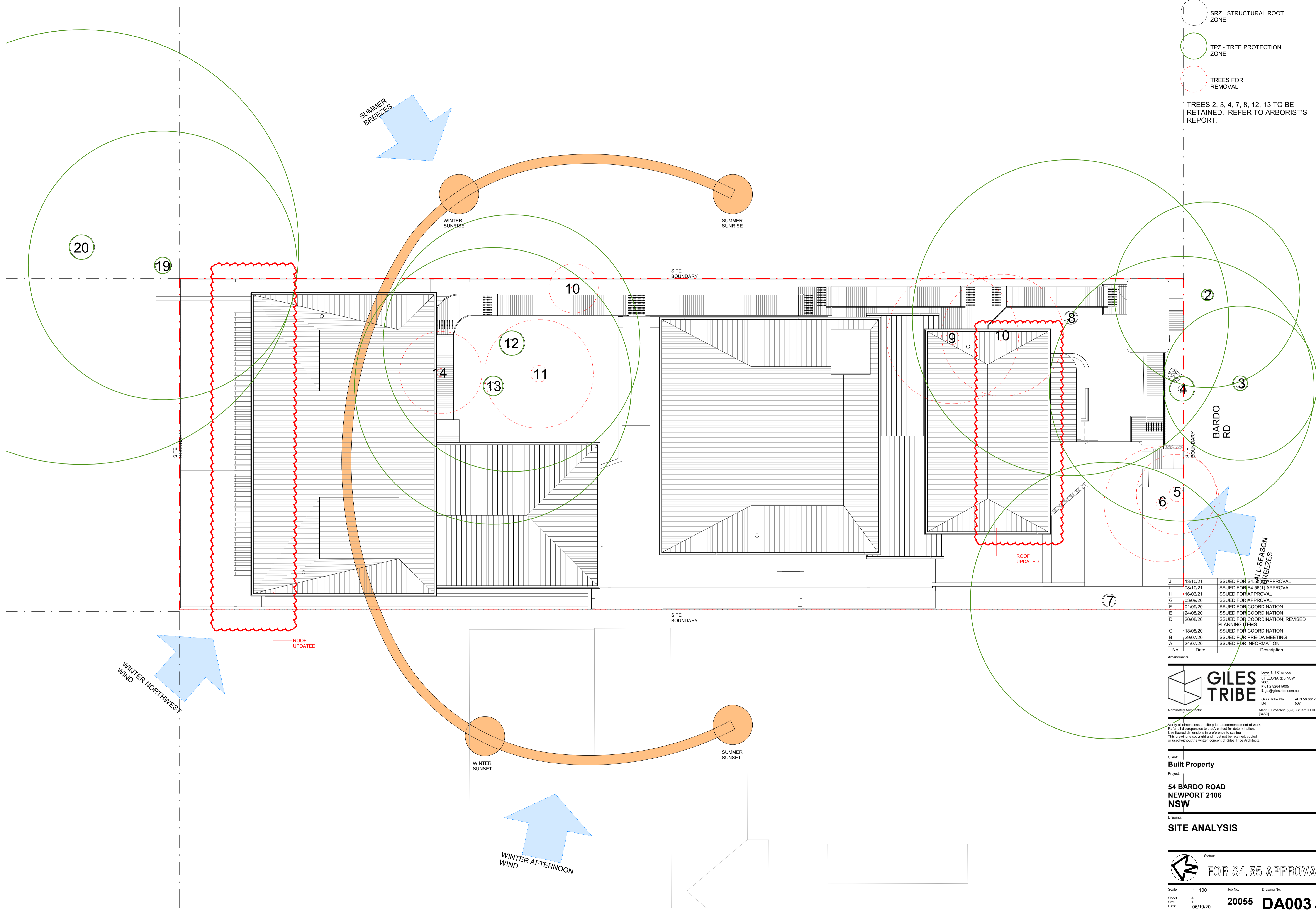
Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

DEMOLITION PLAN

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet: A Date: 06/19/20 20055 DA002 H
 Drawn: YL Review: VY

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SRZ - STRUCTURAL ROOT ZONE
 TPZ - TREE PROTECTION ZONE
 TREES FOR REMOVAL
 TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.

| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55 APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| H | 16/03/21 | ISSUED FOR APPROVAL |
| G | 03/09/20 | ISSUED FOR APPROVAL |
| F | 01/09/20 | ISSUED FOR COORDINATION |
| E | 24/08/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

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 Giles Tribe Pty Ltd ABN 50 001259 507
 Mark G Brookley (5823) Stuart D Hill (6450)

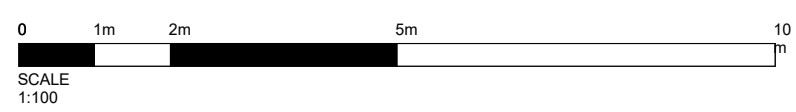
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Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

SITE ANALYSIS

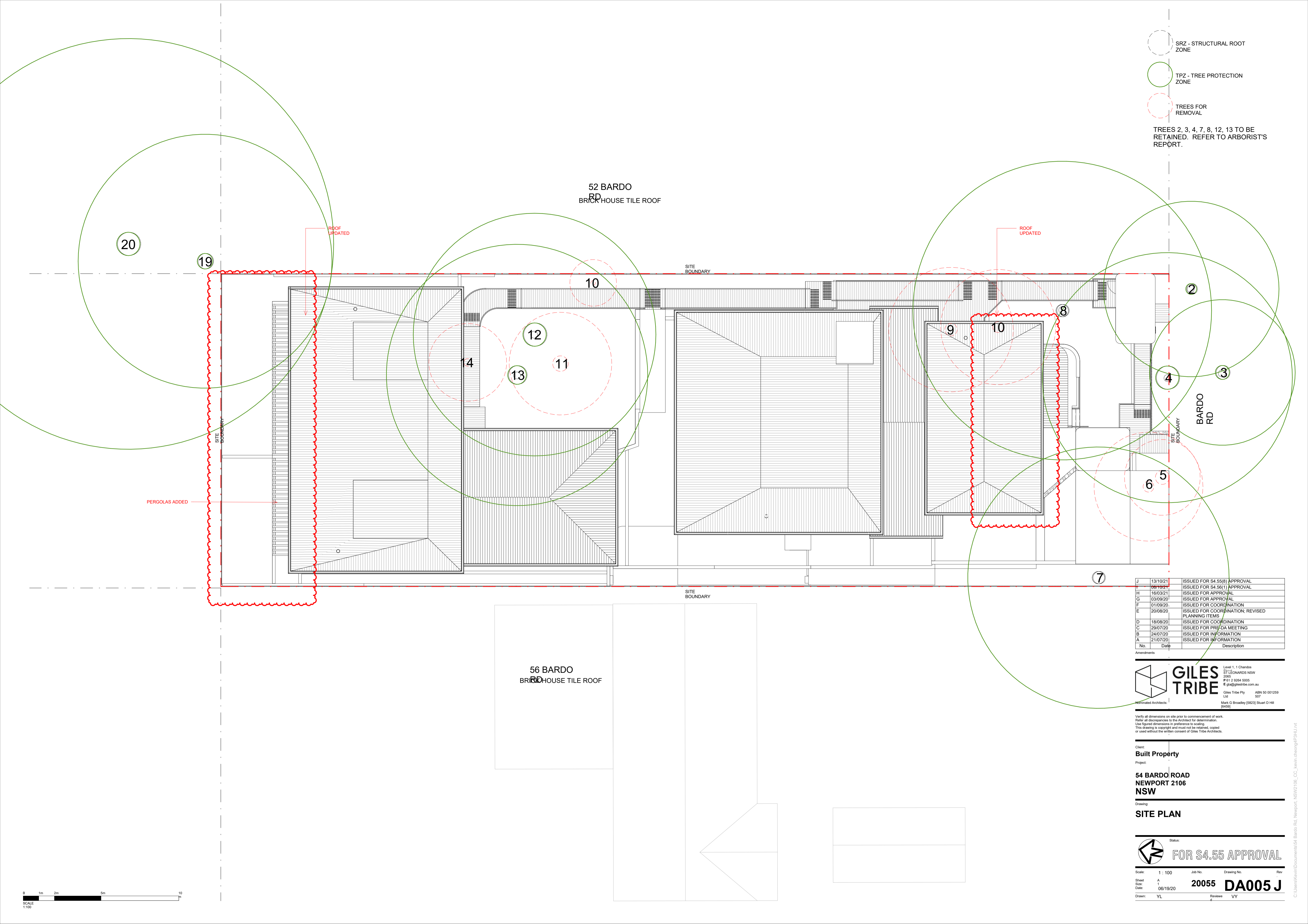
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Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A 20055 DA003 J
 Date: 06/19/20 Drawn: YL Review: VY



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 TREES FOR REMOVAL
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| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| H | 16/03/21 | ISSUED FOR APPROVAL |
| G | 03/09/20 | ISSUED FOR APPROVAL |
| F | 01/09/20 | ISSUED FOR COORDINATION |
| E | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| D | 18/08/20 | ISSUED FOR COORDINATION |
| C | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| B | 24/07/20 | ISSUED FOR INFORMATION |
| A | 21/07/20 | ISSUED FOR INFORMATION |

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 Mark G Broadley (5823) Stuart D Hill (6455)
 Nominated Architects

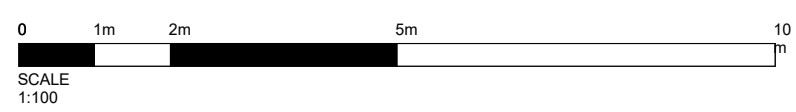
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Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawing: **SITE PLAN**

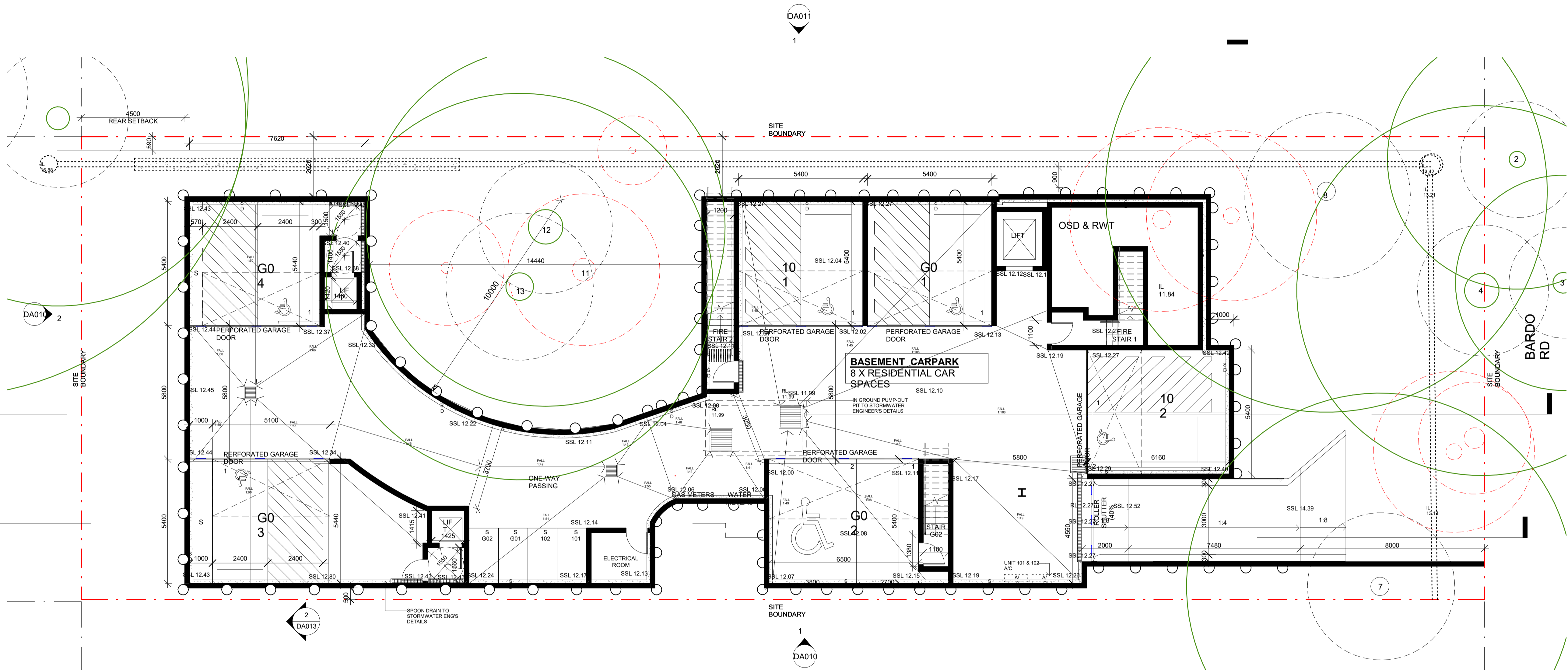
Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A
 Date: 06/19/20 **20055 DA005 J**
 Drawn: YL Review: VY



-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

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1 BASEMENT PLAN
1 : 100

| No. | Date | Description |
|-----|----------|--|
| R | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| Q | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| P | 01/04/21 | ISSUED FOR APPROVAL |
| O | 15/03/21 | ISSUED FOR APPROVAL |
| N | 03/09/20 | ISSUED FOR APPROVAL |
| M | 01/09/20 | ISSUED FOR COORDINATION |
| L | 31/08/20 | ISSUED FOR COORDINATION |
| K | 24/08/20 | ISSUED FOR COORDINATION; BASEMENT AMENDED |
| J | 24/08/20 | ISSUED FOR COORDINATION |
| I | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| H | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| G | 18/08/20 | ISSUED FOR COORDINATION |
| F | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| E | 24/07/20 | ISSUED FOR INFORMATION |
| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

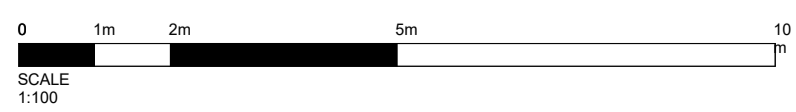
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Giles Tribe Pty Ltd ABN 50 001259 507
Nominated Architects: Mark G Brodley (5823) Stuart D Hill (6450)

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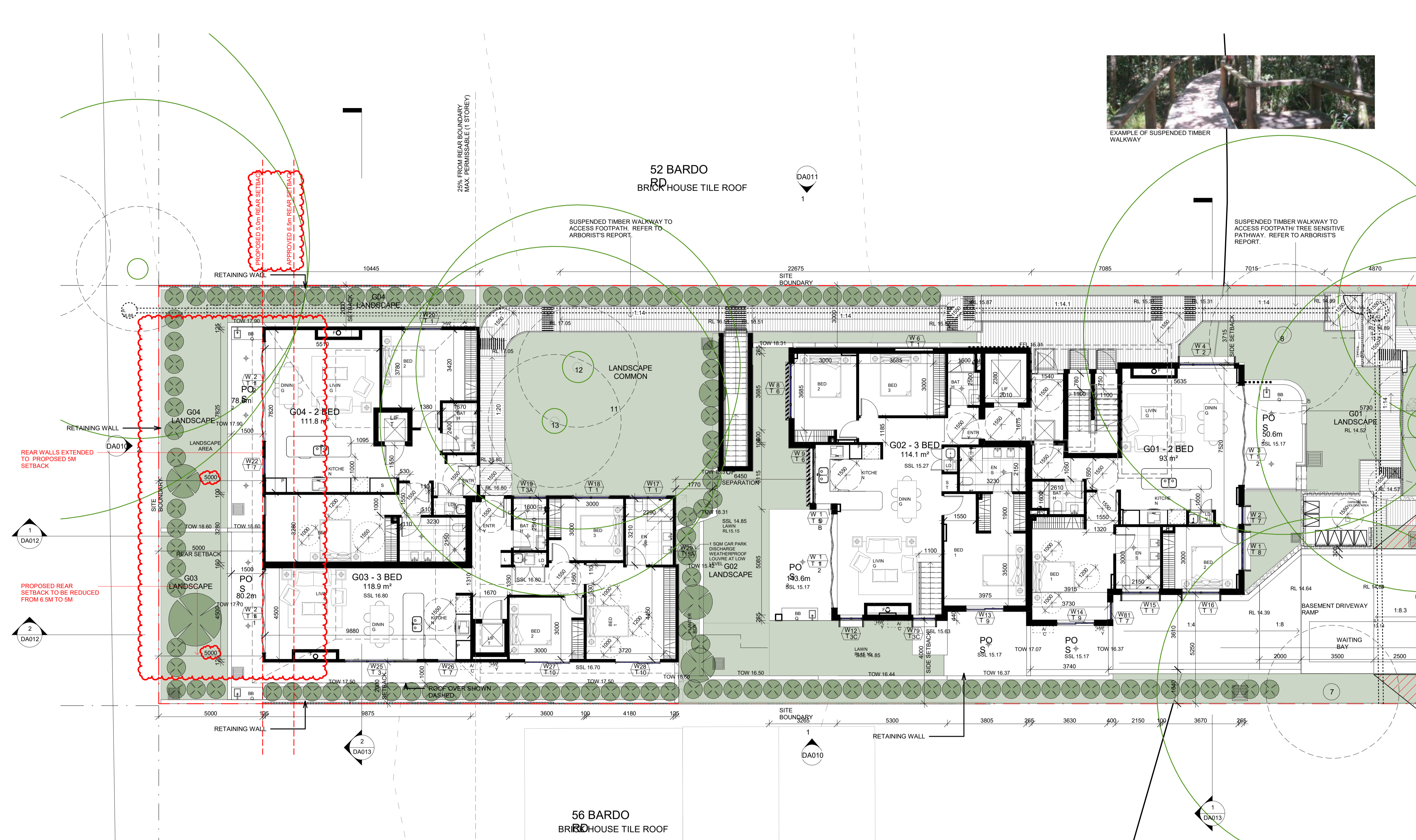
Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106**

Status: **FOR S4.55 APPROVAL**

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| Sheet: | A | | | |
| Date: | 08/04/21 | 20055 | DA006 R | |
| Drawn: | Author | Reviewed: | Checker | |

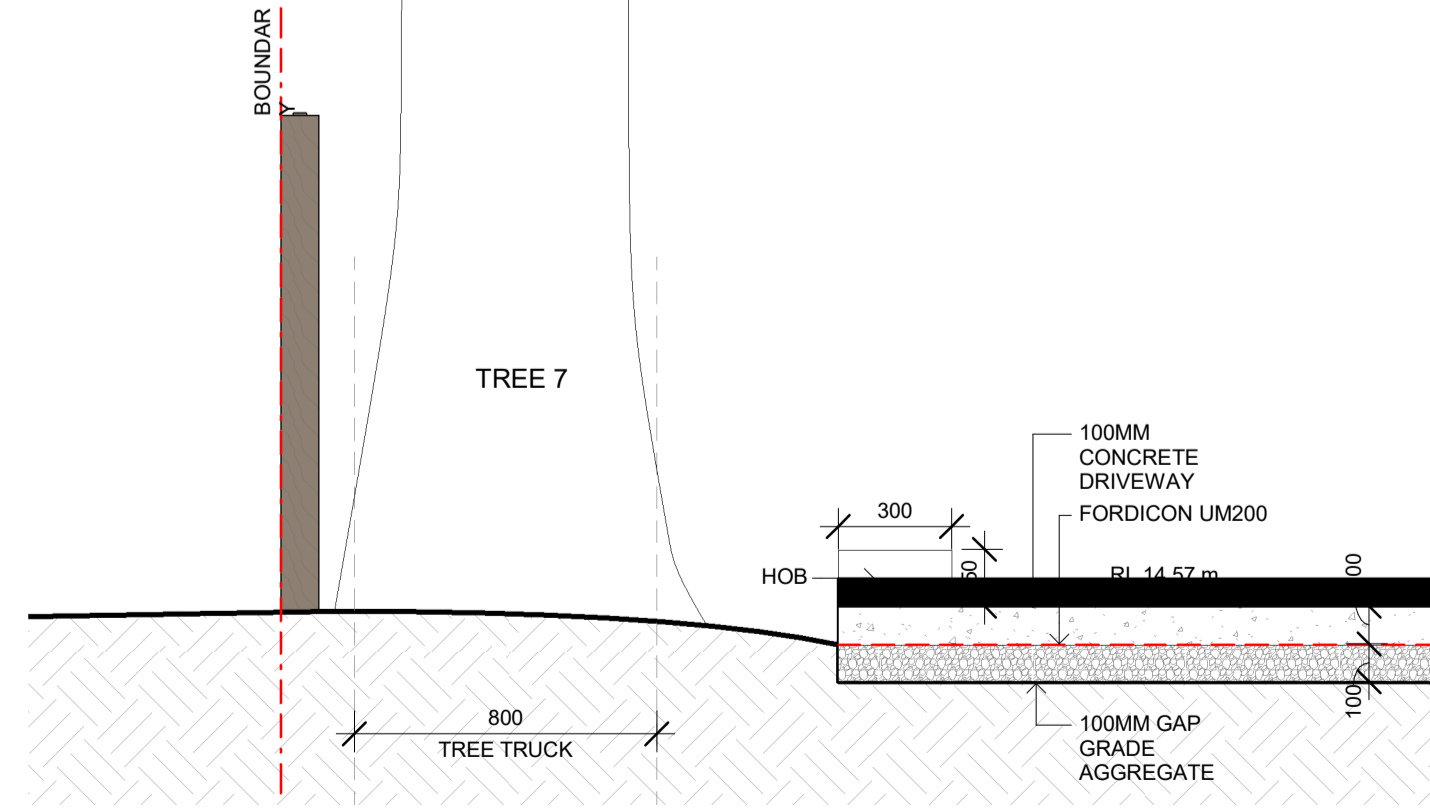


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- SRZ - STRUCTURAL ROOT ZONE
 - TPZ - TREE PROTECTION ZONE
 - TREES FOR REMOVAL
- TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.

1
DA007
GROUND FLOOR PLAN
1:100



2
DA007
DRIVEWAY DETAIL SECTION
1:20

| No. | Date | Description |
|-----|----------|--|
| T | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| S | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| R | 14/05/21 | ISSUED FOR APPROVAL |
| Q | 01/04/21 | ISSUED FOR APPROVAL |
| P | 11/03/21 | ISSUED FOR APPROVAL |
| O | 03/08/20 | ISSUED FOR APPROVAL |
| N | 02/09/20 | ISSUED FOR COORDINATION; ARBORIST INPUT |
| M | 01/09/20 | ISSUED FOR COORDINATION |
| L | 31/08/20 | ISSUED FOR COORDINATION |
| K | 24/08/20 | ISSUED FOR COORDINATION; BASEMENT AMENDED |
| J | 24/08/20 | ISSUED FOR COORDINATION |
| I | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| H | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
| G | 18/08/20 | ISSUED FOR COORDINATION |
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| E | 24/07/20 | ISSUED FOR INFORMATION |
| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

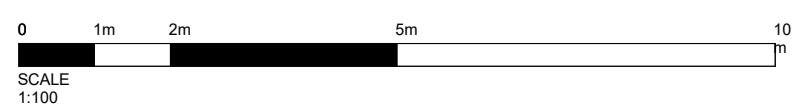
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Mark G Brodley (5823) Stuart D Hill (6456)

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Project:
54 BARDO ROAD NEWPORT 2106

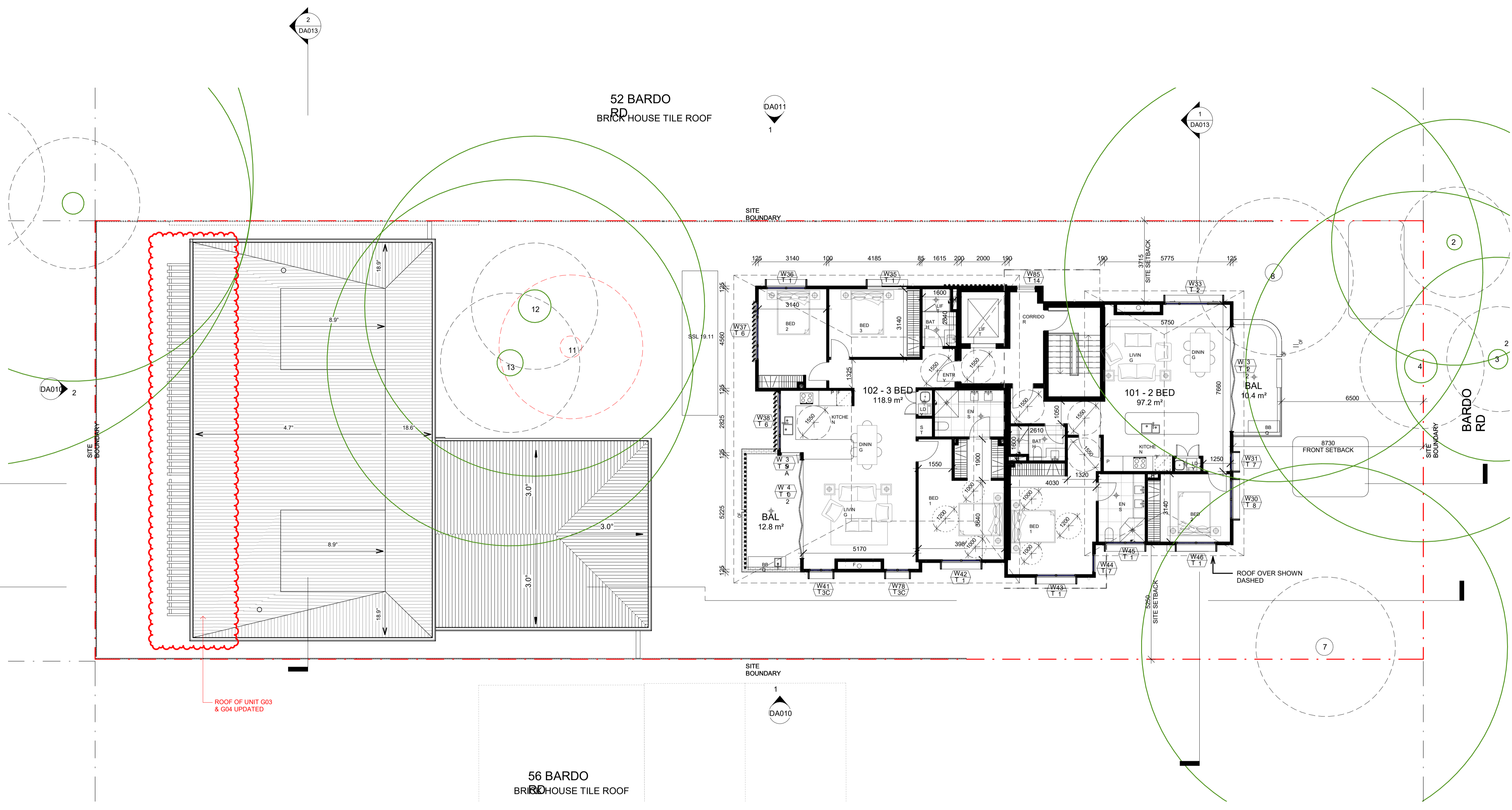
Status:
FOR S4.55 APPROVAL

| Scale: | As indicated | Job No. | Drawing No. | Rev |
|--------|--------------|--------------|----------------|-----|
| Sheet: | A | | | |
| Size: | 1 | | | |
| Date: | 08/04/21 | 20055 | DA007 T | |
| Drawn: | Author | Review: | Checker | |



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-  SRZ - STRUCTURAL ROOT ZONE
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 -  TREES FOR REMOVAL
- TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



| No. | Date | Description |
|-----|----------|--|
| Q | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| P | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| O | 01/04/21 | ISSUED FOR APPROVAL |
| N | 16/03/21 | ISSUED FOR APPROVAL |
| M | 03/09/20 | ISSUED FOR APPROVAL |
| L | 01/09/20 | ISSUED FOR COORDINATION |
| K | 31/08/20 | ISSUED FOR COORDINATION |
| J | 24/08/20 | ISSUED FOR COORDINATION, BASEMENT AMENDED |
| I | 21/08/20 | ISSUED FOR COORDINATION, ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
| H | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
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| D | 21/07/20 | ISSUED FOR INFORMATION |
| C | 03/07/20 | ISSUED FOR INFORMATION, INTERNAL LIFT ADDED TO REAR UNITS |
| B | 26/06/20 | ISSUED FOR INFORMATION |
| A | 23/06/20 | ISSUED FOR INFORMATION |

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 Giles Tribe Pty Ltd ABN 50 001259
 507
 Nominated Architects: Mark G Brookley (5823) Stuart D Hill (6456)

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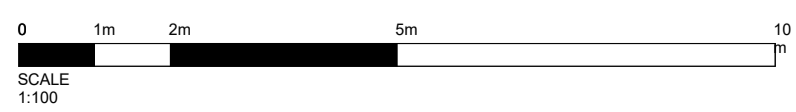
Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106**

Drawing: **LEVEL 1 PLAN**

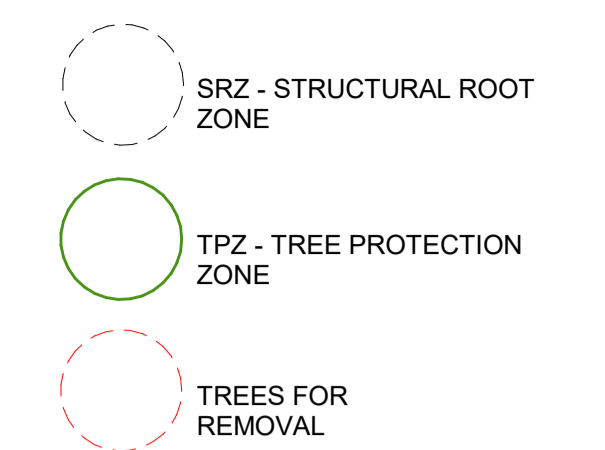
Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A 20055 DA008 Q
 Date: 08/04/21
 Drawn: Author
 Checked: Checker

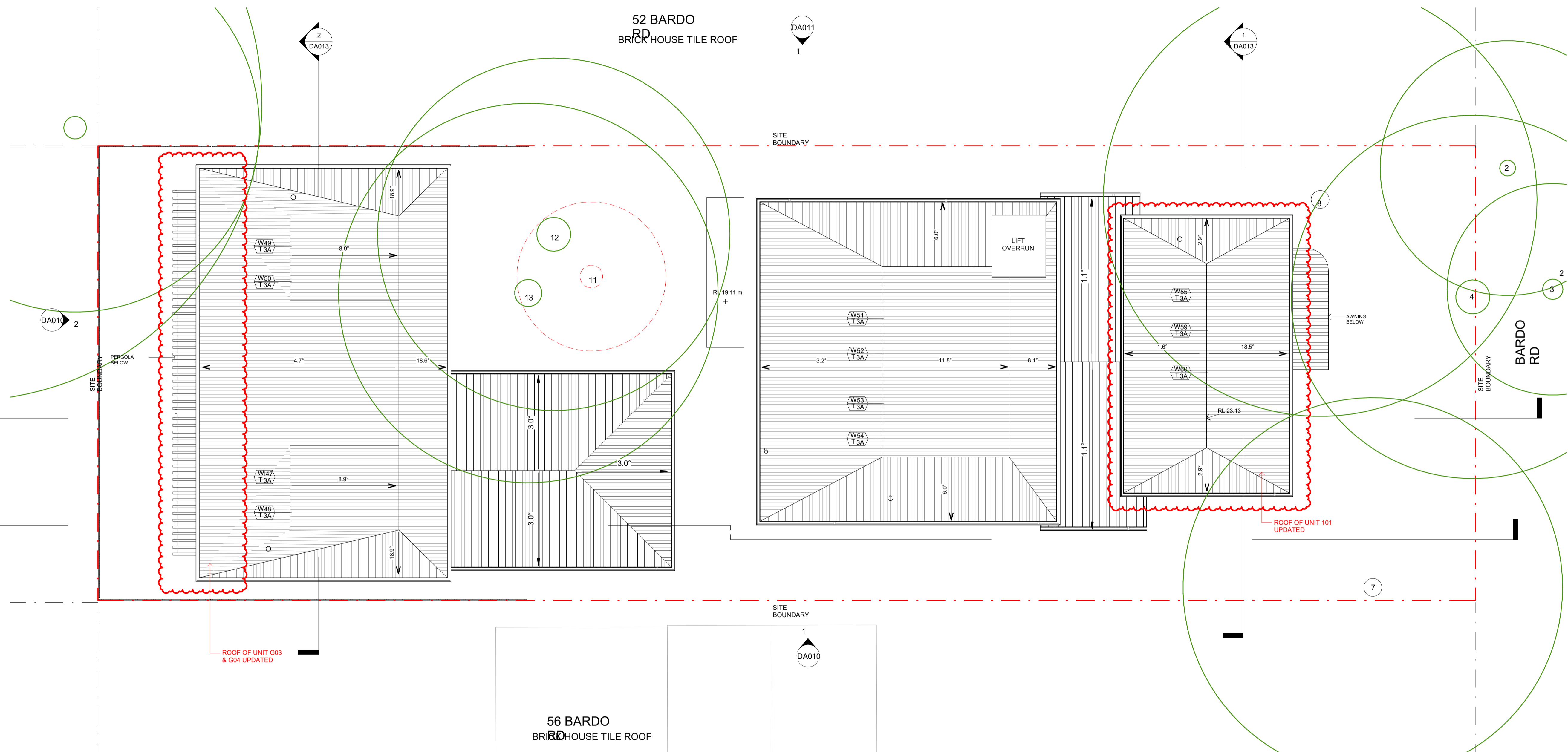
1 LEVEL 1 PLAN
 DA008 1 : 100



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TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



1 ROOF PLAN
1 : 100

| No. | Date | Description |
|-----|----------|--|
| K | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| J | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| I | 16/03/21 | ISSUED FOR APPROVAL |
| H | 03/09/20 | ISSUED FOR APPROVAL |
| G | 01/09/20 | ISSUED FOR COORDINATION |
| F | 31/08/20 | ISSUED FOR COORDINATION |
| E | 21/08/20 | ISSUED FOR COORDINATION, ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE Level 1, 1 Chandos ST, LEONARDS NSW 2065
 P 61 2 9264 5005 E gtr@gilestribearchitects.com.au
 Giles Tribe Pty Ltd ABN 50 001259 507
 Nominated Architects: Mark G Brodley (5823) Stuart D Hill (6455)

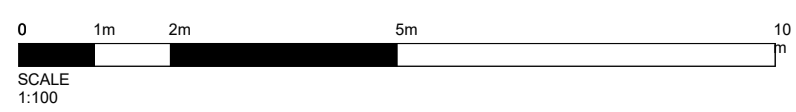
Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be released, copied or used without the written consent of Giles Tribe Architects.

Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106**

Drawing: **ROOF PLAN**

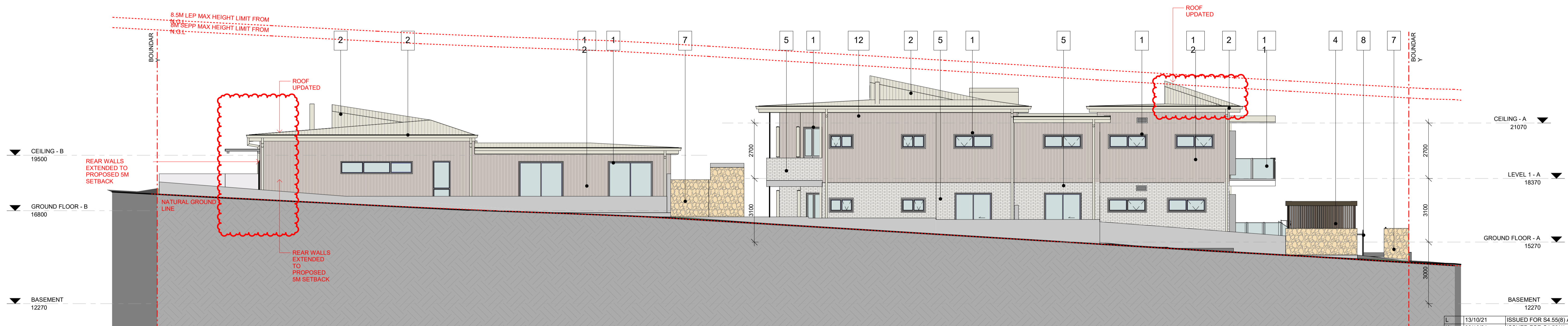
Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A 20055 DA009 K
 Date: 08/04/21
 Drawn: Author Author
 Checked: Checker

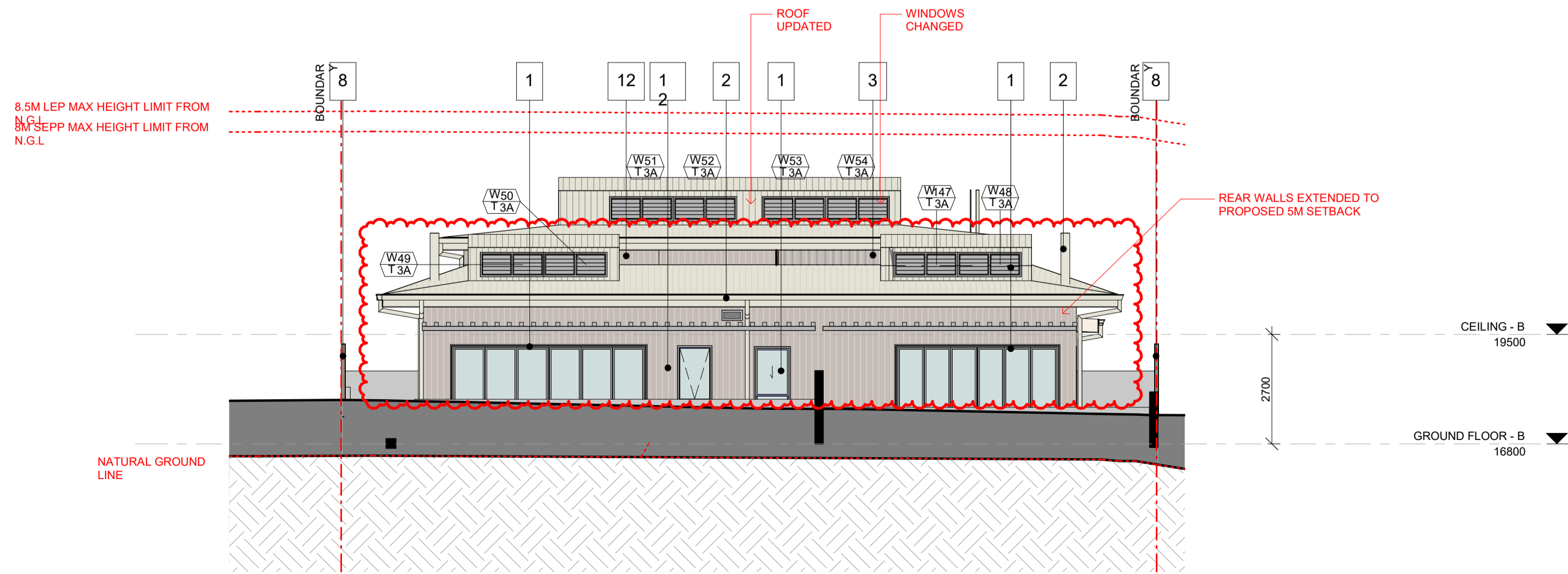


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- 1 ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS POWDERCOATED
DURALLOY ANOTEC - SILVER GREY MATT (27251272) OR SIMILAR
- 2 METAL DECK ROOF, GUTTER, DOWNPIPE
COLORBOND SURFMIST OR SIMILAR
- 3 ALUMINIUM PRIVACY SLATS
FIXED ALUMINIUM PRIVACY SCREENS
- 4 INTERPON POWDERCOAT
COLOUR - ANODIC BRONZE (GY114A) OR SIMILAR
- 5 PGH BRICKS -
-MORADA CENIZA KINEAR 287X90X48MM
- 6 ENTRANCE DOOR
DULUX PAINT RENDER COLOUR - PIPE CLAY (S16A1) OR
- 7 PLANTER BOX, RETAINING WALL
SANDSTON E
- 8 FENCE
EXTERNAL TIMBER-LOOK FENCING
- 9 SOFFIT
TIMBER-LOOK PANEL- URBANLINE SELEKTA CLAD (DARK CEDAR) OR SIMILAR
- 10 ENTRANCE PAVERS
BLUESTONE TILES
- 11 FRAMELESS GLASS BALUSTRADE
- 12 SCYON AXON CLADDING



1 WEST ELEVATION
DA010 1:100



2 NORTH ELEVATION
DA010 1:100

| No. | Date | Description |
|-----|----------|--|
| L | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| K | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| J | 16/03/21 | ISSUED FOR APPROVAL |
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| G | 31/08/20 | ISSUED FOR COORDINATION |
| F | 24/08/20 | ISSUED FOR COORDINATION |
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| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE Level 1, 1 Chandos
ST LEONARDS NSW
2065
P 61 2 9264 5005
E gtr@gilestribearch.com.au

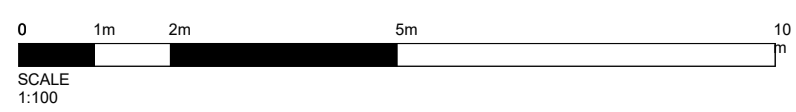
Nominated Architects: Giles Tribe Pty Ltd
ABN 50 001259 507
Mark G Brodley (5823) Stuart D Hill (6458)

Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be released, copied or used without the written consent of Giles Tribe Architects.

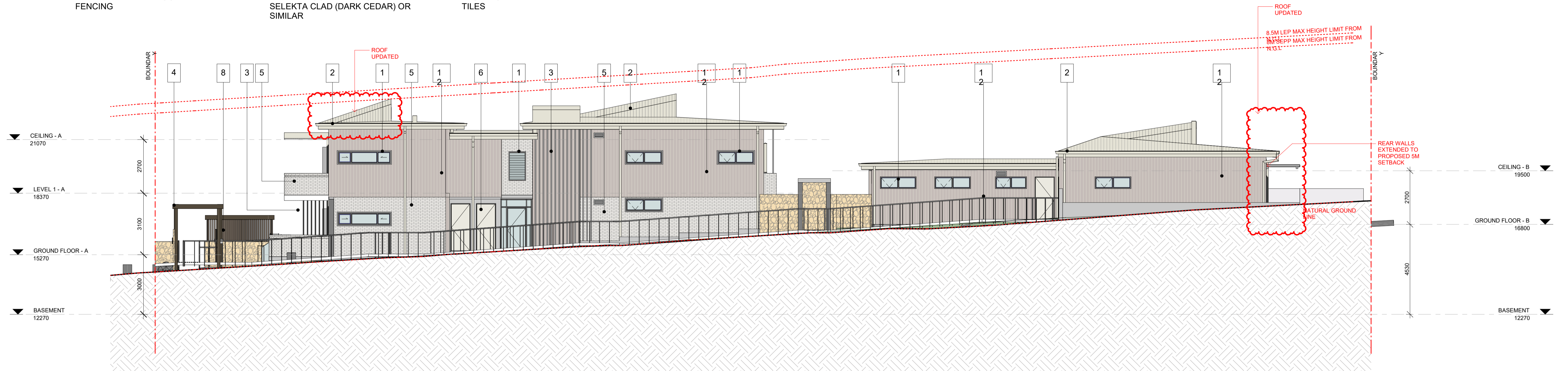
Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**
Drawing: **NORTH & WEST ELEVATIONS**

Status: **FOR S4.55 APPROVAL**

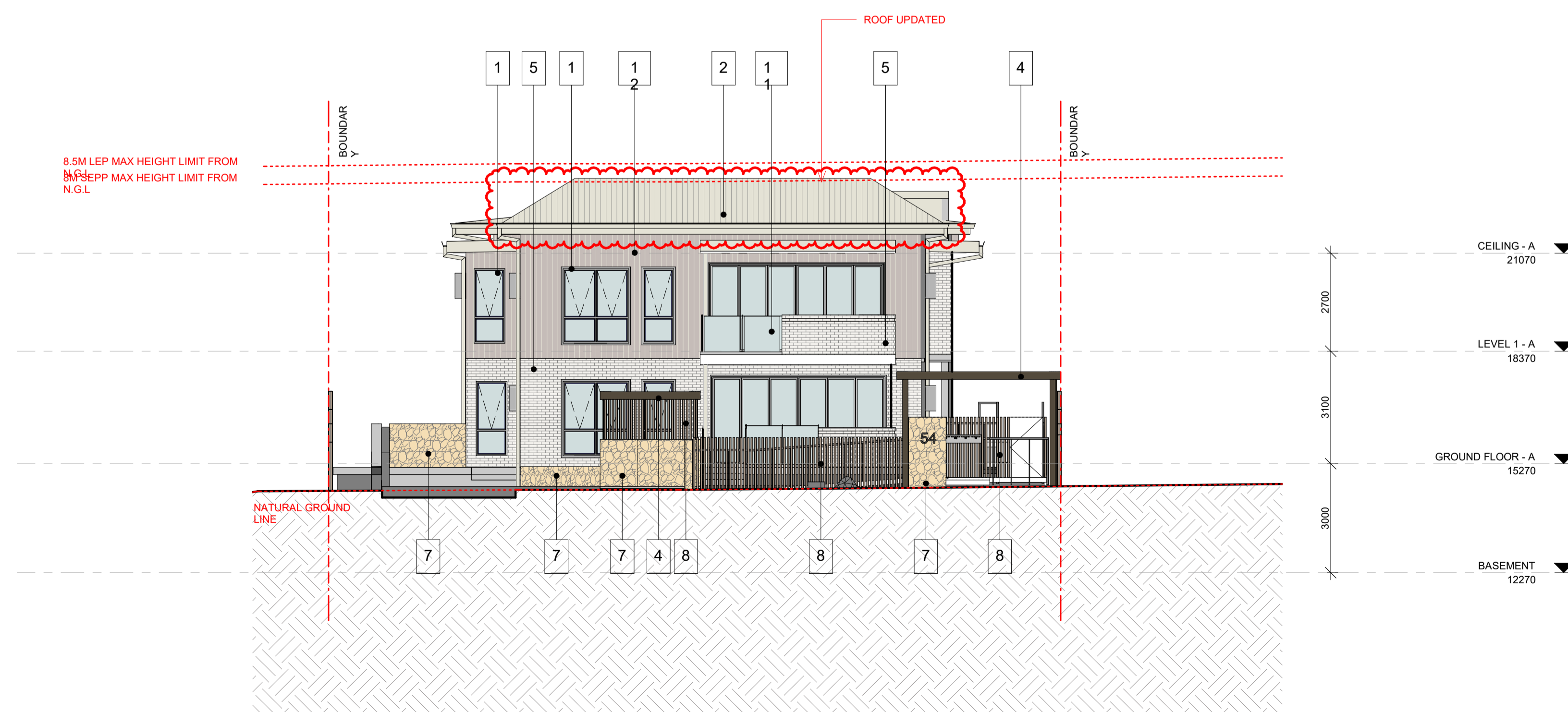
Scale: 1:100 Job No. Drawing No. Rev
Sheet A 20055 DA010 L
Date: 06/19/20
Drawn: YL Review: VY



- 1 ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS POWDERCOATED
DURALLOY ANOTEC - SILVER GREY MATT (27251272) OR SIMILAR
- 2 METAL DECK ROOF, GUTTER, DOWNPIPE
COLORBOND SURFMIST OR SIMILAR
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FIXED ALUMINIUM PRIVACY SCREENS
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COLOUR - ANODIC BRONZE (GY114A) OR SIMILAR
- 5 PGH BRICKS -
-MORADA CENIZA KINEAR 287X90X48MM
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TIMBER-LOOK PANEL- URBANLINE SELEKTA CLAD (DARK CEDAR) OR SIMILAR
- 10 ENTRANCE PAVERS
BLUESTONE TILES
- 11 FRAMELESS GLASS BALUSTRADE
- 12 SCYON AXON CLADDING



1 EAST ELEVATION
DA011 1:100



2 SOUTH ELEVATION
DA011 1:100

| No. | Date | Description |
|-----|----------|--|
| K | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| J | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| I | 16/03/21 | ISSUED FOR APPROVAL |
| H | 03/09/20 | ISSUED FOR APPROVAL |
| G | 01/09/20 | ISSUED FOR COORDINATION |
| F | 31/08/20 | ISSUED FOR COORDINATION |
| E | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
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| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

Amendments

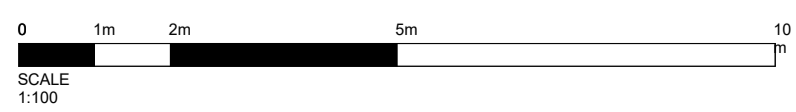
GILES TRIBE Level 1.1 Chandos
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2065
P 61 2 9264 5005
E gtr@gilestribearch.com.au
Giles Tribe Pty Ltd ABN 60 001259
507
Mark G Brodley (5823) Stuart D Hill (6450)

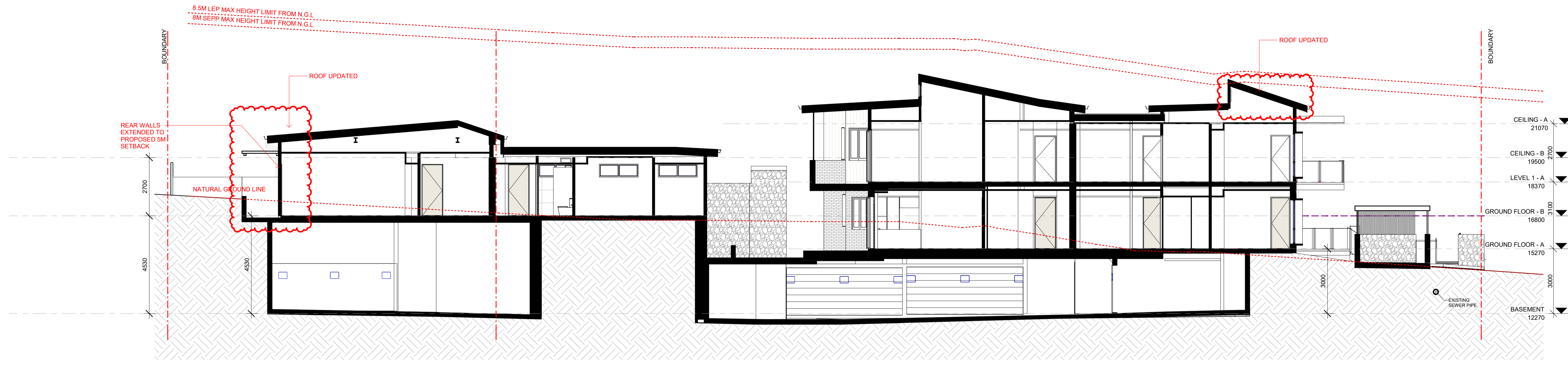
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Refer all discrepancies to the Architect for determination.
Use figured dimensions in preference to scaling.
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Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**
Drawing: **SOUTH & EAST ELEVATIONS**

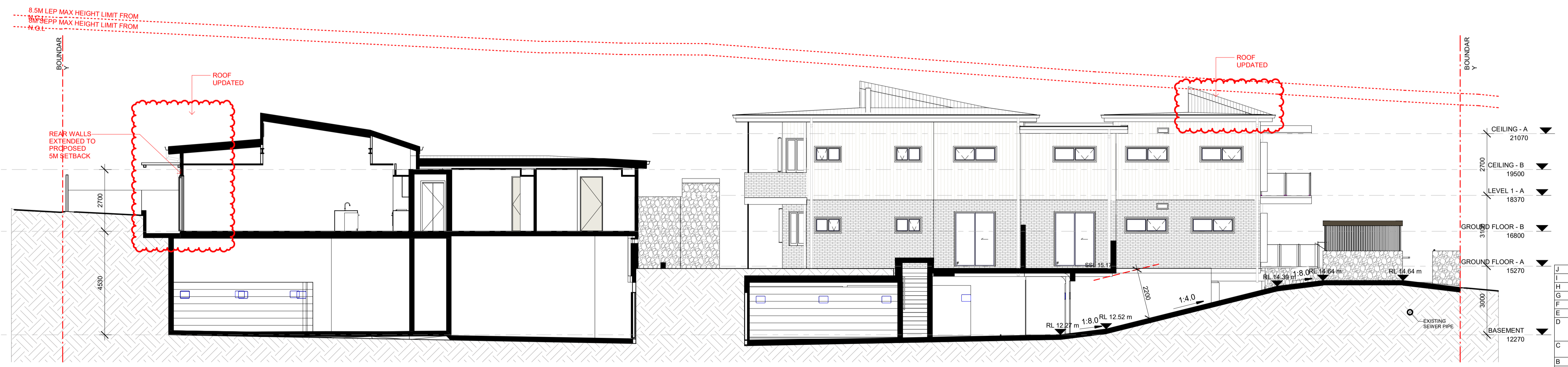
Status: **FOR S4.55 APPROVAL**

Scale: 1:100 Job No. Drawing No. Rev
Sheet: A Job No. Drawing No. Rev
Date: 06/19/20 **20055 DA011 K**
Drawn: YL Review: VY





1 SECTION AA
DA012 1:100



2 SECTION BB
DA012 1:100

| No. | Date | Description |
|-----|----------|--|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| H | 16/03/21 | ISSUED FOR APPROVAL |
| G | 03/09/20 | ISSUED FOR APPROVAL |
| F | 01/09/20 | ISSUED FOR COORDINATION |
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| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE Level 1, 1 Chandos ST LEONARDS NSW 2065 P 61 2 9264 5005 E gtr@gilestribearchitects.com.au
Giles Tribe Pty Ltd ABN 60 001259 507
Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6456)

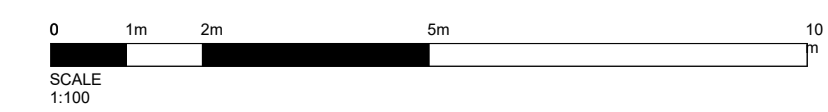
Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be reprinted, copied or used without the written consent of Giles Tribe Architects.

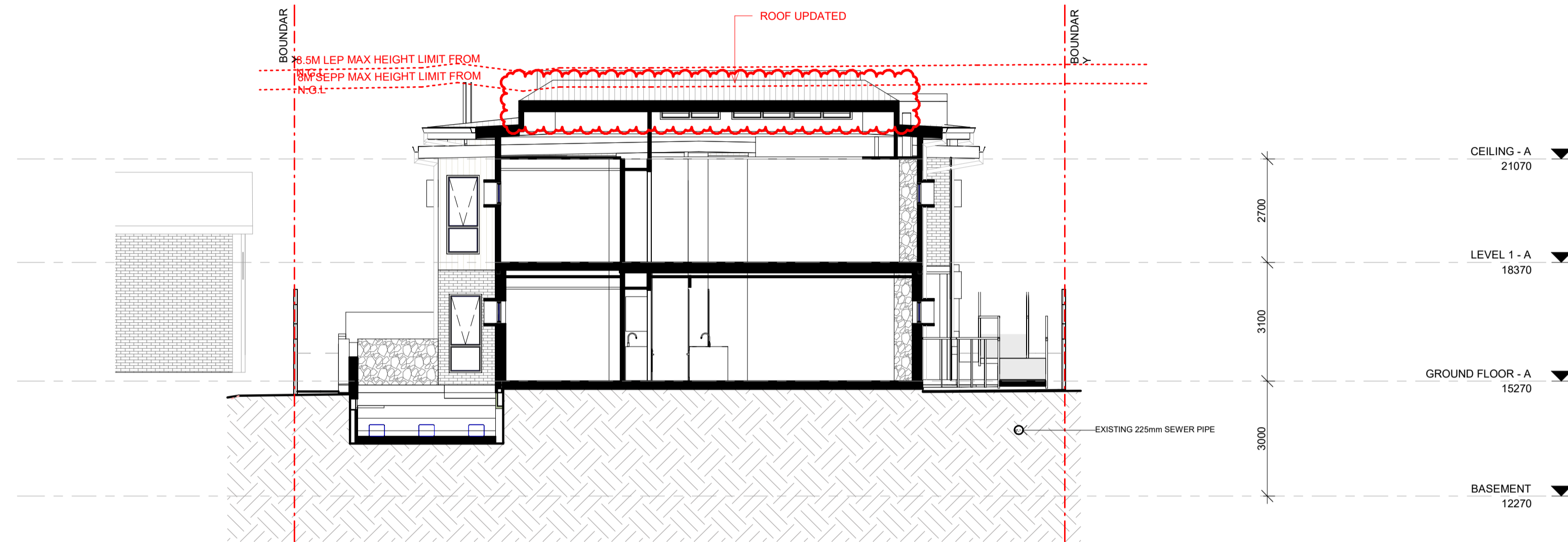
Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawing: **SECTION AA & BB**

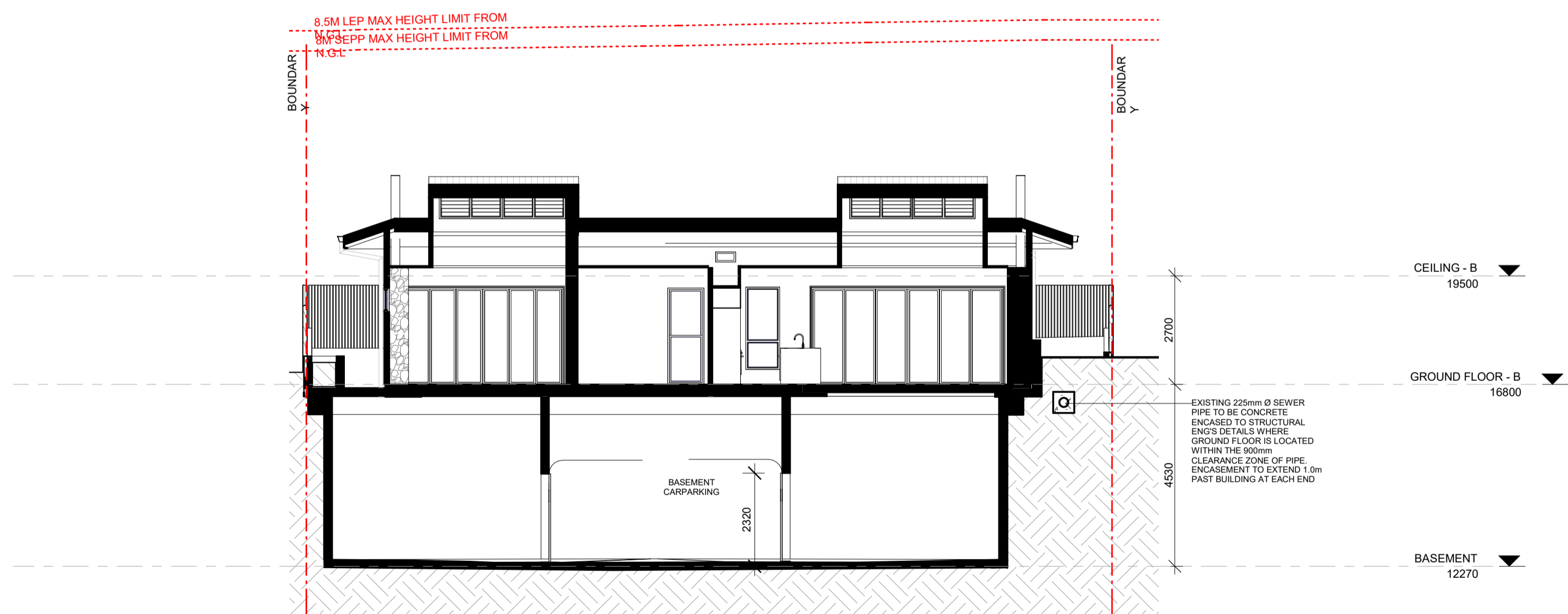
Status: **FOR S4.55 APPROVAL**

Scale: 1:100 Job No. Drawing No. Rev
Sheet A 20055 DA012 J
Date: 06/19/20
Drawn: YL Review: VY





1 SECTION CC
DA013 1:100



2 SECTION DD
DA013 1:100

| No. | Date | Description |
|-----|----------|---|
| J | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| I | 08/10/21 | ISSUED FOR S4.55(1) APPROVAL |
| H | 16/03/21 | ISSUED FOR APPROVAL |
| G | 03/09/20 | ISSUED FOR APPROVAL |
| F | 01/09/20 | ISSUED FOR COORDINATION |
| E | 31/08/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

Amendments

GILES TRIBE Level 11, 1 Chandos Street, LEONARDS NSW 2095
P 61 2 9264 5005 E gtr@gilestribearch.com.au
Giles Tribe Pty Ltd ABN 60 001259 507
Nominated Architects: Mark G Brookley (5823) Stuart D Hill (6455)

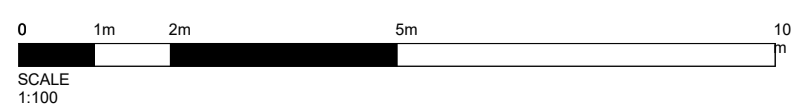
Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be retained, copied or used without the written consent of Giles Tribe Architects.

Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**




Drawing: **SECTION CC & DD**

Status: **FOR S4.55 APPROVAL**

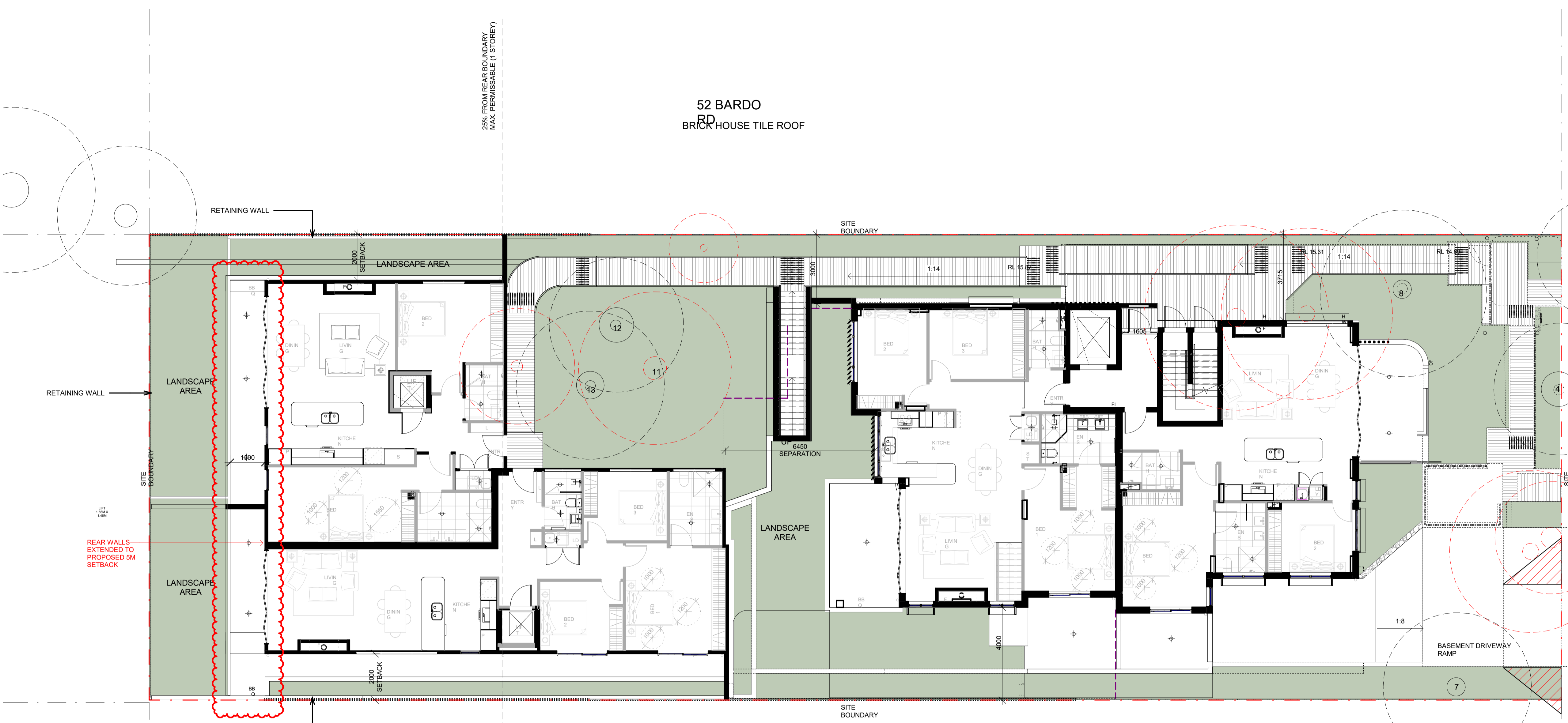
Scale: 1:100 Job No. Drawing No. Rev
Sheet A Drawing No. 20055 DA013 J
Date: 06/19/20
Drawn: YL Review: VY



LANDSCAPING AREA
 (392.70 m² = 32.02%)
REQUIREMENT: 30% OF SITE AREA
 (1226.32m² X 0.3 = 367.90 m²)

-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



| No. | Date | Description |
|-----|----------|--|
| M | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| L | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| K | 16/03/21 | ISSUED FOR APPROVAL |
| J | 03/09/20 | ISSUED FOR APPROVAL |
| I | 01/09/20 | ISSUED FOR COORDINATION |
| H | 31/08/20 | ISSUED FOR COORDINATION |
| G | 24/08/20 | ISSUED FOR COORDINATION; BASEMENT AMENDED |
| F | 24/08/20 | ISSUED FOR COORDINATION |
| E | 21/08/20 | ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED |
| D | 20/08/20 | ISSUED FOR COORDINATION; REVISED PLANNING ITEMS |
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| A | 24/07/20 | ISSUED FOR INFORMATION |

GILES TRIBE Level 1, 1 Chandos Street, NEWPORT NSW 2065
 P 61 2 9264 5005 E gtr@gilestribearchitects.com.au
 Giles Tribe Pty Ltd ABN 50 001259 507
 Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6456)

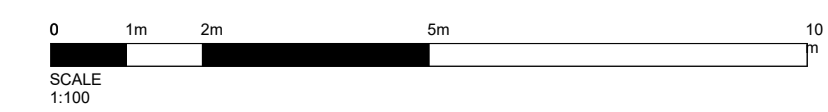
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Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

LANDSCAPE CALCULATION PLAN

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet: A 20055 DA014 M
 Date: 06/19/20
 Drawn: Author Review: Checker



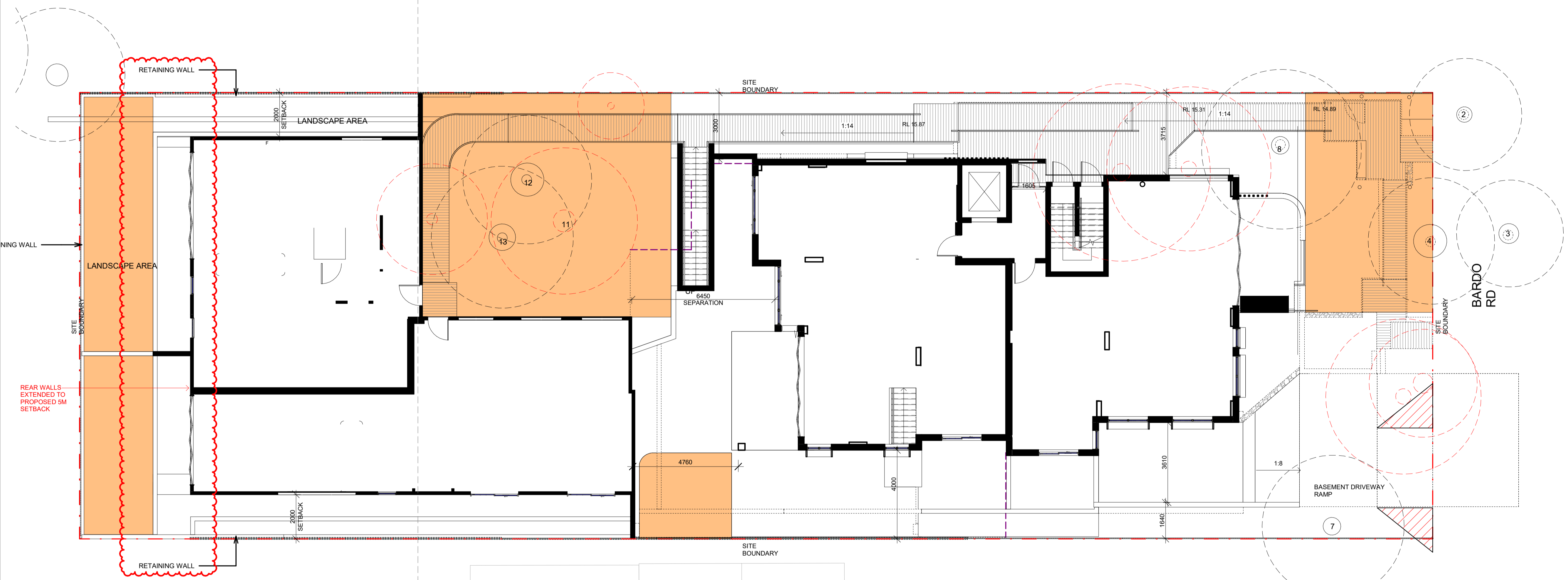
C:\Users\Kevin\Documents\54 Bardo Rd - Newport - NSW\2106_CC_Kevin_Giang\3P3HU.rvt

DEEP SOIL AREA
 FRONT: 56.79m² (23.0%)
 REAR: 189.97m² (77.0%)
 TOTAL: 246.76m² = 20.12% OF SITE AREA

REQUIREMENT: 15% OF SITE AREA
 1226.32m² X 0.15 = 183.94m²

52 BARDO
 BRICK HOUSE TILE ROOF

26% FROM REAR BOUNDARY
 MAX PERMISSIBLE (1 STOREY)



| No. | Date | Description |
|-----|----------|--|
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 ST LEONARDS NSW
 2065
 P 61 2 9264 5005
 E gtr@gilestribearchitects.com.au
 Giles Tribe Pty Ltd ABN 50 001259
 507
 Nominated Architects: Mark G Broadley (5823) Stuart D Hill (6455)

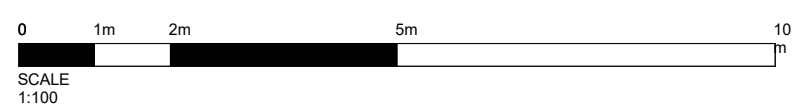
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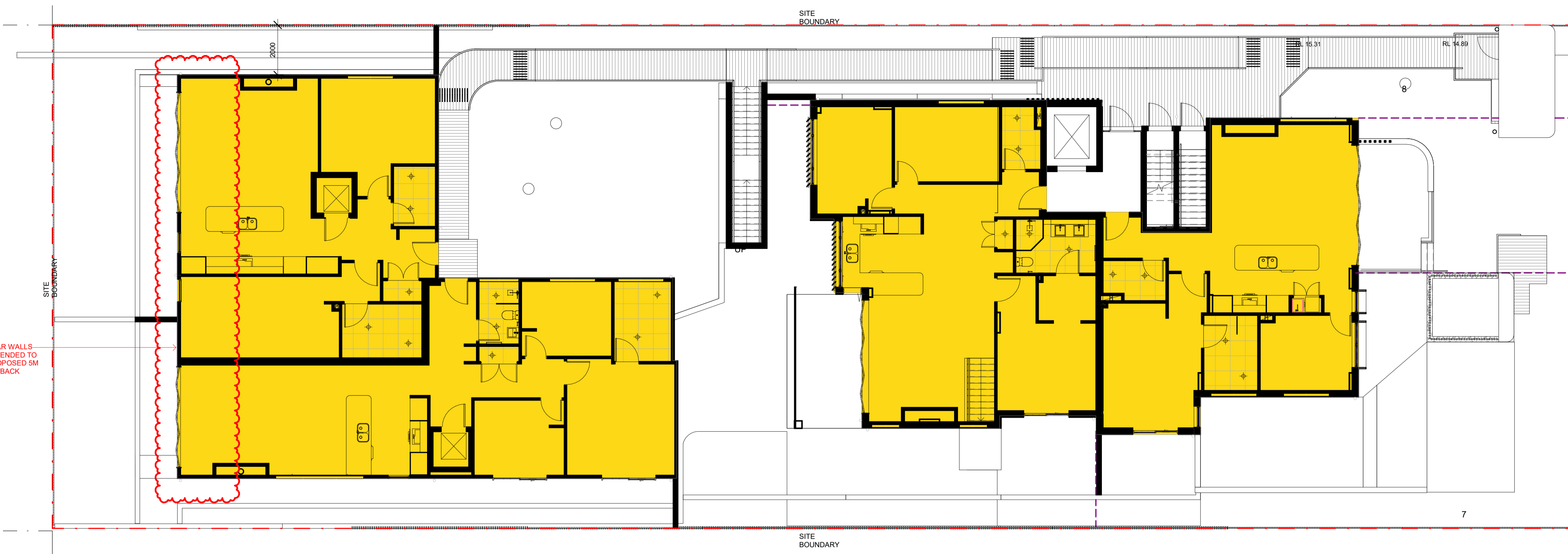
Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawing: **DEEP SOIL PLAN**

Status: **FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev
 Sheet A 20055 DA015 L
 Date: 07/22/20
 Drawn: Author Review: d Checker

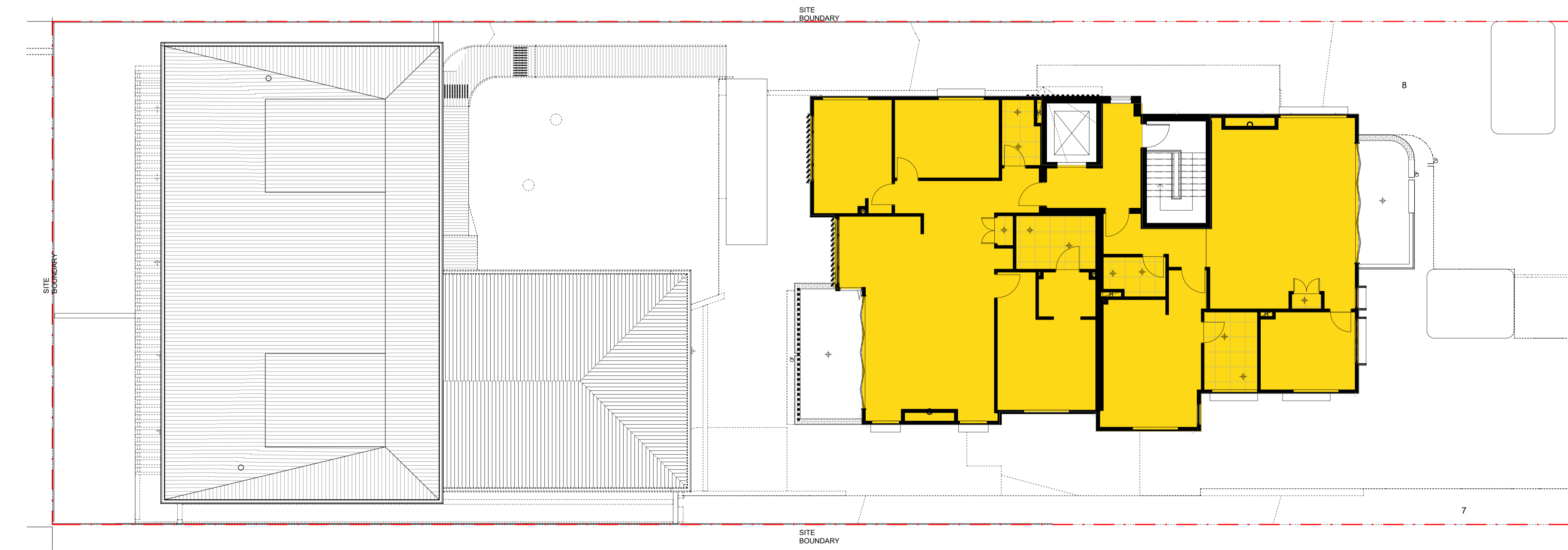




1 GFA - GROUND FLOOR
DA016 1:100

| | |
|------------------|-----------------------|
| GROUND FLOOR GFA | 472.95m ² |
| LEVEL 1 GFA | 239.29m ² |
| TOTAL GFA | 712.24m ² |
| SITE AREA | 1226.32m ² |
| FSR | 0.580:1 |

GFA CALCULATION UPDATED



2 GFA - LEVEL 1
DA016 1:100

| No. | Date | Description |
|-----|----------|--|
| K | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| J | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
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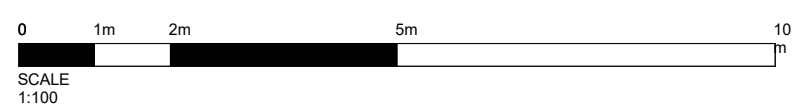
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Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**

GFA CALCULATIONS

Status: **FOR S4.55 APPROVAL**

| | | | | | | | |
|--------|----------|---------|-------|-------------|---------|-----|--|
| Scale: | 1 : 100 | Job No. | 20055 | Drawing No. | DA016 K | Rev | |
| Sheet: | A | Author | | Checker | | | |
| Date: | 06/19/20 | | | | | | |

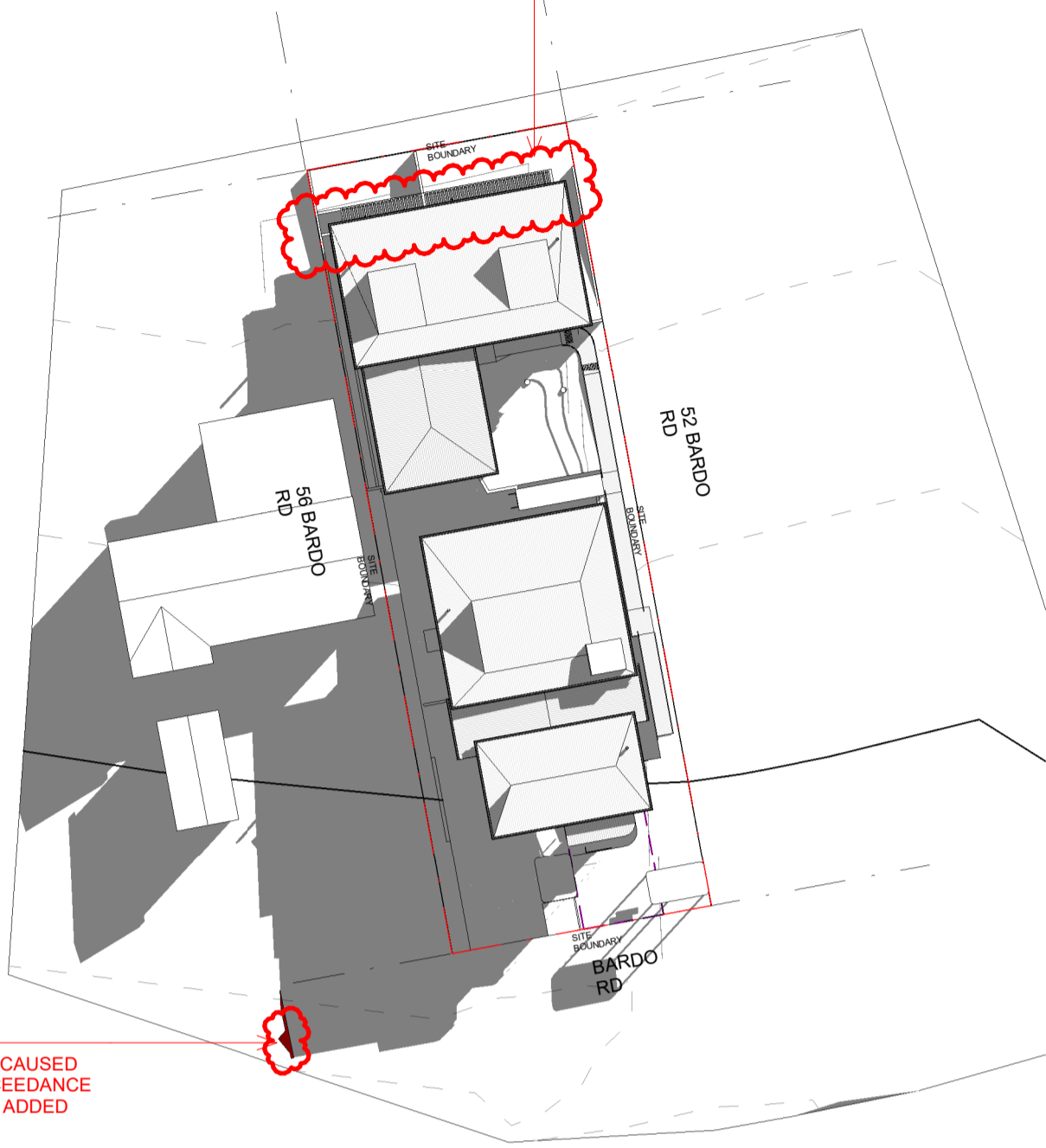


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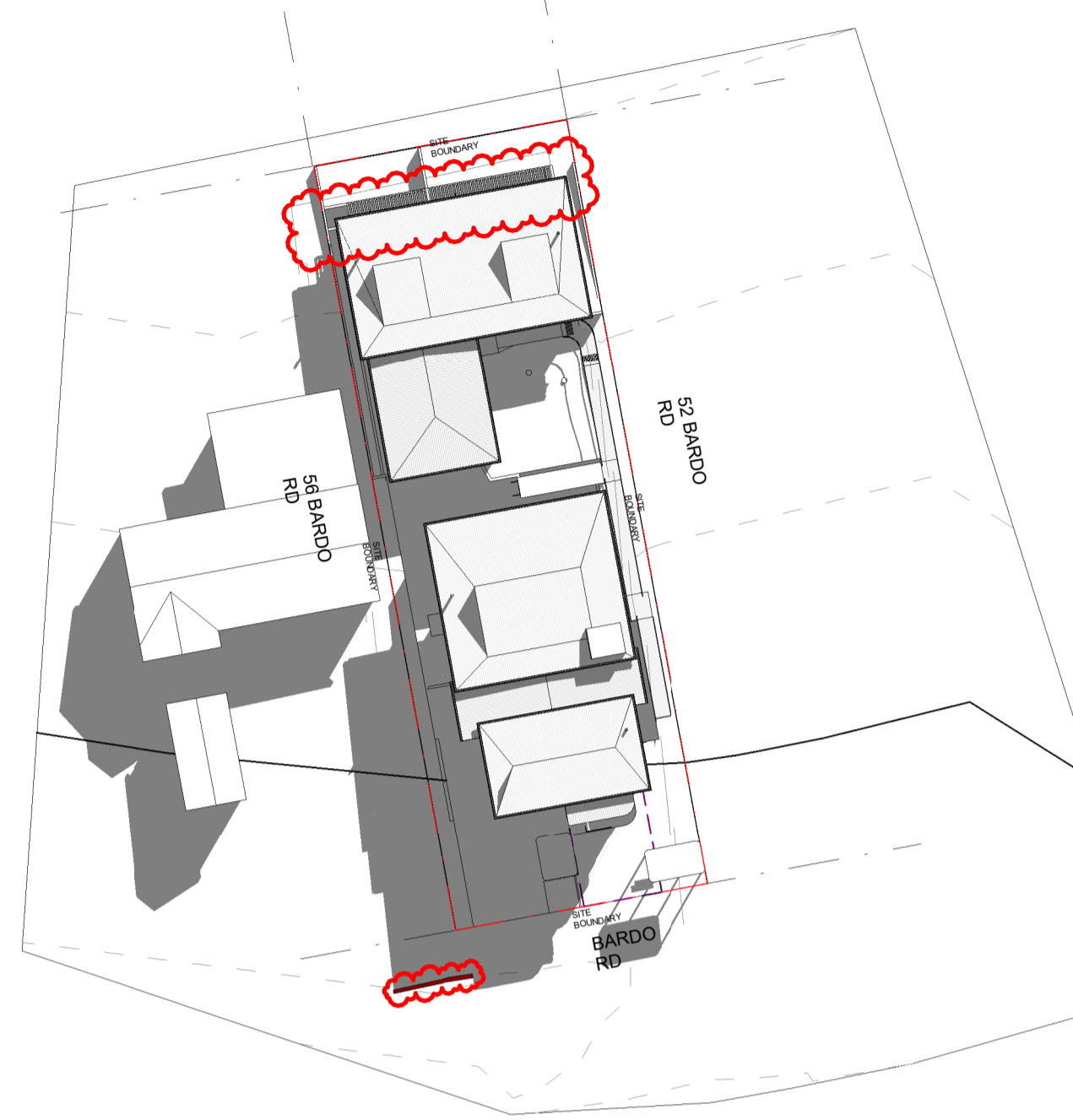
ADDITIONAL OVERSHADOW CAUSED BY HEIGHT EXCEEDANCE

SHADOW DIAGRAMS REVISED DUE TO REAR ROOF EXTENDED

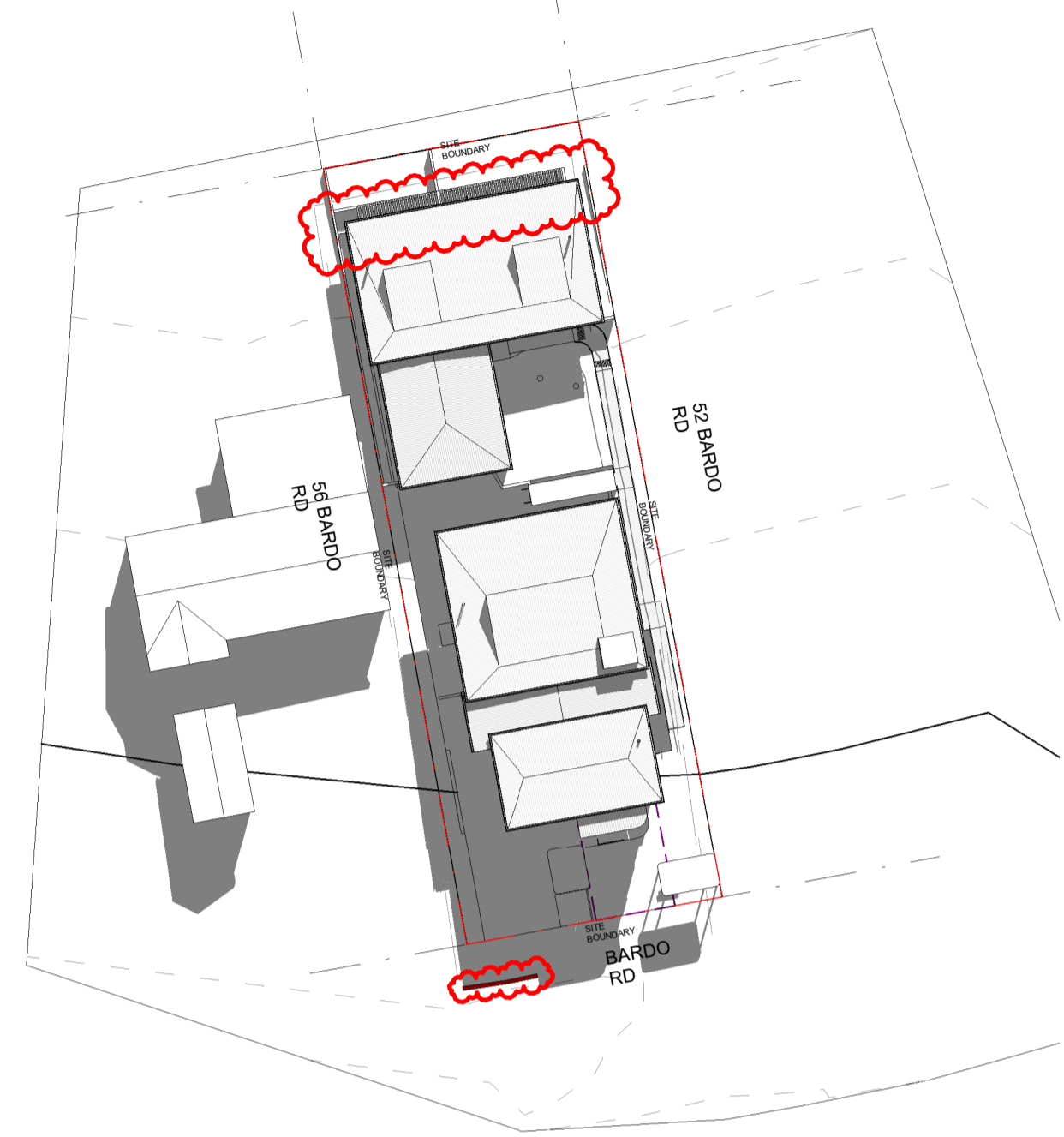
ADDITIONAL OVERSHADOW CAUSED BY HEIGHT EXCEEDANCE SHOWN IN RED ADDED



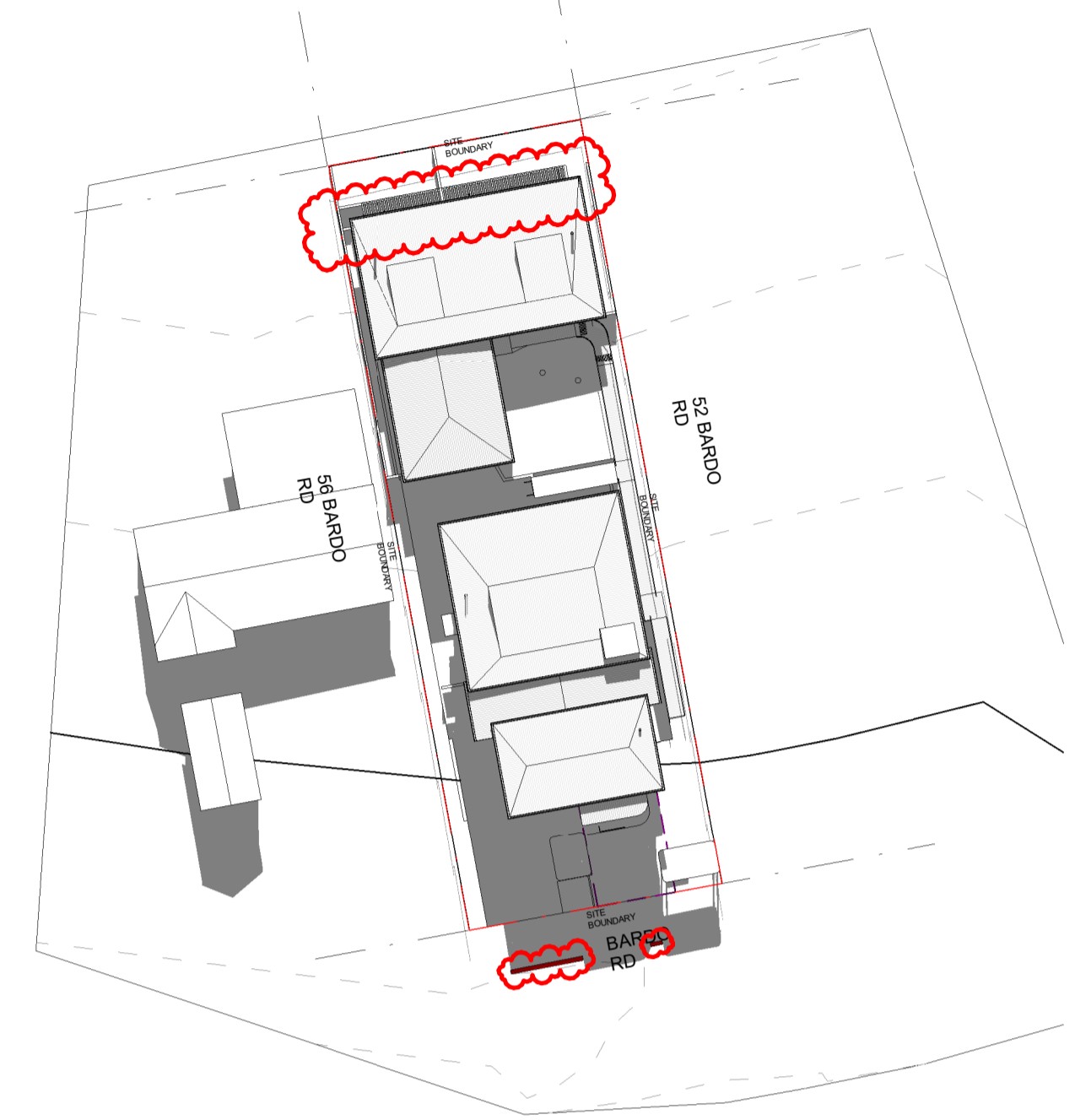
1 SHADOW - JUNE 21 9AM
DA017 1:500



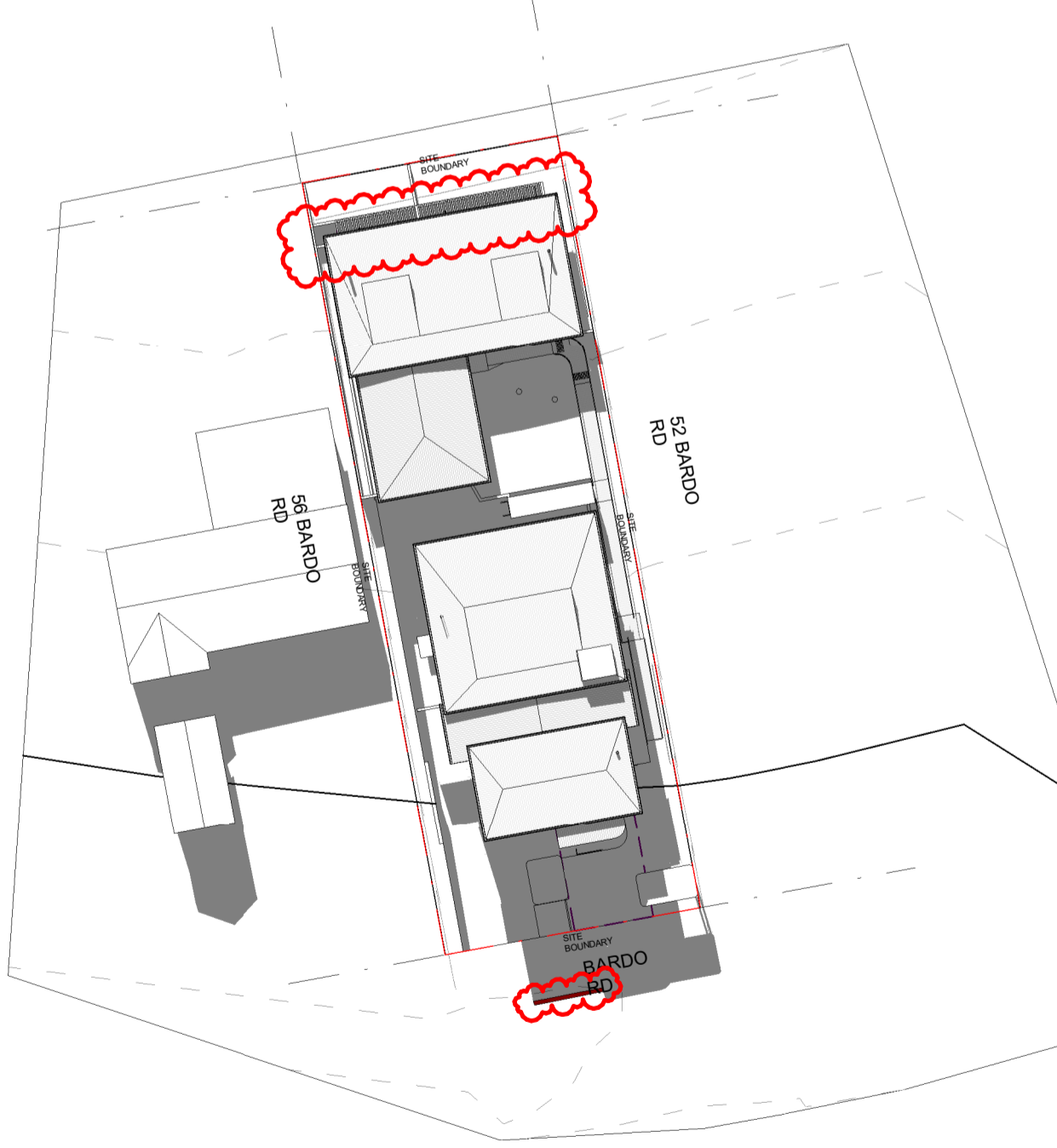
2 SHADOW - JUNE 21 10AM
DA017 1:500



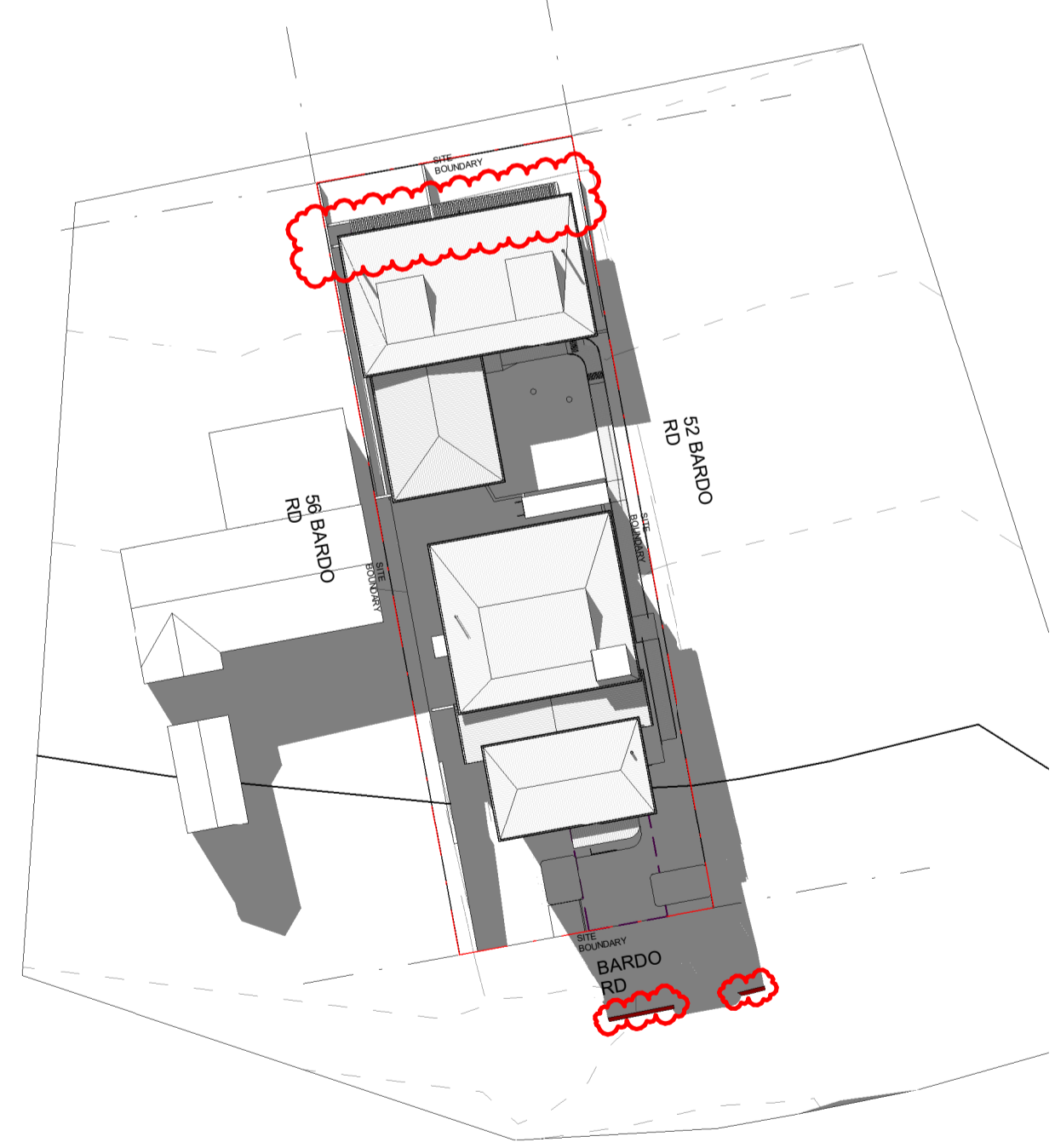
3 SHADOW - JUNE 21 11AM
DA017 1:500



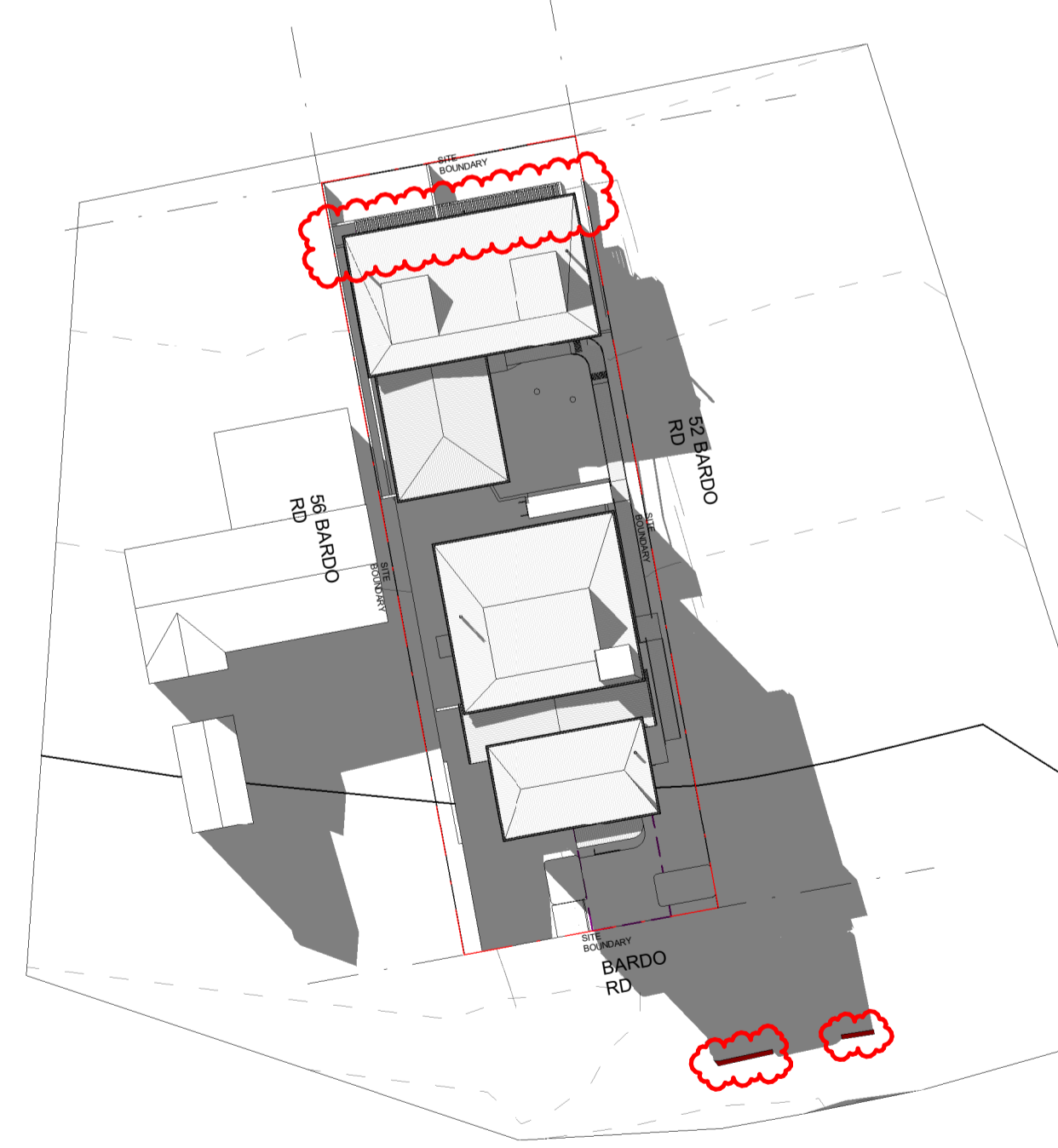
4 SHADOW - JUNE 21 12PM
DA017 1:500



5 SHADOW - JUNE 21 1PM
DA017 1:500



6 SHADOW - JUNE 21 2PM
DA017 1:500



7 SHADOW - JUNE 21 3PM
DA017 1:500

| No. | Date | Description |
|-----|----------|---|
| I | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
| H | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| G | 16/03/21 | ISSUED FOR APPROVAL |
| F | 03/09/20 | ISSUED FOR APPROVAL |
| E | 01/09/20 | ISSUED FOR COORDINATION |
| D | 20/08/20 | ISSUED FOR COORDINATION, REVISED PLANNING ITEMS |
| C | 18/08/20 | ISSUED FOR COORDINATION |
| B | 29/07/20 | ISSUED FOR PRE-DA MEETING |
| A | 24/07/20 | ISSUED FOR INFORMATION |

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Nominated Architects: Mark G Brodley (5823) Stuart D Hill (6455)

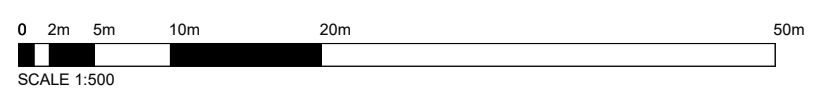
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Client: **Built Property**
Project: **54 BARDO ROAD NEWPORT 2106 NSW**

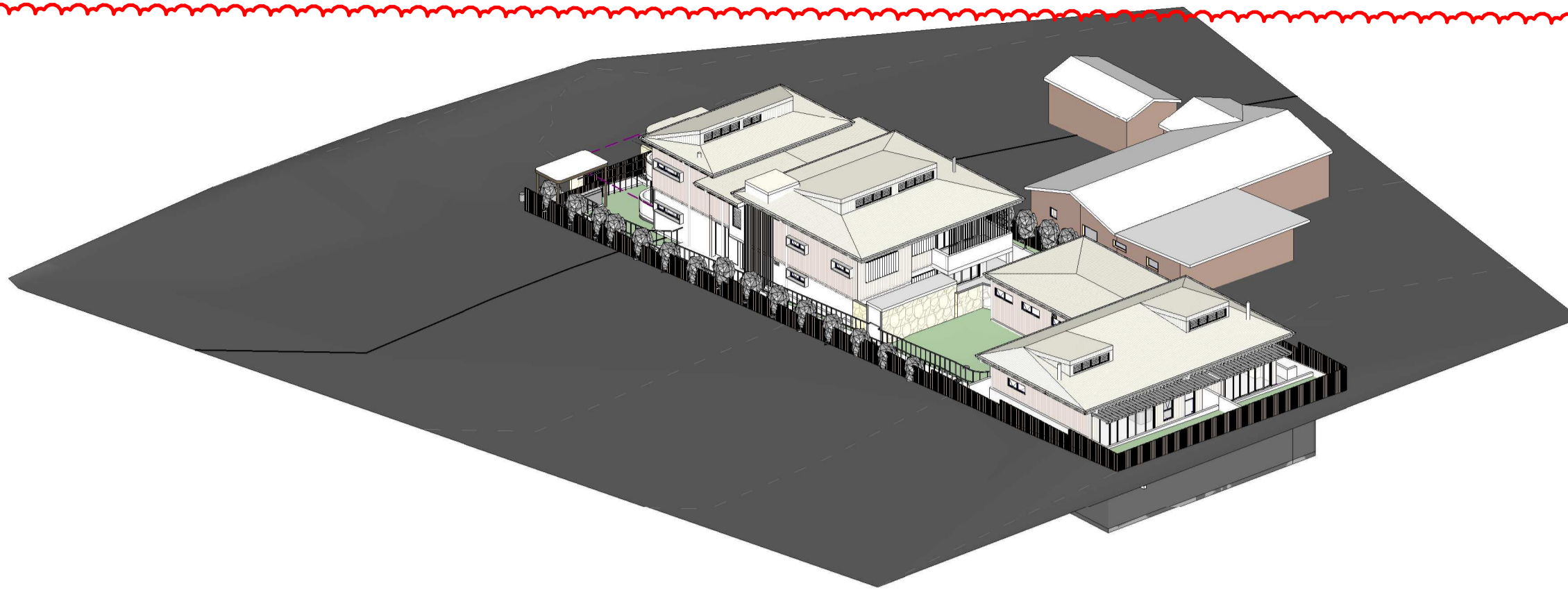
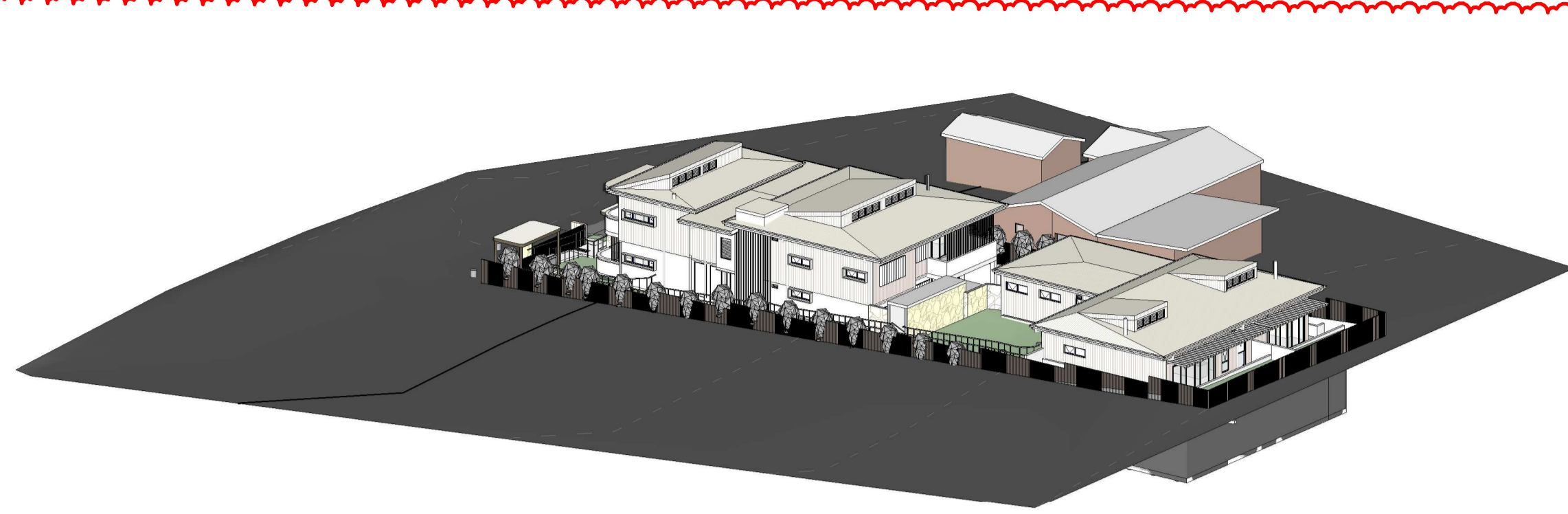
SHADOW DIAGRAMS

Status: **FOR S4.55 APPROVAL**

Scale: As indicated Job No. Drawing No. Rev
Sheet: A Date: 06/19/20 20055 DA0171
Drawn: YL Review: VY

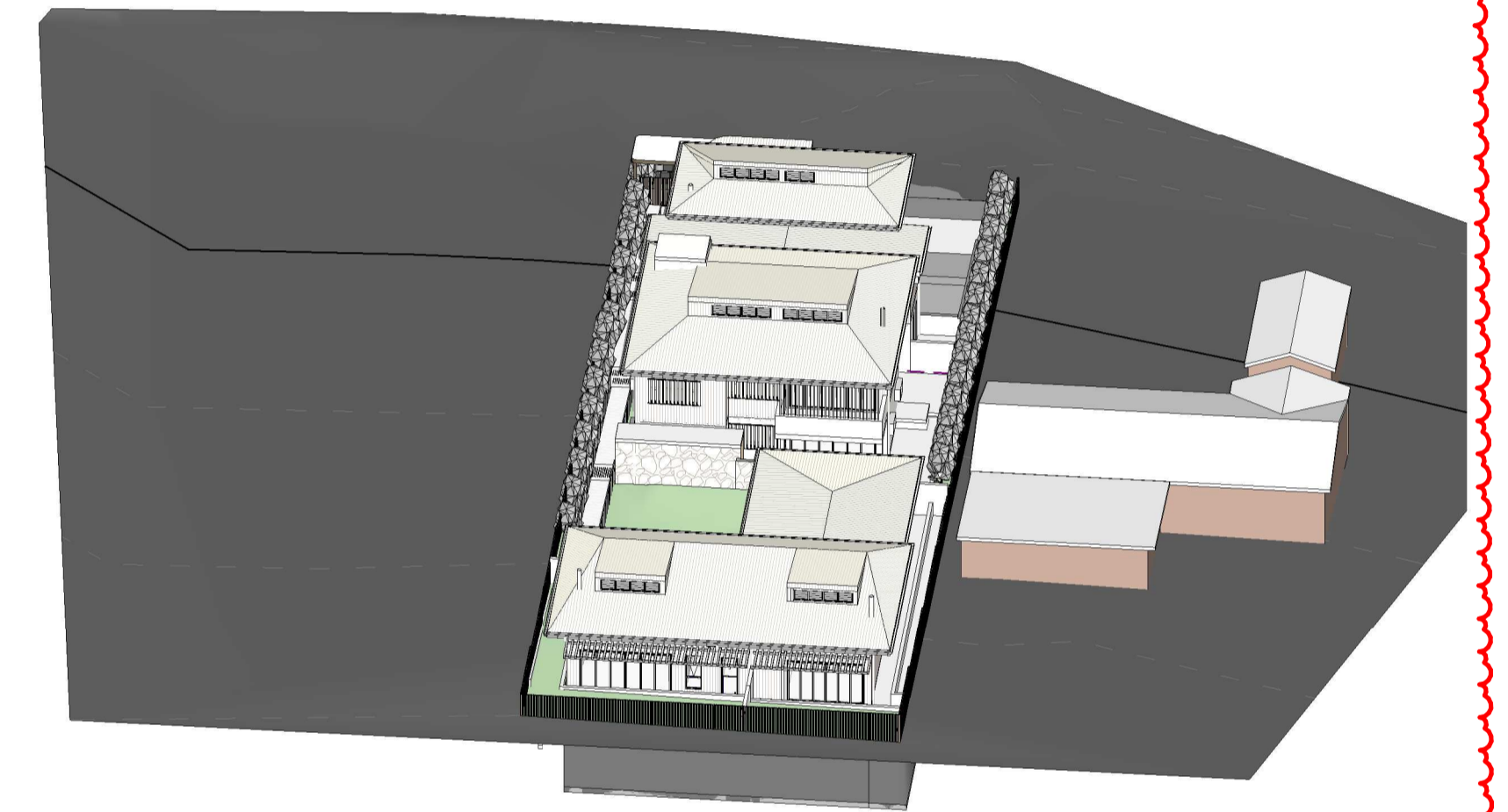
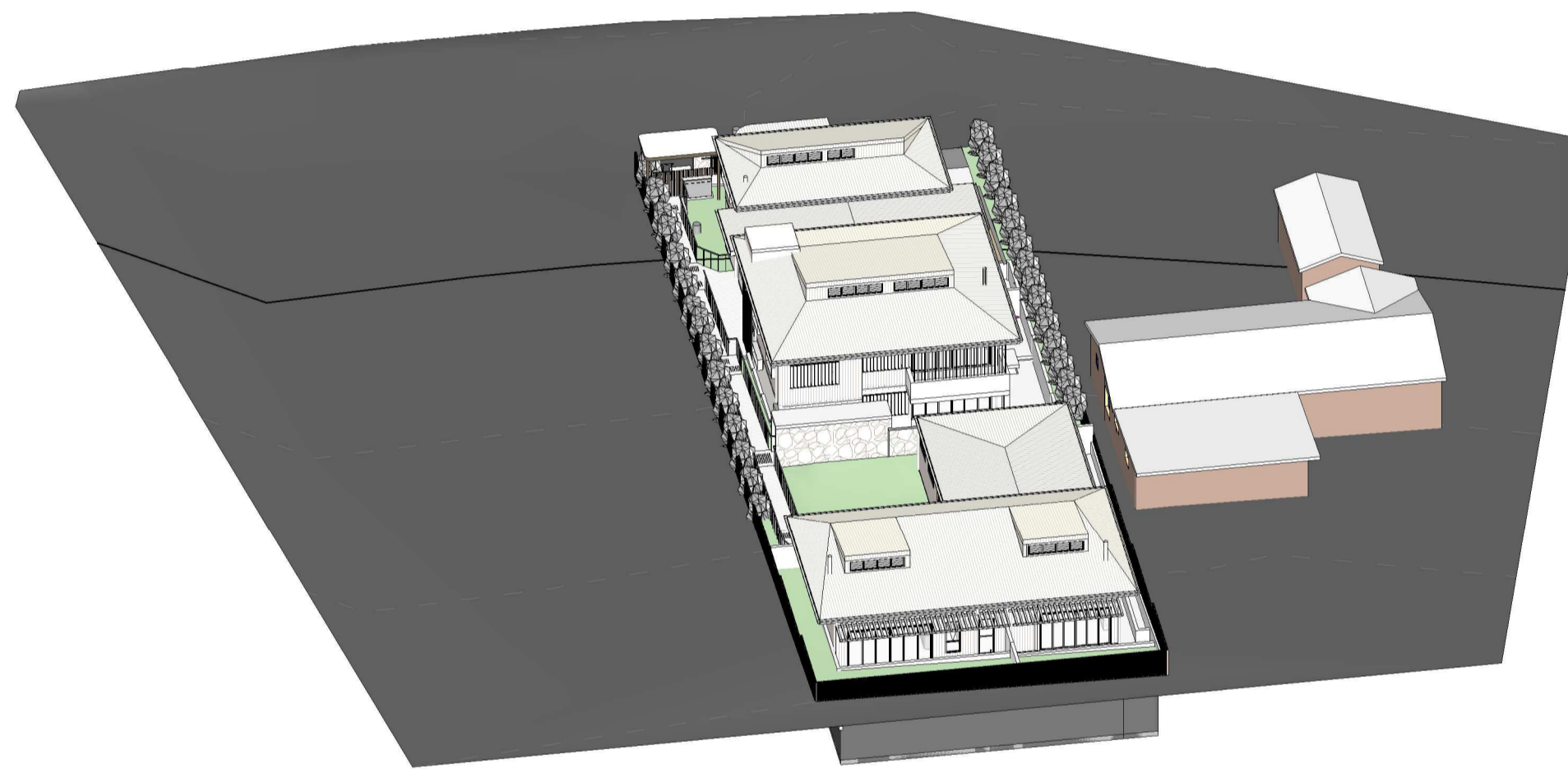
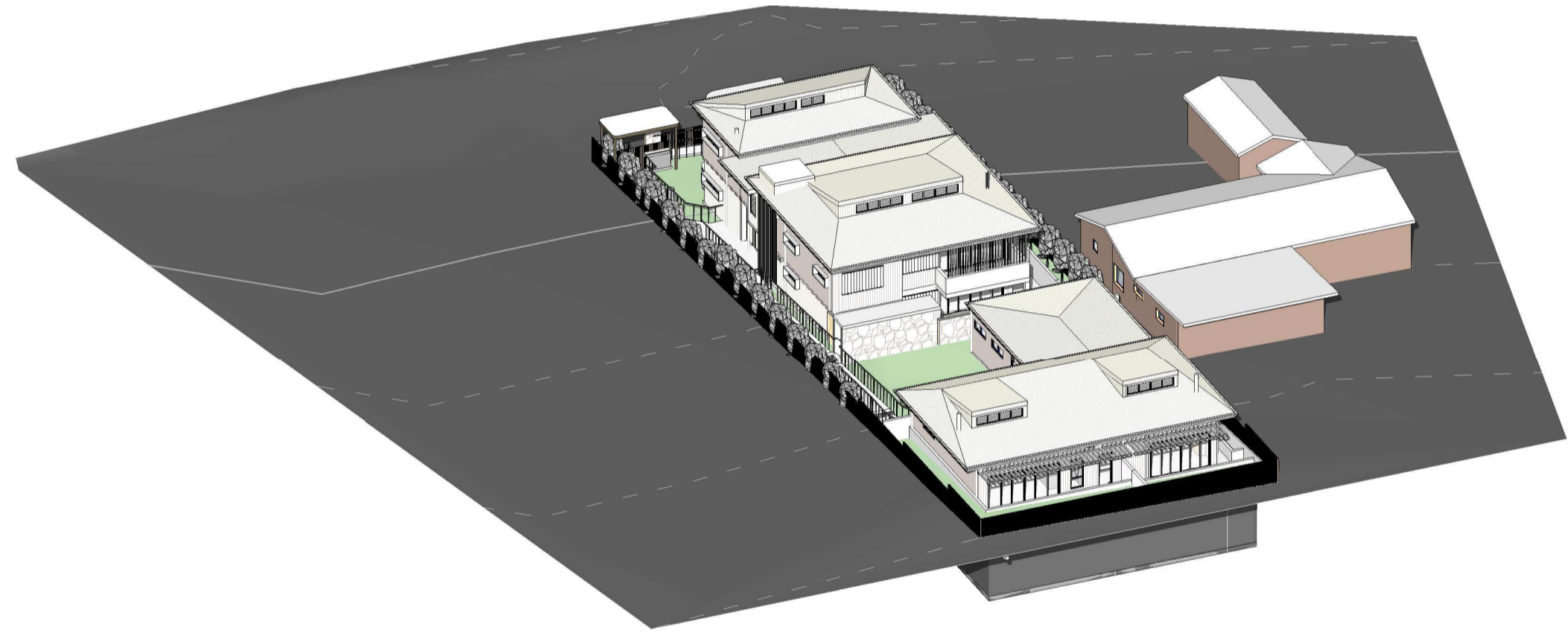


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1 SOLAR - JUNE 21 9AM
DA018

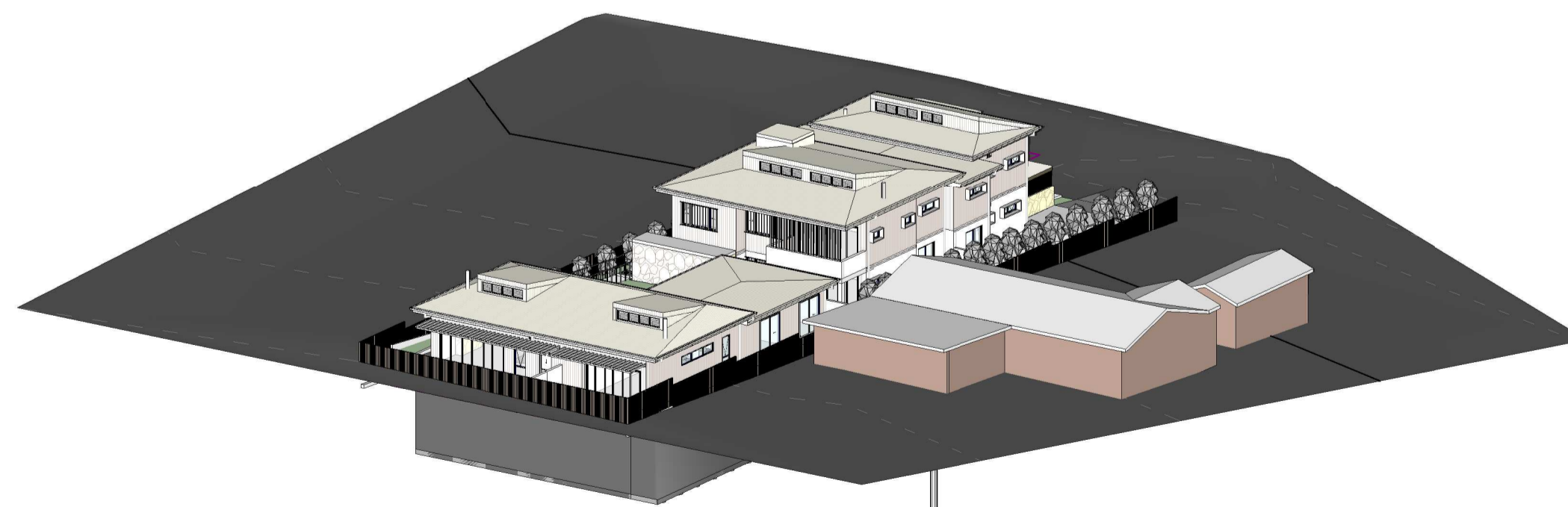
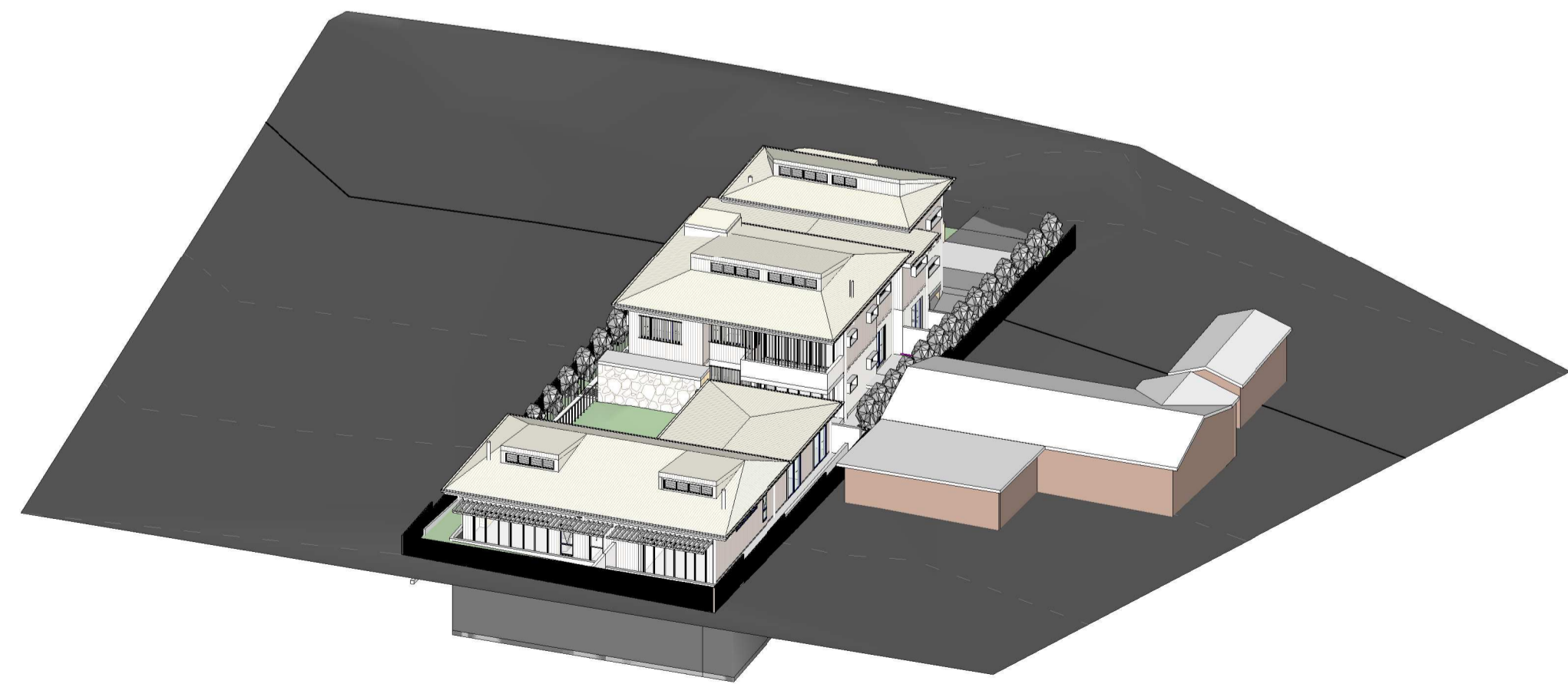
2 SOLAR - JUNE 21 10AM
DA018



3 SOLAR - JUNE 21 11AM
DA018

4 SOLAR - JUNE 21 12PM
DA018

5 SOLAR - JUNE 21 1PM
DA018



6 SOLAR - JUNE 21 2PM
DA018

7 SOLAR - JUNE 21 3PM
DA018

SOLAR DIAGRAMS
REVISED

| No. | Date | Description |
|-----|----------|---|
| I | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
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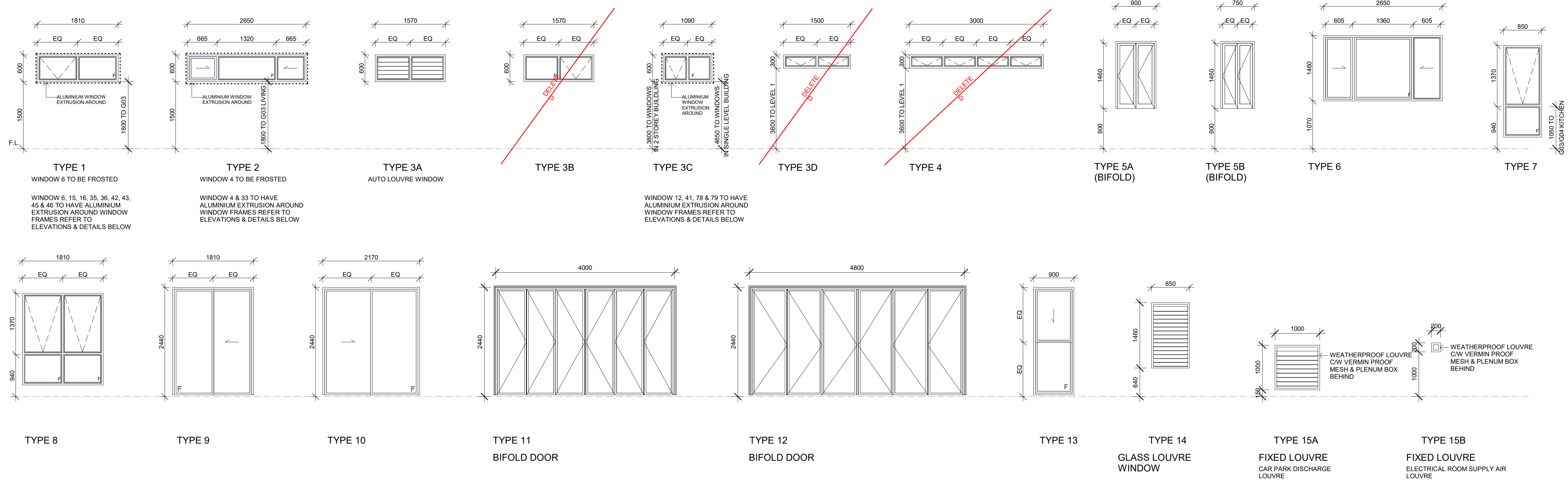
Client: **Built Property**
Project:

**54 BARDO ROAD
NEWPORT 2106
NSW**

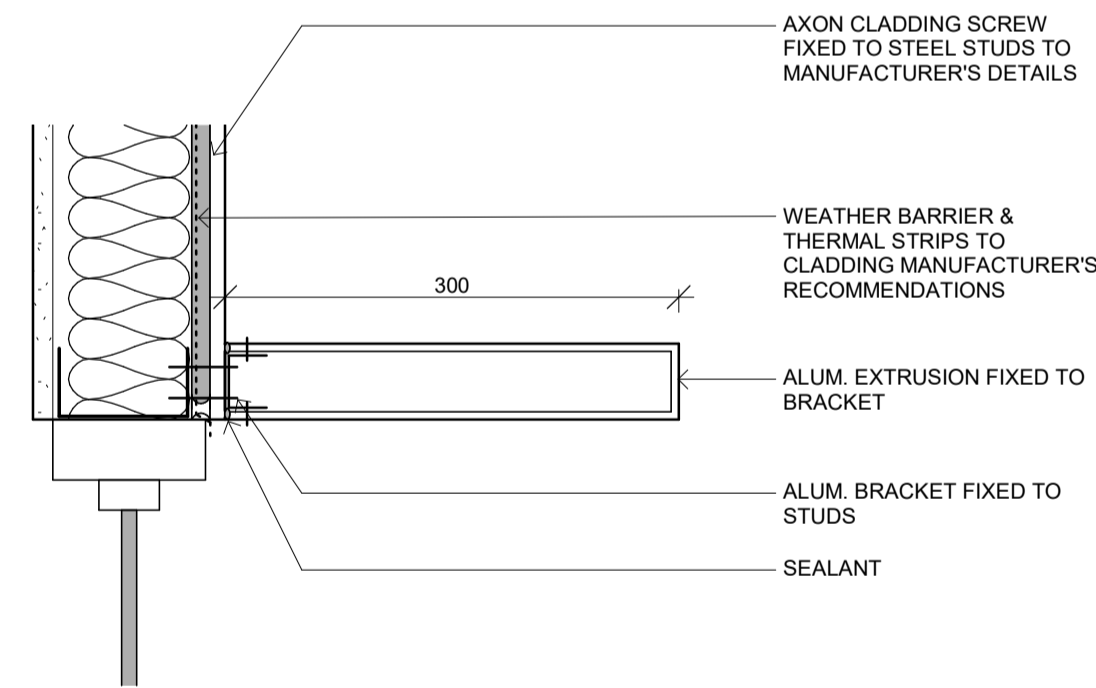
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Status: **FOR S4.55 APPROVAL**

Scale: A Job No. Drawing No. Rev
Sheet: 1 Date: 06/19/20 **20055 DA0181**
Drawn: YL Review: VY



WINDOW SCHEDULE



1 WINDOW EXTRUSION DETAILS

DA019 1:5

| G | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |
|-----|----------|--|
| F | 08/10/21 | ISSUED FOR S4.56(1) APPROVAL |
| E | 16/03/21 | ISSUED FOR APPROVAL |
| D | 03/09/20 | ISSUED FOR APPROVAL |
| C | 01/09/20 | ISSUED FOR COORDINATION |
| B | 24/08/20 | ISSUED FOR COORDINATION |
| A | 21/08/20 | ISSUED FOR COORDINATION, ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED |
| No. | Date | Description |

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Client:
Built Property
 Project:

**54 BARDO ROAD
 NEWPORT 2106
 NSW**

Drawing:
WINDOW SCHEDULE

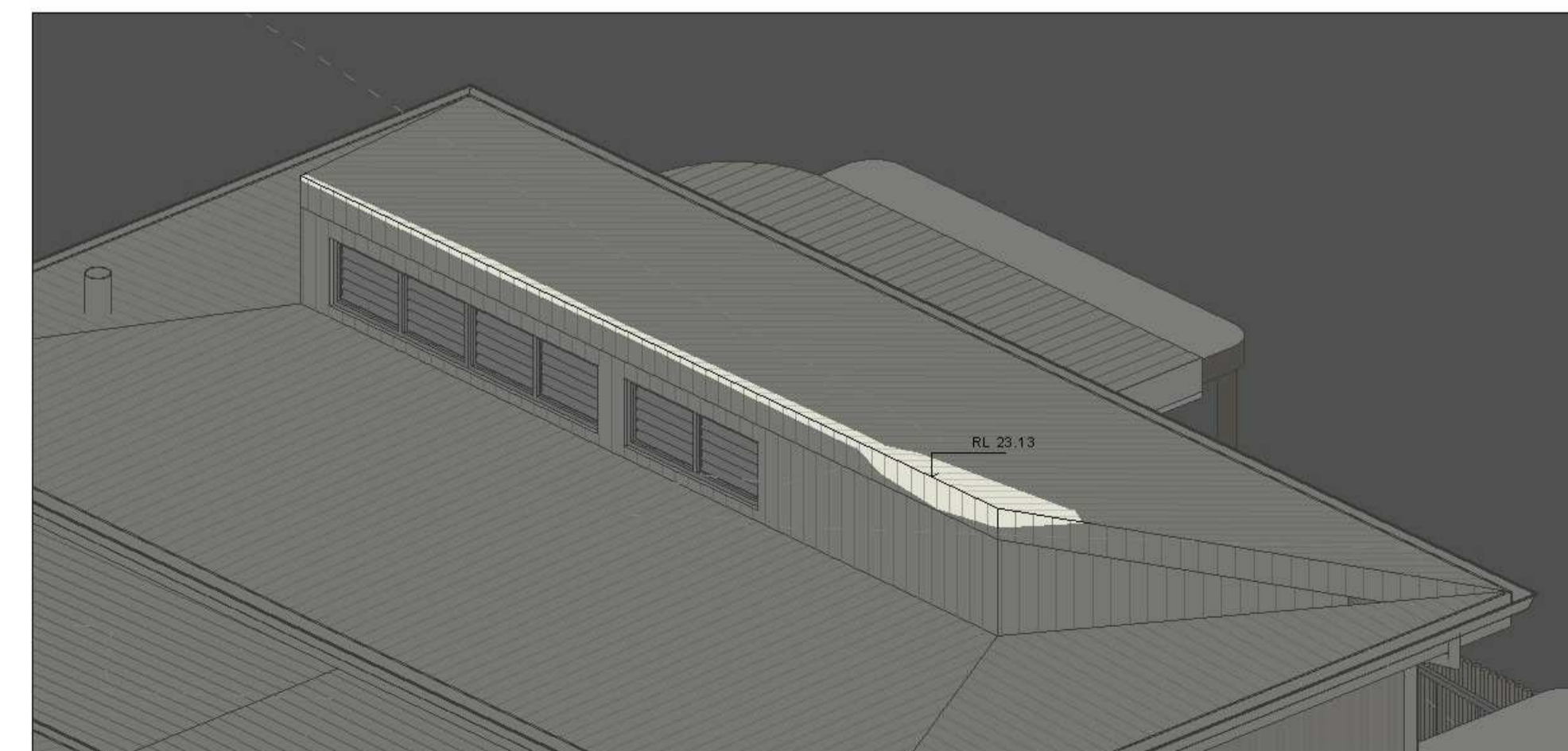
Status:
FOR S4.55 APPROVAL

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| Scale: | As indicated | Job No. | Drawing No. | Rev |
| Sheet: | A | 20055 DA019 G | | |
| Size: | 1 | | | |
| Date: | 08/20/20 | Review: | 4 | VY |
| Drawn: | YL | | | |

8M HEIGHT PLANE



1 HEIGHT PLANE DIAGRAM 01



2 HEIGHT PLANE DIAGRAM 02

SCALE 1:100

| No. | Date | Description |
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| A | 13/10/21 | ISSUED FOR S4.55(8) APPROVAL |

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 Mark G Brookley (5823) Stuart D Hill (6452)

Client: **Built Property**
 Project: **54 BARDO ROAD NEWPORT 2106**

Drawing: **HEIGHT PLANE DIAGRAM**

Status: **FOR S4.55 APPROVAL**

| Sheet | Job No. | Drawing No. | Rev |
|-------|----------|-------------|---------|
| A | 20055 | DA022 | A |
| Date: | 10/15/21 | Author | Checker |

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